

**SNELL
& WILMER**



CITY OF PHOENIX

JAN 12 2026

**Planning & Development
Department**

**PLAZA COMPANIES
HOSPITALITY
CASE NO. Z-87-E-03-2**

LOCATED AT THE SOUTHEAST CORNER OF MAYO BOULEVARD

DATE OF INITIAL SUBMISSION: SEPTEMBER 11, 2025

2ND SUBMITTAL: NOVEMBER 19, 2025

3RD SUBMITTAL: DECEMBER 29, 2025

HEARING DRAFT SUBMITTAL: JANUARY 12, 2026

CITY COUNCIL ADOPTED:

A Planned Unit Development (“PUD”) is intended to be a stand-alone document of zoning regulations for a particular project. Provisions not specifically regulated by the PUD are governed by the Phoenix Zoning Ordinance. A PUD may include substantial background information to help illustrate the intent of the development. The purpose and intent statements are not requirements that will be enforced by the City. The PUD only modifies Zoning Ordinance regulations and does not modify other City Codes or requirements. Additional public hearings may be necessary, such as, but not limited to, right-of way abandonments.

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A. PURPOSE AND INTENT

A1. Project Overview and Goals

A1: Project Overview and Goals

The **Plaza Companies Hospitality PUD** is a rezoning proposal to establish more neighborhood compatible land use categories to support a proposed new dual-brand 6-story hotel concept with approximately 260 guestrooms (or “keys”) and supportive quality guest amenities situated on an 8.15 gross-acre site near the southeast corner of 64th Street and Mayo Boulevard (the “Development”). The subject property lies within the Desert View Village part of the City, an area of continued growth, as well as its significant commercial and employment hubs.



The property was sold at auction by the Arizona State Land Department in 2022 and is currently undeveloped. A significant drainage channel runs along its eastern edge. The property is currently zoned Commerce Park/Business Park, Planned Community District (subject to the Desert Ridge PCD) (“CP/BP PCD, an industrial district that is no longer compatible with development east of 64th Street.

With existing residential development to the east, planned residential multi-family development to the north, and planned attached single-family homes to the south, the site is well situated to provide a location for residentially compatible uses at what is becoming a key intersection for the area. In this context, this PUD is proposing a hospitality development that is complementary to the growing Mayo campus, a hub of medical services and related businesses while changing the allowed land uses away from less compatible industrial/warehousing and other Commerce Park/Business Park (CP/BP) uses.

A primary goal of the Development is to transition away from industrial land uses to more appropriate commercial uses, with an emphasis on the desired hotel development and custom development standards required to accomplish a structure that is similar to the image below.



A key objective of the Development is to enhance the 64th Street & Mayo Boulevard intersection with a quality visually pleasing structure that will also act as a buffer between the lower density residential development to the east and the significantly more intense commercial and industrial development planned to the west.

The development will also enhance the area by providing the modern roadway and pedestrian infrastructure improvements to facilitate a comfortable pedestrian environment along both Mayo Boulevard, 64th Street and the eastern drainage channel which will be leveraged as a public pedestrian amenity and regional trail network link.

A2. Overall Design Concept

A few key items this PUD includes are:

A2: Overall Design Concept

Establishing a Gateway and landmark at the southeast corner of Mayo Boulevard and 64th Street which serves as the regional employment hub's "front door", providing seamless access to the growing campus on which ASU, the Mayo Clinic and Discovery Oasis are anticipated to experience exponential growth within the coming years. A quasi-residential use, such as the proposed hotel, provides an appropriate transitional use between the lower density residential uses to the east and south and the regional commercial and industrial uses expected to expand to the property's west. The property takes advantage of its proximity to the drainage channel by providing a significant setback to the residential homes to the east, thus establishing an appropriate buffer and transition between these complementary land uses. A similarly significant setback is provided to the residential homes to the south.

Preservation of the Existing Wash Corridor and inclusion of adjacent pedestrian improvements, providing the “missing link” to ensure unified development of the planned shared pedestrian trail traversing across developments from the Loop-101 south to Reach 11.

Walkability with the final plans for the Development that will strengthen the surrounding pedestrian realm via implementation of detached sidewalks, enhanced landscape treatment and shade.

Architecture Quality, with a design that is focused on a modern southwest design vernacular featuring clean lines, variation in materials, and contemporary colors. Respecting the high visibility of the Development, an attention to detail and architectural treatment is incorporated throughout the elevations. All portions of the building will consist of durable materials and a warm, modern color palette reflective of the surrounding natural desert environment.

In summary, the Development, as expressed in this PUD, will be a high-quality dual branded hotel development that: (i) will develop an important, and highly visible corner in proximity to future anticipated growth; (ii) will establish a quasi-residential use as an appropriate land use buffer between residential and commercial/institutional uses; (iii) will build capacity to support anticipated growth in the surrounding employment hubs; and (iv) will reinforce a strong pedestrian environment through significant pedestrian infrastructure and landscape improvements adjacent to the public rights-of-way. The final plans for the Development will strengthen the pedestrian realm and complement surrounding land uses via implementation of the development standards and design guidelines provided by this PUD.



B. LAND USE PLAN

B1. Proposed Land Use Categories

B1: Proposed Land Use Categories

The Plaza Companies Hospitality PUD is a development proposal to establish a custom dual-brand 6-story hotel concept with approximately 260 guestrooms and first-class quality guest amenities situated on an 8.2 gross-acre site near the southeast corner of 64th Street and Mayo Boulevard. Rezoning to the proposed PUD designation will ensure certain land uses incompatible with surrounding residential land uses which are permitted under the current CP/BP designation (such as warehousing and manufacturing) are prohibited.

B2. Conceptual Site Plan Summary

B2: Conceptual Site Plan Summary

The following provides an overview of the conceptual site plan provided with this PUD:

Grade Level is the location of the main building entrance, guest drop-off area, lobby, restaurant, swimming pool and amenity courtyard, ground floor guest units, surface parking, and service/trash collection area. The architecture and landscape support the connection to the surrounding pedestrian realm by incorporating significant use of glazing, pedestrian scale architecture at building entrances and canopies, and an enhanced landscape design which will include a minimum 75% shade along public sidewalks by way of live vegetation.

Levels 2, 3, 4, 5 and 6 will consist of hotel guest units. There are no rooftop amenities.

C. LIST OF USES

The Zoning Administrator may issue interpretations for land uses that are analogous to those listed in Section C, as authorized by Phoenix Zoning Ordinance Section 307.A.3.

C1. Permitted Uses

C1: Permitted Uses

- Hotel. The following accessory uses are permitted; provided, that the entrance to said accessory uses shall be from within the building only and that no sign or display for the accessory uses shall be located so as to be visible from a public thoroughfare or adjacent property:
 - Auto rental agency; provided, that there are no more than three vehicles stored on the hotel property.
 - Barbeque.
 - Child care, for hotel guests only.
 - Convention or private group activities.
 - Fitness Center.
 - Gift shop/snack bar.
 - News stand.
 - Restaurants with recorded music or one musician.
 - Spa.
 - Swimming Pool (indoor/outdoor).
 - Other services customarily accessory thereto.
- Restaurants, bars, and cocktail lounges subject to the following conditions or limitations:
 - Music or entertainment shall be permitted subject to the following regulations:
 - The stage or performance area shall be a maximum of 80 square feet unless a use permit is obtained.
 - The noise level, measured at any point on the received property, shall not exceed 55 dBA unless a use permit is obtained. An occurrence where the sound level increases up to 60 dBA for five continuous seconds or less shall not be deemed a violation of this section as long as there are no more than five occurrences within a hour long interval.
 - Nothing in this section shall be construed to include an adult use.
 - Patron dancing shall be permitted only upon securing a use permit.
 - Outdoor recreation uses, outdoor dining, and outdoor alcoholic beverage consumption shall be permitted as accessory uses only facing Mayo Boulevard or 64th Street and set back a minimum of 300

feet from the east property line and 150 feet from the south property line.

- Drive-through facilities shall be prohibited.
- Any bar or cocktail lounge which exceeds 5,000 square feet in gross floor area shall be permitted only upon securing a use permit.
- Outdoor food preparation and cooking shall be permitted as an accessory use subject to the following conditions:
 - The outdoor cooking area shall be fully enclosed and screened from public street view and adjacent residential zoning districts.
 - The regularly used cooking area inside the establishment shall be of equal or greater size than the outdoor cooking area.
 - The outdoor cooking area shall be located within 50 feet of a building entrance from where the restaurant is operated. This distance shall be measured from the appliance in the outdoor cooking area closest to the building entrance from where the restaurant is operated.
- The outdoor cooking area shall be set back a minimum of 300 feet from the east property line and 150 feet from the south property line. This distance shall be measured from the appliance in the outdoor cooking area closest to the property line
-

C2. Temporary Uses

C2: Temporary Uses

- All temporary uses shall comply with Section 708 of the Phoenix Zoning Ordinance

C3. Prohibited Uses

C3: Prohibited Uses

- a) Data Center
- b) All uses not expressly permitted in Section C1 shall be prohibited.

D. DEVELOPMENT STANDARDS

The following development standards shall apply to any development of the property. Where the PUD is silent on a development standard, the Phoenix Zoning Ordinance standard shall control.

D1: Development Standards

D1. Development Standards	Proposed PUD
a. Maximum Hotel Keys	260
b. Minimum Lot Width/Depth	No Minimum
c. Minimum Building Setbacks¹	From PUD Perimeter Property Line
North (Mayo Boulevard)	20 feet
West (64 th Street)	20 feet
East (Not Adj. to Street)	250 feet
South (Not Adj. to Street)	70 feet
d. Maximum Building Height	88 feet to top of parapet
e. Maximum Lot Coverage	20% of total net lot area, excluding the first 6 feet of roof overhang, open carports, covered patios or covered walkways.

D2: Streetscape Standards

D2. Streetscape Standards ²	
a. Mayo Boulevard	<p><u>Detached Sidewalk Width:</u> Minimum 8 feet</p> <p><u>Landscape Strip:</u> Provide a minimum 10-foot landscape area between back of curb and detached sidewalk.</p> <p><u>Trees:</u> Minimum 50% 1.5-inch caliper, 25% 2-inch caliper, and 25% 3-inch caliper, single-trunk, large canopy, drought-tolerant, shade trees, planted 20 feet on center, or in equivalent groupings, on both sides of the sidewalk.</p> <p><u>Live Coverage:</u></p> <ul style="list-style-type: none"> • Minimum five, 5-gallon drought-tolerant shrubs per tree,

¹ Mechanical and electrical equipment enclosures, ground signage and artistic installations are permitted within minimum required building setbacks adjacent to a street.

	<p>maintained to a maximum height of two feet.</p> <ul style="list-style-type: none"> • A mixture of drought-tolerant shrubs, accents, and vegetative groundcovers, maintained to a maximum height of two feet, evenly distributed throughout the landscape areas to achieve a minimum of 75% live coverage. <p><u>Sidewalk Tree Shade Coverage:</u> 75%; required shade coverage may be achieved via staggered tree plantings within the streetscape and landscape setback.</p> <p>Where utility conflicts exist, the developer shall work with the Planning and Development Department on an alternative design solution consistent with a pedestrian environment.</p>
<p>b. 64th Street</p>	<p><u>Detached Sidewalk Width:</u> Minimum 10 feet</p> <p><u>Landscape Strip:</u> Provide a minimum 10-foot landscape area between back of curb and detached sidewalk, consistent in width with the development to the south.</p> <p><u>Trees:</u> Minimum 50% 1.5-inch caliper, 25% 2-inch caliper, and 25% 3-inch caliper, single-trunk, large canopy, drought-tolerant, shade trees, planted 20 feet on center, or in equivalent groupings, on both sides of the sidewalk.</p> <p><u>Live Coverage:</u></p> <ul style="list-style-type: none"> • Minimum five, 5-gallon drought-tolerant shrubs per tree, maintained to a maximum height of two feet.

D3: Minimum Landscape Standards

	<ul style="list-style-type: none">• A mixture of drought-tolerant shrubs, accents, and vegetative groundcovers, maintained to a maximum height of two feet, evenly distributed throughout the landscape areas to achieve a minimum of 75% live coverage. <p><u>Sidewalk Tree Shade Coverage:</u> 75%; required shade coverage may be achieved via staggered tree plantings within the streetscape and landscape setback.</p> <p>Where utility conflicts exist, the developer shall work with the Planning and Development Department on an alternative design solution consistent with a pedestrian environment.</p>								
D3. Minimum Landscape Standards ³									
a. Minimum Landscape Setbacks (Perimeter)	<table><tr><td>North (Mayo Boulevard)</td><td>20 feet</td></tr><tr><td>West (64th Street)</td><td>20 feet</td></tr><tr><td>East (Measured from the top of the west bank of the wash)</td><td>20 feet</td></tr><tr><td>South (Perimeter)</td><td>5 feet</td></tr></table>	North (Mayo Boulevard)	20 feet	West (64 th Street)	20 feet	East (Measured from the top of the west bank of the wash)	20 feet	South (Perimeter)	5 feet
North (Mayo Boulevard)	20 feet								
West (64 th Street)	20 feet								
East (Measured from the top of the west bank of the wash)	20 feet								
South (Perimeter)	5 feet								
b. North (Mayo Boulevard)	<p><u>Trees:</u> Minimum 50% 1.5-inch caliper, 25% 2-inch caliper, and 25% 3-inch caliper, large canopy, drought-tolerant, shade trees, planted 20 feet on center, or in equivalent groupings.</p> <p><u>Live Coverage:</u></p> <ul style="list-style-type: none">• Minimum five, 5-gallon drought-tolerant shrubs per tree, maintained to a maximum height of two feet.								

³ Mechanical and electrical equipment enclosures, services areas, ground signage and artistic installations are permitted within minimum required landscape setbacks.

	<ul style="list-style-type: none"> • A mixture of drought-tolerant shrubs, accents, and vegetative groundcovers, maintained to a maximum height of two feet, evenly distributed throughout the landscape areas to achieve a minimum of 75% live coverage.
c. West (64th Street)	<p><u>Trees:</u> Minimum 50% 1.5-inch caliper, 25% 2-inch caliper, and 25% 3-inch caliper, large canopy, drought-tolerant, shade trees, planted 20 feet on center, or in equivalent groupings.</p> <p><u>Live Coverage:</u></p> <ul style="list-style-type: none"> • Minimum five, 5-gallon drought-tolerant shrubs per tree, maintained to a maximum height of two feet. • A mixture of drought-tolerant shrubs, accents, and vegetative groundcovers, maintained to a maximum height of two feet, evenly distributed throughout the landscape areas to achieve a minimum of 75% live coverage.
d. East (Adjacent to Wash)	<p><u>Trees:</u> Minimum 50% 1.5-inch caliper, 25% 2-inch caliper, and 25% 3-inch caliper, large canopy, drought-tolerant, shade trees, planted 20 feet on center, or in equivalent groupings, planted on both sides of the wash pathway to provide a minimum of 75% shade..</p> <p><u>Live Coverage:</u></p> <ul style="list-style-type: none"> • Minimum five, 5-gallon drought-tolerant shrubs per tree, maintained to a maximum height of two feet. • A mixture of drought-tolerant shrubs, accents, and vegetative groundcovers, maintained to a

	maximum height of two feet, evenly distributed throughout the landscape areas to achieve a minimum of 75% live coverage.
e. South (Perimeter)	<u>Live Coverage:</u> Landscape setback shall be planted with minimum 5-gallon drought resistant shrubs to achieve a minimum of 75% total live vegetative groundcover.
f. Parking Lot Landscaping	A minimum 10% of the interior surface parking area (exclusive of perimeter landscaping and all required setbacks) shall be landscaped. Parking lot landscape planters shall be planted with a minimum 2-inch caliper, single-trunk, large canopy, drought-tolerant, shade trees. A minimum of five (5) 5-gallon drought resistant shrubs per tree. A mixture of drought-tolerant shrubs, accents, and vegetative groundcovers, maintained to a maximum height of two feet, evenly distributed throughout the landscape areas to achieve a minimum of 75% live coverage.
g. Parking Area Planters	Landscape planters shall be located at the end of each row of parking and no more than 100 feet apart. Parking planters shall measure a minimum of 5 feet in width (internal dimension).
h. Species to Support Monarch Butterfly Population	A minimum of 10% of the required shrubs shall be a milkweed or other native nectar species and shall be planted in groups of three (3) or more, as approved by the Planning and Development Department
D4. Parking Standards	
a. Minimum Parking Standards	1 space per hotel key
b. Minimum Parking Standards, Electric Vehicle	A minimum of 3% of required standard parking and 12.5% of required accessible parking spaces shall be EV installed.
c. Parking Location, Automotive	All parking areas shall be located within a surface parking lot, outside of required landscape setbacks. See Section D5 for parking screening requirements.

d. Minimum Parking Standards, Bicycle	10 bicycle parking spaces shall be provided.
e. Minimum Parking Standards, Electric Bicycle	1 electrical outlet for electric bicycle charging shall be provided at the bicycle parking stalls.
f. Parking Location, Bicycle	To be installed in conformance with Phoenix Zoning Ordinance Section 1307.H, except as follows: (i) Inverted-U style bicycle racks or artistic style racks consistent with the City of Phoenix preferred designs (see Comprehensive Bicycle Master Plan, Appendix K) shall be provided and (ii) located near the main lobby entrance.
g. Parking Aisle Dimensions	The combined depth of the parking space and aisle width shall equal 60 feet for a double loaded aisle and 42 feet for a single loaded aisle.
h. Loading Bay	A minimum of 2 off-street loading spaces shall be provided on the exterior of the west side of the building. The loading spaces shall be screened from the public right-of-way to a height of 40-inches.
i. Drop-Off/Pick-Up	A designated drop-off/pick-up area for hotel guests shall be provided near the main lobby entrance.

D5: Fences/Walls

D5. Fences/Walls

To ensure a permeable condition between the Development, the adjacent drainage channel and adjacent residential developments, as well as to prevent creating inaccessible, nonvisible, and hazardous areas outside of the Development, a perimeter site fence or wall enclosing the development is not permitted (with exception for any wall constructed on the south property line by the separate property owner, resulting in a shared wall condition, except along the shared-use path easement area along the east side of the site).

All parking areas shall be screened from public rights-of-way and adjacent developments. Screening may consist of decorative solid masonry walls a minimum of 40-inches in height, landscaping, other functionally integrated site features, such as screened service areas, or may be screened behind buildings. Breaks in screening may be permitted for no more than 10% of any individual parking frontage to provide visual interest, articulation, and enhance site permeability. Six-foot-tall mural walls installed as public amenities adjacent to public

sidewalks and the wash pathway shall be permitted within the building/landscape setback adjacent to streets and adjacent to the pathway.

Fences and walls shall otherwise comply with all other standards as per Phoenix Zoning Ordinance Section 703.

D6: Shade

Shading may be achieved by structures, landscaping, or a combination of the two, unless otherwise noted herein. Shading shall be calculated a summer solstice at noon.

A shading study shall be submitted to the City with the preliminary site plan and final site plan submittals for review and approval.

Minimum Shading Requirements:

- a) Public Sidewalks and Shared-Use Paths: 75%, achieved by shade trees
- b) Private Sidewalks, Pedestrian Pathways, and Shared-Use Paths: 50%
- c) Corners of Traffic Signals: 75%, to allow pedestrians to wait comfortably for the signal to change, subject to sight visibility requirements
- d) Transit Stops: 75%
- e) Bicycle Parking and Bicycle Repair Stations: 75%
- f) Surface Parking Areas: 15%
- g) Gathering Areas and Seating Areas: 50%
- h) Improved Open Space and Usable Open Space: 50%

Where utility conflicts exist, the developer shall work with the Planning and Development Department on an alternative design solution consistent with a pedestrian environment.

D7: Lighting Plan

D7. Lighting

All lighting will be consistent with the standards of Section 704, Section 507.Tab A.II.A.8 and Section 23-100 of the Phoenix Zoning Ordinance and City Code.

Pedestrian lighting shall be provided along all the public sidewalk and shared use path along 64th Street and Mayo as well as private internal pedestrian pathways as follows:

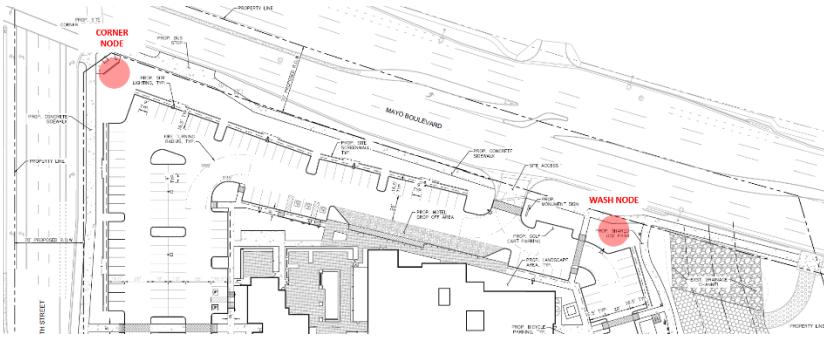
- a) 15-foot maximum height of lighting fixtures.
- b) A minimum of 1-foot candle illumination shall be maintained along the sidewalk or pathway.
- c) Uniform lighting shall be placed along the entire sidewalk or pathway to avoid bright high glare areas and low visibility dark areas.
- d) Illuminated bollards shall be installed 60 feet on center along the length of the Wash Corridor Shared Use Pathway.

E. DESIGN GUIDELINES

All development shall comply with the design guidelines of Section 507 Tab A of the Phoenix Zoning Ordinance, in addition to the following:

E1: Design Guidelines

E1. Design Guidelines	
a. Exterior Materials	<p>All building elevations shall include:</p> <ul style="list-style-type: none"> • Maximum 70% EIFS finish • Minimum 20% glazing at the ground floor; minimum 17% glazing at the upper floors • Minimum 10% other materials (from the list below) <p>Other materials utilized (at least two):</p> <ul style="list-style-type: none"> • Masonry • Wood – painted, stained, or synthetic • Non-reflective coated metals • Aluminum Composite Material panels • Brick • Tile • Enhanced Decorative Concrete (e.g. stamped, stained, etc.)
b. Color Palette	<p>Warm, desert-inspired tones.</p> <p>The project's EIFS materials shall be painted with a palette that shall include a minimum of four (4) distinct colors to provide visual interest and variation in building façade.</p>
c. Façade Restrictions	Blank walls shall not exceed a 50-foot horizontal or vertical dimension without a variation in texture, color, articulation, or building fenestration.
d. Mayo Boulevard Frontage Treatment	An artistic or decorative wall feature shall be installed along the length of the Mayo Boulevard frontage. The wall feature shall average no more than 40-inches tall and provide an enhanced design through variation in colors, materials, patterns, textures, and height. Such wall features may be of an artistic, architectural and/or vegetative design and materials. Wall feature lengths exceeding 35 feet in length should be articulated

	through breaks or use of alternative colors, materials, patterns, textures or height. The wall feature, where provided, satisfies any required parking lot screening for that area.
e. Mayo Boulevard Enhanced Pedestrian Nodes	<p>The Mayo Boulevard frontage shall be treated with no less than two (2) architecturally and/or vegetatively enhanced pedestrian nodes to create a strong anchor and sense of arrival. The pedestrian nodes shall be spaced roughly as shown below and incorporate similar architectural or artistic features to ensure a uniform pedestrian condition is achieved for the width of the frontage. Such nodes may be incorporated into frontage treatment features.</p> 
	<p>The pedestrian nodes shall be uniquely identified as the “Corner Node” and “Wash Node” and designed to the specifications below:</p> <p>Corner Node: The enhanced Corner Node shall be a dedicated area of no less than 500 square feet consisting of 75% live vegetative cover. Vegetation shall include species integrated with overall landscape design as well as a minimum of 3 unique accent species to provide heightened visual interest and distinctiveness. The enhanced area shall include an interactive art mural of no less than 50 square feet or an alternative artistic installation or feature a minimum of 5 feet tall. The required mural or artistic feature shall be permitted in the landscape setback and shall not relate to the commercial operation of the site. The Corner Node shall include 75% shade.</p> <p>Wash Node: The enhanced Wash Node shall be a dedicated area of no less than 200 square feet located between the Mayo pedestrian connection and the Mayo/wash pathway connection and consist of 75% live vegetative cover. Vegetation shall include species integrated with overall landscape design as well</p>

	as a minimum of 3 unique accent species to provide heightened visual interest and distinctiveness. The enhanced area shall include dedicated pedestrian seating. The area may also include an art mural of no less than 25 square feet or an alternative artistic installation or feature a minimum of 5 feet tall. Any permitted mural or artistic feature shall be permitted in the landscape setback and shall not relate to the commercial operation of the site. The Wash Node shall include 75% shade.
f. Screen Walls	Screen walls shall utilize architectural detailing consistent or complementary to the building facade.
g. Public Sidewalk and Wash Corridor Pathway Pedestrian Connections	<ul style="list-style-type: none"> • A minimum of one (1) pedestrian connection shall be made in a convenient location to provide easy access from the development to the public sidewalks on Mayo Boulevard and 64th Street and to the wash corridor shared use path located within the wash corridor located on the east side of the Site. • Pedestrian connections shall be 6' wide, be of a concrete surface and shall retain surfacing material or be otherwise distinguished from the drive aisle surface when crossing parking lot areas. • To support use of publicly available amenities by the community, a pedestrian connection to the property to the south is encouraged, but not required. If provided, such connection may include a locking gate to limit use to southern property residents/guests.
i. Traffic Calming Standards	Alternative paving materials such as colored/stained concrete shall be provided on site at each driveway entrance to help delineate the parking lot surface and act as a traffic calming measure.
j. Entry/Exit Enhancement	<p><u>Mayo Boulevard Driveway Entrance/Exit</u> shall incorporate enhanced landscaping on both sides within minimum 25-square-foot landscape areas planted with yucca pallida and yucca rostrata, creating a dynamic and distinctive entrance sequence.</p> <p><u>South Driveway Entrance/Exit</u> shall incorporate enhanced landscaping on both sides within minimum 10-square-foot landscape areas planted with yucca pallida and yucca rostrata, creating a dynamic and distinctive entrance sequence.</p>

k. Bicycle Repair Station	One public bicycle repair station (“fix it station”) shall be provided and maintained along the wash corridor adjacent to the Wash Pathway. The bicycle repair stations (“fix it stations”) shall be provided in an area of high visibility and separated from vehicular maneuvering areas, where applicable. The repair station shall include, but not be limited to, standard repair tools affixed to the station, a tire gauge and pump affixed to the base of the station or the ground, and a bicycle repair stand which allows pedals and wheels to spin freely while making adjustments to the bike.
l. Wash Corridor Shared Use Path	A minimum 25-foot-wide shared-use path easement (SUPE) shall be dedicated along the east side of the site, along the west side of the drainage channel, and a minimum 8- foot-wide shared-use path (SUP) shall be constructed within the easement, in accordance with the MAG supplemental detail and per City of Phoenix standard details, as approved or modified by the Planning and Development Department.
m. Wash Corridor Amenities	Additional pedestrian amenities (public amenities) shall include a minimum of three (3) of the following along the Wash Pathway to be located within the wash corridor: <ul style="list-style-type: none"> • Way finding signage • Bench and/or table with 90% vegetative shade • Fitness stations • Water fountains • Dog water stations
n. Water Conservation	<ul style="list-style-type: none"> • Only landscape materials listed in the Phoenix Active Management Area Low-Water-Use/Drought-Tolerant Plant List shall be utilized, as approved or modified by the Planning and Development Department. • Natural turf shall only be utilized for required retention areas (bottom of basin, and only allowed on slopes if required for slope stabilization) and functional turf areas, as approved by the Planning and Development Department. • Landscaping shall be maintained by permanent and automatic/water efficient WaterSense labeled irrigation controllers (or similar smart controller) to minimize

	<p>maintenance and irrigation water consumption for all on and offsite landscape irrigation.</p> <ul style="list-style-type: none"> • Pressure regulating sprinkler heads and/or drip lines shall be utilized in any turf areas to reduce water waste. • A leak detection device shall be installed for the irrigation system of landscape areas larger than 10,000 square feet. • A minimum of two green stormwater infrastructure (GSI) elements for stormwater management shall be implemented, as approved or modified by the Planning and Development and/or Street Transportation departments. This includes but is not limited to stormwater harvesting basins, bioswales, permeable pavement, etc., per the Greater Phoenix Metro Green Infrastructure and Low Impact Development Details for Alternative Stormwater Management. • Prior to final site plan approval, documentation shall be provided that demonstrates a commitment to participate in the City of Phoenix Businesses Water Efficiency Program for a minimum of 20 years, or as approved by the Planning and Development Department. • A minimum of 10% of the gross area shall be preserved and dedicated as permanent undisturbed open space, as approved by the Planning and Development Department.
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F. SIGNS

F1. Permitted Signs

F1: Permitted Signs

Signage shall comply with Section 705 of the Phoenix Zoning Ordinance.

G. SUSTAINABILITY

G1. City Enforced Standards

The following are standards that are measurable and enforceable by the City and will be provided:

G1: City Enforced Standards

- Dual Glaze Windows with High Performance Low-e Glazing.
- All primary site lighting will be LED lighting.
- Provide water efficient landscaping (drought tolerant plants).
- Utilize a drip irrigation system with a 'smart' controller to minimize water waste.
- Salvage and reuse of existing trees is strongly encouraged.
- Only landscape materials listed in the Phoenix Active Management Area Low-Water-Use/Drought-Tolerant Plant List shall be utilized, as approved or modified by the Planning and Development Department.
- Natural turf shall only be utilized for required retention areas (bottom of basin, and only allowed on slopes if required for slope stabilization) and functional turf areas, as approved by the Planning and Development Department.
- Landscaping shall be maintained by permanent and automatic/water efficient WaterSense labeled irrigation controllers (or similar smart controller) to minimize maintenance and irrigation water consumption for all on and offsite landscape irrigation.
- Pressure regulating sprinkler heads and/or drip lines shall be utilized in any turf areas to reduce water waste.
- A leak detection device shall be installed for the irrigation system of landscape areas larger than 10,000 square feet.
- A minimum of two green stormwater infrastructure (GSI) elements for stormwater management shall be implemented, as approved or modified by the Planning and Development and/or Street Transportation departments. This includes but is not limited to stormwater harvesting basins, bioswales, permeable pavement, etc., per the Greater Phoenix Metro Green Infrastructure and Low Impact Development Details for Alternative Stormwater Management.
- Prior to final site plan approval, documentation shall be provided that demonstrates a commitment to participate in the City of Phoenix Businesses Water Efficiency Program for a minimum of 20 years, or as approved by the Planning and Development Department.
- A minimum of 10% of the net site area shall be preserved and dedicated as open space. This area is encumbered by the drainage channel and associated channel improvements and shall be revegetated to mirror the surrounding desert landscape.

- On-site waste stations shall be provided in accordance with hotel operations and brand standards. Waste receptacles and recycling shall be provided for hotel guests and visitors internal to the building.

H. INFRASTRUCTURE

H1. Grading and Drainage

The site is currently undeveloped and features native desert vegetation. The site is surrounded by 64th Street to the west, Mayo Boulevard to the north, a future townhome development to the south and a single-family residential development to the east. A natural wash corridor runs along the site's eastern side in the north-south direction. The existing wash carries storm water through the site, into culverts underneath Mayo Boulevard. The existing wash corridor will be enlarged to accommodate regional stormwater run-off.

H1: Grading and Drainage

H2. Water and Wastewater

Being that the site is currently undeveloped, there is no existing water or sewer services to the site. New water and sewer taps will be constructed to service the Development.

H2: Water and Wastewater

H3. Circulation Systems

The site will be accessed from two driveways. The primary access is a three-quarter access driveway at Mayo Boulevard. The secondary driveway is located off of the 64th Street shared drive with the condominium property to the south. A circular drive aisle carries vehicular traffic through the site, around the hotel, and to surrounding surface parking spaces. The on-site pedestrian circulation system provides two direct pedestrian connection connections from the hotel to the 64th Street and Mayo Boulevard rights-of-way. Additionally, the wash corridor shared use pathway carries recreational users from Mayo Boulevard to the PUD's southern perimeter line where it will be extended further south to Reach 11 with the construction of the townhome project located immediately south.

H3: Circulation Systems

H4. Complete Streets

H4: Complete Streets

The City of Phoenix Complete Streets Design Guidelines include a number of suggestions for new development, some of which are applicable to this project:

- *Streets should be designed to promote safety for all users, particularly children, the elderly, those with disabilities, transit users, and more vulnerable modes (walking, bicycling, transit).*

New detached sidewalks will be constructed adjacent to Mayo Boulevard and 64th Street. Detached sidewalks will help increase perceived and real pedestrian safety, contributing to a sense of comfort for travelers on foot. The construction of detached sidewalks will be a major improvement for the area, which currently lacks such connectivity.

Additionally, the Project leverages shared driveway access at 64th Street with the future townhome project located to the immediate south. This shared driveway reduces the amount of curb cuts at 64th Street, thereby reducing potential pedestrian/vehicle conflicts.

- *Projects should be designed to connect neighborhoods via streets, sidewalks, and trails.*

New on-site sidewalks and walkways will meander throughout the project, providing an extensive pedestrian connection network. Additionally, the pedestrian trail adjacent to the wash corridor will serve as a major pedestrian thoroughfare, helping to activate the Development and promote a walkable environment in the surrounding area.

I. COMPARATIVE ZONING STANDARDS

I: Comparative Zoning Standards Table

Standards	CP/BP Standards	Proposed PUD Standards
a. Maximum Building Height	56 feet	88 feet
b. Lot Coverage	40% plus 10% for parking canopies or structure	20%
c. Building Setbacks		
Mayo Boulevard:	30 feet	60 feet
64th Street:	30 feet	140 feet
East Perimeter:	20 feet	250 feet
South Perimeter:	20 feet	70 feet
d. Landscape Setbacks		
Mayo Boulevard:	30 feet	20 feet
64th Street:	30 feet	20 feet
East:	20 feet	20 feet
South Perimeter:	20 feet	5 feet

J. LEGAL DESCRIPTION

Legal description per special warranty deed recorded by Maricopa County Recorder (MCR # 20250293566):

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:

A PORTION OF TRACT MF3 OF STATE PLAT NO. 55, PARADISE RIDGE SECOND AMENDED, RECORDED IN BOOK 949 OF MAPS, PAGE 50, RECORDS OF MARICOPA COUNTY, ARIZONA AND LOCATED IN A PORTION OF THE SOUTHWEST QUARTER OF SECTION 27, TOWNSHIP 4 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID SECTION 27, FROM WHICH THE SOUTH QUARTER CORNER OF SAID SECTION 27 BEARS SOUTH $89^{\circ}58'09''$ EAST, A DISTANCE OF 2644.14 FEET;

THENCE ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 27, NORTH $00^{\circ}02'25''$ EAST, A DISTANCE OF 564.10 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHEASTERLY WHOSE RADIUS BEARS NORTH $20^{\circ}25'52''$ EAST, A DISTANCE OF 9000.00 FEET;

THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, TO THE LEFT, THROUGH A CENTRAL ANGLE OF $5^{\circ}19'31''$, FOR AN ARC LENGTH OF 836.49 FEET;

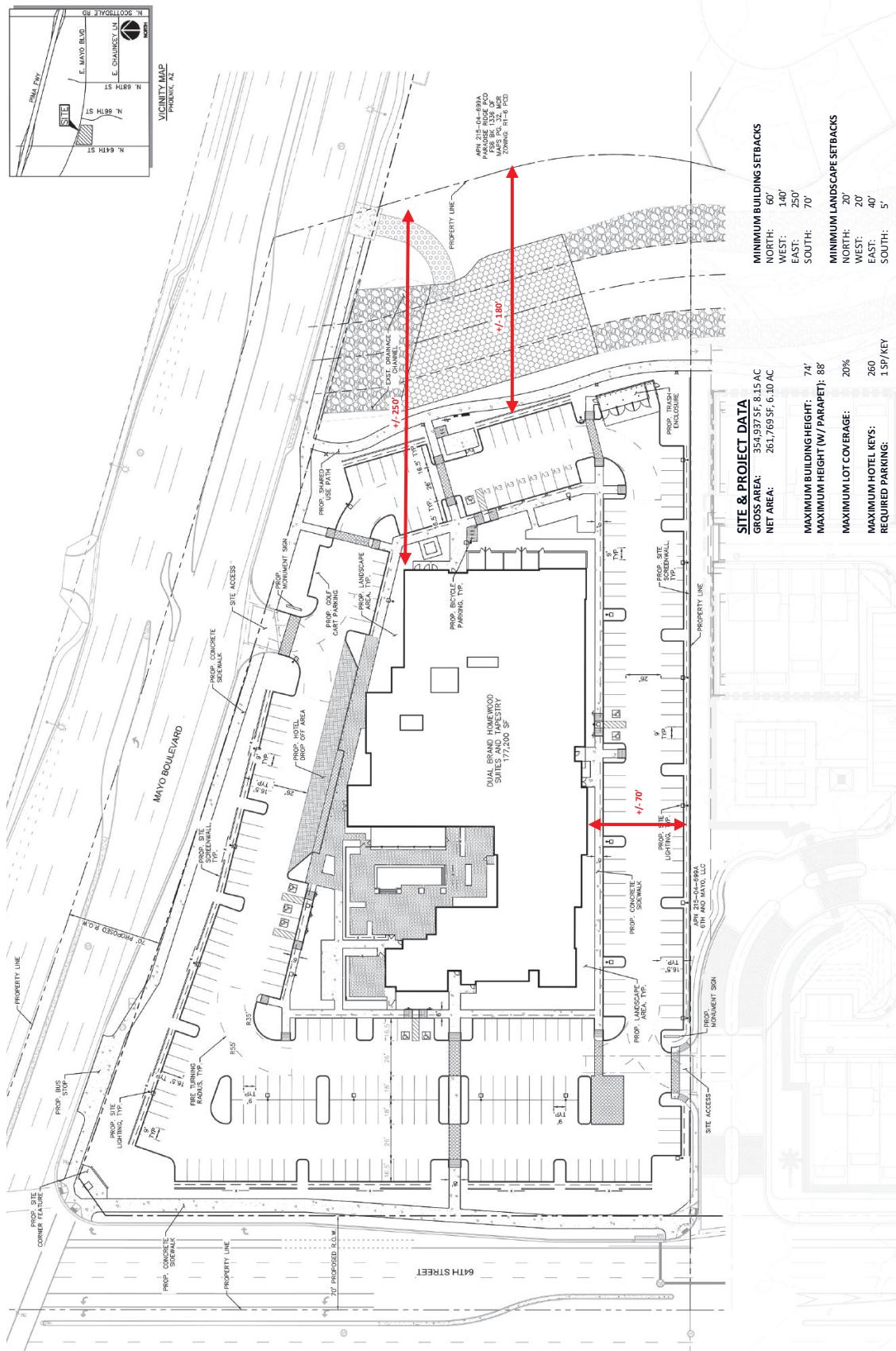
THENCE SOUTH $16^{\circ}23'10''$ EAST, A DISTANCE OF 177.71 FEET TO THE BEGINNING OF A CURVE CONCAVE WESTERLY HAVING A RADIUS OF 290.00 FEET;

THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE, TO THE RIGHT, THROUGH A CENTRAL ANGLE OF $27^{\circ}45'50''$, FOR AN ARC LENGTH OF 140.53 FEET TO THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 27;

THENCE ALONG SAID SOUTH LINE, NORTH $89^{\circ}58'09''$ WEST, A DISTANCE OF 852.94 FEET TO THE POINT OF BEGINNING;

LESS AND EXCEPTING ALL OIL, GAS OTHER HYDROCARBON SUBSTANCES, HELIUM OR OTHER SUBSTANCES OF A GASEOUS NATURE, GEOTHERMAL RESOURCES, COAL, METALS, MINERALS, FOSSILS, FERTILIZERS OF EVERY NAME AND DESCRIPTION, TOGETHER WITH ALL URANIUM, THORIUM OR ANY OTHER MATERIAL WHICH MAY BE DETERMINED BY THE LAWS OF THE UNITED STATES, OR OF THIS STATE AS RESERVED IN PATENT RECORDED DECEMBER 20, 2024 AS 2024-0676745 OF OFFICIAL RECORDS.

EXHIBIT 1



PRELIMINARY SITE PLAN

N 46TH ST & E MAYO BLVD

PHOENIX, ARIZONA

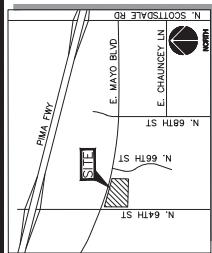
Kimley-Horn

© 2025 KIMLEY-HORN AND ASSOCIATES, INC.

SCOTTSDALE, ARIZONA 85254 (602) 944-5500

© 2025 KIMLEY-HORN AND ASSOCIATES, INC.

SCOTTSDALE, ARIZONA 85254 (602) 944-5500



VICINITY MAP
PHOENIX, AZ

SITE PLAN NOTES

1. CONSTRUCT 6" VERTICAL CURB PER MAG
2. STD. DET. 220.
3. PROP. ADA PARKING STALL.
4. PROP. ADA SIGNAGE.
5. PROP. FIRE TURNING RADIUS.
6. CONSTRUCT CONCRETE SIDEWALK PER COP
7. CONSTRUCT SIDEWALK RAMP.
8. CONSTRUCT CONCRETE SIDEWALK PER COP
9. INSTALL GUEST DROP OFF/LOADING ZONE.
10. CONSTRUCT BUS STOP.
11. CONSTRUCT PARKING SCREENWALL.
12. PROP. SITE LIGHT.
13. PROP. FENCE.
14. PROP. 5' VEHICLE OVERHANG.
15. PROP. POOL/AMENTITY AREA. REF. LANDSCAPE PLANS.
16. PROP. DECORATIVE PAVERS. REF. LANDSCAPE PLANS FOR DETAILS.
17. PROP. PEDESTRIAN GATE. REF. ARCH. PLANS FOR DETAILS.
18. PROP. POOL/AMENTITY AREA. REF. LANDSCAPE PLANS.
19. PROP. POOL/AMENTITY AREA. REF. LANDSCAPE PLANS.
20. PROP. POOL/AMENTITY AREA. REF. LANDSCAPE PLANS.
21. PROP. POOL/AMENTITY AREA. REF. LANDSCAPE PLANS.
22. PROP. PEDESTRIAN GATE. REF. ARCH. PLANS FOR DETAILS.
23. FUTURE ARTWORK OR SIGNAGE.

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MC BOCHI

27 TAN, RAE PD.
MC BOCHI

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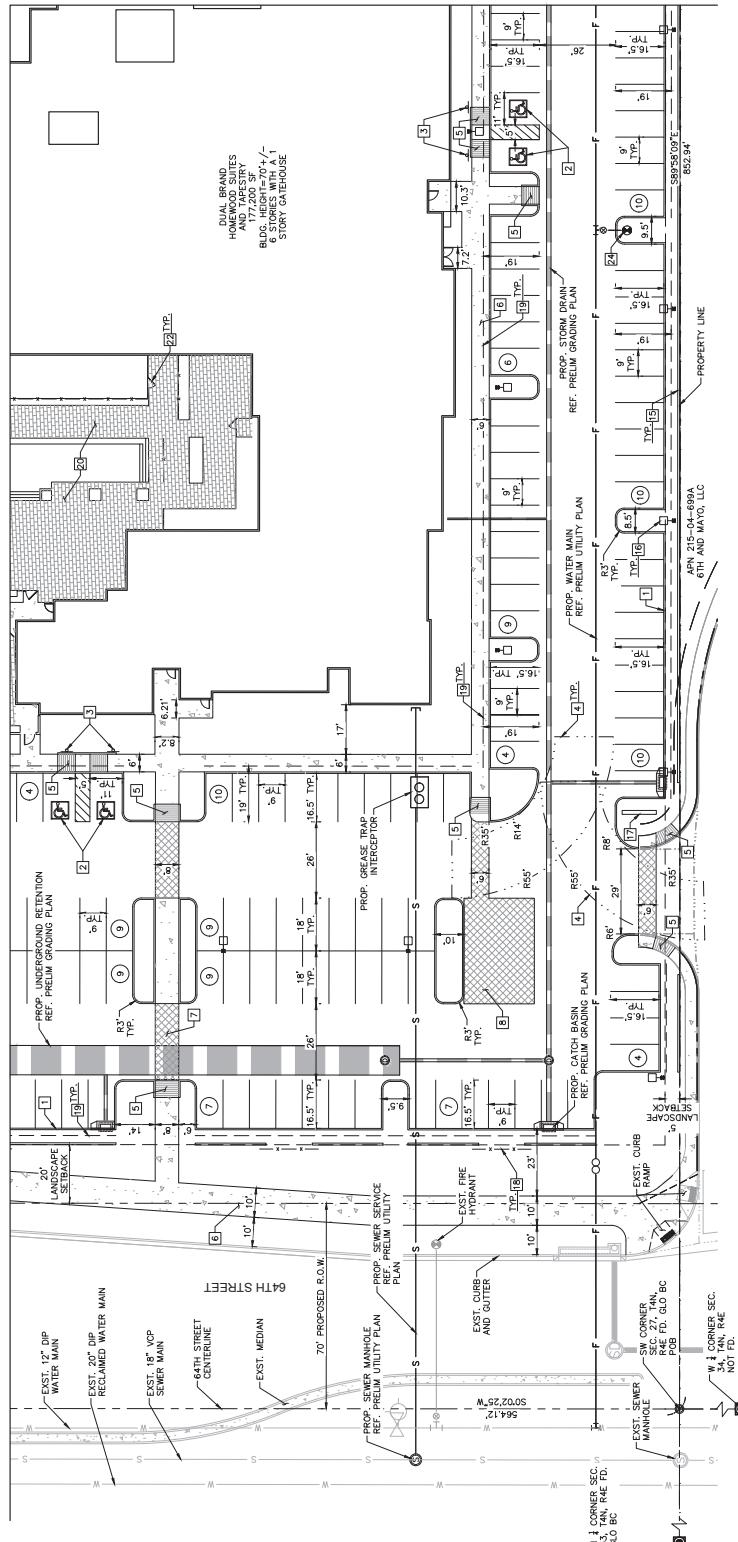
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MATCH LINE: SEE SHEET SP3

MATCH LINE: SEE SHEET 6D1



SITE PLAN

RT-1B, S-1
CIP/BP, 251-100-0000-0000
251-100-0000-0000
70 AND 6 STOREYES
1 STORY GATEHOUSE
281-100-0000-0000
354,937 SF, 8.10
281,789 SF, 8.10
172,320 SF, 17.79 =
172,320 SF, 17.79 =
224 SPACES (1 AD
227 SPACES (4 AD
NOTES
1. REFER HEREON FOR LEGEND.
2. ALL DIMENSIONS ARE IN FEET OF CURVE.
3. ALL DIMENSIONS ARE IN FEET OF CURVE.

SITE PLAN NOTES

NOT FOR CONSTRUCTION	Printed: 8/24/04
CHECK BY: CCF	SP2
DATE: 12/29/25	

2 OF 3 SHEETS

PRELIMINARY SITE PLAN

N 64TH ST & E MAYO BLVD

© 2025 KIMLEY-HORN AND ASSOCIATES, INC.

SITE PLAN NOTES

- 1 CONSTRUCT 6" VERTICAL CURB PER MAG STD. DET. 1200.
- 2 PROP. ADA PARKING STALL.
- 3 PROP. ADA SIGNAGE.
- 4 PROP. FIRE TURNING RADIUS.
- 5 CONSTRUCT SIDEWALK RAMP.
- 6 CONSTRUCT CONCRETE SIDEWALK PER COP STD. DET P1200, WIDTH PER PLAN.
- 7 INSTALL CROSSWALK DIMENSION PER PLAN.
- 8 PROP. TRASH ENCLOSURE.
- 9 PROP. DOG PARK.
- 10 PROP. GAS GENERATOR.
- 11 INSTALL 8' SHARED USE PATH.
- 12 PROP. CONSTRUCT PARKING SCREENWALL.
- 13 PROP. SITE LIGHT.
- 14 PROP. MONUMENT SIGN.
- 15 2.5' VEHICLE OVERHANG.
- 16 PROP. DECORATING PAINTS, REF. LANDSCAPE PLANS FOR DETAILS.
- 17 PROP. BIKE PARKING.
- 18 PROP. FIRE HYDRANT.
- 19 PROP. BEACH.
- 20 PROP. WATER FOUNTAIN.
- 21 PROP. BIKE RACK.

NOTE 5

NOTES

1. REFER TO SHEET SP2 FOR LEGEND.
2. ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED.

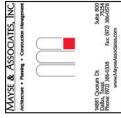
MATCH LINE: SEE SHEET SP2

PROJECT No.	091377005
SCALE (H):	1"-20'
SCALE (V):	NONE
DRAWN BY:	MCH
DESIGN BY:	WFK
CHECK BY:	CGF
DATE:	12/29/25

NOT FOR CONSTRUCTION

3 OF 3 SHEETS

EXHIBIT 2



08-05-14

PLANT LEGEND

SYM.	BOTANICAL NAME COMMON NAME	SIZE	QTY.	NOTES (H x W x CAL.)
THREE CIRCLE	SALVIA DENSIFLORA TREE	-	1	-
ACACIA	ACACIA VILLARDINA PAUL BLANCO	-	24	-
CHILOPSIS	CHILOPSIS LINEARIS 'BUBBA'	-	5	-
QUNEA	QUNEA TESOTA IRONWOOD	-	9	-
YUCA	YUCA FEELLESS THORNLESS HYBRID MESQUITE YUCA TIGRIS CASTOS CHOCO FREE SUGARWOOD	-	27	8' HT MIN SPEAR
YUCA	PARKINSONIA MICROPHYLLOM HYBRID THORNLESS PALOVERDE	-	4	-
YUCA	PHOENIX CYCLISTRE DATE PALM	-	79	-
YUCA	PROSOPIS HYBRIDIZZI DESERT WILLOW-BUBBA	-	1	-
YUCA	YUCA TIGRIS CASTOS CHOCO FREE SUGARWOOD	-	32	8' HT MIN SPEAR

SHRUBS

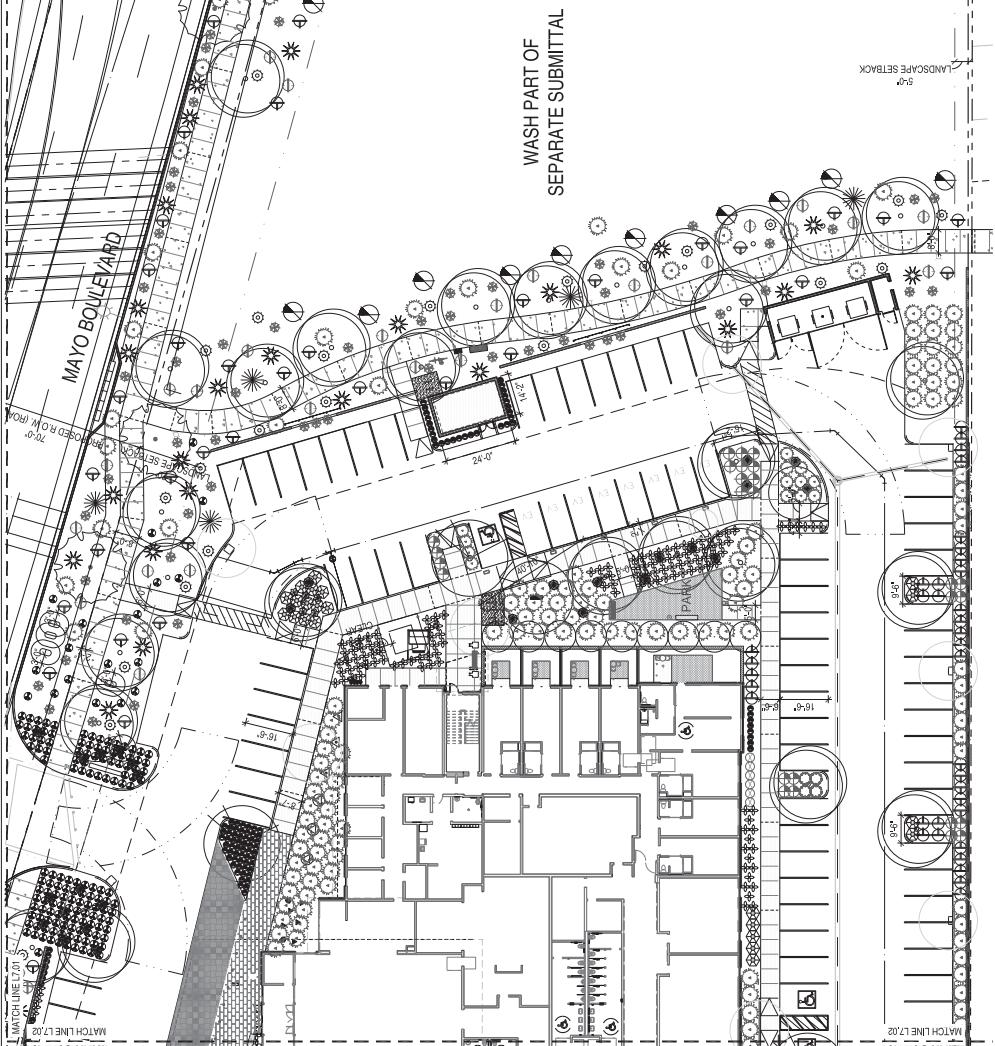
ASCLEPIAS	ASCLEPIAS SUBTILIATA MILKWEED	5 GAL.	104	CAN FULL
CHLOROPHYLLUM	CHLOROPHYLLUM CONOSUM SPIDER PLANT	5 GAL.	16	CAN FULL
ENCIMELA	ENCIMELA FABRICA BRITTLE BUSH	5 GAL.	86	CAN FULL
HELIOSPERMUM	HELIOSPERMUM PARVIFLORUM 'PEPA BRAKELIGHT'	5 GAL.	428	CAN FULL
HELIOSPERMUM	HELIOSPERMUM PARVIFLORUM 'RED'	5 GAL.	174	CAN FULL
ISTOCIA	ISTOCIA CALIFORNICA CHIAPACIA	5 GAL.	157	CAN FULL
LARREA	LARREA TRIDENTATA CREOSOTE BUSH	15 GAL.	11	CAN FULL
MALTEBRAGIA	MALTEBRAGIA JIGURSIS HEAT GRASS	5 GAL.	365	CAN FULL
MUELLERIA	MUELLERIA BRITTONIANA MEXICAN PETUNIA	5 GAL.	58	CAN FULL
RUSSELLIA	RUSSELLIA EQUISITIFLORA 'MIS	5 GAL.	117	CAN FULL
SYMBIOSIS	SYMBIOSIS CHIENSIS VESTA COMPACT JOLOBA	5 GAL.	12	CAN FULL

ACCENT

AGAVE	AGAVE BLUE GLOW AGAVE GOLD AGAVE	5 GAL.	134	CAN FULL
ALOE	ALOE BARBARAE 'YELLOW'	5 GAL.	455	CAN FULL
ALOE	ALOE VERA 'YELLOW'	8HT MIN	2	CAN FULL
ALOE	ALOE VERDENS	-	11	3' HT MIN
CARNEIRIA	CARNEIRIA GIGANTEA SAGUARO	-	2	5' HT MIN
CERATOCAERIS	CERATOCAERIS SENILIS OLD MAN CACTUS	-	9	5' HT MIN
CEREA	CEREA PERUVIANUS FERMILARIA EPIPHYTIC	-	5 GAL.	CAN FULL
CLESIOCACTUS	CLESIOCACTUS STRIATUS SILVER TORCH	-	-	-

PARTIAL LANDSCAPE PLAN 01
DETAIL

SANSEVIERIA	SANSEVIERIA PFEIFFERIA SNAKE PLANT	5 GAL.	25	CAN FULL
YUCCA	YUCCA RIGIFLORA PALE YUCCA	5 GAL.	283	CAN FULL
YUCCA	YUCCA RIGIFLORA BEARDED YUCCA	5 GAL.	56	CAN FULL
OCOTILLO	OCOTILLO SPLENDENS	5 GAL.	53	CAN FULL
EUPHORBIA	EUPHORBIA ANTIPHYLLITA SCOTTII 'MONSTROSE'	5 GAL.	19	CAN FULL
LOPHOCEREUS	LOPHOCEREUS SCOTTII 'MONSTROSE'	5 GAL.	7	CAN FULL
TOTOMA	TOTOMA SOMERO MEXICO OLD MEXICO PRICKLY PEAR	5 GAL.	10	CAN FULL
OPUNTIA	OPUNTIA SOMERO MEXICO PRICKLY PEAR	5 GAL.	18	CAN FULL
PACHYCEBEUS	PACHYCEBEUS marginatus	5 GAL.	-	CAN FULL
PACHYCEBEUS	PACHYCEBEUS PRINGLEI 'CAROLIN'	-	3	8' HT MIN
MICROSTACHYS	MICROSTACHYS BRACTEATUS	5 GAL.	51	CAN FULL
PEDALIOTIS	PEDALIOTIS BRACTEATUS TALL SLIPPER PLANT	-	-	-
PORTULACA	PORTULACA OLERACEA ELEPHANT FOOD	5 GAL.	104	CAN FULL
SANSIBERIA	SANSIBERIA PFEIFFERIA 'MADAGASCARIENSIS'	5 GAL.	17	CAN FULL



LAW

LANDSCAPE

PLAN

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9/6/2005 11:28:11 AM



HOME SUIT
TAPESTRY COLLECTION by Hilton

FEATH

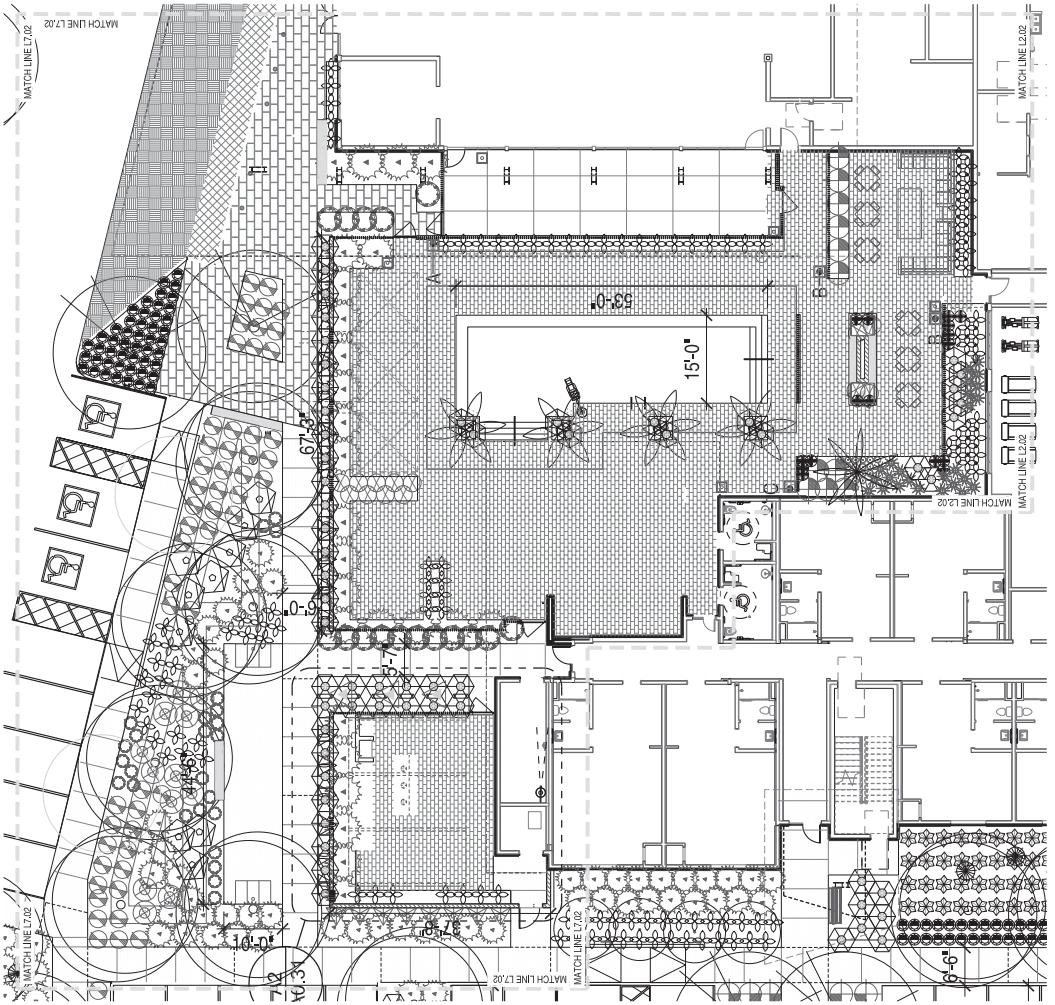
FAYTH HOSPITALITY GROUP, LLC
5442 BELMONT AVE,
DALLAS, TX 75206

date	11/18/2025
by no.	25024
sheet # ¹⁰	
LANDSCAPE PLAN	

PLANT LEGEND

 EUPHORIA ANTIOPHYLLITA	5 GAL.	53	CAN FULL	
 CANDELLIA	5 GAL.	19	CAN FULL	
 FOUGERA SPLENDENS	5 GAL.	7	CAN FULL	
 COCCITOLO	5 GALLONS SCHOTTIANA MONSTROSE ¹	5 GAL.	7	CAN FULL
 TOTOMI CACTUS	5 GAL.	10	CAN FULL	
 OLD WORLD MEXICO ²	5 GAL.	18	CAN FULL	
 OPIUM GOMELD MEXICO ³	5 GAL.	18	CAN FULL	
 OLD WORLD PRICKLY PEAR	5 GAL.	18	CAN FULL	
 PACHYCELEIA MARGINATUS	5 GAL.	18	CAN FULL	
 MEXICAN FENCE POST	-	3	8HT MIN	
 PACHYCELEIA PRINGLEI 'CARDON'	5 GAL.	51	CAN FULL	
 MEXICAN GIANT CARDON	5 GAL.	104	CAN FULL	
 FOUGERA BRACEATIS	5 GAL.	17	CAN FULL	
 TALL SUPERIOR PLANT	5 GAL.	25	CAN FULL	
 POTHOCARPA ARA	5 GAL.	283	CAN FULL	
 ELEPHANT FOOD	5 GAL.	283	CAN FULL	
 SANSEVIERIA PFAFFSCHA 'MOONSHINE'	5 GAL.	283	CAN FULL	
 SILVER SNAKE PLANT	5 GAL.	283	CAN FULL	
 SANSEVIERIA PFAFFSCHA	5 GAL.	283	CAN FULL	
 SILVER SNAKE PLANT	5 GAL.	283	CAN FULL	
 YUCA PALIDA	5 GAL.	56	CAN FULL	
 PALE LEAF YUCA	5 GAL.	56	CAN FULL	
 YUCA RICARDEA	5 GAL.	56	CAN FULL	
 BEARDED YUCA	5 GAL.	56	CAN FULL	

CREEPING FIG



PARTIAL LANDSCAPE PLAN 01

DETAIL

SCALE IN FEET: 1" = 20'

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UNAUTHORIZED DUPLICATED EDITION PUNISHED.

3

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SHADE PLAN

PUBLIC SIDEWALK (MAYO BLVD & 64TH ST)

SIDEWALK: 11,346 sqft

SHADE PROVIDED: 3,016 sqft

SHADE %: 27.02 %

PUBLIC SIDEWALK (MAYO BLVD)

SIDEWALK: 8,211 sqft

SHADE PROVIDED: 4,721 sqft

SHADE %: 70.07 %

PUBLIC SIDEWALK (64TH ST)

SIDEWALK: 5,137 sqft

SHADE PROVIDED: 3,065 sqft

SHADE %: 75.32 %

SITE SIDEWALK:

SHADE PROVIDED: 1,321 sqft

SHADE %: 10.07 %

PUBLIC SIDEWALK (64TH ST)

SIDEWALK: 1,095 sqft

SHADE PROVIDED: 559 sqft

SHADE %: 51.05 %

WASH PATH:

SIDEWALK: 2,220 sqft

SHADE PROVIDED: 1,181 sqft

SHADE %: 52.08 %

AMENITY AREA:

HARDCAPE:

SIDEWALK:

SHADE PROVIDED:

SHADE %: 50.95 %

OVERALL SITE:

HARDCAPE:

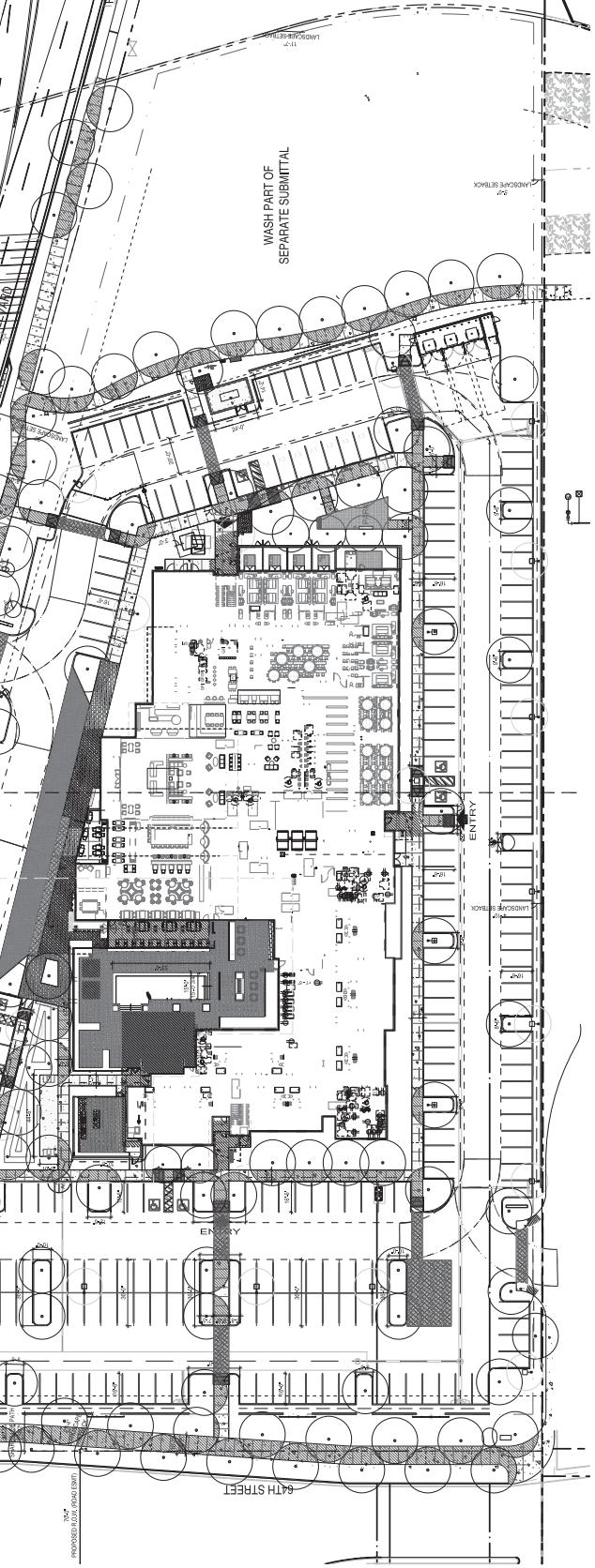
SIDEWALK:

SHADE PROVIDED:

SHADE %: 55.49 %

LEGEND

SHADE



09-05-14

N 64TH ST & E MAYO BLVD
PHOENIX, AZ 85054

TAPESTRY HOMECOMING
SUITES by Hilton

PLAZA
COMPANIES

FAYTH

PLAZA COMPANIES, INC
9401 W. THUNDERBIRD RD.
PEORIA, ARIZONA 85381

FAYTH HOSPITALITY GROUP, LLC
5442 BELMONT AVE,
DALLAS, TX 75206

RECD/HMMA
10/02/2025 - CONCEPT SET
10/02/2025 - PROGRESS UPDATE

drawn by VHS
date 12/23/2025
job no. 25024
sheet no. 1
sheet title SHADE PLAN

SHADE PLAN 01

L 0.00

SCALE: 1' = 30'
0 15 30 60
SCALE IN FEET

EXHIBIT 4

KEYNOTES:**EXISTING CONDITIONS:**

1.1 PROPERTY LINE
1.2 PROJECT LIMIT OF CONSTRUCTION
1.3 EXISTING CURB & GUTTER

STEWART UTILITIES:

2.1 UNDERGROUND STORAGE TANKS
2.2 STORM DRAIN
2.3 3' UTILITY CLEAR
2.4 TRANSFORMER
2.5 GENERATOR
2.6 REFUSE
2.7 FIRE HYDRANT
2.8 CROSS WALK

CONCRETE PAVING FINISHES:

3.1 4' TH. BROOM FINISH CONC.
3.2 4' TH. SAW FINISH CONC.
3.3 4' TH. AGG. CONC.
3.4 REED MULCH PAVES.
3.5 TERRACED REDEEMER PAVES.
3.6 VIBRANT MULCHES
3.7 STONE Paver's POOL DECK
3.8 ASPHALT DRIVE
3.9 EH CURB
3.10 18' CIP BEACH
3.11 3% SPL. SURFACE BACK SCREEN WALL
3.12 PARKING STRIPING
3.13 ENTRY MONUMENT SIGN
3.14 ADA PARKING AND SIGN
3.15 8' DOUBLE SIDED FIRE PLACE
3.16 8% SPL. SURFACE BLOCK WALL
3.17 8% C/W WALL PAINTED

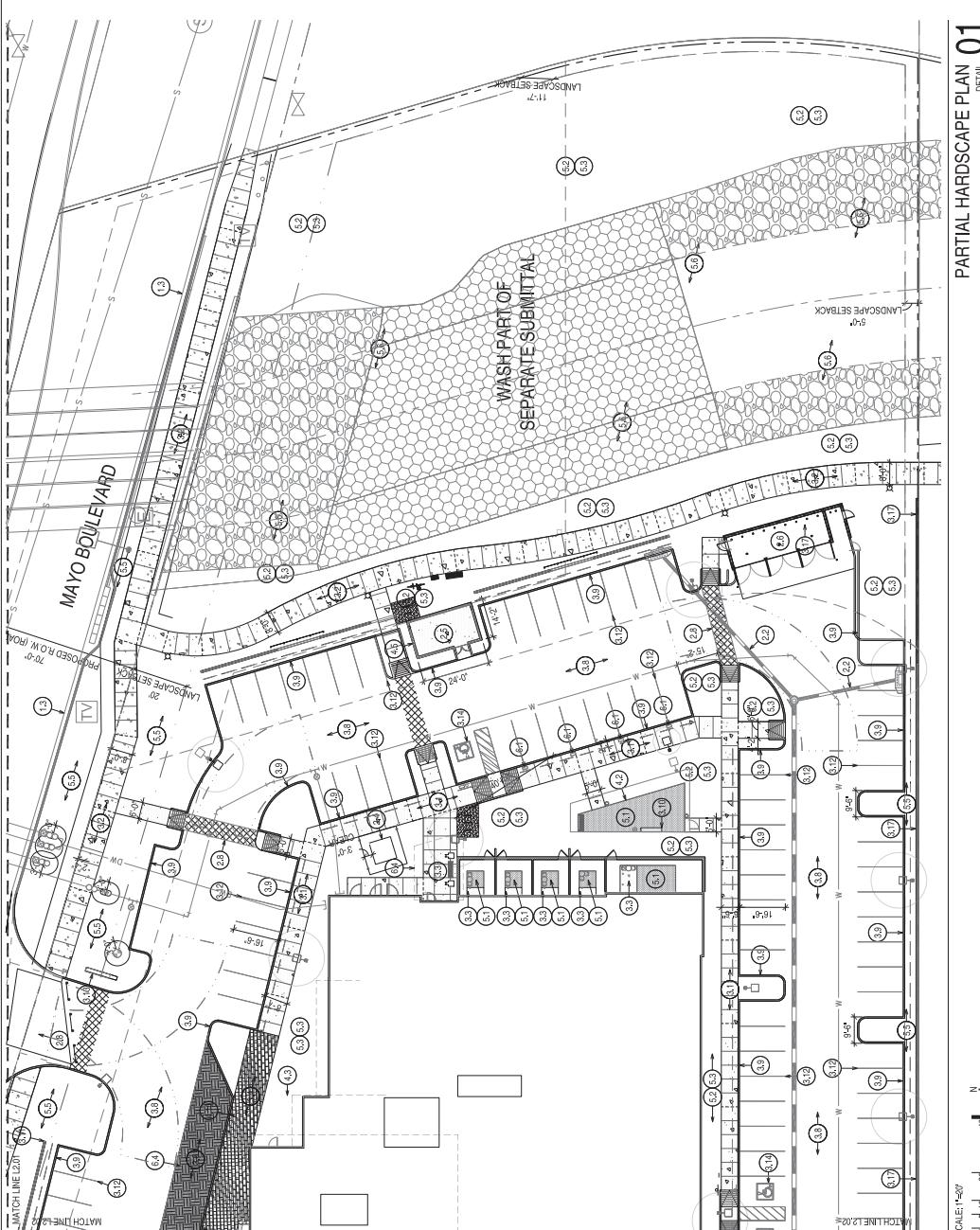
METAL GLASS/WOOD:

4.1 3' H. INT. PARKING SCREEN WALL
4.2 12' TH. ST. HEADER
4.3 14'X3' ST. RICKET FENCE & GATE
4.4 14'X3' ST. SILVER FENCE & GATE
4.5 6' TH. ST. SILVER FENCE
4.6 ST. SILVER STRUCTURE
4.7 ST. SILVER DOOR POST 3'X3' SO.
4.8 30' H. ST. PLANTER
4.9 12'X3' ST. TOILET FENCING

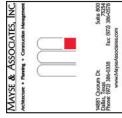
PLANTING LANDSCAPE:

5.1 TURF
5.2 AT GRADE PLANTING
5.3 DESERT PLANTING
5.4 12' TOP DRESSING
5.5 12' TOP DRESSING
5.6 FEATHERED RIP RAP
MISC./SITE FURNISHING:

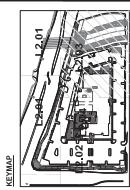
6.1 EV CHARGER
6.2 CHASE LOUNGE
6.3 MOBILE TABLE & CHAIR
6.4 ROOF OVERHANG
6.5 CABAN STRUCTURE
6.6 BBQ CENTER
6.7 BIG ISLAND
6.8 FESTIVAL LIGHTING
6.9 CHARLIGHT
6.10 PUBLIC ART
6.11 CORN HOLE



PARTIAL HARDSCAPE PLAN 01
DETAIL

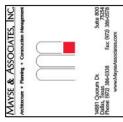


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date 11/16/2025
job no. 25024
sheet no. 1
sheet title Hardscape Plan

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1.1 PROPERTY LINE.

1.2 PROJECT LINE OF CONSTRUCTION

1.3 EXISTING CURB & GUTTER

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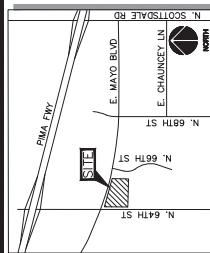
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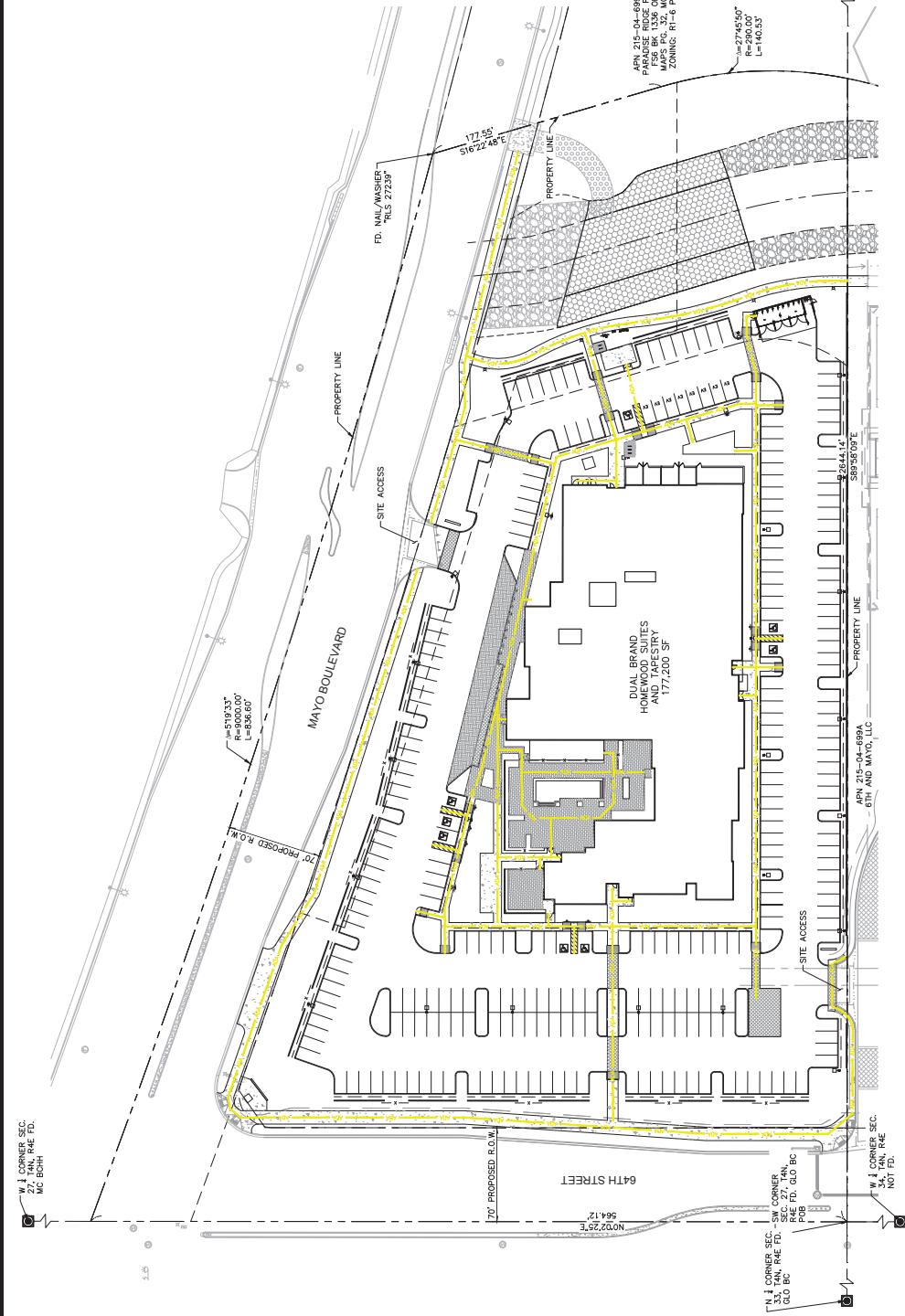
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EXHIBIT C



VICINITY MAP
PHOENIX, AZ

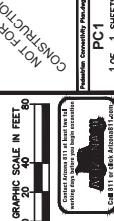


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PHONE: (623) 384-0338
EMAIL: PHOENIX.KH@KIMLEY-HORN.COM



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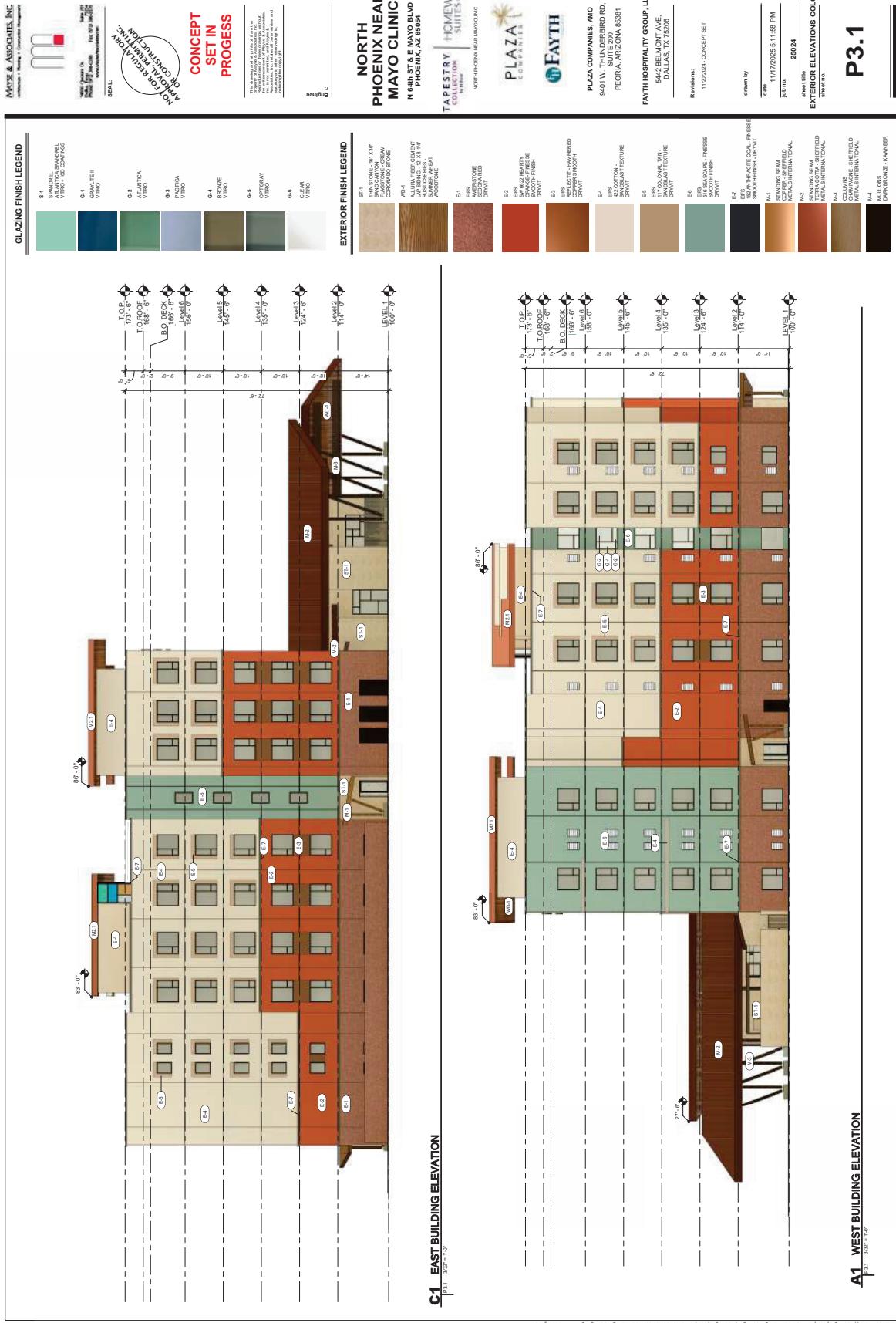
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EXHIBIT 6

EXHIBIT A





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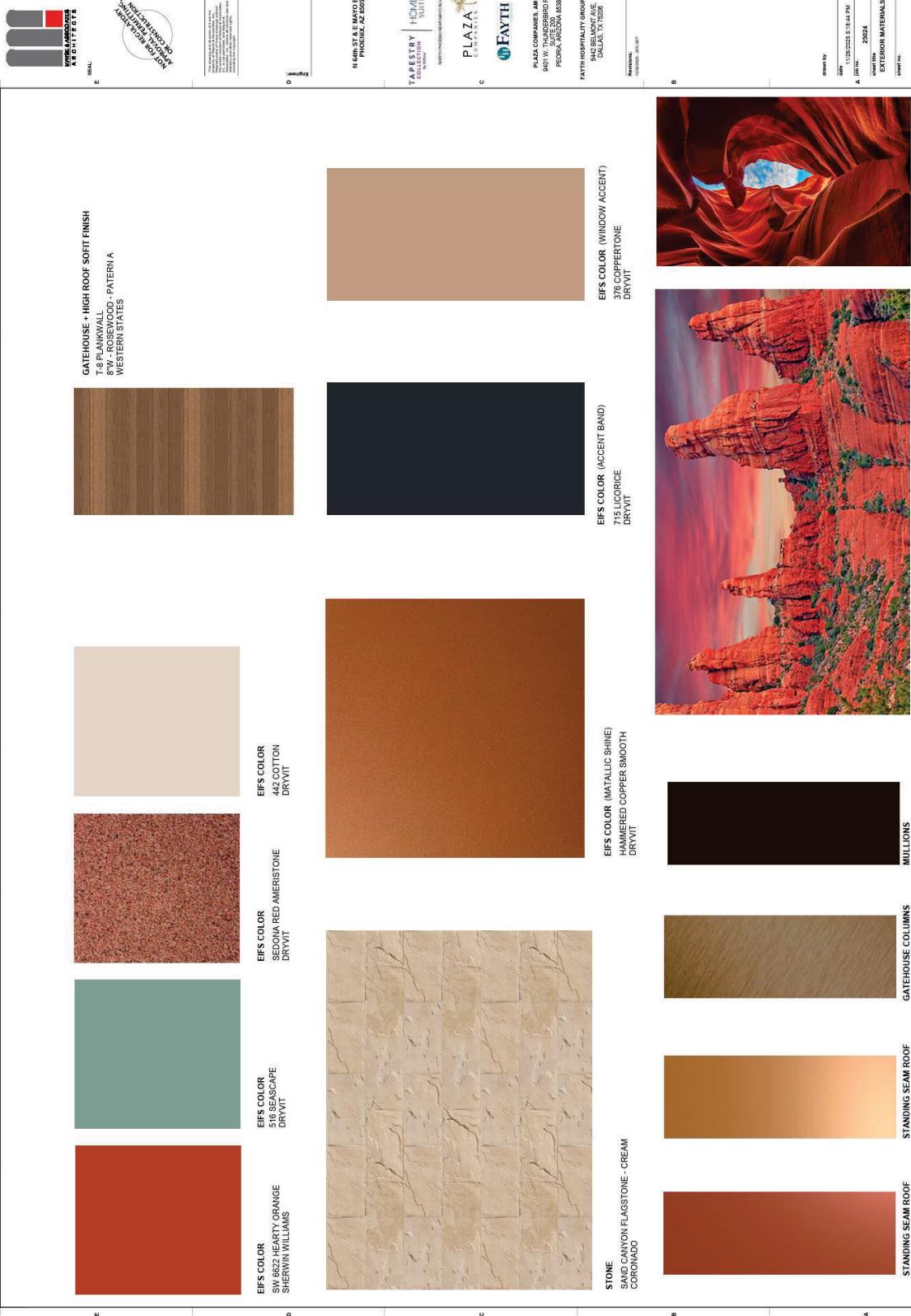
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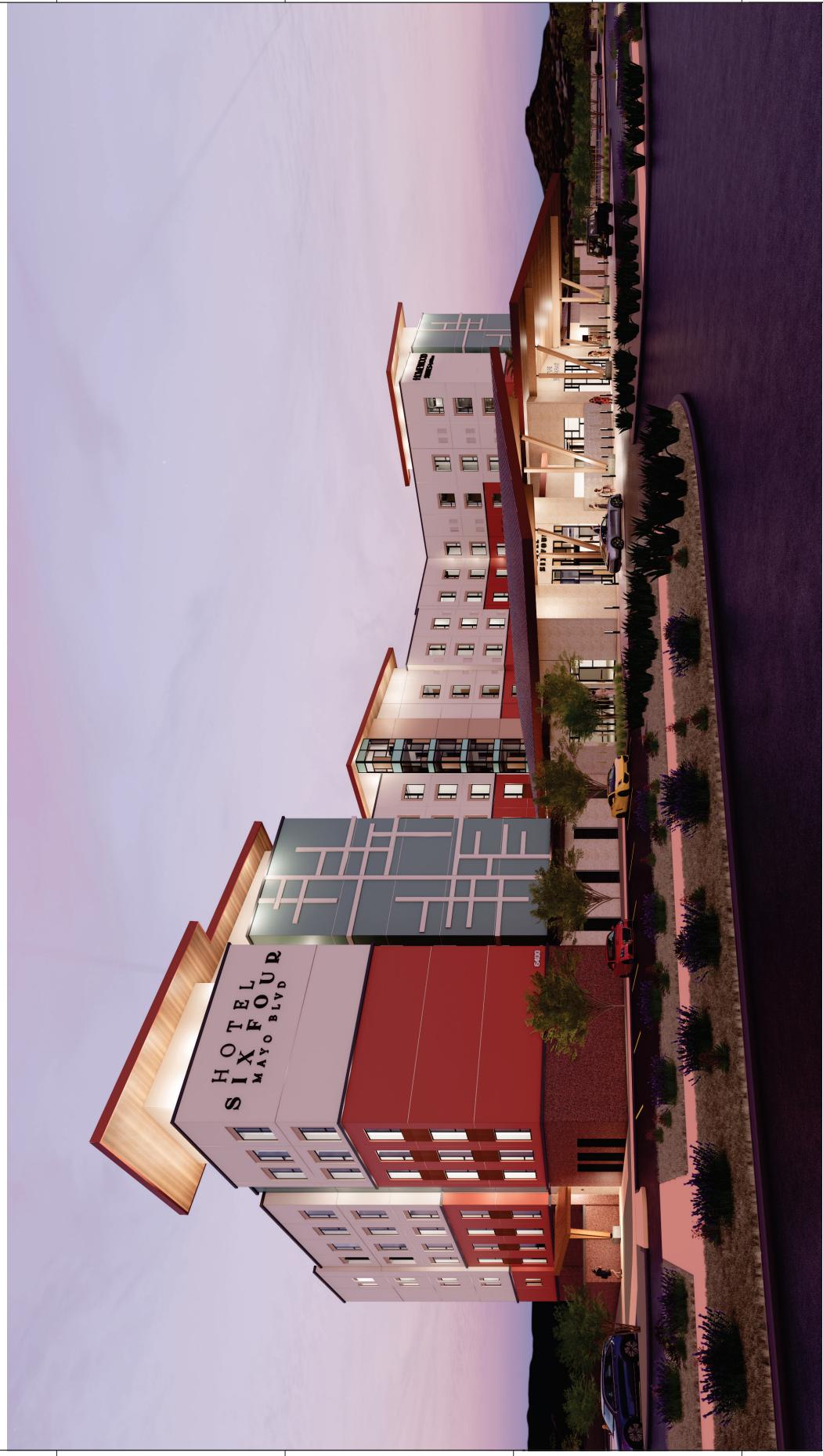
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C O M P A N I E S
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PLAZA COMPANIES
PLAZA
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FAYTH HOSPITALITY GROUP, LLC

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HOSPITALITYPLAZA COMPANIES, AND
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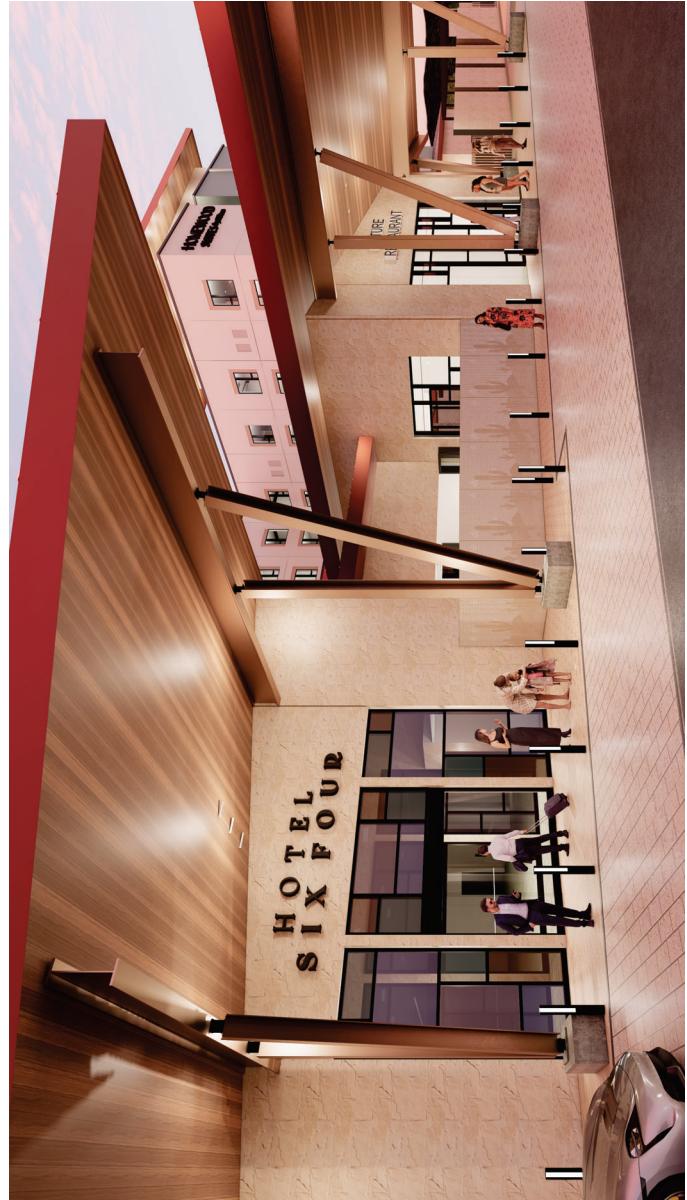
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DALLAS, TX 75208

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