



City of Phoenix
PLANNING & DEVELOPMENT DEPARTMENT

To: Departments Concerned

From: Joshua Bednarek
Planning & Development Department Director

Date: November 17, 2025

Subject: P.H.O. APPLICATION NO. PHO-3-25--Z-62-13-7 – Notice of Pending Actions by the Planning Hearing Officer

1. Your attention is called to the fact that the **Planning Hearing Officer** will consider the following case at a public hearing on **December 17, 2025**.
2. Information about this case is available for review at the Zoning Counter in the Planning and Development Department on the 2nd Floor of Phoenix City Hall, telephone 602-262-7131, Option 6.
3. Staff, please indicate your comments and respond electronically to pdd.pho@phoenix.gov or you may provide hard copies at the Zoning Counter in the Planning and Development Department on the second floor of Phoenix City Hall by **November 24, 2025**.

DISTRIBUTION

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City Council (Stephanie Bracken), 11th Floor
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Street Transportation - Floodplain Management (Tina Jensen, Priscilla Motola, Rudy Rangel), 5th Floor
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Planning Hearing Officer (Byron Easton, Logan Zappolo), 2nd Floor
Village Planner (Nayeli Sanchez Luna, Estrella Village)
Village Planning Committee Chair (Ms. Parris Wallace, Estrella Village)



City of Phoenix

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION FOR PLANNING HEARING OFFICER ACTION

APPLICATION NO: PHO-3-25--Z-62-13-7

Council District: 7

Request For: Stipulation Modification

Reason for Request: Request to modify Stipulation 1 regarding general conformance to the site plan and landscape plan date stamped February 23, 2024.

HEARING INFORMATION

Hearing Type	Hearing Date	Hearing Time	Hearing Location
Planning Hearing Officer	12-17-2025	10:00 AM	Meetings to be held virtually

Contact Information

Name	Relationship Type	Address	Phone	Fax	Email
Phoenix Jones Partners LLC	Owner	5112 N 40th St, Suite 105 Phoenix, AZ 85018	6022295683		benjamin.graff@quarles.com
Benjamin Graff, Quarles & Brady LLP	Representative	2 North Central Avenue, Suite 600 Phoenix AZ 85004	6022295683		benjamin.graff@quarles.com
Benjamin Graff, Quarles & Brady LLP	Applicant	2 North Central Avenue, Suite 600 Phoenix AZ 85004	6022295683		benjamin.graff@quarles.com

Property Location: Approximately 1320 feet south of the southwest corner of 59th Avenue and Lower Buckeye Road

Acreage: 9.77

Geographic Information

Zoning Map APN Quarter Section

Village:

Estrella

An applicant may receive a clarification from the city of its interpretation or application of a statute, ordinance, code or authorized substantive policy statement. To request clarification or to obtain further information on the application process and applicable review time frames, please call 602-262-7131 (option 6), email zoning@phoenix.gov or visit our website at

<https://www.phoenix.gov/pdd/licensing-time-frames>

A Filing Fee had been paid to the City Treasurer to cover the cost of processing this application. The fee will be retained to cover the cost whether or not the request is granted

I declare that all information submitted is true and correct to the best of my knowledge and belief. I acknowledge that any error in my application may be cause for changing its normal scheduling.

Signature: _____ DATE: _____

Fee Information

Fee	Fee Waived	Fee Date	Purpose
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\$1,080.00	\$0.00	11/04/25	PHO (1-2 stipulations)
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CITY OF PHOENIX PLANNING HEARING OFFICER: PROJECT NARRATIVE

ESS-AZ-Maverick, LLC

Introduction and Property Information

Quarles & Brady LLP on behalf of ESS-AZ-Maverick, LLC ("Applicant"), an affiliate of Prologis, L.P., respectfully submits this Project Narrative in support of a Planning Hearing Officer ("PHO") request to modify an existing site plan and landscape plan, and associated stipulations for the property located at approximately 3500 South 59th Avenue, Phoenix, Arizona (Parcel No. 104-47-003V) (the "Property"). See Zoning and Aerial Maps Attached at **TAB A**. The site encompasses approximately 8.9 acres and for the proposed development is the Maverick Battery Energy Storage System (BESS), a 200-megawatt (MW) and 800-megawatt-hour (MWh) energy storage facility that will provide reliable, dispatchable clean energy to the Salt River Project (SRP) grid, thereby adding further energy grid stability to west Phoenix.

The proposed facility supports Phoenix's clean energy goals by enabling more efficient use of renewable generation and strengthening local grid resiliency. The project represents a \$265 million investment in the City of Phoenix and will generate meaningful community benefits including local job creation, infrastructure investment, and long-term tax revenue.

The site is under a long-term ground lease with Phoenix Jones Partners, LLC, and is located directly adjacent to SRP's Orme 230kV Substation, making it a uniquely strategic location for an energy storage project.

Existing Zoning and General Plan

The property is currently zoned A-1 (Light Industrial) under the City of Phoenix Zoning Ordinance. City Planning Staff confirmed that Battery Energy Storage Systems are a by-right use within the A-1 district, subject to site plan review and approval through the PHO process.

The General Plan Land Use Designation is Industrial, consistent with both the existing zoning and the proposed use. The surrounding area includes a mix of industrial, energy, and transportation infrastructure uses, with the SRP substation immediately north of the site and other light industrial properties to the east and south.

The property was rezoned from RE-35 (Single-Family Residence) to A-1 (Light Industrial) per Rezoning Case No. Z-62-13-7 on June 4, 2014, subject to several stipulations. Subsequently, two PHO Cases (PHO-1-17—Z-62-13-7 and PHO-2-24—Z-62-13-7) were processed and approved to amend the stipulations. The existing approved site plan was for two industrial buildings consisting of 53,235 square feet and 98,985 square feet, which were never developed. See Ordinance No. G-7263 Attached at **TAB B** for current list of stipulations.

This PHO request will update the applicable site plan and landscape plan to reflect a BESS development and modify stipulations approved under PHO Case No. PHO-2-24—Z-62-13-7 per Ordinance No. G-7263 to align development conditions with the proposed BESS project.

Proposed Development

Site Plan Overview

The proposed development includes installation of battery storage enclosures, inverters, transformers, switchgear, and related electrical infrastructure arranged within a secure, fenced compound. Internal access drives will accommodate emergency response, maintenance vehicles, and SRP interconnection access. The project layout ensures appropriate separation from property boundaries and adjacent uses. See Proposed Site Plan, Elevations, and Landscape Plan Attached at **TAB C**. Additionally, and importantly, the new site plan maintains the 125-foot building setback from the residential neighbors to the south, as originally contemplated in the prior site plan for the industrial buildings.

The BESS facility will interconnect to SRP's Orme Substation through a short overhead or underground tie line, minimizing offsite improvements and reducing potential visual and environmental impacts. In fact, due to the close proximity of the substation, the interconnection line will have a very minimal impact in general, and will not be located adjacent to or within residential uses.

Battery Energy Storage System (BESS) Overview

The Maverick BESS will store energy during off-peak periods and discharge during high-demand hours, providing 292 gigawatt-hours per year of clean, dispatchable energy, equivalent to powering approximately 25,000 Phoenix homes during peak hours.

The system utilizes lithium iron phosphate (LFP) battery technology, a chemistry with one of the highest thermal stability and safety ratings among commercial BESS technologies. All equipment is enclosed in UL-certified, factory-assembled containers equipped with integrated cooling, smoke detection, and suppression systems.

Commitment to Safe Material Sourcing and Technology

During an initial briefing on this land use with Councilmember Hernandez, the Councilmember and her staff emphasized the need to ensure the battery components will be sourced from safe and proper mining operations. All major equipment suppliers will meet U.S. safety standards, including UL 9540 and NFPA 855, and Prologis will require documentation of responsible material sourcing and recycling pathways. LFP cells contain no nickel, cobalt, or other heavy metals of concern, further improving environmental safety. Another common battery chemistry is NMC whose primary components are nickel, manganese, and cobalt. We have chosen not to use NMC for fire safety reasons as well as to avoid using nickel which is linked to deforestation, water pollution, and poor labor protections in Indonesia and the Philippines and cobalt which has greater ties to child labor and dangerous artisanal mining in the Democratic Republic of Congo.

Commitment to Local Construction Employment

Our team also appreciated Councilmember Hernandez's emphasis on ensuring future construction jobs will go to local citizens. Construction is expected to generate 75 to 100 local construction jobs, with a 60 percent local labor commitment, and approximately \$92 million in local construction spending. Civil and electrical contractors will be selected with a focus on Phoenix-area participation. The project will also generate one to three long-term operational jobs for site monitoring and maintenance.

Fire Safety and Emergency Coordination

Safety is central to the project design. Each battery container includes:

- Active liquid cooling and ventilation to maintain safe operating temperatures
- Thermal and smoke sensors triggering automatic system shutdown

- Internal fire detection and suppression systems preventing propagation across racks or enclosures

The Applicant will coordinate closely with the City of Phoenix Fire Department and local emergency response agencies to ensure that:

- Phoenix Fire is comfortable with the site plan, proposed land use, and safety features;
- First responders receive annual training on site systems and response protocols;
- Semi-annual inspections and safety testing is completed and reported on a regular basis; and
- The final site plan incorporates emergency access routes and staging areas as needed.

According to 2024 EPRI data, the United States has experienced fewer than 20 recorded battery energy storage incidents since 2019, even as deployments have expanded more than twentyfold, demonstrating the strong safety performance of modern systems.

Public Art Component

Consistent with the City's expectations for industrial design and community contribution, and the promotion of local public arts and artists through Councilmember Hernandez's office, the project team is evaluating a public art or educational display along the site frontage (i.e., potentially an artistic mural) to highlight Phoenix's leadership in energy innovation and sustainability.

Requested Site Plan Modification

The Applicant requests that the Phoenix Planning Hearing Officer approve the new site plan and landscape plan, dated October 31, 2025, and attached at **TAB C**. This site plan will replace the prior manufacturing building site plan originally approved on February 23, 2024.

Requested Stipulation Modifications

Below are the current stipulations proposed for retention or modification to align with the updated site plan and project design. Only those requiring administrative updates have been modified; the remainder are retained as approved.

Stipulation	Proposed Action / Rationale
1. The development shall be in general conformance with the site plan and landscape plans date stamped [October 31, 2025] February 23, 2024 September 20, 2017, as approved by the Planning and Development Department.	Update to reflect the new BESS site plan and landscape plan.
2. A minimum 75-foot landscape setback shall be provided along the south property lines and shall utilize the Commerce Park/General Commerce Park landscape standards for plant types, quantity and spacing, as approved by the Planning and Development Department.	Retain.
3. Commerce Park/General Commerce Park Development standards shall be provided along the east property line, with the east property line being deemed an interior lot line on a street, as approved by the Planning and Development Department.	Retain.
4. A minimum 125-foot building setback shall be provided along the south property line, as approved by the Planning and Development Department.	Retain.
5. Building height shall be limited to a maximum of 48 feet within 150 feet of the south property line, as approved by the Planning and Development Department.	Retain.
6. Outdoor storage shall not be permitted within 250 feet of the south and west property lines, except for the trailer storage shall not be located closer than 200 feet, as approved by the Planning and Development Department.	Retain.
7. Submit amended Traffic Impact Study Analysis updated to proposed development use. Additional improvements may be stipulated based upon study findings.	Retain.
8. Right-of-way totaling 45 feet and a 10-foot-wide sidewalk easement with an 8-foot-wide sidewalk shall be dedicated and constructed for the west half of 59th Avenue. Provide curb,	Retain.

Stipulation	Proposed Action / Rationale
gutter, paving, sidewalk, curb ramps, streetlights, landscaping, and incidentals for the length of the project.	
9. The developer shall construct a bus stop pad that conforms with Standard Detail P1260 on the northeast corner of the site on southbound 59th Avenue.	Retain.
10. The developer shall update all existing off-site street improvements (sidewalks, curb ramps and driveways) to current ADA guidelines.	Retain.
11. Complete a Red Border Letter to notify ADOT of development adjacent to its freeway corridor and submit it to the Street Transportation Department with a copy to the Traffic Engineer and Civil Plans Reviewer.	Retain.
12. Provide underground street light circuits, poles and fixtures on all public streets in locations approved by the Street Transportation Department. Submit one copy of the approved site plan with three copies of the streetlight plans to the 2nd floor of City Hall to be routed to Street Lighting Section reviewer.	Retain.
13. The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, setback sidewalk, curb ramps, streetlights, landscape and other incidentals as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.	Retain.
14. In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.	Retain.

Community Benefits and Economic Impact

The Maverick BESS project delivers substantial long-term value to the City of Phoenix and the Estrella Village community.

- \$265 million total private investment
- \$13 million or more in combined local property and sales tax revenue over 25 years
- Strengthened grid reliability through partnership with SRP
- Educational engagement with Estrella Village residents and city staff
- Zero onsite emissions and minimal noise generation during operation

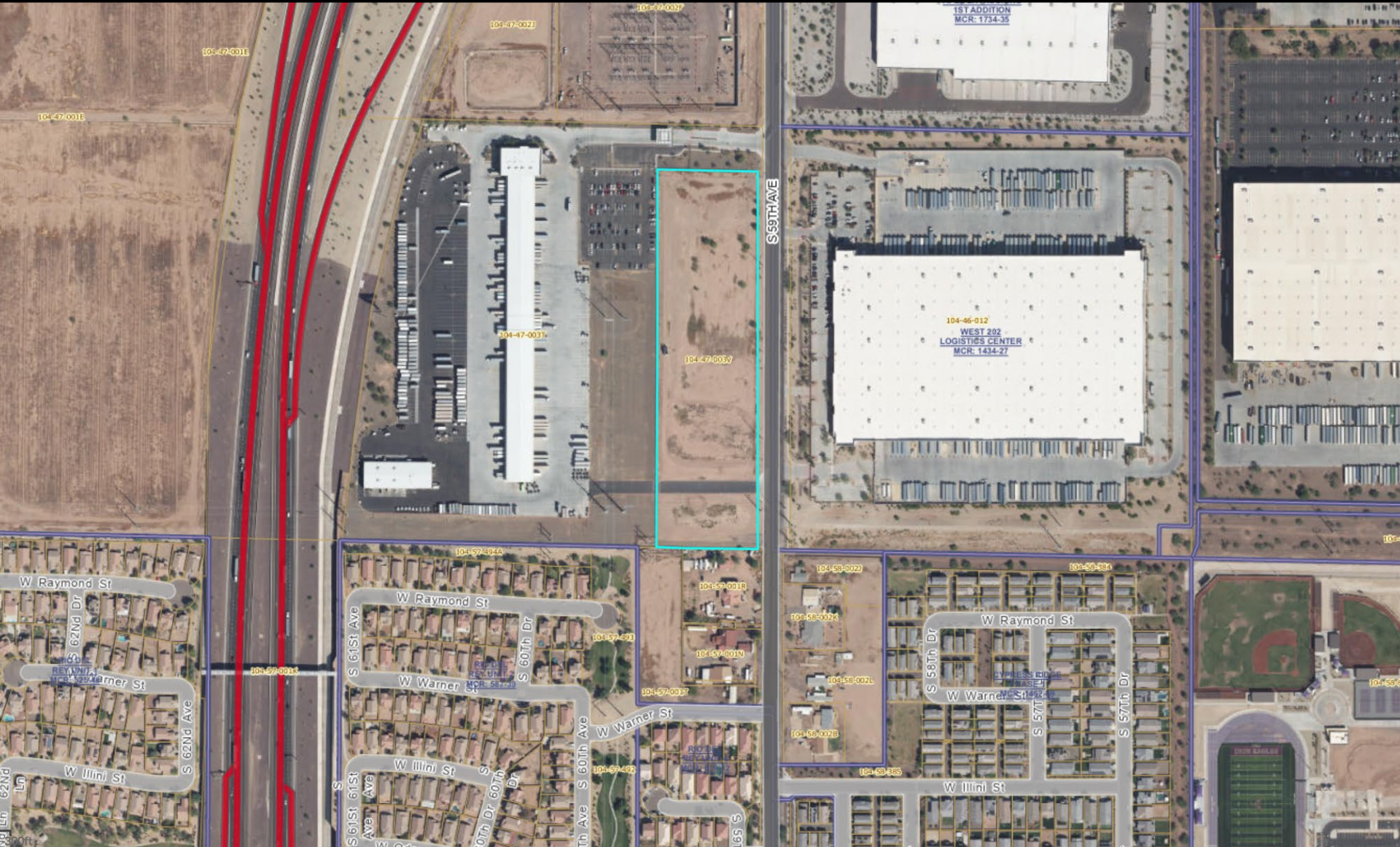
Conclusion

The Maverick Battery Energy Storage System represents a forward-looking infrastructure investment that advances Phoenix's clean energy and economic development goals while maintaining compatibility with surrounding industrial uses.

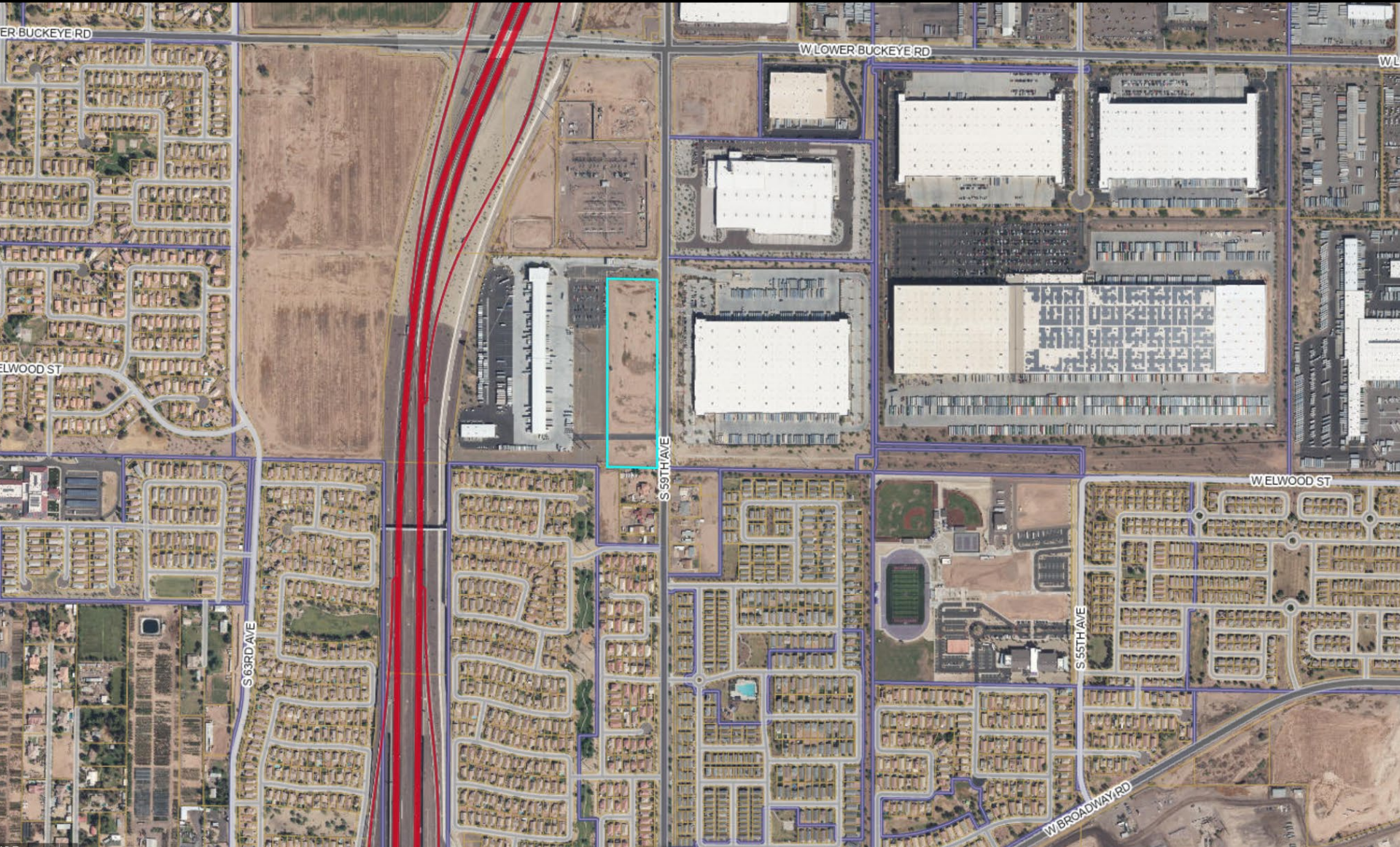
The Applicant appreciates the City's, Councilmember Hernandez's, and Estrella Village's collaboration through the PHO process and our team looks forward to continued coordination with the City and community stakeholders to bring electrical grid and power supply stability to this area while ensuring a safe, efficient, and community-aligned project.

TAB A

AERIAL MAP

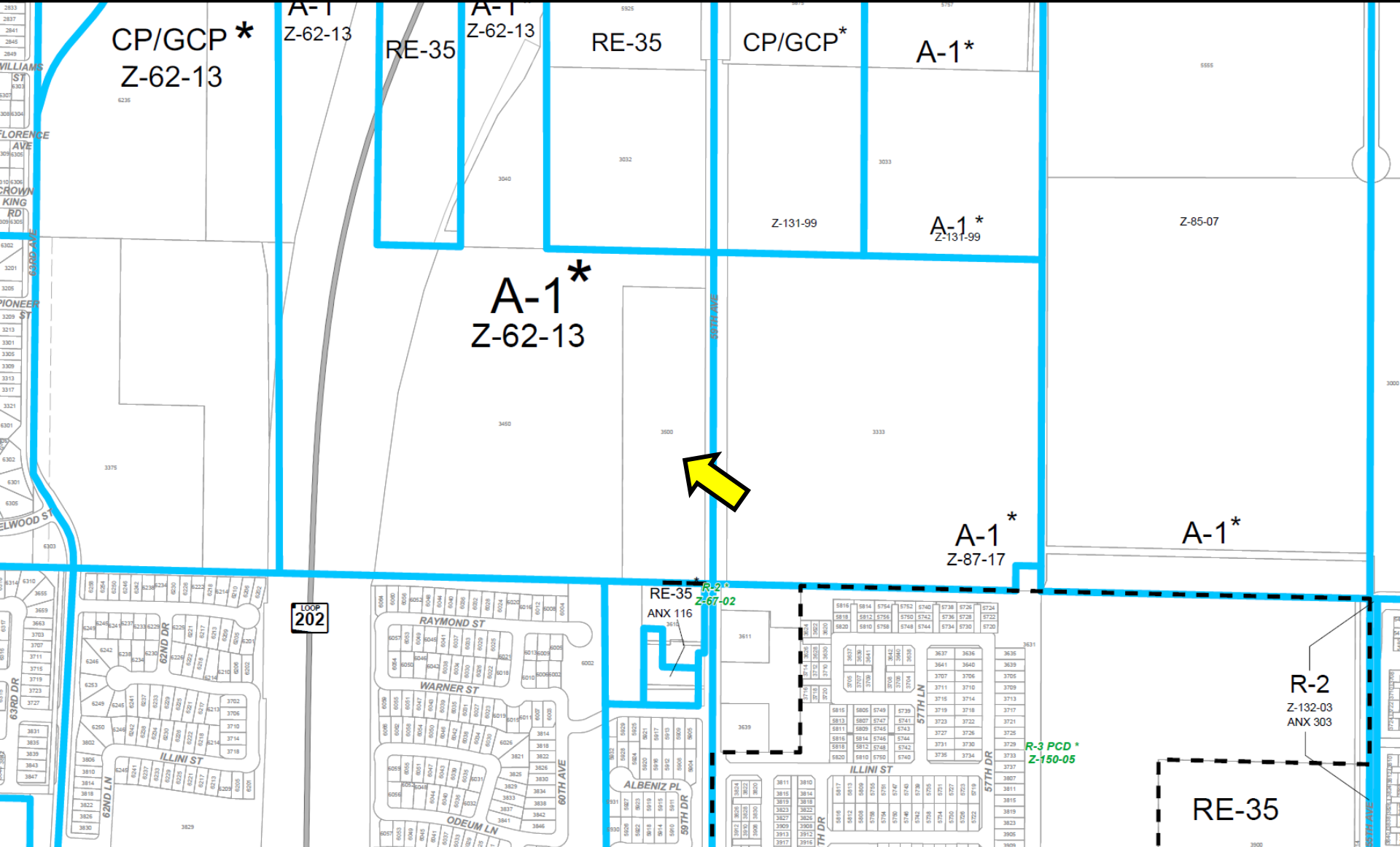


AERIAL MAP

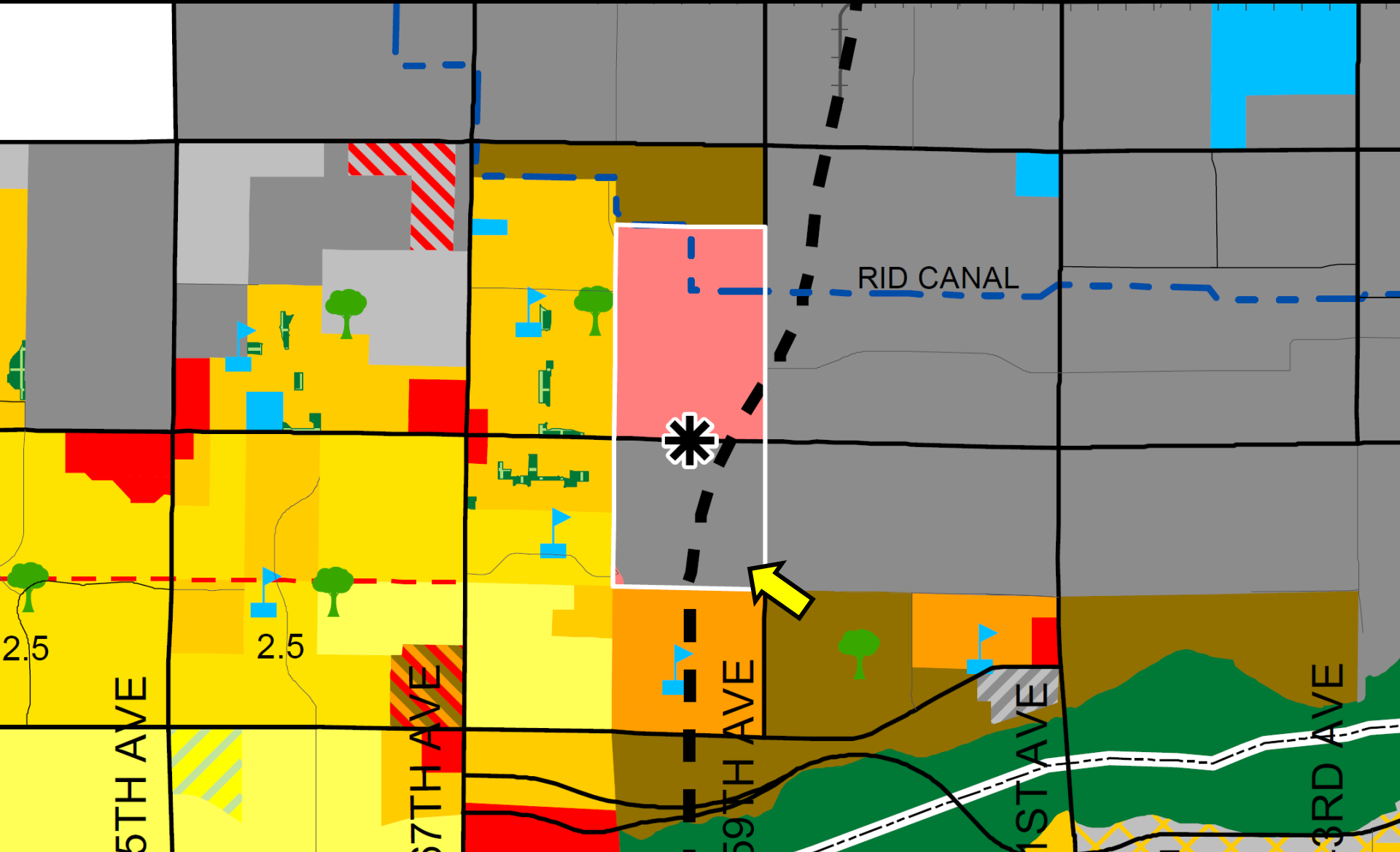


ZONING MAP

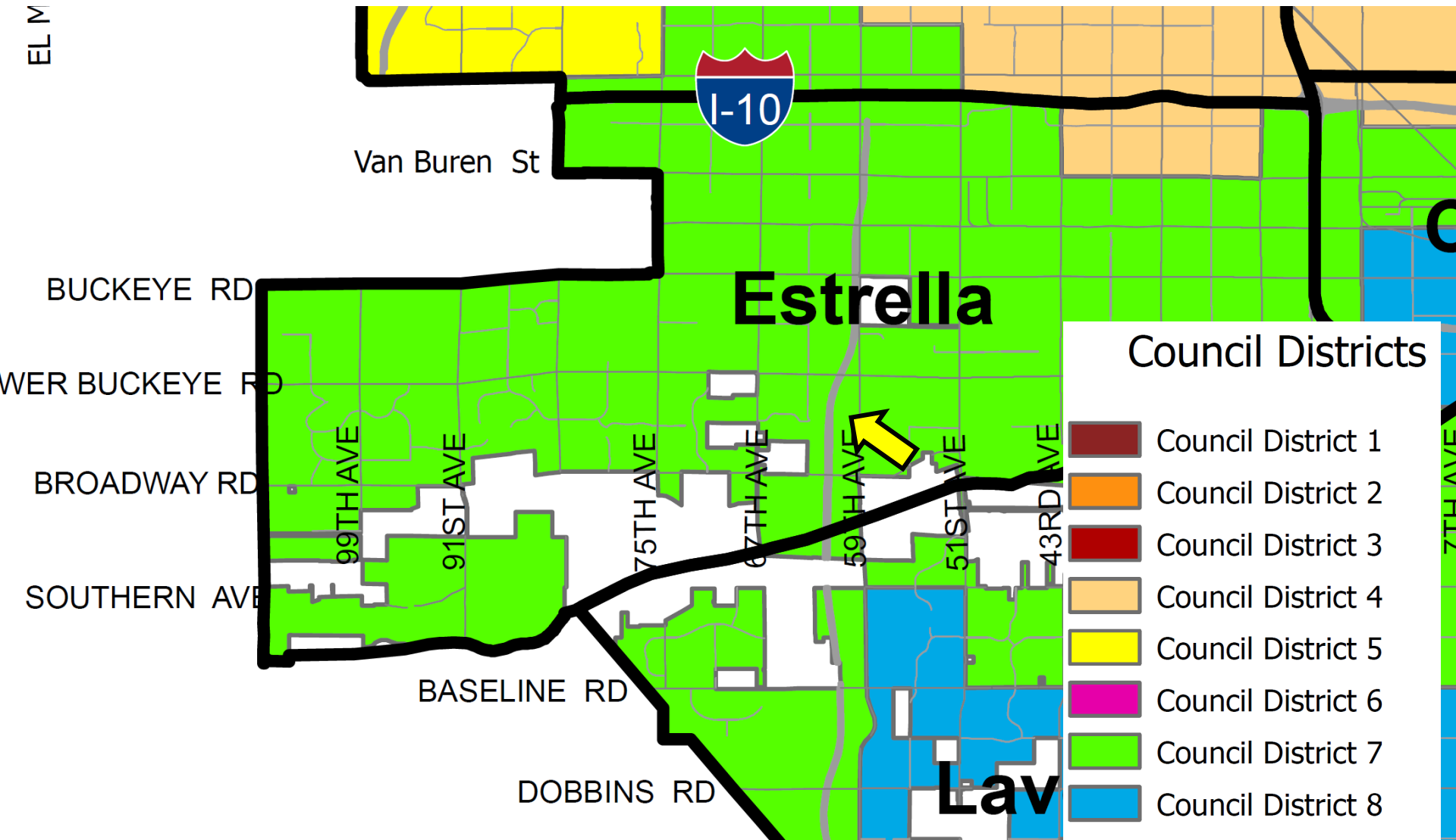
A-1: LIGHT INDUSTRIAL (Z-62-13)



GENERAL PLAN LAND USE MAP
INDUSTRIAL; ESTRELLA VILLAGE PRIMARY CORE



ESTRELLA VILLAGE PLANNING COMMITTEE – COUNCIL DISTRICT #7 - HERNANDEZ



PHOTOGRAPHIC ELEVATIONS



TAB B

ORDINANCE G-7263

AN ORDINANCE AMENDING THE STIPULATIONS APPLICABLE
TO REZONING APPLICATION Z-62-13-7 PREVIOUSLY
APPROVED BY ORDINANCE G-6419.

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF PHOENIX, as
follows:

SECTION 1. The zoning stipulations applicable located approximately
1320 feet south of the southwest corner of 59th Avenue and Lower Buckeye Road in
a portion of Section 19, Township 1 North, Range 2 East, as described more
specifically in Attachment "A", are hereby modified to read as set forth below.

STIPULATIONS:

1. The development shall be in general conformance with the site plan and landscape plans date stamped FEBRUARY 23, 2024 ~~September 20, 2017~~, as approved by the Planning and Development Department.
2. A minimum 75-foot landscape setback shall be provided along the south property lines and shall utilize the Commerce Park/General Commerce Park landscape standards for plant types, quantity and spacing, as approved by the Planning and Development Department.
3. Commerce Park/General Commerce Park Development standards shall be provided along the east property line, WITH THE EAST PROPERTY LINE BEING DEEMED AN INTERIOR LOT LINE ON A STREET, as approved by the Planning and Development Department.

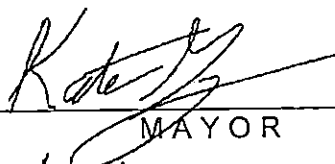
4. A minimum 125-foot building setback shall be provided along the south property line, as approved by the Planning and Development Department.
5. Building height shall be limited to a maximum of 48 feet within 150 feet of the south property line, as approved by the Planning and Development Department.
6. Outdoor storage shall not be permitted within 250 feet of the south and west property lines, except for the trailer storage shall not be located closer than 200 feet, as approved by the Planning and Development Department.
7. Submit amended Traffic Impact Study Analysis updated to proposed development use. Additional improvements may be stipulated based upon study findings.
8. Right-of-way totaling 45 ~~55~~ feet AND A 10-FOOT-WIDE SIDEWALK EASEMENT WITH AN 8-FOOT-WIDE SIDEWALK shall be dedicated AND CONSTRUCTED for the west half of 59th Avenue. Provide curb, gutter, paving, sidewalk, curb ramps, streetlights, landscaping, and incidentals for the length of the project.
9. THE DEVELOPER SHALL CONSTRUCT A BUS STOP PAD THAT CONFORMS WITH STANDARD DETAIL P1260 ON THE NORTHEAST CORNER OF THE SITE ON SOUTHBOUND 59TH AVENUE.
10. The developer shall update all existing off-site street improvements
~~9.~~ (sidewalks, curb ramps and driveways) to current ADA guidelines.
11. Complete a Red Border Letter to notify ADOT of development adjacent to its freeway corridor and submit it to the Street Transportation Department with a copy to the Traffic Engineer and Civil Plans Reviewer.
~~40.~~
12. Provide underground street light circuits, poles and fixtures on all public streets in locations approved by the Street Transportation Department.
~~44.~~ Submit one copy of the approved site plan with three copies of the streetlight plans to the 2nd floor of City Hall to be routed to Street Lighting Section reviewer.

13. The developer shall construct all streets within and adjacent to the
- ~~12.~~ development with paving, curb, gutter, setback sidewalk, curb ramps, streetlights, landscape and other incidentals as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.
14. In the event archaeological materials are encountered during construction,
- ~~13.~~ the developer shall immediately cease all ground disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.

SECTION 2. Due to the site's specific physical conditions and the use district granted pursuant to Ordinance G-6419 this portion of the rezoning is now subject to the stipulations approved pursuant to Ordinance G-6419 and as modified in Section 1 of this Ordinance. Any violation of the stipulation is a violation of the City of Phoenix Zoning Ordinance. Building permits shall not be issued for the subject site until all the stipulations have been met.

SECTION 3. If any section, subsection, sentence, clause, phrase or portion of this ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions hereof.

PASSED by the Council of the City of Phoenix this 29th day of May 2024.



MAYOR
05/30/2024

Date

ATTEST:



Denise Archibald, City Clerk



APPROVED AS TO FORM:
Julie M. Kriegh, City Attorney

By: DBenton

David Benton, Chief Counsel

P ml

REVIEWED BY:


Jeffrey Barton, City Manager

PML:ac:(LF24-0964):5-29-24:2437972_1.docx

A - Legal Description (1 Page)
B - Ordinance Location Map (1 Page)

EXHIBIT A

LEGAL DESCRIPTION FOR PHO-2-24--Z-62-13-7

THE LAND REFERED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA AND IS DESCRIBED AS FOLLOWS:

DESCRIPTION OF A 8.897 ACRE PARCEL OF LAND LOCATED IN THE NORTHEAST 1/4 OF SECTION 19, TOWNSHIP 1 NORTH, RANGE 2 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDAN, MARICOPA COUNTY, ARIZONA DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT, SAID POINT BEING THE BRASS CAP IN HAND HOLE AT THE EAST QUARTER CORNER OF SAID SECTION 19, FROM WHICH THE NORTHEAST SECTION CORNER BEARS NORTH 00 DEGREES 09 MINUTES 18 SECONDS EAST A DISTANCE OF 2640.74 FEET;

THENCE LEAVING SAID CORNER NORTH 88 DEGREES 35 MINUTES 33 SECONDS WEST 33.01 FEET ALONG THE EAST-WEST MID-SECTION LINE TO A FOUND REBAR WITH CAP AT THE WESTERLY RIGHT OF WAY 59m AVE BEING THE TRUE POINT OF BEGINNING FOR THE PARCEL DESCRIBED HEREIN;

THENCE LEAVING SAID RIGHT OF WAY LINE CONTINUING ALONG EASTWEST MID-SECTION LINE NORTH 88 DEGREES 35 MINUTES 33 SECONDS WEST, 329.08 FEET;

THENCE NORTH 00 DEGREES 09 MINUTES 18 SECONDS EAST, 1177.83 FEET;

THENCE SOUTH 88 DEGREES 39 MINUTES 02 SECONDS EAST, 329.07 FEET TO A POINT ON THE SAID WESTERLY RIGHT OF WAY LINE;

THENCE CONTINUING ALONG SAID RIGHT OF WAY LINE, SOUTH 00 DEGREES 09 MINUTES 18 SECONDS WEST, 1178.16 FEET TO THE POINT OF BEGINNING.

ORDINANCE LOCATION MAP

EXHIBIT B

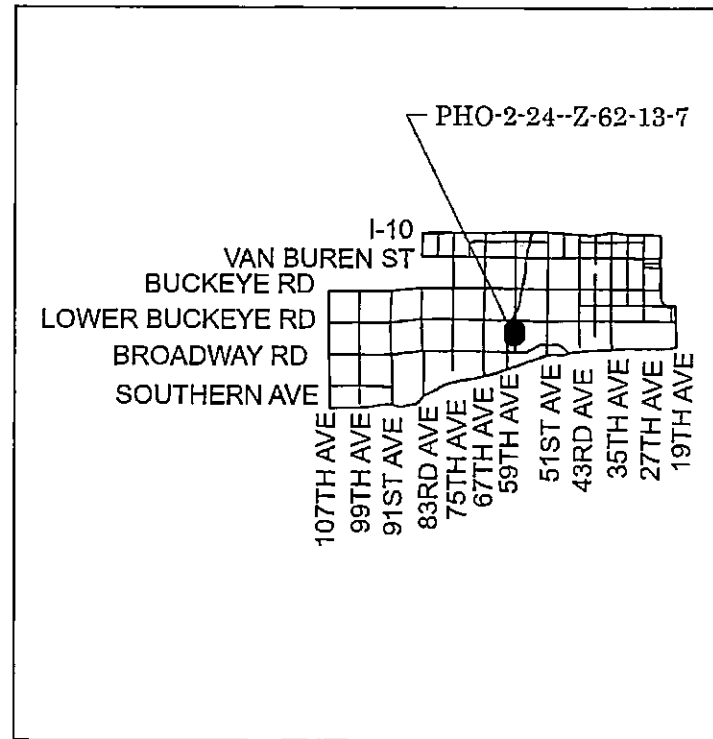
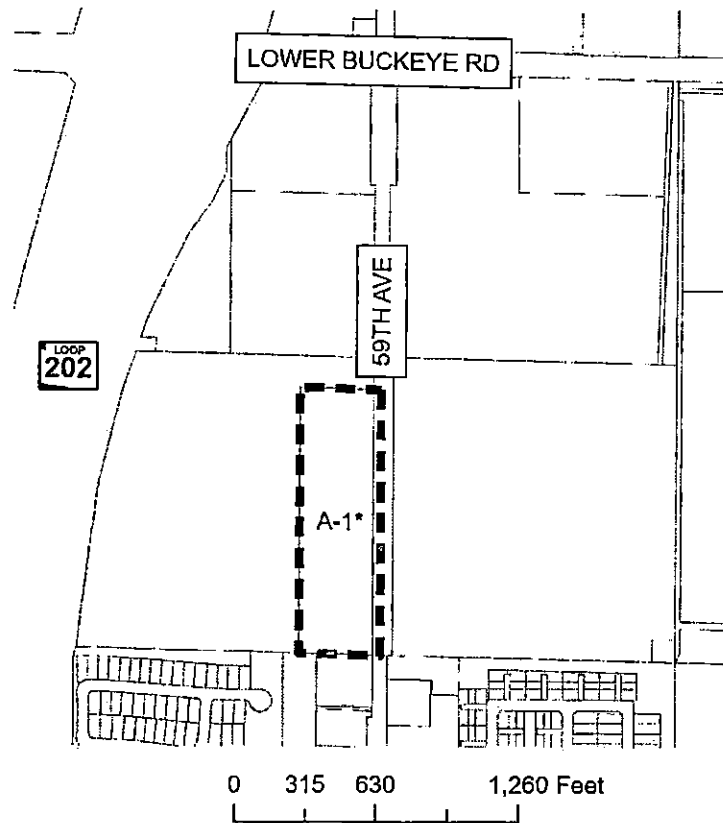
ZONING SUBJECT TO STIPULATIONS: *

SUBJECT AREA: ■ ■ ■ ■ ■

Zoning Case Number: PHO-2-24--Z-62-13-7

Zoning Overlay: N/A

Planning Village: Estrella



NOT TO SCALE



Drawn Date: 4/18/2024

67263

TAB C

CASE NUMBER:
PHO-2-24--Z-62-13-7

PROJECT NAME:
MAVERICK BESS

PROJECT ADDRESS:
3500 S 59TH AVE
PHOENIX, AZ 85043

SITE OWNER
PHOENIX JONES PARTNERS, LLC
JEFF DALTON
VICE PRESIDENT
HARRISON PROPERTIES
5112 N. 40TH ST SUITE 105
PHOENIX, AZ 85018
(480)234-0777 (CELL)
(602)840-4295 (OFFICE)
jdalton@harrisonprops.com

SITE ACREAGE: 8.574 ACRES
GROSS = 373,488 SQ FT
NET = 303,763 SQ FT

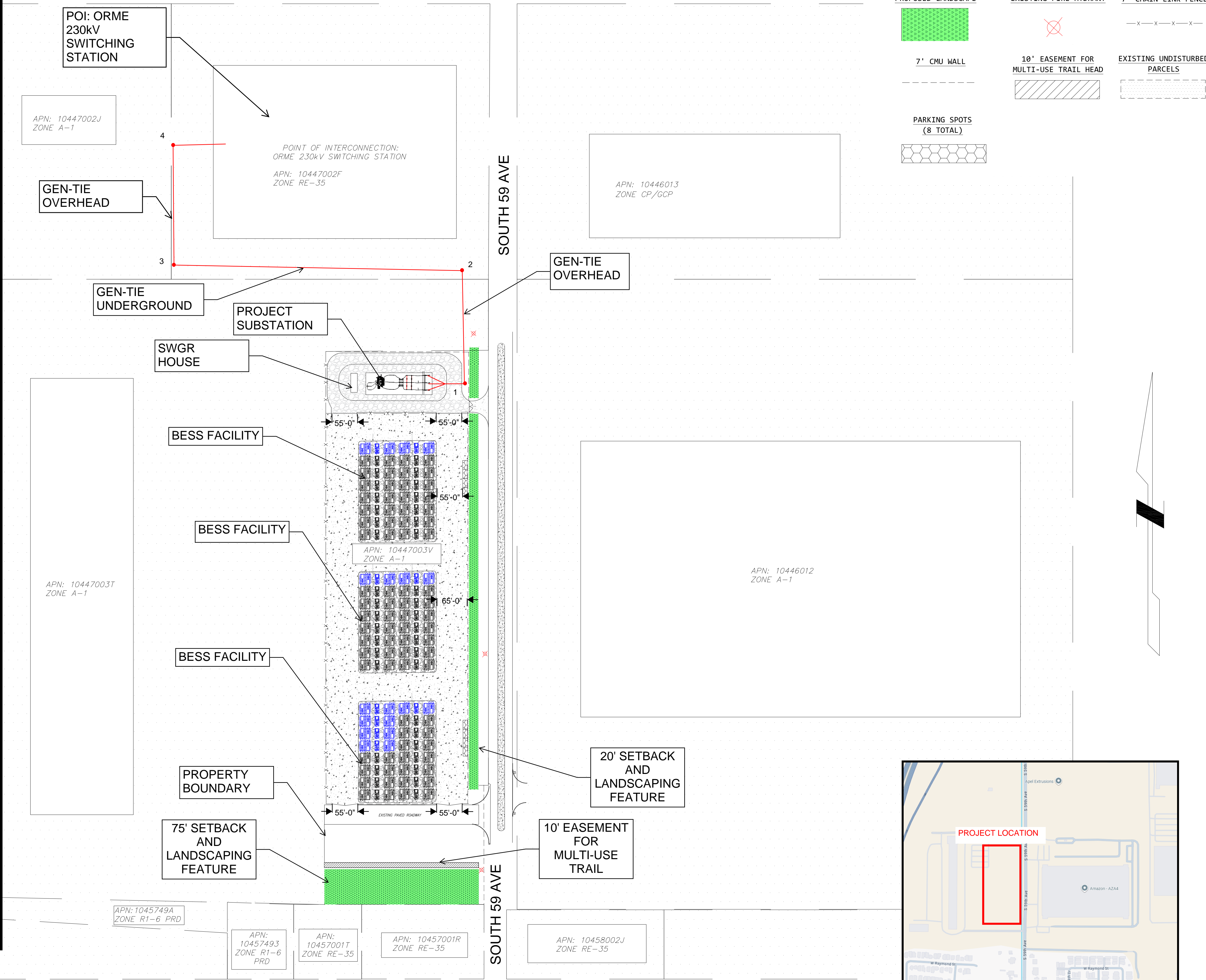
PROJECT DESCRIPTION
THIS SITE LAYOUT IS INDICATIVE OF
THE NEEDS FOR BATTERY ENERGY
STORAGE, SUBSTATION, AND
TRANSMISSION NEEDS FOR A
200MW/800MWhr BESS YARD BEING
INSTALLED IN APN 10447003V
UNDER REZONING CASE
PHO-2-24--Z-62-13

MINIMUM BUILDING SETBACKS
-NORTH 0'
-SOUTH 75'
-EAST 20'
-WEST 0'

*INDICATES A STIPULATED
STANDARD FROM REZONING CASE
PHO-2-24--Z-62-13

DETENTION NEEDS
The site currently provides only
45,000 sf (22,500 ft³) of gravel storage
due to the placement of equipment
slabs. Other gravel areas are
compacted and do not contribute to
storage. With 12 inches of gravel and
40% voids, the design can manage the
peak flow from the 2-year, 10-year, and
100 year storm. To comply with the City
of Phoenix storm-water management
requirements, the site must be able to
handle the 2-, 10-, and 100-year storm
events.

PARKING CALCULATIONS
PARKING IS NOT REQUIRED GIVEN
SITE IS PLANNED TO BE AN
UNMANNED SITE BUT FOR
MAINTENANCE AND SERVICE
OPERATIONS HAVE INCLUDED
EIGHT (8) 9' x 18' PARKING SPACES
ALONG THE EASTERN BORDER OF
SITE. THIS STILL ALLOWS FOR 50'
CLEARANCE FOR CRANE
OPERATION AND EGRESS NEEDS.
TOTAL PARKING SPACE ON SITE IS
1,296 SQ FT.



LEGEND:

AUGMENTATION

PROPOSED LANDSCAPE

7' CMU WALL

PARKING SPOTS
(8 TOTAL)

PAVEMENT/CONCRETE

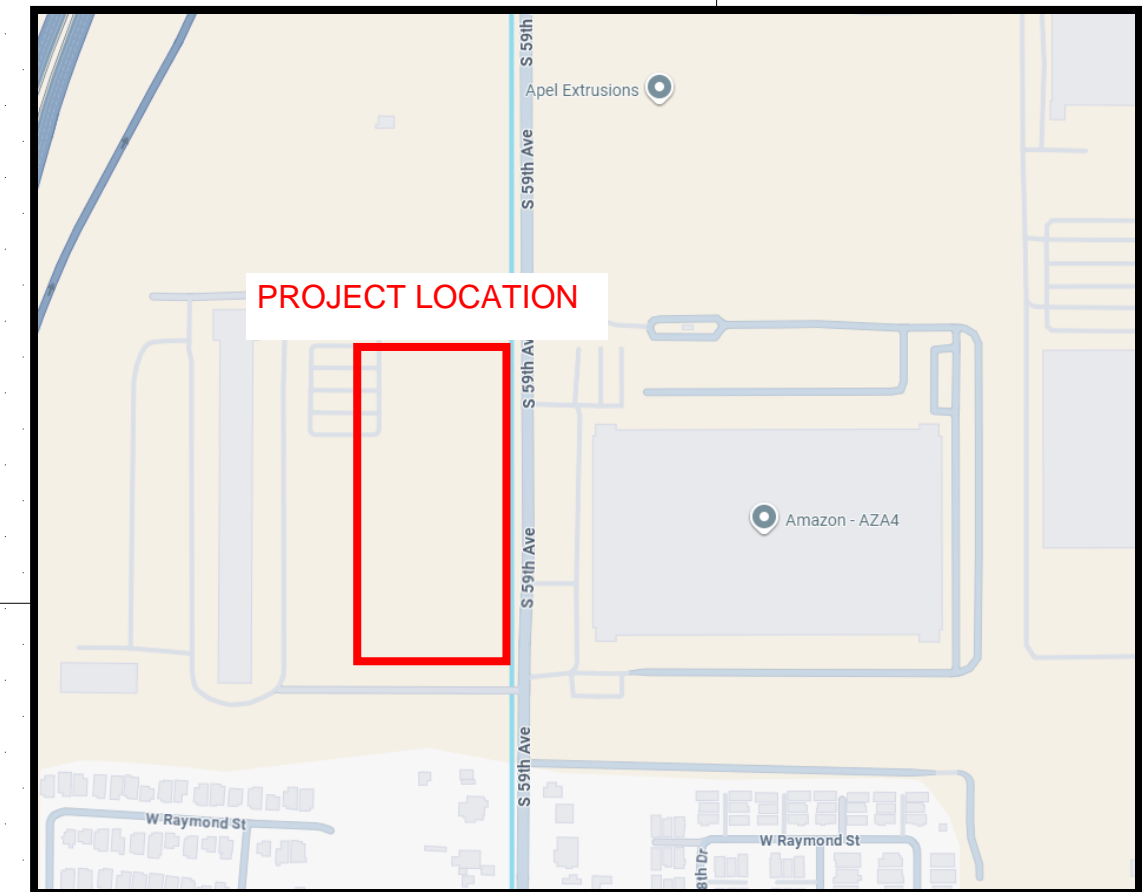
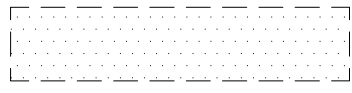
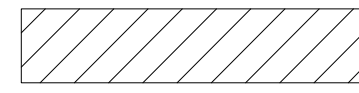
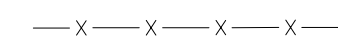
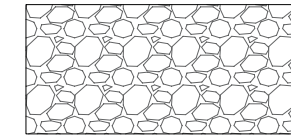
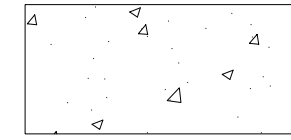
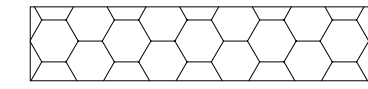
EXISTING FIRE HYDRANT

10' EASEMENT FOR
MULTI-USE TRAIL HEAD

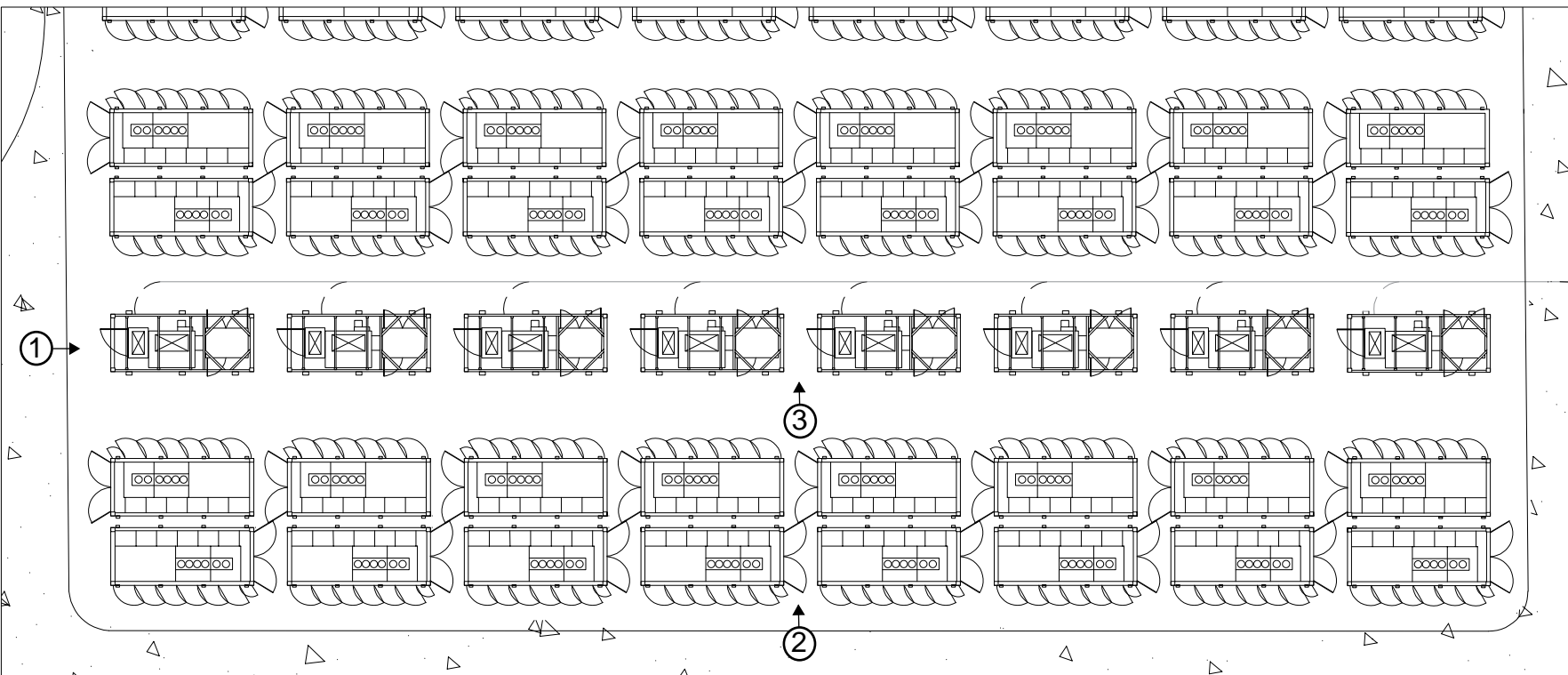
GRAVEL

7' CHAIN LINK FENCE

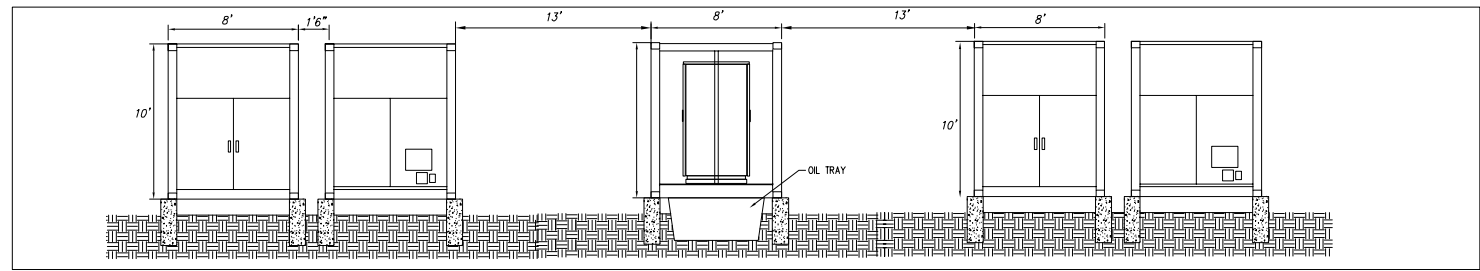
EXISTING UNDISTURBED
PARCELS



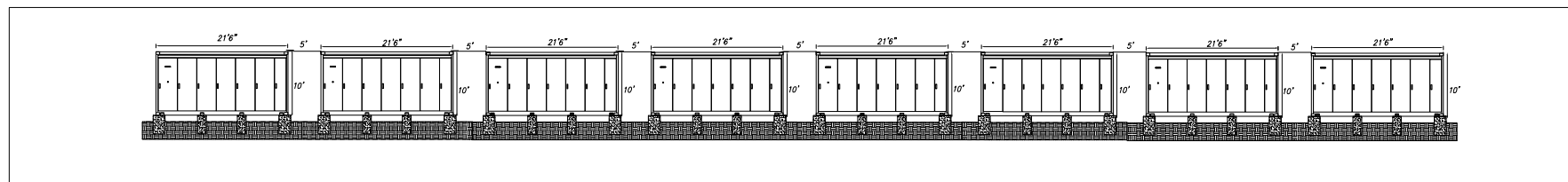
PLAN VIEW OF TYPICAL BLOCK #1



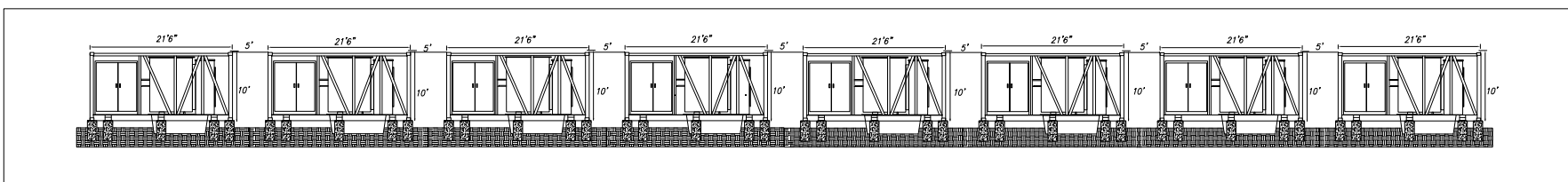
- GENERAL NOTES:
1. SEE DETAIL "L" BELOW FOR ELEVATION DETAIL AND FIELD POINT OF VIEW.
 2. SEE DETAIL "M" BELOW FOR ELEVATION DETAIL AND FIELD POINT OF VIEW.
 3. SEE DETAIL "N" BELOW FOR ELEVATION DETAIL AND FIELD POINT OF VIEW.



DETAIL L
ELEVATION VIEW - MVS5140 & PT2.0



DETAIL M
ELEVATION VIEW - PT2.0



DETAIL N
ELEVATION VIEW - MV5140

PRELIMINARY
Not For Bid or Construction
29-Oct-25

PHOENIX, AZ
MAVERICK
ELEVATION DETAIL

NO.	DATE	DRAWN	DESIGNED	CHECKED	REVISIONS	PROJ. NO.
0	8/22/2025	NGM	AB	NGM	30% COORDINATION SET	2514152.00
1	9/17/2025	NGM	AB	NGM	30% COORDINATION SET	2514152.00
2	9/17/2025	NGM	AB	NGM	30% COORDINATION SET	2514152.00

APPROVED BY:

SCALE:



DRAWING NO.

MAVERICK SITE

Legal Description

A parcel of land located in the Northeast quarter of Section 19, Township 1 North, Range 2 East, of the Gila and Salt River Base and Meridian, Maricopa County, Arizona described as follows:

COMMENCING at a point, said point being the brass cap in hand hole at the East quarter corner of said Section 19, from which the Northeast section corner bears North 00 degrees 09 minutes 18 seconds East a distance of 2640.74 feet;

Thence leaving said corner North 88 degrees 35 minutes 33 seconds West 33.01 feet along the East-West mid-section line to a found rebar with cap at the Westerly right of way 59th Ave being the TRUE POINT OF BEGINNING for the parcel described herein;

Thence leaving said right of way line continuing along East-West mid-section line North 88 degrees 35 minutes 33 seconds West, 329.08 feet;

Thence North 00 degrees 09 minutes 18 seconds East, 1177.83 feet, ·

Thence South 88 degrees 39 minutes 02 seconds East, 329.07 feet to a point on the said Westerly right of way line,

Thence continuing along said right of way line, South 00 degrees 09 minutes 18 seconds West, 1178.76 feet to the POINT OF BEGINNING;

EXCEPT that portion conveyed to the City of Phoenix, a municipal corporation of the State of Arizona in Warranty Deed recorded March 21, 2024, in Recording No. 20240146933, being more particularly described as follows:

A portion of the Northeast quarter of Section 19, Township 1 North, Range 2 East, of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, more particularly described as follows:

COMMENCING at a point, said point being a brass cap in handhole found at the East quarter corner of said Section 19, from which a brass cap in handhole found at the Northeast section corner of Section 19 which bears North 00 degrees 09 minutes 18 seconds East, a distance of 2640.74 feet {basis of bearing};

Thence leaving said quarter corner, North 88 degrees 40 minutes 22 seconds West, a distance of 45.01 feet to the POINT OF BEGINNING;

Thence North 00 degrees 09 minutes 18 seconds East, a distance of 1178.09 feet,

Thence South 89 degrees 50 minutes 42 seconds East, a distance of 45.00 feet;

Thence South 00 degrees 09 minutes 18 seconds West, a distance of 1178.09 feet;

*Thence North 89 degrees 50 minutes 42 seconds West, a distance of 45.00 feet to the
POINT OF BEGINNING.*



City of Phoenix
PLANNING & DEVELOPMENT DEPARTMENT

June 27, 2024

Michael S. Buschbacher, II AICP
Earl & Curley P.C.
3101 North Central Avenue, Suite 1000
Phoenix, AZ 85012

RE: PHO-2-24—Z-62-13-7 – Approximately 1320 feet south of the southwest corner
of 59th Avenue and Lower Buckeye Road

Dear Applicant:

Please be advised that the Phoenix City Council, in accordance with the provisions of
Section 601 of the Zoning Ordinance, as amended, has on May 29, 2024, approved
Zoning Ordinance # G-7263.

Development and use of the site is subject to compliance with all applicable codes and
ordinances.

Sincerely,

Byron Easton
Planner III

Attachment: Signed Ordinance

c: Taylor Earl, Earl & Curley P.C.
Phoenix Jones Partner LLC
Teresa Garcia, PDD—Planning (Electronically)
Tricia Gomes, PDD—Development (Electronically)
Greg Gonzales, NSD (Electronically)
Sina Mathes, City Council (Electronically)
Tony Motola, Mayor's Office (Electronically)

Book
Case File

ORDINANCE G-7263

AN ORDINANCE AMENDING THE STIPULATIONS APPLICABLE
TO REZONING APPLICATION Z-62-13-7 PREVIOUSLY
APPROVED BY ORDINANCE G-6419.

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF PHOENIX, as
follows:

SECTION 1. The zoning stipulations applicable located approximately
1320 feet south of the southwest corner of 59th Avenue and Lower Buckeye Road in
a portion of Section 19, Township 1 North, Range 2 East, as described more
specifically in Attachment "A", are hereby modified to read as set forth below.

STIPULATIONS:

Mod

1. The development shall be in general conformance with the site plan and landscape plans date stamped FEBRUARY 23, 2024 ~~September 20, 2017~~, as approved by the Planning and Development Department.
2. A minimum 75-foot landscape setback shall be provided along the south property lines and shall utilize the Commerce Park/General Commerce Park landscape standards for plant types, quantity and spacing, as approved by the Planning and Development Department.
3. Commerce Park/General Commerce Park Development standards shall be provided along the east property line, WITH THE EAST PROPERTY LINE BEING DEEMED AN INTERIOR LOT LINE ON A STREET, as approved by the Planning and Development Department.

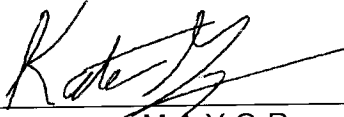
4. A minimum 125-foot building setback shall be provided along the south property line, as approved by the Planning and Development Department.
5. Building height shall be limited to a maximum of 48 feet within 150 feet of the south property line, as approved by the Planning and Development Department.
6. Outdoor storage shall not be permitted within 250 feet of the south and west property lines, except for the trailer storage shall not be located closer than 200 feet, as approved by the Planning and Development Department.
7. Submit amended Traffic Impact Study Analysis updated to proposed development use. Additional improvements may be stipulated based upon study findings.
8. Right-of-way totaling 45 55 feet AND A 10-FOOT-WIDE SIDEWALK EASEMENT WITH AN 8-FOOT-WIDE SIDEWALK shall be dedicated AND CONSTRUCTED for the west half of 59th Avenue. Provide curb, gutter, paving, sidewalk, curb ramps, streetlights, landscaping, and incidentals for the length of the project.
9. THE DEVELOPER SHALL CONSTRUCT A BUS STOP PAD THAT CONFORMS WITH STANDARD DETAIL P1260 ON THE NORTHEAST CORNER OF THE SITE ON SOUTHBOUND 59TH AVENUE.
10. The developer shall update all existing off-site street improvements (sidewalks, curb ramps and driveways) to current ADA guidelines.
- 9.
11. Complete a Red Border Letter to notify ADOT of development adjacent to its freeway corridor and submit it to the Street Transportation Department with a copy to the Traffic Engineer and Civil Plans Reviewer.
- 40.
12. Provide underground street light circuits, poles and fixtures on all public streets in locations approved by the Street Transportation Department. Submit one copy of the approved site plan with three copies of the streetlight plans to the 2nd floor of City Hall to be routed to Street Lighting Section reviewer.
- 44.

13. The developer shall construct all streets within and adjacent to the
42. development with paving, curb, gutter, setback sidewalk, curb ramps,
streetlights, landscape and other incidentals as per plans approved by the
Planning and Development Department. All improvements shall comply with
all ADA accessibility standards.
14. In the event archaeological materials are encountered during construction,
13. the developer shall immediately cease all ground disturbing activities within a
33-foot radius of the discovery, notify the City Archaeologist, and allow time
for the Archaeology Office to properly assess the materials.

SECTION 2. Due to the site's specific physical conditions and the use
district granted pursuant to Ordinance G-6419 this portion of the rezoning is now
subject to the stipulations approved pursuant to Ordinance G-6419 and as modified in
Section 1 of this Ordinance. Any violation of the stipulation is a violation of the City of
Phoenix Zoning Ordinance. Building permits shall not be issued for the subject site
until all the stipulations have been met.

SECTION 3. If any section, subsection, sentence, clause, phrase or
portion of this ordinance is for any reason held to be invalid or unconstitutional by the
decision of any court of competent jurisdiction, such decision shall not affect the
validity of the remaining portions hereof.

PASSED by the Council of the City of Phoenix this 29th day of May 2024.



MAYOR
05/30/2024

Date

ATTEST:



Denise Archibald, City Clerk



APPROVED AS TO FORM:
Julie M. Kriegh, City Attorney

By: DBenton

David Benton, Chief Counsel

P ml

REVIEWED BY:


Jeffrey Barton, City Manager

PML:ac:(**LF24-0964**):5-29-24:2437972_1.docx

A - Legal Description (1 Page)
B - Ordinance Location Map (1 Page)

EXHIBIT A

LEGAL DESCRIPTION FOR PHO-2-24--Z-62-13-7

THE LAND REFERED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA AND IS DESCRIBED AS FOLLOWS:

DESCRIPTION OF A 8.897 ACRE PARCEL OF LAND LOCATED IN THE NORTHEAST 1/4 OF SECTION 19, TOWNSHIP 1 NORTH, RANGE 2 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDAN, MARICOPA COUNTY, ARIZONA DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT, SAID POINT BEING THE BRASS CAP IN HAND HOLE AT THE EAST QUARTER CORNER OF SAID SECTION 19, FROM WHICH THE NORTHEAST SECTION CORNER BEARS NORTH 00 DEGREES 09 MINUTES 18 SECONDS EAST A DISTANCE OF 2640.74 FEET;

THENCE LEAVING SAID CORNER NORTH 88 DEGREES 35 MINUTES 33 SECONDS WEST 33.01 FEET ALONG THE EAST-WEST MID-SECTION LINE TO A FOUND REBAR WITH CAP AT THE WESTERLY RIGHT OF WAY 59m AVE BEING THE TRUE POINT OF BEGINNING FOR THE PARCEL DESCRIBED HEREIN;

THENCE LEAVING SAID RIGHT OF WAY LINE CONTINUING ALONG EASTWEST MID-SECTION LINE NORTH 88 DEGREES 35 MINUTES 33 SECONDS WEST, 329.08 FEET;

THENCE NORTH 00 DEGREES 09 MINUTES 18 SECONDS EAST, 1177.83 FEET;

THENCE SOUTH 88 DEGREES 39 MINUTES 02 SECONDS EAST, 329.07 FEET TO A POINT ON THE SAID WESTERLY RIGHT OF WAY LINE;

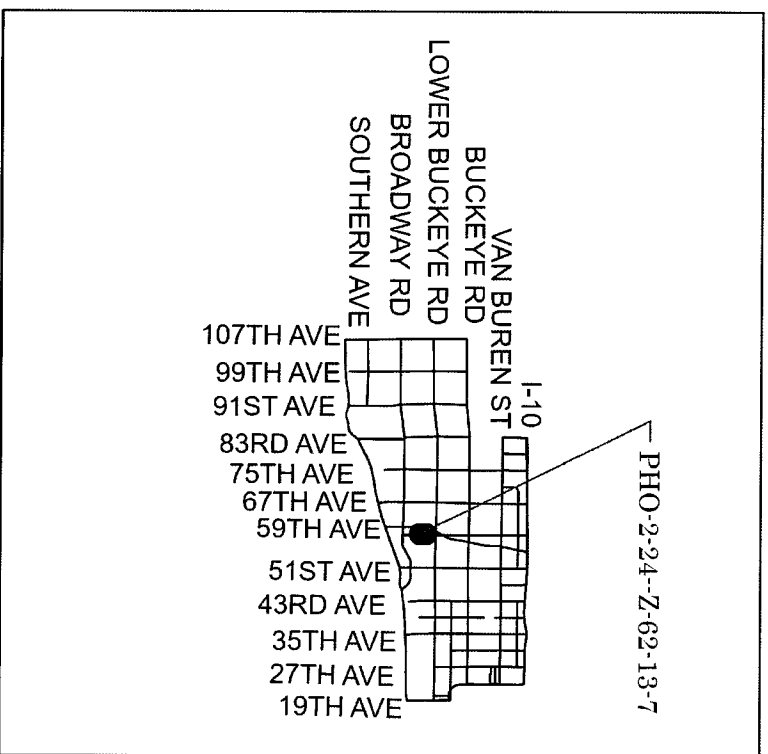
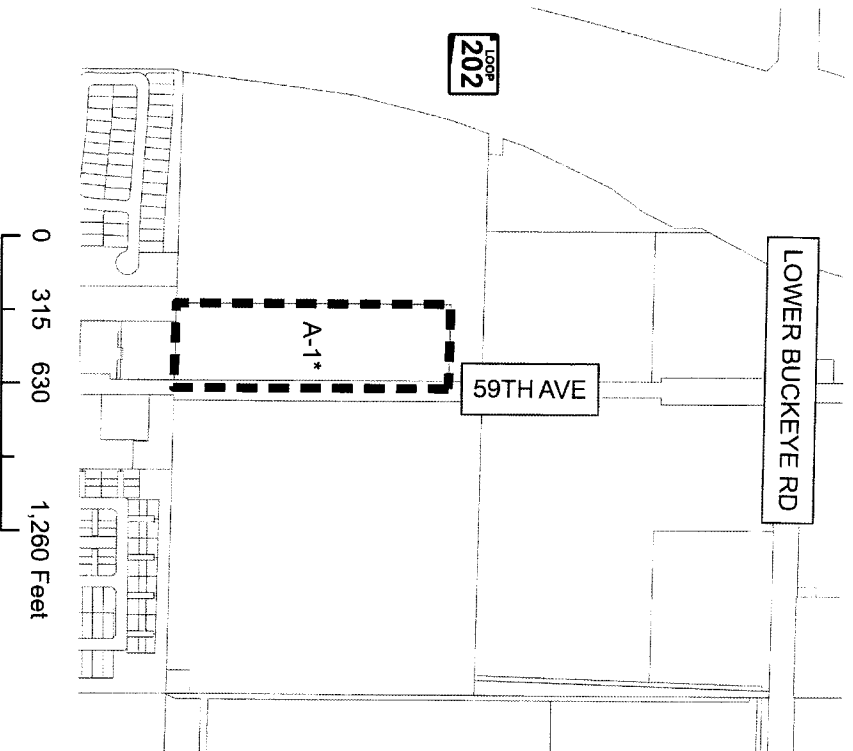
THENCE CONTINUING ALONG SAID RIGHT OF WAY LINE, SOUTH 00 DEGREES 09 MINUTES 18 SECONDS WEST, 1178.16 FEET TO THE POINT OF BEGINNING.

ORDINANCE LOCATION MAP

EXHIBIT B

ZONING SUBJECT TO STIPULATIONS: *
SUBJECT AREA: ■■■■

Zoning Case Number: PHO-2-24-Z-62-13-7
Zoning Overlay: N/A
Planning Village: Estrella

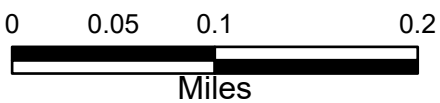
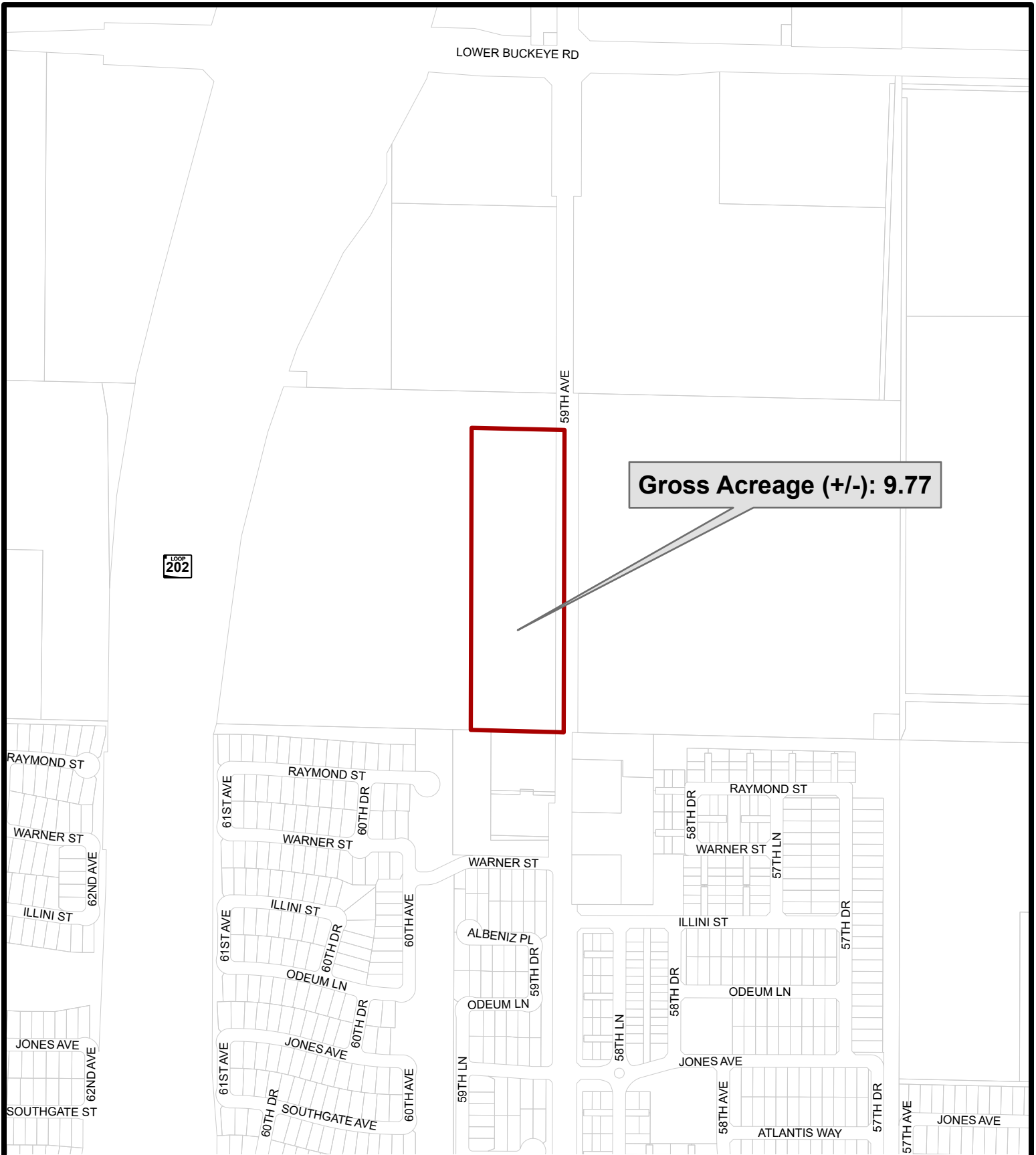


NOT TO SCALE

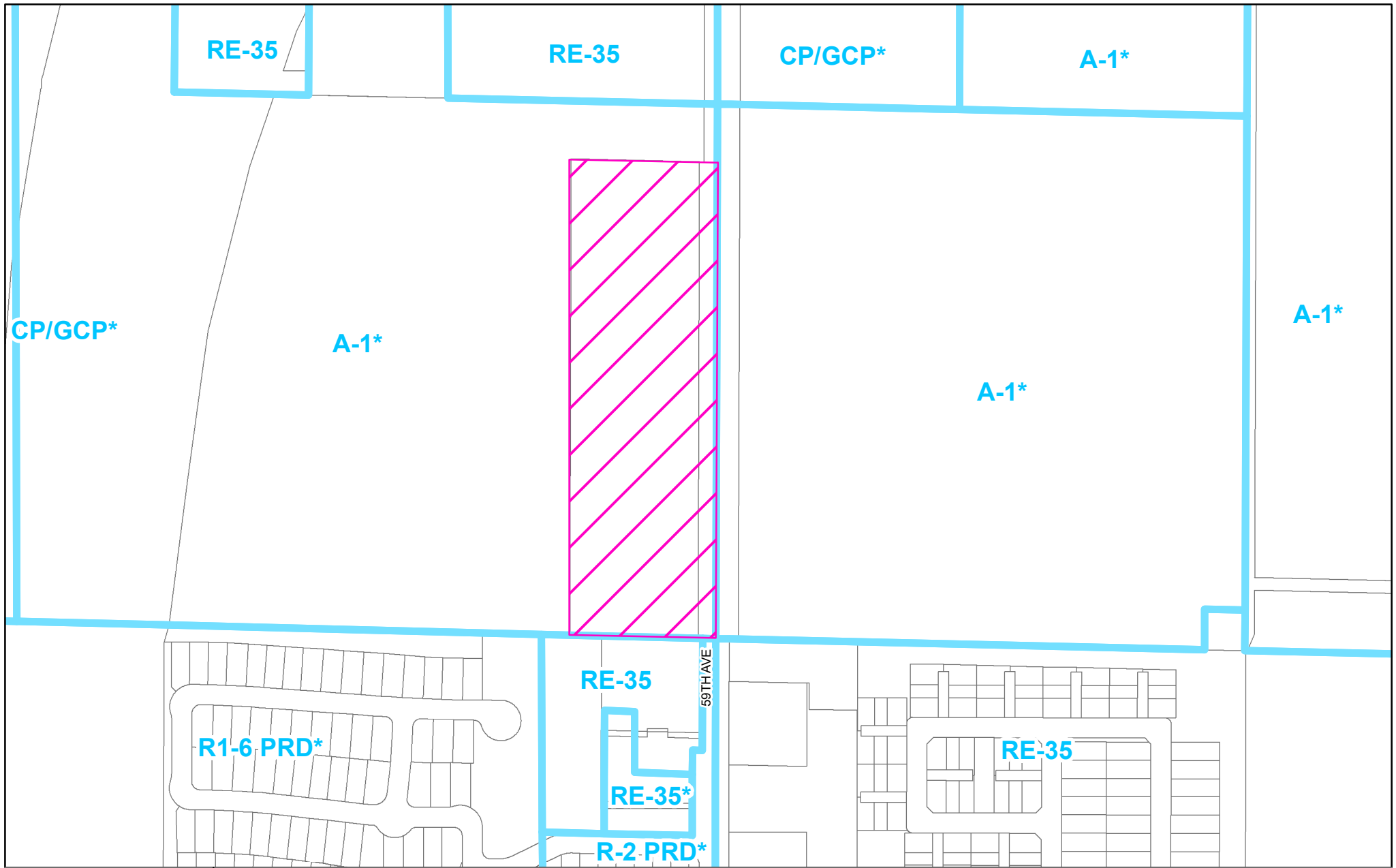


Drawn Date: 4/18/2024

PHO-2-24--Z-62-13-7



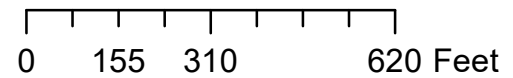
City of Phoenix
PLANNING AND DEVELOPMENT DEPARTMENT



PHO-3-25--Z-62-13-7

Property Location: Approximately 1320 feet south of the southwest corner of 59th Avenue and Lower Buckeye Road

Planning & Development Department





mapservices@phoenix.gov

PHO-3-25--Z-62-13-7

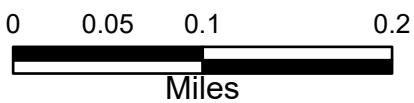
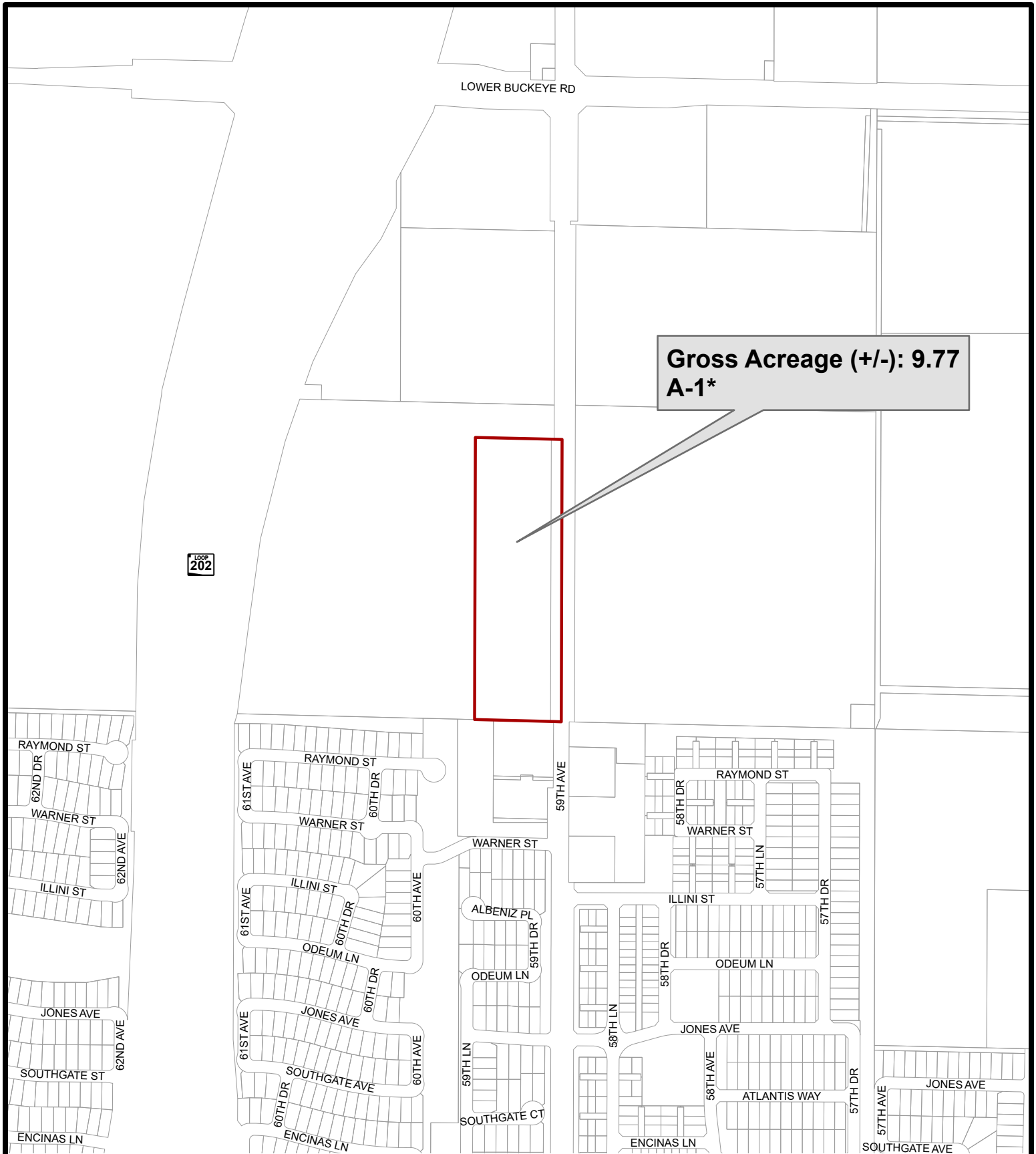
Property Location: Approximately 1320 feet south of the southwest corner of 59th Avenue and Lower Buckeye Road

Planning & Development Department

0 155 310 620 Feet

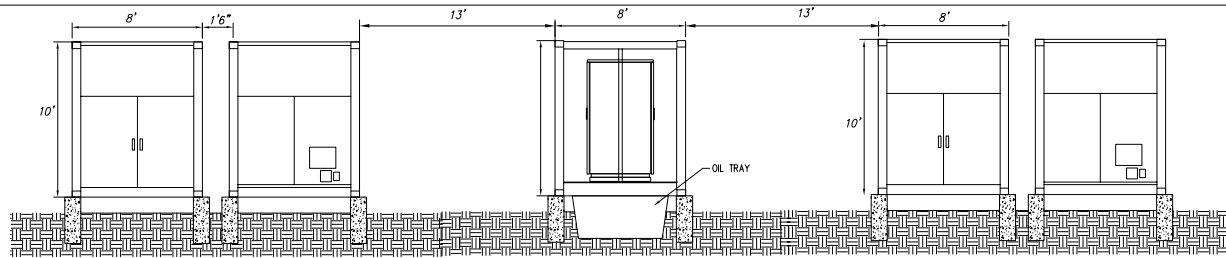


PHO-3-25--Z-62-13-7



City of Phoenix
PLANNING AND DEVELOPMENT DEPARTMENT

1. SEE DETAIL "L" BELOW FOR ELEVATION DETAIL AND FIELD POINT OF VIEW.
2. SEE DETAIL "M" BELOW FOR ELEVATION DETAIL AND FIELD POINT OF VIEW
3. SEE DETAIL "N" BELOW FOR ELEVATION DETAIL AND FIELD POINT OF VIEW



Architectural elevation drawing of a building facade. The drawing shows a series of windows and structural elements. Dimensions are indicated: 21'6" for the window width, 5' for the panel width, and 10' for the height. The facade consists of multiple repeating units of windows and structural supports.

PHO-3-25--Z-62-13-7

Proposed Conceptual Elevations

Hearing Date:

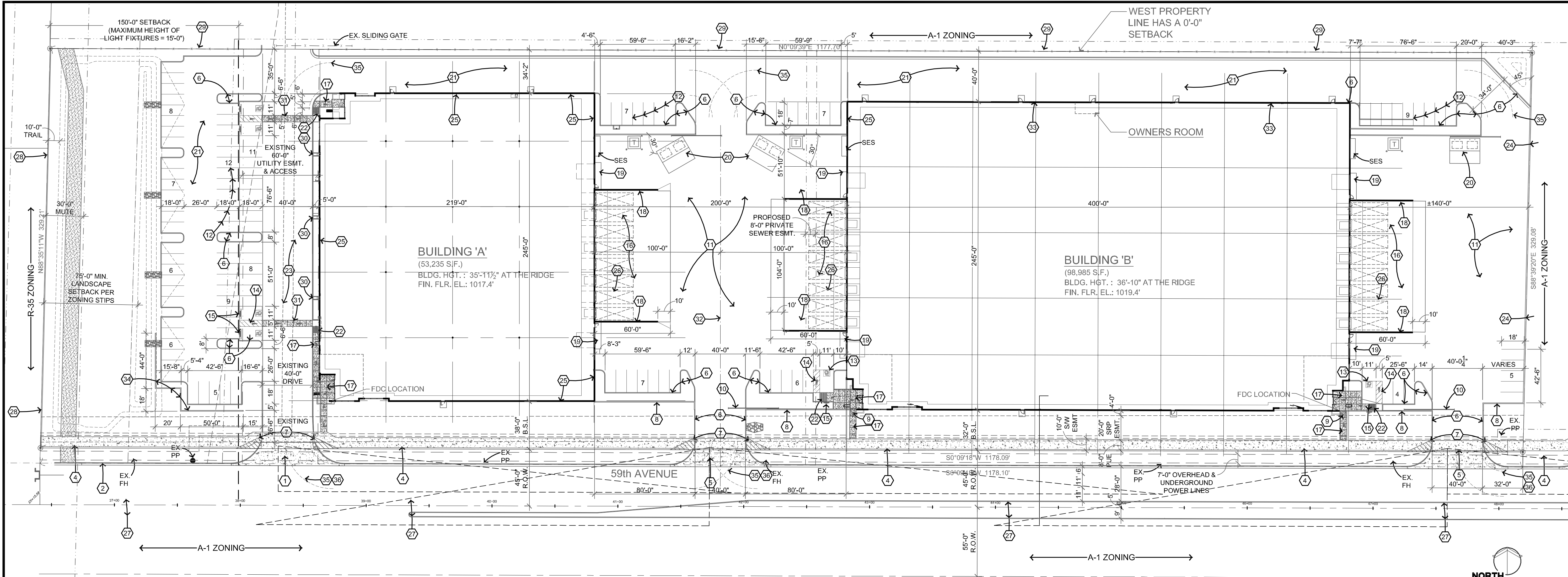
December 17, 2025
MAVERICK SITE

PHOENIX, AZ
MAVERICK
ELEVATION DETAIL

[illegible]

SCALE:





1 ARCHITECTURAL SITE PLAN

SCALE: 1" = 40'-0"

GENERAL SITE NOTES

- Development and use of this site shall conform to all applicable codes and ordinances.
 - Structures and landscaping within a triangle measured back 10' from the property line and 20' along the property line on each side of driveway entrances will be maintained at a maximum height of 3'-0".
 - Owners of property adjacent to the public right of way will have the responsibility for maintaining all landscaping within the right of way in accordance with approved plans.
 - All new or relocated utilities will be placed underground.
 - Any on-site lighting will be placed so as to direct light away from adjacent residential districts and will not exceed one foot candle at the property line. No noise, odor or vibration will be emitted so that it exceeds the general level of noise, odor or vibration emitted by uses outside of site.
 - All rooftop equipment and satellite dishes shall be screened to the height of the tallest equipment.
 - Plans shall reflect all existing improvements at proposed site. Obstructions to proposed improvements in the right of way shall be removed or relocated in kind before beginning construction.
 - All on-site water lines, including those required for fire protection shall be private plumbing lines subject to the Phoenix Plumbing Code.
 - All new sanitary sewer lines within the site shall be private plumbing lines subject to the Phoenix Plumbing Code or the Arizona Department of Environmental Quality (ADEQ) Aquifer Protection Program (APP) General Permit 4.01 in accordance with Arizona Administrative Code Title 18, Chapter 9, Section E301 (AAC R18-9-E301) whichever is applicable.
 - After final approval the project will be inspected for zoning compliance during construction and prior to occupancy. The applicant is to notify PDD prior to occupancy to arrange for inspections. Call 602-262-6981 and request a site inspection.
 - All service areas shall be screened to conceal trash containers, loading docks, transformers, backflow preventers and other mechanical or electrical equipment from eye level adjacent to all public streets.
 - All signage requires separate approvals and permits.
 - Explosive or hazardous processes (if applicable): Certification shall be provided by the Phoenix Fire Department Prevention Bureau that all manufacturing, storage and waste processes on the site shall meet safety and environmental standards as administered by the Bureau.
14. The developer shall update all existing off-street improvements (sidewalks, curb ramps and driveways) to current ADA guidelines.
15. Replace all existing broken or out-of-grade curb and sidewalks on and in the ROW adjacent to the site. If new or existing concrete is damaged during construction process, it must also be replaced prior to final approval of the site.
16. This project is located in the City of Phoenix Water Services Area and has been designated as having an assured water supply.
17. Landscaping shall be maintained by a permanent and automatic irrigation system to minimize maintenance and water consumption.
18. All existing broken, or out of grade curb and sidewalk on the project site will need to be replaced, as well as any new curb or sidewalk damaged during construction.
19. Update all existing off-site street improvements (sidewalks, curb ramps and driveways) to current ADA guidelines
20. Gates are to remain open, or are to open automatically, between the hours of ____ and ____.
- I consent to the reproduction of this site plan for the purpose of future amendments provided that if modifications are made, the architect that makes such changes assumes full responsibility and liability for the plan.
- Signature of Copyright Owner _____ Date 01/09/22
- ROBERT B. WINTON
Print Name of Copyright Owner

VARIANCE REQUEST (ZA-334-22)

Variance to reduce the number of required parking spaces to 112.

Minimum 164 parking spaces required

APPROVED: 09/08/22

STIPS: 1 year for permits

LEGAL DESCRIPTION

THAT PORTION OF THE NORTHEAST QUARTER, OF THE SOUTHWEST QUARTER OF SECTION1, TOWNSHIP 1 NORTH, RANGE 1 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY AS FOLLOWS:
COMMENCING AT THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER OF SECTION 1;
THENCE SOUTH 00°48'45" WEST 569.07 FEET ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER;
THENCE NORTH 89°11'15" WEST 33.00 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF 71ST AVENUE, SAID POINT BEING THE POINT OF BEGINNING;
THENCE SOUTH 00°48'45" WEST 718.43 FEET, ALONG SAID WEST RIGHT-OF-WAY LINE;
THENCE NORTH 89°50'11" WEST 395.83 FEET;
THENCE 00°03'00" EAST 715.40 FEET;
THENCE NORTH 89°44'29" EAST 405.40 FEET TO THE POINT OF BEGINNING

SITE PLAN KEYNOTES

- Existing curb cut
- New concrete vertical curb and gutter
- Existing concrete sidewalk
- 4" concrete sidewalk with 5'-0" oc maximum score joints, provide salt finish
- New concrete curb cut per civil drawings
- 6" concrete curb per civil drawing
- 10' x 20' visibility triangles
- 6'-0" high, 8" cmu screen wall per details, Sheet A0.2
- 3'-0" x 6'-0" wrought iron gate with lock
- Concrete pavement per civil drawings
- 4" wide white painted parking stripes
- Accessible symbol painted on pavement per detail, A0.2
- 4" wide yellow painted diagonal striping at 24" oc and at the perimeter
- Accessible signage per detail, Sheet A0.2
- Concrete truckwell per civil and structural drawings
- 4" concrete sidewalk with score joints at 5'-0" oc maximum and salt finish
- Concrete tilt up retaining wall with 1 1/2" diameter steel pipe guardrails to +3'-6" above finish grade
- 6" concrete apron (3500 psi) by 5'-0" wide flush with finish floor and adjacent pavement
- Double trash enclosure per details, Sheet A0.2
- Asphalt pavement per civil drawings
- Ramp up maximum slope 1:12. Provide score joints per 2010 ADA Standards
- Existing asphalt pavement drive
- 6' high "Dooley" wall
- Two hour FR wall and joint
- 10' x 30' loading space (typ of 8 spaces per bldg. dims.)
- Raised concrete median per Civil drawings
- Existing 8'-0" high cmu wall
- Existing wrought iron fencing
- Concrete trough per CIVIL.
- 6" concrete (3500 psi) sidewalk flush with pavement.
- Imaginary property line.
- Three hour fire rated walls and openings.
- 3'-0" high, 8" architectural cmu screen wall.
- 35'-0" - 55'-0" Fire Truck Turning Radius
- Provide P-1243 Drive entrance per civil dwgs.

PROJECT NARRATIVE

Our client is proposing to develop two spec office/warehouse building. The two buildings will have a common truckwell to share and on the larger building it will also have one on the North end so this building could have two tenants. The smaller building will also have the option for two tenant vehicular parking will mostly be at the West side of the site and building. Access to the truckwells will be from 59th Ave and from the West drive. Both buildings will be 30' clear with concrete tilt up wall panels. Offset and higher panels with two story glass will accent the office entry areas. Steel canopies and a large bold tilt pan will also accent those entries. Each truck court will be secured on a 6' high cmu screen wall

SITE PLAN NOTES:

A. GATES ARE TO REMAIN OPEN, OR ARE TO OPEN AUTOMATICALLY, BETWEEN THE HOURS OF 8AM AND 5PM. THIS PROJECT IS LOCATED IN THE CITY OF PHOENIX WATER SERVICES AREA AND HAS BEEN DESIGNED AS HAVING AN ASSURED WATER SUPPLY.

PARKING PROVIDED:

Building 'A'= 40 Spaces
Building 'B'= 72 Spaces
* Total= 112 Spaces
* Approved per Variance 3A-334-22 per this sheet.

ACCESSIBLE SPACES REQUIRED:

6 Spaces

ACCESSIBLE SPACES PROVIDED:

6 Spaces

LOADING REQUIRED:

Building 'A'= 2 - 10'x 30'
Building 'B'= 2 - 10'x 30'

LOADING PROVIDED:

Building 'A'= 8 Spaces
Building 'B'= 16 Spaces
Total= 24 Spaces

LANDSCAPE REQUIRED:

(Parking lots)

LANDSCAPE PROVIDED:

Building 'A'= 61 x 450 x 5%= 1373 SF
Building 'B'= 134 x 450 x 5%= 3015 SF

OWNER:

Harrison Properties, LLC
5112 N 40th St #105
Phoenix, AZ 85018

DESIGN PROFESSIONAL:

VINCE DALKE
vince@dalkedesigndgroup.com
480-589-3793

BUILDING HEIGHT:

PROPOSED: Building 'A' = 35'-11 1/2"
Building 'B' = 36'-10"

ALLOWABLE:

40'-0"

PROJECT DATA

ADDRESS: 3500 & 3350 S. 59th Ave
ZONING: A-1
APN: 104-47-0030
PARCEL SIZE: Net= 387,589 SF (8.90 Acres)
Gross= 452,369 SF (10.38 Acres)
BUILDING AREA: Building 'A': Spec Offices=2400 SF
Warehouse= 50,835 SF
Sub Total= 53,235 SF
Building 'B': Spec Offices= 2400 SF
Warehouse= 96,585 SF
Sub Total= 98,985 SF
Total= 152,220 SF
LOT COVERAGE: 152,220/382,589= 39.89%
CONSTRUCTION TYPE: III B, AFES (ESFR) BLDG. 'A'
VB, AFES (ESFR) BLDG. 'B'
ALLOWABLE AREA: Building 'A': 70,000 SF > 53,235 SF
Building 'B': 104,000 SF > 98,985 SF
PARKING REQUIRED: Building 'A'- Offices=2,400/300= 8 Spaces
Warehouse=2,400/300= 8 Spaces
Sub Total= 16 Spaces
Building 'B'- Offices=2,400/300= 8 Spaces
Warehouse= 96,585/1000 = 97 Spaces
Sub Total= 105 Spaces
Total= 121 Spaces
OCCUPANCY: Building 'A'= S1
Building 'B'= S2

SECTION 627 LIGHT INDUSTRIAL DISTRICT STANDARDS REGULATIONS:

- Smoke, gas and odor emissions shall comply with Regulation III of the Maricopa County Air Pollution Control rules and regulations.
- The disposal of all waste materials shall comply with Title 9, Chapter 8, Articles 18 and 4 of the Hazardous Waste Regulations as by the Arizona Health Department.
- The average noise level, measured at the property line, shall not exceed 55 dB (1 dn) when measured on an "A-weighted" sound level meter and according to the procedures of the Environmental Protection Agency.
- Explosive or hazardous processes: Certification shall be provided by the Phoenix Fire Department Prevention Bureau that all manufacturing, storage and waste processes on the site shall meet safety and environmental standards as administered by the Bureau.
- All direct sources of illumination, unimpaired, shall be shielded so as not to be visible from adjacent residentially zoned property.

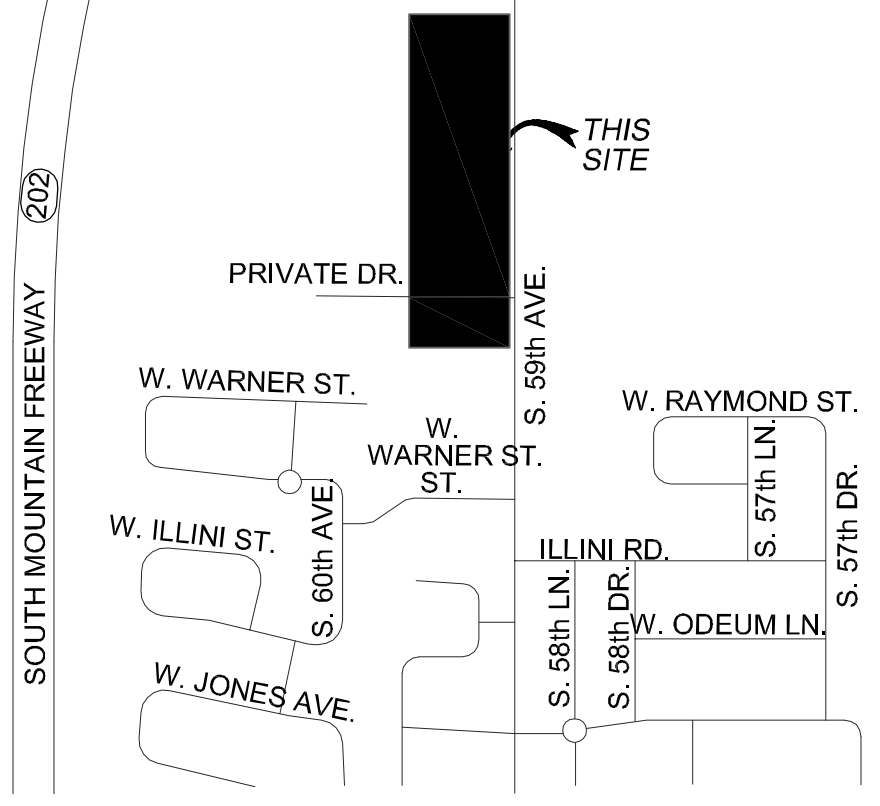
PARKING REQUIRED: 1 Space per 1.5 employees (Warehouse)

(If tenant occupied)

Building 'A' = 24/1.5 = 16 Spaces
Building 'B' = 45/1.5 = 30 Spaces
Offices = 4,800/300 = 16 Spaces
Total required = 62 Spaces

SEPARATE FIRE SUBMITTAL SUBMITTALS:

EMERGENCY ACCESS PERMIT
GATES - MANUAL
UNDERGROUND FIRE LINE
EMERGENCY RESPONDER RADIO COVERAGE
HIGH PILE STORAGE RACKING - IF APPLICABLE



VICINITY MAP

SCALE: N.T.S.

KIVA NO.: 22-1393

SDEV NO.: 220163

PAPP NO.: 2202506

Q.S. NO.: 6-14

SCMJ NO.:

LSPL NO.:

CITY OF PHOENIX

FEB 23 2024

Planning & Development
Department

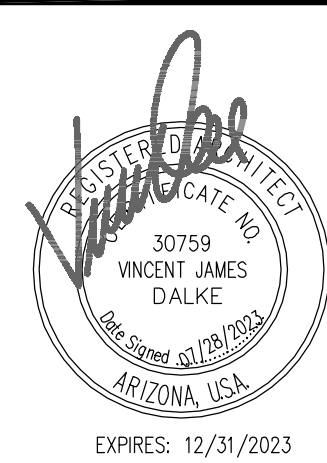


2039 E RICE DR., TEMPE
AZ, 85283
480-589-3793
VINCE@DALKEDESIGNGROUP.COM

PROJECT FOR HARRISON PROPERTIES:
59th AVE. & LOWER BUCKEYE ROAD
PHOENIX AZ 85043

NUMBER REVISION DATE

SEAL



SHEET TITLE
SITE PLAN

ISSUE DATE 4.27.2023

DRAWN

CHECKED BY

PROJECT NUMBER

DRAWING NO.

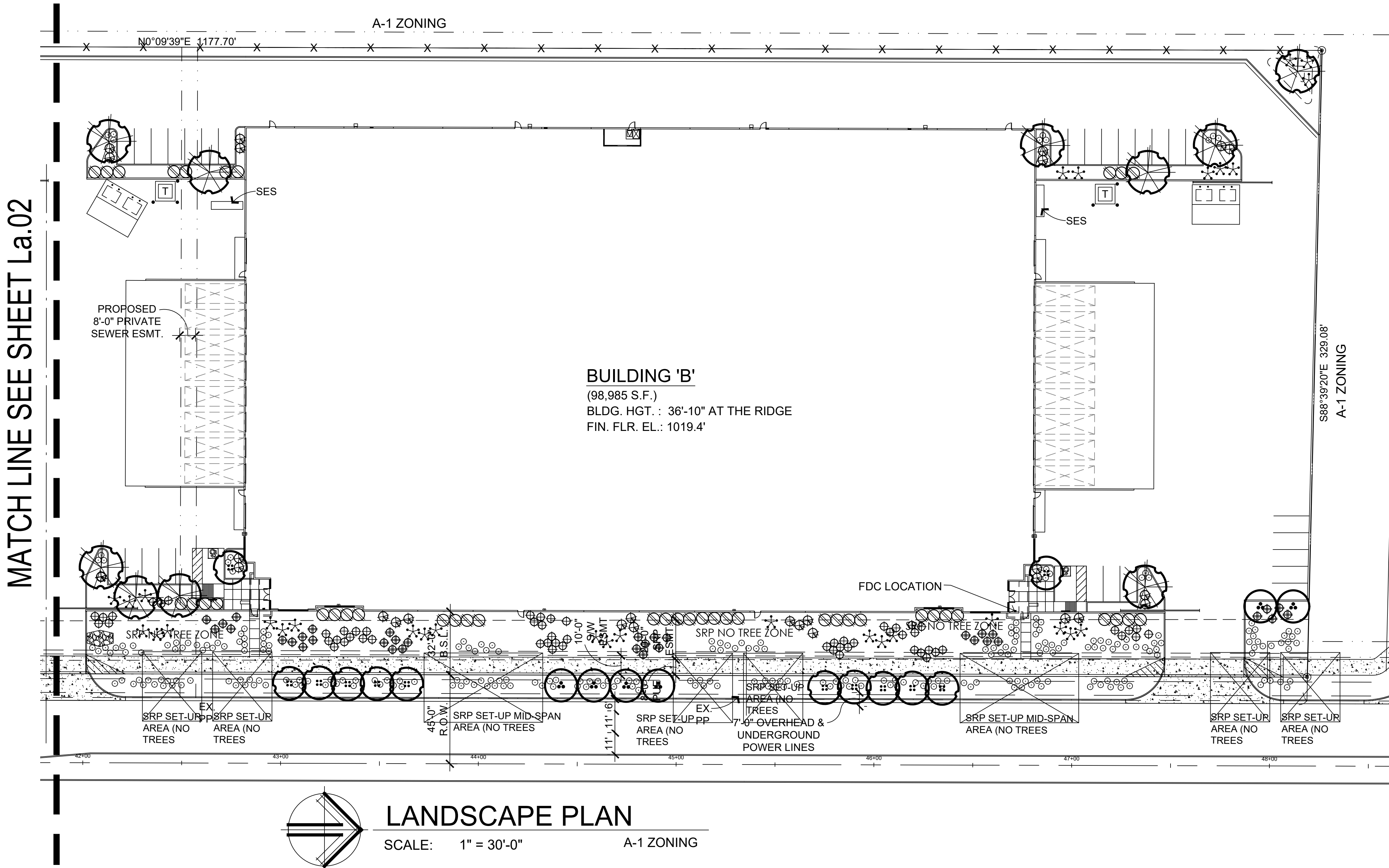
A0.1

REV

Hearing Date: December 17, 2025

PHO-3-25--Z-62-13-7

Stipulated Site Plan



LANDSCAPE PLAN

SCALE: 1" = 30'-0" A-1 ZONING

CITY OF PHOENIX

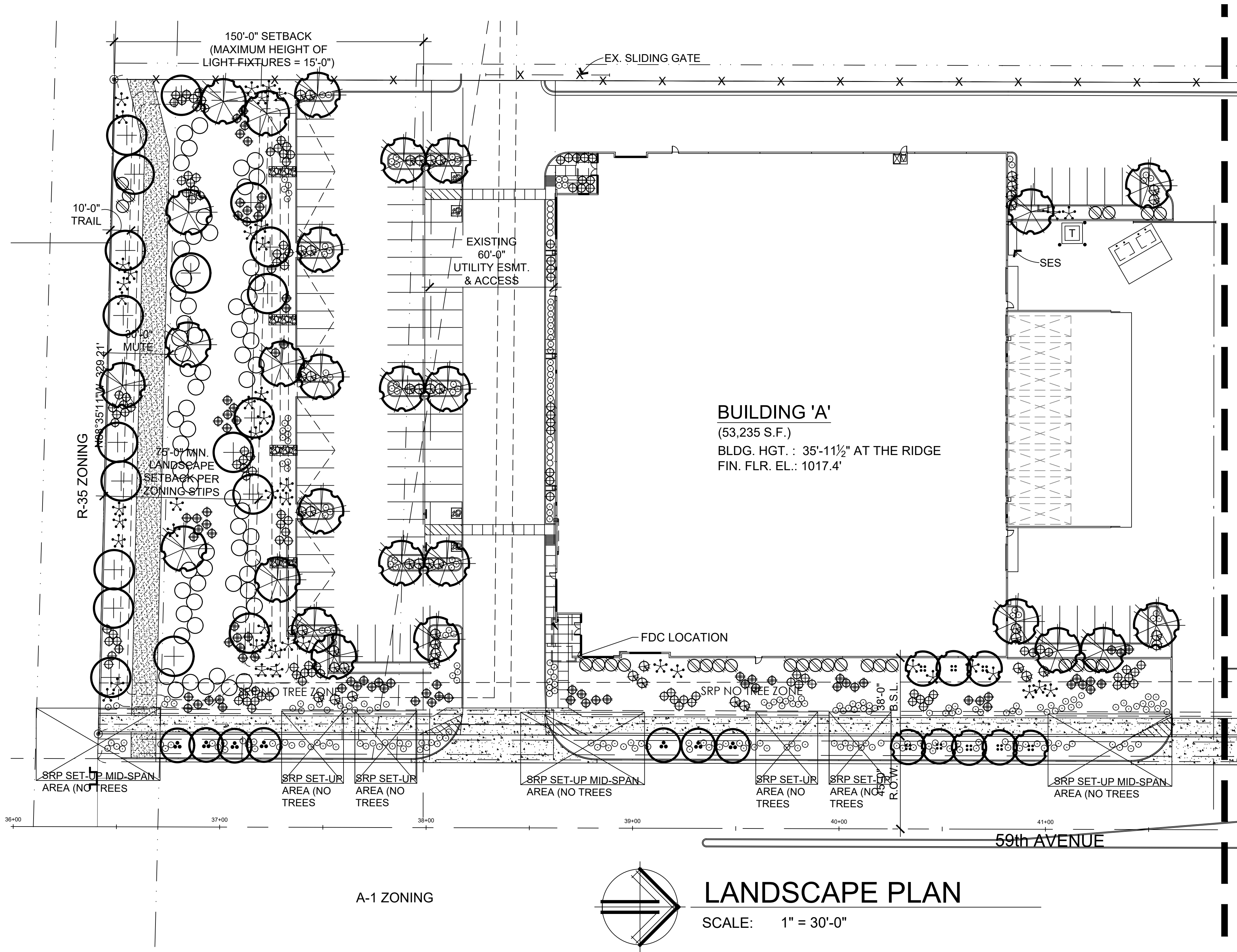
FEB 23 2024

Planning & Development
Department

T.J. McQUEEN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE
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SITE PLANNING
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MATCH LINE SEE SHEET La.03

LANDSCAPE LEGEND

- CERCIDIUM 'HYBRID'
DESERT MUSEUM PALO VERDE
2" CALIP., 6.5'T, 4.5'W
- ACACIA SALICINA
WILLOW ACACIA
1" CALIP., 6'T, 3.5'W
- ACACIA ANEURA
MULGA (SRP/APS APPROVED)
2" CALIP., 5.5'T, 4'W
- CAESALPINIA CACALACO
CASCALOTE (SRP / APS APPROVED)
2" CALIP., (MULTI) 5'T, 3.5'W
- EXISTING TREE
PROTECT FROM
CONSTRUCTION
- CAESALPINIA MEXICANA
MEXICAN BIRD OF PARADISE
5 GALLON
- TECOMA 'ORANGE JUBILEE'
ORANGE JUBILEE
5 GALLON
- HESPERALOE PARVIFLORA
RED YUCCA
5 GALLON
- DASYLIRION WHEELERII
DESERT SPOON
5 GALLON
- LEUCOPHYLLUM FRUTESCENS
'GREEN CLOUD'
5 GALLON
- ACACIA REDOLENS
'DESERT CARPET' tm
5 GALLON
- LANTANA MONTEVIDENSIS
'GOLD MOUND'
1 GALLON
- LANTANA MONTEVIDENSIS
TRAILING PURPLE
1 GALLON
- 1/2" MINUS MADISON GOLD
DECOMPOSED GRANITE
2" DEPTH IN ALL LANDSCAPE AREAS

CITY OF PHOENIX

FEB 23 2024

Planning & Development
Department

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VPC Action: The South Mountain Village Planning Committee heard this item on April 9, 2024, and recommended approval, per the staff recommendation, by a vote of 10-0-1.

PC Action: The Planning Commission heard this item on May 2, 2024, and recommended approval, per the South Mountain Village Planning Committee, by a vote of 9-0.

Location

Approximately 335 feet south of the southwest corner of the I-10 Freeway and Baseline Road

Council District: 6

Parcel Address: 7750 and 8000 S. Arizona Grand Parkway; and 7801 and 8095 S. Pointe Parkway W.

This item was approved.

**118 Amend City Code - Ordinance Adoption - Rezoning Application
PHO-2-24--Z-62-13-7 - Approximately 1320 Feet South of the
Southwest Corner of 59th Avenue and Lower Buckeye Road
(Ordinance G-7263)**

Request to authorize the City Manager, or his designee, to approve the Planning Hearing Officer's recommendation without further hearing by the City Council on matters heard by the Planning Hearing Officer on April 17, 2024.

Summary

Application: PHO-2-24--Z-62-13-7

Existing Zoning: A-1

Acreage: 9.77

Owner: Phoenix Jones Partners, LLC

Applicant/Representative: Michael S. Buschbacher, II AICP, Earl & Curley, P.C.

Proposal:

1. Request to modify Stipulation 1 regarding general conformance with the site plan and landscape plans date stamped Sept. 20, 2017.
2. Request to modify Stipulation 2 regarding Commerce Park/General

Commerce Park Development Standards along the east property line.
3. Technical Correction to Stipulation 8.

VPC Action: The Estrella Village Planning Committee heard this request on April 16, 2024, and recommended approval, by a vote of 9-0.

PHO Action: The Planning Hearing Officer recommended approval with modifications and additional stipulations.

Location

Approximately 1320 feet south of the southwest corner of 59th Avenue and Lower Buckeye Road

Council District: 7

Parcel Address: 3500 S. 59th Ave.

This item was adopted.

119 (CONTINUED FROM May 1, 2024) - Public Hearing and Ordinance Adoption - Rezoning Application Z-117-23-7 - Approximately 450 Feet North of the Northeast Corner of 7th Avenue and Van Buren Street (Ordinance G-7254)

Request to hold a public hearing on a proposal to amend the Phoenix Zoning Ordinance, Section 601, the Zoning Map of the City of Phoenix, and adopting Rezoning Application Z-117-23-7 to rezone the site from DTC-Van Buren (Downtown Code, Van Buren Character Area) to DTC-Van Buren HP (Downtown Code, Van Buren Character Area, Historic Preservation Overlay) to allow for a Historic Preservation Overlay for the Phoenix Laundry & Dry Cleaning Company.

Summary

Current Zoning: DTC-Van Buren

Proposed Zoning: DTC-Van Buren HP

Acreage: 1.31

Proposal: Historic Preservation Overlay for the Phoenix Laundry & Dry Cleaning Company

Owner: Milum Textile Services Co.

Applicant: City of Phoenix, Historic Preservation Commission

Representative: Kevin Weight, City of Phoenix, Historic Preservation

Renee Dominguez noted that the residents had to do their due diligence and constantly call the Phoenix Police Department regarding speeding and illegal parking. Ms. Dominguez added that she had been working with a new neighborhood specialist to address similar issues.

Chair Perez added that a project to address 69th Avenue would be helpful.

Ms. Ortega stated that there has been a lack of response from the Phoenix Police Department. **Chair Perez** noted that she would contact Ms. Ortega at a later date regarding issues in this particular area.

Romona Brown suggested that the applicant hold a neighborhood meeting so that the community could voice their concerns. **Chair Perez** noted that the neighborhood could organize the meeting and that the school could be the venue, but that the developer was not required to hold a meeting that didn't address the subject site. **Ms. Brown** added that she supported a separate neighborhood meeting and suggested inviting neighborhood organizations like Si Se Puede.

Chair Perez reiterated her concerns on 67th Avenue and asked if the applicant was willing to add a stipulation to limit access on the southeastern accessway to right-in and right-out. **Mr. Alleman** confirmed that the applicant would agree to the additional stipulation. Mr. Alleman asked if the right-in and right-out was intended for semitrailers. **Chair Perez** confirmed. **Mr. Alleman** agreed to the additional stipulation.

Motion:

Melanie Burd motioned to recommend approval of Z-14-24-7 per the staff recommendation with the following additional stipulation:

- The southeastern exit, fronting 67th Avenue, as shown on the site plan dated March 21, 2024, shall be limited to right-in and right-out for semitrailer traffic.

Co-Vice Chair Beth Cartwright seconded the motion.

Vote:

9-0, Motion passed with Committee Members Ayala, Barquin, Brown, Burd, Dominguez, Morris, Serrette, Cartwright, and Perez in favor.

5. **PHO-2-24--Z-62-13-7**: Presentation, discussion, and possible recommendation regarding a request to modify stipulations of entitlement for the property located approximately 1,320 feet south of the southwest corner of 59th Avenue and Lower Buckeye Road. Request to modify stipulation numbers 1 and 2 regarding general conformance to the site plan and landscape plans and commerce park/general commerce park development standards along the east property line; and a technical correction to stipulation number 8.

Staff Background Presentation:

Nayeli Sanchez Luna, staff, displayed the location and noted the acreage of the subject site, location, and proposal. Mrs. Sanchez Luna summarized the proposed modifications and technical corrections.

Applicant Presentation:

Taylor Earl, representing the applicant with Earl & Curley P.C., provided an overview of the proposed PHO case. Mr. Earl displayed the subject site and noted the surrounding uses including industrial/warehouse buildings and an APS Substation. Mr. Earl noted that the development would improve the street frontage including landscaping and noted the power lines along the street. Mr. Earl summarized the proposed changes to Stipulation No.1 regarding general conformance to the site plan. Mr. Earl added that the stipulation would be modified to meet the current proposal. Mr. Earl noted the 200-foot landscape buffer to the south adjacent to a residential neighborhood. Mr. Earl stated that Stipulation No. 8 was modified per correspondence received by the Street Transportation Department. Mr. Earl summarized the different requirements for properties that are considered on a perimeter lot line or interior lot line for Commerce Park development. Mr. Earl noted that the modification to Stipulation No. 3 would clarify that the east property line is considered an interior lot line. Mr. Earl concluded the applicant presentation by summarizing the proposed improvements and the requested modification to the stipulations.

Questions from the Committee:

Chair Lisa Perez noted that Committee Member Melanie Burd lived in the area and asked if she had any comments. **Melanie Burd** noted that she did not have any concerns with the proposed modifications and added that she was glad to see development occur on the vacant parcel. **Chair Perez** agreed.

Co-Vice Chair Beth Cartwright asked if the intent of the modification to Stipulation No. 3 was to distinguish the difference between an interior lot line and a perimeter lot line. **Mr. Earl** confirmed and noted that the stipulation would state that the east property line is an interior lot line.

Andre Serrette noted that he also lived in the area and added that he supported development on the site. Mr. Serrette voiced his support for improvements on the street frontage that would occur with development.

Public Comments:

None.

Applicant Response:

None.

Committee Discussion:

None.

Motion:

Co-Vice Chair Beth Cartwright motioned to recommend approval of PHO-2-24--Z-62-13-7. **Melanie Burd** seconded the motion.

Vote:

9-0, Motion passed with Committee Members Ayala, Barquin, Brown, Burd, Dominguez, Morris, Serrette, Cartwright, and Perez in favor.

6. **INFORMATION ONLY:** Presentation and discussion regarding the 2023 Estrella Village Annual Report.

Chair Perez requested the committee to review the items found in the annual report for the next meeting. The VPC voiced their support.

7. Public comments concerning items not on the agenda.

None.

8. Staff update on cases recently reviewed by the Committee.

Mrs. Sanchez Luna announced that companion cases GPA-ESt-2-24-7 and Z-8-24-7, located approximately 1,170 feet north of the northwest corner of 67th Avenue and Lower Buckeye Road, has received City Council approval.

9. Committee member announcements, request for information, follow up, or future agenda items.

Chair Perez announced upcoming rezoning cases.

10. Adjournment.

The meeting adjourned at 8:29 p.m.

REPORT OF PLANNING HEARING OFFICER ACTION
Byron Easton, Planner III, Hearing Officer
Teresa Garcia, Planner I, Assisting

April 17, 2024

ITEM NO: 5	
	DISTRICT NO. 7
SUBJECT:	
Application #:	PHO-2-24--Z-62-13-7
Location:	Approximately 1320 feet south of the southwest corner of 59th Avenue and Lower Buckeye Road
Zoning:	A-1
Acreage:	9.77
Request:	1) Request to modify Stipulation 1 regarding general conformance with the site plan and landscape plans date stamped September 20, 2017. 2) Request to modify Stipulation 3 regarding Commerce Park/General Commerce Park Development Standards along the east property line. 3) Technical Correction to Stipulation 8.
Applicant:	Earl & Curley P.C., Taylor Earl
Owner:	Phoenix Jones Partners, LLC.
Representative:	Michael S Buschbacher, II AICP

ACTIONS:

Planning Hearing Officer Recommendation: The Planning Hearing Officer recommended approval with modifications and additional stipulations.

Village Planning Committee (VPC) Recommendation: The Estrella Village Planning Committee heard this request on April 16, 2024 and recommended approval by a vote of 9-0.

DISCUSSION:

Taylor Earl, representative of Earl & Curley P.C. 3101 North Central Avenue, gave an overview of the site. He stated the site itself is very narrow compared to the Amazon Warehouse site across the street. He stated the proposed development will have enough landscaping to make it more attractive. He stated the height of the buildings will not be as tall as the other industrial buildings in the area and the color palette will be consistent with the property across the street. He stated the new site and landscape plan will bind to the zoning of the property since the original site plan showed a blank slate for the site. He stated Item 2 will provide more clarification to Stipulation 3 because it will specify interior standards

in the language. He stated since the site is zoned A-1, the zoning matches the adjacent zoning district, making it an interior lot line condition instead of a perimeter lot line condition. He stated the setback on the south side of the site addresses a 125-foot setback, but the setback is over 200-feet, exceeding what is asked for in the stipulation and matters because there is residential development to the south of the site. He stated the request will clarify that east property line is deemed an interior lot line on a street.

Byron Easton, Planning Hearing Officer, asked if the Commerce Park interior standard is more restrictive than the A-1 interior standard.

Mr. Earl stated the A-1 will just have a building setback standard, not an interior standard. He stated they are meeting the interior and perimeter setback standards but run into an issue with the step-back provision because the 18-foot building height requires an additional 3-feet for every foot of height, putting their setback at over 80 feet.

Mr. Easton clarified Item 3 was a modification to Stipulation 3. He recommended approval with modifications and additional stipulations.

FINDINGS:

- 1) Request to modify Stipulation 1 regarding general conformance with the site plan and landscape plans date stamped September 20, 2017 is recommended to be approved. The existing stipulation refers back to plans that show the subject parcel as a future phase in both the site plan and the landscape plan. Thus, they are void of any detail. Because of this lack of detail, the new site plan and landscape plans are in general conformance with both. However, to clarify and update to the current proposal the applicant is offering to update this stipulation to require general conformance to the current site plan and landscape plan date stamped February 23, 2024.
- 2) Request to modify Stipulation 3 regarding Commerce Park/General Commerce Park Development Standards along the east property line is approved. If this site was zoned Commerce Park, the applicant would pursue a variance for setback relief and would likely have a good case as conditions in the area have changed.

It is the PHO's opinion that the requested modification/clarification is minor. Whereas 59th Avenue once served as the north/south corridor for this area, this is no longer the case. The freeway serves that purpose. The east/west arterials still serve that function, but this parcel doesn't abut Lower Buckeye Rd. or Broadway Rd. It only abuts 59th Avenue. 59th Avenue is now positioned more as an internal roadway to an industrial park than it is a regional arterial. The applicant will still be required to

adhere to the rest of the Commerce Park standards, and so the streetscape will be appropriate for this area. Imposing an aggressive step back regime is overly burdensome for this narrow parcel and doesn't serve a compelling public interest.

- 3) Request for technical correction to Stipulation 8 is not correct, the applicant is requesting for a modification of Stipulation 8. The applicant requested to reduce the right-of-way dedication from 55 to 45 feet. While the Street Transportation Department agrees with the applicant's request to reduce the dedication to 45 feet, they also requested additional info to be added to the stipulation regarding the width of the sidewalk easement and sidewalk.

Due to the existence of the high voltage electrical lines leading to the SRP substation directly north of the site, the Street Transportation Department reviewed and approved a modified Arterial CM cross-section with the applicant in December 2022, allowing for the 10-foot-sidewalk easement in lieu of right-of-way. The requested modifications to the stipulation from the Street Transportation Department are to ensure the requirement of the sidewalk easement and the mutually agreed upon sidewalk width is included. The request for modification of Stipulation 8 is approved with a modification.

- 4) The Public Transit Department recommends an additional stipulation requiring the developer to construct a bus stop pad. This additional Stipulation has been added as new Stipulation 9.

STIPULATIONS:

1.	The development shall be in general conformance with the site plan and landscape plans date stamped FEBRUARY 23, 2024 September 20, 2017 , as approved by the Planning and Development Department.
2.	A minimum 75-foot landscape setback shall be provided along the south property lines and shall utilize the Commerce Park/General Commerce Park landscape standards for plant types, quantity and spacing, as approved by the Planning and Development Department.
3.	Commerce Park/General Commerce Park Development standards shall be provided along the east property line, WITH THE EAST PROPERTY LINE BEING DEEMED AN INTERIOR LOT LINE ON A STREET, as approved by the Planning and Development Department.
4.	A minimum 125-foot building setback shall be provided along the south property line, as approved by the Planning and Development Department.

5.	Building height shall be limited to a maximum of 48 feet within 150 feet of the south property line, as approved by the Planning and Development Department.
6.	Outdoor storage shall not be permitted within 250 feet of the south and west property lines, except for the trailer storage shall not be located closer than 200 feet, as approved by the Planning and Development Department.
7.	Submit amended Traffic Impact Study Analysis updated to proposed development use. Additional improvements may be stipulated based upon study findings.
8.	Right-of-way totaling 45 55 feet AND A 10-FOOT-WIDE SIDEWALK EASEMENT WITH AN 8-FOOT-WIDE SIDEWALK shall be dedicated AND CONSTRUCTED for the west half of 59th Avenue. Provide curb, gutter, paving, sidewalk, curb ramps, streetlights, landscaping, and incidentals for the length of the project.
9.	THE DEVELOPER SHALL CONSTRUCT A BUS STOP PAD THAT CONFORMS WITH STANDARD DETAIL P1260 ON THE NORTHEAST CORNER OF THE SITE ON SOUTHBOUND 59TH AVENUE.
10. 9.	The developer shall update all existing off-site street improvements (sidewalks, curb ramps and driveways) to current ADA guidelines.
11. 10.	Complete a Red Border Letter to notify ADOT of development adjacent to its freeway corridor and submit it to the Street Transportation Department with a copy to the Traffic Engineer and Civil Plans Reviewer.
12. 11.	Provide underground street light circuits, poles and fixtures on all public streets in locations approved by the Street Transportation Department. Submit one copy of the approved site plan with three copies of the streetlight plans to the 2nd floor of City Hall to be routed to Street Lighting Section reviewer.
13. 12.	The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, setback sidewalk, curb ramps, streetlights, landscape and other incidentals as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.
14. 13.	In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground disturbing activities within a

	33-foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.
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