

CITY OF PHOENIX

JAN 12 2026

**Planning & Development
Department**



**PLAZA COMPANIES
HOSPITALITY**
CASE NO. Z-87-E-03-2

LOCATED AT THE SOUTHEAST CORNER OF MAYO BOULEVARD

DATE OF INITIAL SUBMISSION: SEPTEMBER 11, 2025
2ND SUBMITTAL: NOVEMBER 19, 2025
3RD SUBMITTAL: DECEMBER 29, 2025
HEARING DRAFT SUBMITTAL: JANUARY 12, 2026
CITY COUNCIL ADOPTED:

A Planned Unit Development (“PUD”) is intended to be a stand-alone document of zoning regulations for a particular project. Provisions not specifically regulated by the PUD are governed by the Phoenix Zoning Ordinance. A PUD may include substantial background information to help illustrate the intent of the development. The purpose and intent statements are not requirements that will be enforced by the City. The PUD only modifies Zoning Ordinance regulations and does not modify other City Codes or requirements. Additional public hearings may be necessary, such as, but not limited to, right-of way abandonments.

Principals and Development Team

Developers

Plaza Companies
9401 W Thunderbird Road, Suite 200
Peoria, AZ 85381
www.theplazaco.com



Fayth Hospitality Group, LLC
5442 Belmont Avenue
Dallas, TX 75206
www.faythhosp.com



Architect

Mayse & Associates
14881 Quorum Drive, Suite 800
Dallas, TX 75254
www.mayseassociates.com



Landscape Architect

Colwell Shelor
4450 N 12th Street, Suite 104
Phoenix, AZ 85014
www.colwellshelor.com



Civil & Traffic Engineer

Kimley-Horn
14648 N Scottsdale Road, Suite 200
Scottsdale, AZ 85254
www.kimley-horn.com



Zoning Attorney

Nick Wood, Esq.
Snell & Wilmer, LLP
1 E Washington Street, Suite 2700
Phoenix, AZ 85004
nwood@swlaw.com
602.382.6269



Table of Contents

	<u>Page #</u>
A. Purpose and Intent	5
B. Land Use Plan	8
C. List of Uses	9
D. Development Standards	12
E. Design Guidelines	19
F. Signs	24
G. Sustainability	25
H. Infrastructure	27
I. Comparative Zoning Standards	29
J. Legal Description	30

Exhibits

Exhibit 1: Conceptual Site Plan	31
Exhibit 2: Conceptual Landscape Plan	36
Exhibit 3: Conceptual Shade Plan	42
Exhibit 4: Hardscape Plan	42
Exhibit 5: Pedestrian Connectivity Plan	50
Exhibit 6: Vehicle Circulation Plan	52
Exhibit 7: Building Elevations	54
Exhibit 8: Material and Color Palette	58
Exhibit 9: Building Renderings	60

A. PURPOSE AND INTENT

A1. Project Overview and Goals

A1: Project Overview and Goals

The **Plaza Companies Hospitality PUD** is a rezoning proposal to establish more neighborhood compatible land use categories to support a proposed new dual-brand 6-story hotel concept with approximately 260 guestrooms (or “keys”) and supportive quality guest amenities situated on an 8.15 gross-acre site near the southeast corner of 64th Street and Mayo Boulevard (the “Development”). The subject property lies within the Desert View Village part of the City, an area of continued growth, as well as its significant commercial and employment hubs.



The property was sold at auction by the Arizona State Land Department in 2022 and is currently undeveloped. A significant drainage channel runs along its eastern edge. The property is currently zoned Commerce Park/Business Park, Planned Community District (subject to the Desert Ridge PCD) (“CP/BP PCD, an industrial district that is no longer compatible with development east of 64th Street.

With existing residential development to the east, planned residential multi-family development to the north, and planned attached single-family homes to the south, the site is well situated to provide a location for residentially compatible uses at what is becoming a key intersection for the area. In this context, this PUD is proposing a hospitality development that is complementary to the growing Mayo campus, a hub of medical services and related businesses while changing the allowed land uses away from less compatible industrial/warehousing and other Commerce Park/Business Park (CP/BP) uses.

A primary goal of the Development is to transition away from industrial land uses to more appropriate commercial uses, with an emphasis on the desired hotel development and custom development standards required to accomplish a structure that is similar to the image below.



A key objective of the Development is to enhance the 64th Street & Mayo Boulevard intersection with a quality visually pleasing structure that will also act as a buffer between the lower density residential development to the east and the significantly more intense commercial and industrial development planned to the west.

The development will also enhance the area by providing the modern roadway and pedestrian infrastructure improvements to facilitate a comfortable pedestrian environment along both Mayo Boulevard, 64th Street and the eastern drainage channel which will be leveraged as a public pedestrian amenity and regional trail network link.

A2. Overall Design Concept

A2: Overall Design Concept

A few key items this PUD includes are:

Establishing a Gateway and landmark at the southeast corner of Mayo Boulevard and 64th Street which serves as the regional employment hub's "front door", providing seamless access to the growing campus on which ASU, the Mayo Clinic and Discovery Oasis are anticipated to experience exponential growth within the coming years. A quasi-residential use, such as the proposed hotel, provides an appropriate transitional use between the lower density residential uses to the east and south and the regional commercial and industrial uses expected to expand to the property's west. The property takes advantage of its proximity to the drainage channel by providing a significant setback to the residential homes to the east, thus establishing an appropriate buffer and transition between these complementary land uses. A similarly significant setback is provided to the residential homes to the south.

Preservation of the Existing Wash Corridor and inclusion of adjacent pedestrian improvements, providing the “missing link” to ensure unified development of the planned shared pedestrian trail traversing across developments from the Loop-101 south to Reach 11.

Walkability with the final plans for the Development that will strengthen the surrounding pedestrian realm via implementation of detached sidewalks, enhanced landscape treatment and shade.

Architecture Quality, with a design that is focused on a modern southwest design vernacular featuring clean lines, variation in materials, and contemporary colors. Respecting the high visibility of the Development, an attention to detail and architectural treatment is incorporated throughout the elevations. All portions of the building will consist of durable materials and a warm, modern color palette reflective of the surrounding natural desert environment.

In summary, the Development, as expressed in this PUD, will be a high-quality dual branded hotel development that: (i) will develop an important, and highly visible corner in proximity to future anticipated growth; (ii) will establish a quasi-residential use as an appropriate land use buffer between residential and commercial/institutional uses; (iii) will build capacity to support anticipated growth in the surrounding employment hubs; and (iv) will reinforce a strong pedestrian environment through significant pedestrian infrastructure and landscape improvements adjacent to the public rights-of-way. The final plans for the Development will strengthen the pedestrian realm and complement surrounding land uses via implementation of the development standards and design guidelines provided by this PUD.



B. LAND USE PLAN

B1. Proposed Land Use Categories

B1: Proposed Land Use Categories

The Plaza Companies Hospitality PUD is a development proposal to establish a custom dual-brand 6-story hotel concept with approximately 260 guestrooms and first-class quality guest amenities situated on an 8.2 gross-acre site near the southeast corner of 64th Street and Mayo Boulevard. Rezoning to the proposed PUD designation will ensure certain land uses incompatible with surrounding residential land uses which are permitted under the current CP/BP designation (such as warehousing and manufacturing) are prohibited.

B2. Conceptual Site Plan Summary

B2: Conceptual Site Plan Summary

The following provides an overview of the conceptual site plan provided with this PUD:

Grade Level is the location of the main building entrance, guest drop-off area, lobby, restaurant, swimming pool and amenity courtyard, ground floor guest units, surface parking, and service/trash collection area. The architecture and landscape support the connection to the surrounding pedestrian realm by incorporating significant use of glazing, pedestrian scale architecture at building entrances and canopies, and an enhanced landscape design which will include a minimum 75% shade along public sidewalks by way of live vegetation.

Levels 2, 3, 4, 5 and 6 will consist of hotel guest units. There are no rooftop amenities.

C. LIST OF USES

The Zoning Administrator may issue interpretations for land uses that are analogous to those listed in Section C, as authorized by Phoenix Zoning Ordinance Section 307.A.3.

C1. Permitted Uses

C1: Permitted Uses

- Hotel. The following accessory uses are permitted; provided, that the entrance to said accessory uses shall be from within the building only and that no sign or display for the accessory uses shall be located so as to be visible from a public thoroughfare or adjacent property:
 - Auto rental agency; provided, that there are no more than three vehicles stored on the hotel property.
 - Barbeque.
 - Child care, for hotel guests only.
 - Convention or private group activities.
 - Fitness Center.
 - Gift shop/snack bar.
 - News stand.
 - Restaurants with recorded music or one musician.
 - Spa.
 - Swimming Pool (indoor/outdoor).
 - Other services customarily accessory thereto.
- Restaurants, bars, and cocktail lounges subject to the following conditions or limitations:
 - Music or entertainment shall be permitted subject to the following regulations:
 - The stage or performance area shall be a maximum of 80 square feet unless a use permit is obtained.
 - The noise level, measured at any point on the received property, shall not exceed 55 dBa unless a use permit is obtained. An occurrence where the sound level increases up to 60 dBa for five continuous seconds or less shall not be deemed a violation of this section as long as there are no more than five occurrences within a hour long interval.
 - Nothing in this section shall be construed to include an adult use.
 - Patron dancing shall be permitted only upon securing a use permit.
 - Outdoor recreation uses, outdoor dining, and outdoor alcoholic beverage consumption shall be permitted as accessory uses only facing Mayo Boulevard or 64th Street and set back a minimum of 300

feet from the east property line and 150 feet from the south property line.

- Drive-through facilities shall be prohibited.
- Any bar or cocktail lounge which exceeds 5,000 square feet in gross floor area shall be permitted only upon securing a use permit.
- Outdoor food preparation and cooking shall be permitted as an accessory use subject to the following conditions:
 - The outdoor cooking area shall be fully enclosed and screened from public street view and adjacent residential zoning districts.
 - The regularly used cooking area inside the establishment shall be of equal or greater size than the outdoor cooking area.
 - The outdoor cooking area shall be located within 50 feet of a building entrance from where the restaurant is operated. This distance shall be measured from the appliance in the outdoor cooking area closest to the building entrance from where the restaurant is operated.
- The outdoor cooking area shall be set back a minimum of 300 feet from the east property line and 150 feet from the south property line. This distance shall be measured from the appliance in the outdoor cooking area closest to the property line
-

C2. Temporary Uses

C2: Temporary Uses

- All temporary uses shall comply with Section 708 of the Phoenix Zoning Ordinance

C3. Prohibited Uses

C3: Prohibited Uses

- a) Data Center
- b) All uses not expressly permitted in Section C1 shall be prohibited.

D. DEVELOPMENT STANDARDS

The following development standards shall apply to any development of the property. Where the PUD is silent on a development standard, the Phoenix Zoning Ordinance standard shall control.

D1: Development Standards

D1. Development Standards	Proposed PUD
a. Maximum Hotel Keys	260
b. Minimum Lot Width/Depth	No Minimum
c. Minimum Building Setbacks ¹	From PUD Perimeter Property Line
North (Mayo Boulevard)	20 feet
West (64 th Street)	20 feet
East (Not Adj. to Street)	250 feet
South (Not Adj. to Street)	70 feet
d. Maximum Building Height	88 feet to top of parapet
e. Maximum Lot Coverage	20% of total net lot area, excluding the first 6 feet of roof overhang, open carports, covered patios or covered walkways.

D2: Streetscape Standards

D2. Streetscape Standards ²	
a. Mayo Boulevard	<p><u>Detached Sidewalk Width:</u> Minimum 8 feet</p> <p><u>Landscape Strip:</u> Provide a minimum 10-foot landscape area between back of curb and detached sidewalk.</p> <p><u>Trees:</u> Minimum 50% 1.5-inch caliper, 25% 2-inch caliper, and 25% 3-inch caliper, single-trunk, large canopy, drought-tolerant, shade trees, planted 20 feet on center, or in equivalent groupings, on both sides of the sidewalk.</p> <p><u>Live Coverage:</u></p> <ul style="list-style-type: none"> Minimum five, 5-gallon drought-tolerant shrubs per tree,

¹ Mechanical and electrical equipment enclosures, ground signage and artistic installations are permitted within minimum required building setbacks adjacent to a street.

	<p>maintained to a maximum height of two feet.</p> <ul style="list-style-type: none"> • A mixture of drought-tolerant shrubs, accents, and vegetative groundcovers, maintained to a maximum height of two feet, evenly distributed throughout the landscape areas to achieve a minimum of 75% live coverage. <p><u>Sidewalk Tree Shade Coverage:</u> 75%; required shade coverage may be achieved via staggered tree plantings within the streetscape and landscape setback.</p> <p>Where utility conflicts exist, the developer shall work with the Planning and Development Department on an alternative design solution consistent with a pedestrian environment.</p>
b. 64th Street	<p><u>Detached Sidewalk Width:</u> Minimum 10 feet</p> <p><u>Landscape Strip:</u> Provide a minimum 10-foot landscape area between back of curb and detached sidewalk, consistent in width with the development to the south.</p> <p><u>Trees:</u> Minimum 50% 1.5-inch caliper, 25% 2-inch caliper, and 25% 3-inch caliper, single-trunk, large canopy, drought-tolerant, shade trees, planted 20 feet on center, or in equivalent groupings, on both sides of the sidewalk.</p> <p><u>Live Coverage:</u></p> <ul style="list-style-type: none"> • Minimum five, 5-gallon drought-tolerant shrubs per tree, maintained to a maximum height of two feet.

	<ul style="list-style-type: none"> A mixture of drought-tolerant shrubs, accents, and vegetative groundcovers, maintained to a maximum height of two feet, evenly distributed throughout the landscape areas to achieve a minimum of 75% live coverage. <p><u>Sidewalk Tree Shade Coverage:</u> 75%; required shade coverage may be achieved via staggered tree plantings within the streetscape and landscape setback.</p> <p>Where utility conflicts exist, the developer shall work with the Planning and Development Department on an alternative design solution consistent with a pedestrian environment.</p>
D3. Minimum Landscape Standards ³	
a. Minimum Landscape Setbacks (Perimeter)	
North (Mayo Boulevard)	20 feet
West (64 th Street)	20 feet
East (Measured from the top of the west bank of the wash)	20 feet
South (Perimeter)	5 feet
b. North (Mayo Boulevard)	<p><u>Trees:</u> Minimum 50% 1.5-inch caliper, 25% 2-inch caliper, and 25% 3-inch caliper, large canopy, drought-tolerant, shade trees, planted 20 feet on center, or in equivalent groupings.</p> <p><u>Live Coverage:</u></p> <ul style="list-style-type: none"> Minimum five, 5-gallon drought-tolerant shrubs per tree, maintained to a maximum height of two feet.

³ Mechanical and electrical equipment enclosures, services areas, ground signage and artistic installations are permitted within minimum required landscape setbacks.

	<ul style="list-style-type: none"> • A mixture of drought-tolerant shrubs, accents, and vegetative groundcovers, maintained to a maximum height of two feet, evenly distributed throughout the landscape areas to achieve a minimum of 75% live coverage.
c. West (64th Street)	<p><u>Trees:</u> Minimum 50% 1.5-inch caliper, 25% 2-inch caliper, and 25% 3-inch caliper, large canopy, drought-tolerant, shade trees, planted 20 feet on center, or in equivalent groupings.</p> <p><u>Live Coverage:</u></p> <ul style="list-style-type: none"> • Minimum five, 5-gallon drought-tolerant shrubs per tree, maintained to a maximum height of two feet. • A mixture of drought-tolerant shrubs, accents, and vegetative groundcovers, maintained to a maximum height of two feet, evenly distributed throughout the landscape areas to achieve a minimum of 75% live coverage.
d. East (Adjacent to Wash)	<p><u>Trees:</u> Minimum 50% 1.5-inch caliper, 25% 2-inch caliper, and 25% 3-inch caliper, large canopy, drought-tolerant, shade trees, planted 20 feet on center, or in equivalent groupings, planted on both sides of the wash pathway to provide a minimum of 75% shade..</p> <p><u>Live Coverage:</u></p> <ul style="list-style-type: none"> • Minimum five, 5-gallon drought-tolerant shrubs per tree, maintained to a maximum height of two feet. • A mixture of drought-tolerant shrubs, accents, and vegetative groundcovers, maintained to a

	maximum height of two feet, evenly distributed throughout the landscape areas to achieve a minimum of 75% live coverage.
e. South (Perimeter)	<u>Live Coverage:</u> Landscape setback shall be planted with minimum 5-gallon drought resistant shrubs to achieve a minimum of 75% total live vegetative groundcover.
f. Parking Lot Landscaping	A minimum 10% of the interior surface parking area (exclusive of perimeter landscaping and all required setbacks) shall be landscaped. Parking lot landscape planters shall be planted with a minimum 2-inch caliper, single-trunk, large canopy, drought-tolerant, shade trees. A minimum of five (5) 5-gallon drought resistant shrubs per tree. A mixture of drought-tolerant shrubs, accents, and vegetative groundcovers, maintained to a maximum height of two feet, evenly distributed throughout the landscape areas to achieve a minimum of 75% live coverage.
g. Parking Area Planters	Landscape planters shall be located at the end of each row of parking and no more than 100 feet apart. Parking planters shall measure a minimum of 5 feet in width (internal dimension).
h. Species to Support Monarch Butterfly Population	A minimum of 10% of the required shrubs shall be a milkweed or other native nectar species and shall be planted in groups of three (3) or more, as approved by the Planning and Development Department
D4. Parking Standards	
a. Minimum Parking Standards	1 space per hotel key
b. Minimum Parking Standards, Electric Vehicle	A minimum of 3% of required standard parking and 12.5% of required accessible parking spaces shall be EV installed.
c. Parking Location, Automotive	All parking areas shall be located within a surface parking lot, outside of required landscape setbacks. See Section D5 for parking screening requirements.

d. Minimum Parking Standards, Bicycle	10 bicycle parking spaces shall be provided.
e. Minimum Parking Standards, Electric Bicycle	1 electrical outlet for electric bicycle charging shall be provided at the bicycle parking stalls.
f. Parking Location, Bicycle	To be installed in conformance with Phoenix Zoning Ordinance Section 1307.H, except as follows: (i) Inverted-U style bicycle racks or artistic style racks consistent with the City of Phoenix preferred designs (see Comprehensive Bicycle Master Plan, Appendix K) shall be provided and (ii) located near the main lobby entrance.
g. Parking Aisle Dimensions	The combined depth of the parking space and aisle width shall equal 60 feet for a double loaded aisle and 42 feet for a single loaded aisle.
h. Loading Bay	A minimum of 2 off-street loading spaces shall be provided on the exterior of the west side of the building. The loading spaces shall be screened from the public right-of-way to a height of 40-inches.
i. Drop-Off/Pick-Up	A designated drop-off/pick-up area for hotel guests shall be provided near the main lobby entrance.

D5. Fences/Walls

To ensure a permeable condition between the Development, the adjacent drainage channel and adjacent residential developments, as well as to prevent creating inaccessible, nonvisible, and hazardous areas outside of the Development, a perimeter site fence or wall enclosing the development is not permitted (with exception for any wall constructed on the south property line by the separate property owner, resulting in a shared wall condition, except along the shared-use path easement area along the east side of the site).

All parking areas shall be screened from public rights-of-way and adjacent developments. Screening may consist of decorative solid masonry walls a minimum of 40-inches in height, landscaping, other functionally integrated site features, such as screened service areas, or may be screened behind buildings. Breaks in screening may be permitted for no more than 10% of any individual parking frontage to provide visual interest, articulation, and enhance site permeability. Six-foot-tall mural walls installed as public amenities adjacent to public

sidewalks and the wash pathway shall be permitted within the building/landscape setback adjacent to streets and adjacent to the pathway.

Fences and walls shall otherwise comply with all other standards as per Phoenix Zoning Ordinance Section 703.

D6: Shade

D6. Shade

Shading may be achieved by structures, landscaping, or a combination of the two, unless otherwise noted herein. Shading shall be calculated a summer solstice at noon.

A shading study shall be submitted to the City with the preliminary site plan and final site plan submittals for review and approval.

Minimum Shading Requirements:

- a) Public Sidewalks and Shared-Use Paths: 75%, achieved by shade trees
- b) Private Sidewalks, Pedestrian Pathways, and Shared-Use Paths: 50%
- c) Corners of Traffic Signals: 75%, to allow pedestrians to wait comfortably for the signal to change, subject to sight visibility requirements
- d) Transit Stops: 75%
- e) Bicycle Parking and Bicycle Repair Stations: 75%
- f) Surface Parking Areas: 15%
- g) Gathering Areas and Seating Areas: 50%
- h) Improved Open Space and Usable Open Space: 50%

Where utility conflicts exist, the developer shall work with the Planning and Development Department on an alternative design solution consistent with a pedestrian environment.

D7: Lighting Plan

D7. Lighting

All lighting will be consistent with the standards of Section 704, Section 507.Tab A.II.A.8 and Section 23-100 of the Phoenix Zoning Ordinance and City Code.

Pedestrian lighting shall be provided along all the public sidewalk and shared use path along 64th Street and Mayo as well as private internal pedestrian pathways as follows:

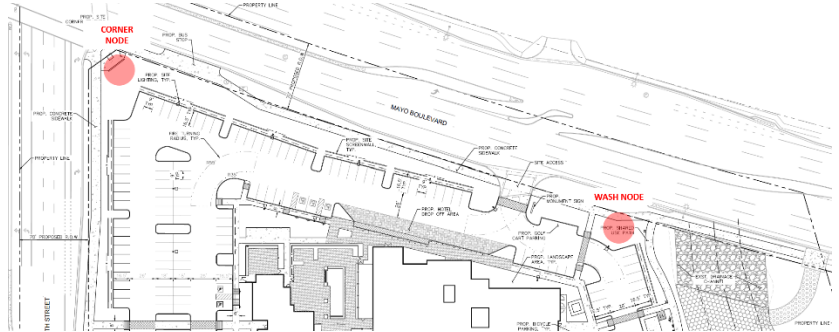
- a) 15-foot maximum height of lighting fixtures.
- b) A minimum of 1-foot candle illumination shall be maintained along the sidewalk or pathway.
- c) Uniform lighting shall be placed along the entire sidewalk or pathway to avoid bright high glare areas and low visibility dark areas.
- d) Illuminated bollards shall be installed 60 feet on center along the length of the Wash Corridor Shared Use Pathway.

E. DESIGN GUIDELINES

All development shall comply with the design guidelines of Section 507 Tab A of the Phoenix Zoning Ordinance, in addition to the following:

E1: Design Guidelines

E1. Design Guidelines	
a. Exterior Materials	<p>All building elevations shall include:</p> <ul style="list-style-type: none"> • Maximum 70% EIFS finish • Minimum 20% glazing at the ground floor; minimum 17% glazing at the upper floors • Minimum 10% other materials (from the list below) <p>Other materials utilized (at least two):</p> <ul style="list-style-type: none"> • Masonry • Wood – painted, stained, or synthetic • Non-reflective coated metals • Aluminum Composite Material panels • Brick • Tile • Enhanced Decorative Concrete (e.g. stamped, stained, etc.)
b. Color Palette	<p>Warm, desert-inspired tones.</p> <p>The project's EIFS materials shall be painted with a palette that shall include a minimum of four (4) distinct colors to provide visual interest and variation in building façade.</p>
c. Façade Restrictions	<p>Blank walls shall not exceed a 50-foot horizontal or vertical dimension without a variation in texture, color, articulation, or building fenestration.</p>
d. Mayo Boulevard Frontage Treatment	<p>An artistic or decorative wall feature shall be installed along the length of the Mayo Boulevard frontage. The wall feature shall average no more than 40-inches tall and provide an enhanced design through variation in colors, materials, patterns, textures, and height. Such wall features may be of an artistic, architectural and/or vegetative design and materials. Wall feature lengths exceeding 35 feet in length should be articulated</p>

	<p>through breaks or use of alternative colors, materials, patterns, textures or height. The wall feature, where provided, satisfies any required parking lot screening for that area.</p>
<p>e. Mayo Boulevard Enhanced Pedestrian Nodes</p>	<p>The Mayo Boulevard frontage shall be treated with no less than two (2) architecturally and/or vegetatively enhanced pedestrian nodes to create a strong anchor and sense of arrival. The pedestrian nodes shall be spaced roughly as shown below and incorporate similar architectural or artistic features to ensure a uniform pedestrian condition is achieved for the width of the frontage. Such nodes may be incorporated into frontage treatment features.</p>  <p>The diagram is a site plan for a property along Mayo Boulevard. It shows the layout of the property, including building footprints, parking lots, and setbacks. Two specific areas are highlighted with red circles and labeled: 'CORNER NODE' at the intersection with 1st Street, and 'WASH NODE' further along the boulevard. The plan also shows other streets like 2nd Street and 3rd Street, and various site features like 'PROPERTY LINE', 'SETBACK', and 'PARKING LOT'.</p>
	<p>The pedestrian nodes shall be uniquely identified as the “Corner Node” and “Wash Node” and designed to the specifications below:</p> <p>Corner Node: The enhanced Corner Node shall be a dedicated area of no less than 500 square feet consisting of 75% live vegetative cover. Vegetation shall include species integrated with overall land scape design as well as a minimum of 3 unique accent species to provide heightened visual interest and distinctiveness. The enhanced area shall include an interactive art mural of no less than 50 square feet or an alternative artistic installation or feature a minimum of 5 feet tall. The required mural or artistic feature shall be permitted in the landscape setback and shall not relate to the commercial operation of the site. The Corner Node shall include 75% shade.</p> <p>Wash Node: The enhanced Wash Node shall be a dedicated area of no less than 200 square feet located between the Mayo pedestrian connection and the Mayo/wash pathway connection and consist of 75% live vegetative cover. Vegetation shall include species integrated with overall land scape design as well</p>

	as a minimum of 3 unique accent species to provide heightened visual interest and distinctiveness. The enhanced area shall include dedicated pedestrian seating. The area may also include an art mural of no less than 25 square feet or an alternative artistic installation or feature a minimum of 5 feet tall. Any permitted mural or artistic feature shall be permitted in the landscape setback and shall not relate to the commercial operation of the site. The Wash Node shall include 75% shade.
f. Screen Walls	Screen walls shall utilize architectural detailing consistent or complementary to the building facade.
g. Public Sidewalk and Wash Corridor Pathway Pedestrian Connections	<ul style="list-style-type: none"> • A minimum of one (1) pedestrian connection shall be made in a convenient location to provide easy access from the development to the public sidewalks on Mayo Boulevard and 64th Street and to the wash corridor shared use path located within the wash corridor located on the east side of the Site. • Pedestrian connections shall be 6' wide, be of a concrete surface and shall retain surfacing material or be otherwise distinguished from the drive aisle surface when crossing parking lot areas. • To support use of publicly available amenities by the community, a pedestrian connection to the property to the south is encouraged, but not required. If provided, such connection may include a locking gate to limit use to southern property residents/guests.
i. Traffic Calming Standards	Alternative paving materials such as colored/stained concrete shall be provided on site at each driveway entrance to help delineate the parking lot surface and act as a traffic calming measure.
j. Entry/Exit Enhancement	<p><u>Mayo Boulevard Driveway Entrance/Exit</u> shall incorporate enhanced landscaping on both sides within minimum 25-square-foot landscape areas planted with yucca pallida and yucca rostrate, creating a dynamic and distinctive entrance sequence.</p> <p><u>South Driveway Entrance/Exit</u> shall incorporate enhanced landscaping on both sides within minimum 10-square-foot landscape areas planted with yucca pallida and yucca rostrate, creating a dynamic and distinctive entrance sequence.</p>

k. Bicycle Repair Station	One public bicycle repair station (“fix it station”) shall be provided and maintained along the wash corridor adjacent to the Wash Pathway. The bicycle repair stations (“fix it stations”) shall be provided in an area of high visibility and separated from vehicular maneuvering areas, where applicable. The repair station shall include, but not be limited to, standard repair tools affixed to the station, a tire gauge and pump affixed to the base of the station or the ground, and a bicycle repair stand which allows pedals and wheels to spin freely while making adjustments to the bike.
l. Wash Corridor Shared Use Path	A minimum 25-foot-wide shared-use path easement (SUPE) shall be dedicated along the east side of the site, along the west side of the drainage channel, and a minimum 8- foot-wide shared-use path (SUP) shall be constructed within the easement, in accordance with the MAG supplemental detail and per City of Phoenix standard details, as approved or modified by the Planning and Development Department.
m. Wash Corridor Amenities	<p>Additional pedestrian amenities (public amenities) shall include a minimum of three (3) of the following along the Wash Pathway to be located within the wash corridor:</p> <ul style="list-style-type: none"> • Way finding signage • Bench and/or table with 90% vegetative shade • Fitness stations • Water fountains • Dog water stations
n. Water Conservation	<ul style="list-style-type: none"> • Only landscape materials listed in the Phoenix Active Management Area Low-Water-Use/Drought-Tolerant Plant List shall be utilized, as approved or modified by the Planning and Development Department. • Natural turf shall only be utilized for required retention areas (bottom of basin, and only allowed on slopes if required for slope stabilization) and functional turf areas, as approved by the Planning and Development Department. • Landscaping shall be maintained by permanent and automatic/water efficient WaterSense labeled irrigation controllers (or similar smart controller) to minimize

	<p>maintenance and irrigation water consumption for all on and offsite landscape irrigation.</p> <ul style="list-style-type: none"> • Pressure regulating sprinkler heads and/or drip lines shall be utilized in any turf areas to reduce water waste. • A leak detection device shall be installed for the irrigation system of landscape areas larger than 10,000 square feet. • A minimum of two green stormwater infrastructure (GSI) elements for stormwater management shall be implemented, as approved or modified by the Planning and Development and/or Street Transportation departments. This includes but is not limited to stormwater harvesting basins, bioswales, permeable pavement, etc., per the Greater Phoenix Metro Green Infrastructure and Low Impact Development Details for Alternative Stormwater Management. • Prior to final site plan approval, documentation shall be provided that demonstrates a commitment to participate in the City of Phoenix Businesses Water Efficiency Program for a minimum of 20 years, or as approved by the Planning and Development Department. • A minimum of 10% of the gross area shall be preserved and dedicated as permanent undisturbed open space, as approved by the Planning and Development Department.
--	--

F. SIGNS

F1. Permitted Signs

F1: Permitted Signs

Signage shall comply with Section 705 of the Phoenix Zoning Ordinance.

G. SUSTAINABILITY

G1. City Enforced Standards

G1: City Enforced Standards

The following are standards that are measurable and enforceable by the City and will be provided:

- Dual Glaze Windows with High Performance Low-e Glazing.
- All primary site lighting will be LED lighting.
- Provide water efficient landscaping (drought tolerant plants).
- Utilize a drip irrigation system with a 'smart' controller to minimize water waste.
- Salvage and reuse of existing trees is strongly encouraged.
- Only landscape materials listed in the Phoenix Active Management Area Low-Water-Use/Drought-Tolerant Plant List shall be utilized, as approved or modified by the Planning and Development Department.
- Natural turf shall only be utilized for required retention areas (bottom of basin, and only allowed on slopes if required for slope stabilization) and functional turf areas, as approved by the Planning and Development Department.
- Landscaping shall be maintained by permanent and automatic/water efficient WaterSense labeled irrigation controllers (or similar smart controller) to minimize maintenance and irrigation water consumption for all on and offsite landscape irrigation.
- Pressure regulating sprinkler heads and/or drip lines shall be utilized in any turf areas to reduce water waste.
- A leak detection device shall be installed for the irrigation system of landscape areas larger than 10,000 square feet.
- A minimum of two green stormwater infrastructure (GSI) elements for stormwater management shall be implemented, as approved or modified by the Planning and Development and/or Street Transportation departments. This includes but is not limited to stormwater harvesting basins, bioswales, permeable pavement, etc., per the Greater Phoenix Metro Green Infrastructure and Low Impact Development Details for Alternative Stormwater Management.
- Prior to final site plan approval, documentation shall be provided that demonstrates a commitment to participate in the City of Phoenix Businesses Water Efficiency Program for a minimum of 20 years, or as approved by the Planning and Development Department.
- A minimum of 10% of the net site area shall be preserved and dedicated as open space. This area is encumbered by the drainage channel and associated channel improvements and shall be revegetated to mirror the surrounding desert landscape.

- On-site waste stations shall be provided in accordance with hotel operations and brand standards. Waste receptacles and recycling shall be provided for hotel guests and visitors internal to the building.

H. INFRASTRUCTURE

H1. Grading and Drainage

H1: Grading and Drainage

The site is currently undeveloped and features native desert vegetation. The site is surrounded by 64th Street to the west, Mayo Boulevard to the north, a future townhome development to the south and a single-family residential development to the east. A natural wash corridor runs along the site's eastern side in the north-south direction. The existing wash carries storm water through the site, into culverts underneath Mayo Boulevard. The existing wash corridor will be enlarged to accommodate regional stormwater run-off.

H2. Water and Wastewater

H2: Water and Wastewater

Being that the site is currently undeveloped, there is no existing water or sewer services to the site. New water and sewer taps will be constructed to service the Development.

H3. Circulation Systems

H3: Circulation Systems

The site will be accessed from two driveways. The primary access is a three-quarter access driveway at Mayo Boulevard. The secondary driveway is located off of the 64th Street shared drive with the condominium property to the south. A circular drive aisle carries vehicular traffic through the site, around the hotel, and to surrounding surface parking spaces. The on-site pedestrian circulation system provides two direct pedestrian connection connections from the hotel to the 64th Street and Mayo Boulevard rights-of-way. Additionally, the wash corridor shared use pathway carries recreational users from Mayo Boulevard to the PUD's southern perimeter line where it will be extended further south to Reach 11 with the construction of the townhome project located immediately south.

H4. Complete Streets

H4: Complete Streets

The City of Phoenix Complete Streets Design Guidelines include a number of suggestions for new development, some of which are applicable to this project:

- *Streets should be designed to promote safety for all users, particularly children, the elderly, those with disabilities, transit users, and more vulnerable modes (walking, bicycling, transit).*

New detached sidewalks will be constructed adjacent to Mayo Boulevard and 64th Street. Detached sidewalks will help increase perceived and real pedestrian safety, contributing to a sense of comfort for travelers on foot. The construction of detached sidewalks will be a major improvement for the area, which currently lacks such connectivity.

Additionally, the Project leverages shared driveway access at 64th Street with the future townhome project located to the immediate south. This shared driveway reduces the amount of curb cuts at 64th Street, thereby reducing potential pedestrian/vehicle conflicts.

- *Projects should be designed to connect neighborhoods via streets, sidewalks, and trails.*

New on-site sidewalks and walkways will meander throughout the project, providing an extensive pedestrian connection network. Additionally, the pedestrian trail adjacent to the wash corridor will serve as a major pedestrian thoroughfare, helping to activate the Development and promote a walkable environment in the surrounding area.

I. COMPARATIVE ZONING STANDARDS

I: Comparative Zoning Standards Table

Standards	CP/BP Standards	Proposed PUD Standards
a. Maximum Building Height	56 feet	88 feet
b. Lot Coverage	40% plus 10% for parking canopies or structure	20%
c. Building Setbacks		
Mayo Boulevard:	30 feet	60 feet
64th Street:	30 feet	140 feet
East Perimeter:	20 feet	250 feet
South Perimeter:	20 feet	70 feet
d. Landscape Setbacks		
Mayo Boulevard:	30 feet	20 feet
64th Street:	30 feet	20 feet
East:	20 feet	20 feet
South Perimeter:	20 feet	5 feet

J. LEGAL DESCRIPTION

Legal description per special warranty deed recorded by Maricopa County Recorder (MCR # 20250293566):

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:

A PORTION OF TRACT MF3 OF STATE PLAT NO. 55, PARADISE RIDGE SECOND AMENDED, RECORDED IN BOOK 949 OF MAPS, PAGE 50, RECORDS OF MARICOPA COUNTY, ARIZONA AND LOCATED IN A PORTION OF THE SOUTHWEST QUARTER OF SECTION 27, TOWNSHIP 4 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID SECTION 27, FROM WHICH THE SOUTH QUARTER CORNER OF SAID SECTION 27 BEARS SOUTH 89°58'09" EAST, A DISTANCE OF 2644.14 FEET;

THENCE ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 27, NORTH 00°02'25" EAST, A DISTANCE OF 564.10 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHEASTERLY WHOSE RADIUS BEARS NORTH 20°25'52" EAST, A DISTANCE OF 9000.00 FEET;

THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, TO THE LEFT, THROUGH A CENTRAL ANGLE OF 5°19'31", FOR AN ARC LENGTH OF 836.49 FEET;

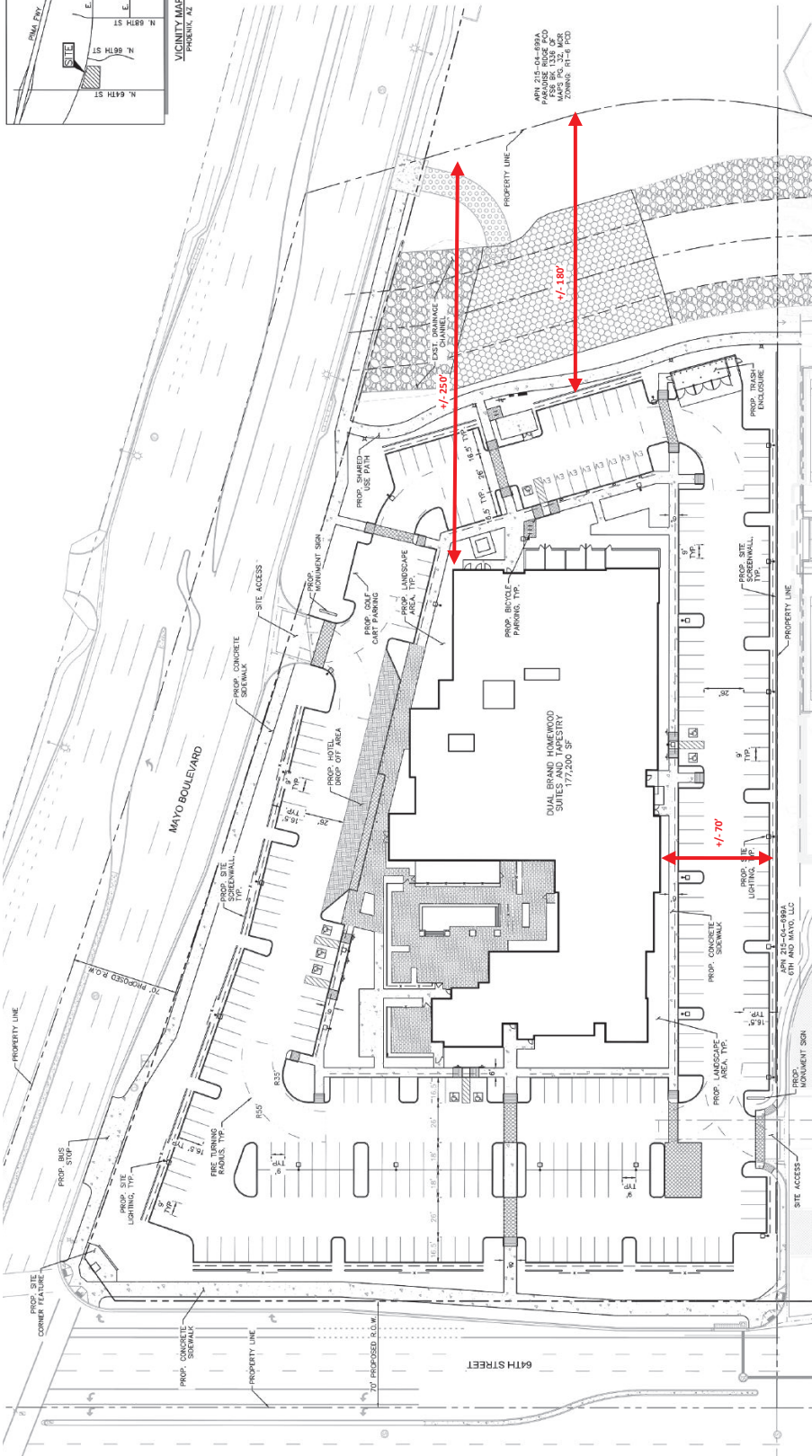
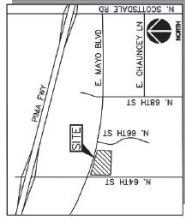
THENCE SOUTH 16°23'10" EAST, A DISTANCE OF 177.71 FEET TO THE BEGINNING OF A CURVE CONCAVE WESTERLY HAVING A RADIUS OF 290.00 FEET;

THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE, TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 27°45'50", FOR AN ARC LENGTH OF 140.53 FEET TO THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 27;

THENCE ALONG SAID SOUTH LINE, NORTH 89°58'09" WEST, A DISTANCE OF 852.94 FEET TO THE POINT OF BEGINNING;

LESS AND EXCEPTING ALL OIL, GAS OTHER HYDROCARBON SUBSTANCES, HELIUM OR OTHER SUBSTANCES OF A GASEOUS NATURE, GEOTHERMAL RESOURCES, COAL, METALS, MINERALS, FOSSILS, FERTILIZERS OF EVERY NAME AND DESCRIPTION, TOGETHER WITH ALL URANIUM, THORIUM OR ANY OTHER MATERIAL WHICH MAY BE DETERMINED BY THE LAWS OF THE UNITED STATES, OR OF THIS STATE AS RESERVED IN PATENT RECORDED DECEMBER 20, 2024 AS 2024-0676745 OF OFFICIAL RECORDS.

EXHIBIT 1



SITE & PROJECT DATA

GROSS AREA: 354,937 SF, 8.15 AC
NET AREA: 261,769 SF, 6.10 AC

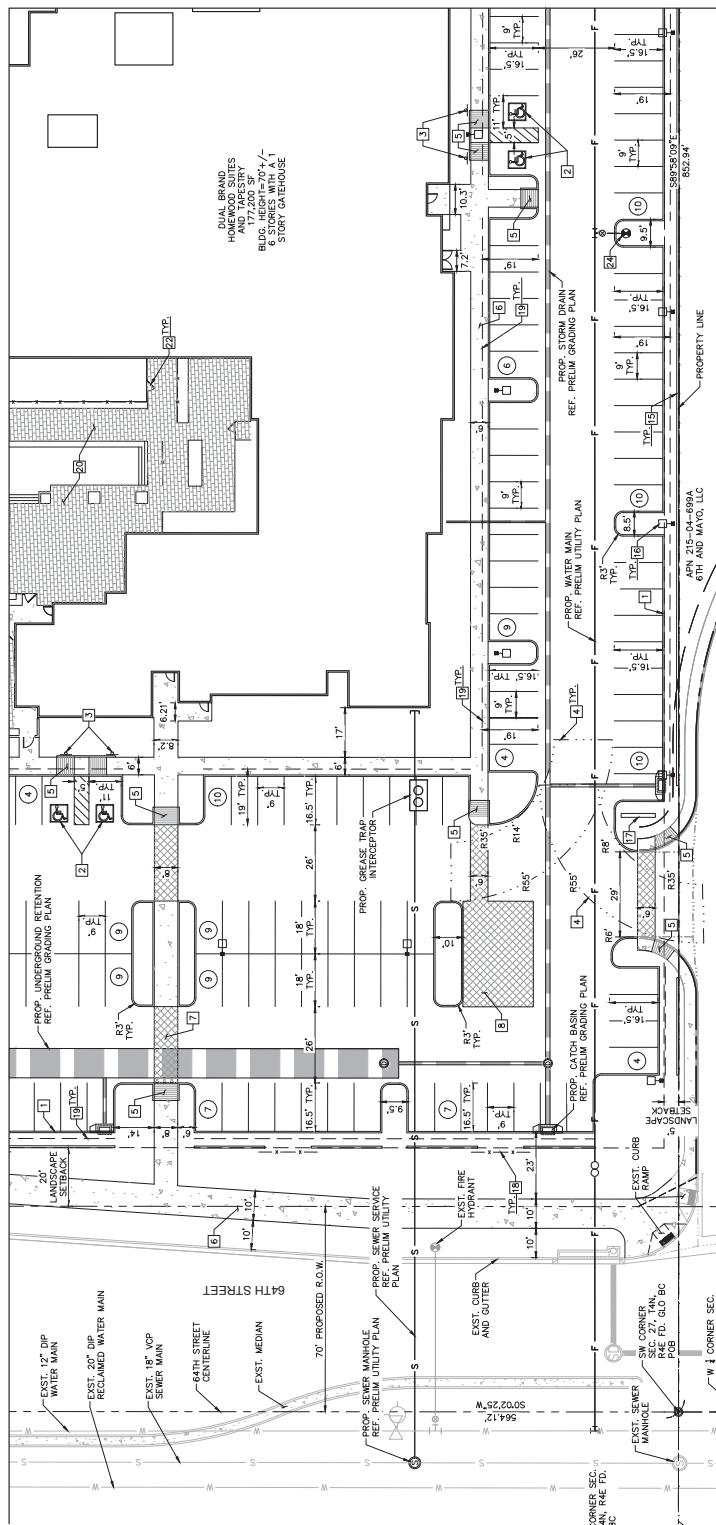
MAXIMUM BUILDING HEIGHT: 74'
MAXIMUM HEIGHT (W/ PARAPET): 88'
MAXIMUM LOT COVERAGE: 20%
MAXIMUM HOTEL KEYS: 260
REQUIRED PARKING: 1 SP/KEY

MINIMUM BUILDING SETBACKS
NORTH: 60'
WEST: 140'
EAST: 250'
SOUTH: 70'

MINIMUM LANDSCAPE SETBACKS
NORTH: 20'
WEST: 20'
EAST: 40'
SOUTH: 5'

[illegible]

MATCH LINE: SEE SHEET SP1



LEGAL DESCRIPTION (PER TITLE REPORT)

A PORTION OF TRACT M-3 OF STATE PLAT NO. 45, ARIZONA WIDE SEVENTH IMPROVED, RECORDED IN BOOK 344 OF THE PUBLIC RECORDS OF MARICOPA COUNTY, ARIZONA, AND LOCATED IN A PORTION OF THE SOUTHWEST QUARTER OF SECTION 27, TOWNSHIP 4 NORTH, RANGE 4 EAST OF THE GLA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA WERE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID SECTION 27, FROM WHICH THE SOUTH QUARTER CORNER OF SAID SECTION 27 BEARS SOUTH 89°50'09" EAST, A DISTANCE OF 284.411 FEET; A COURSE THENCE ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 27, NORTH 00°02'25" EAST, A DISTANCE OF 100.000 FEET; A COURSE THENCE ALONG THE SOUTHWEST QUARTER OF SAID SECTION 27, NORTH 20°25'32" EAST, A DISTANCE OF 900.000 FEET; A COURSE THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, TO THE LEFT, THROUGH A CENTRAL ANGLE OF 191°51'31", FOR AN ARC LENGTH OF 834.9 FEET; A COURSE THENCE WESTLY 1/4 SECTION 27, HAVING A RADIUS OF 280.000 FEET; A COURSE THENCE ALONG THE WEST LINE OF SAID CURVE, TO THE SOUTH, THROUGH A CENTRAL ANGLE OF 37°04'58", FOR AN ARC LENGTH OF 140.53 FEET TO THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 27; A COURSE THENCE ALONG SAID SOUTH LINE, NORTH 89°50'09" WEST, A DISTANCE OF 852.94 FEET TO THE POINT OF BEGINNING.

LESS AND EXPENDING ALL GAS, OTHER HYDROCARBON SUBSTANCES, HELIUM OR OTHER SUBSTANCES OF A LESSER AND EXPENSIBLE NATURE, GEOTHERMAL RESOURCES, COALS, MINERALS, FOSSILS, FERTILIZERS OF EVERY NAME AND DESCRIPTION, TOGETHER WITH ALL URANIUM, THORIUM OR ANY OTHER MATERIAL, WHICH MAY BE OBTAINED OR DISCOVERED ON OR UNDER SAID STATE AS RETURNED IN PAY AT RECORDED DEED NUMBER 20, 2024 AS 2024-0676745 OF OFFICIAL RECORDS.

SITE DATA

R1-1B, S-1
 EXISTING ZONING: CP/BP
 PROPOSED ZONING: 21B-04-498A
 APN: COMMERCIAL/MOTEL/HOTEL
 ADJACENT PARCELS WITH A 1 STORY GATEHOUSE.
 PERMITTED USES:
 BUILDING HEIGHT:
 GROSS AREA: 304,937 SF
 BUILDING AREA: 171,200 SF
 TOTAL LOT COVERAGE: 39,300/261,769 = 15%
 PARKING SPACES
 REQUIRED:
 PARKING PROVIDED: 264 SPACES (8 SPA PER GUESTROOM)
 257 SPACES (8 SPA PER GUESTROOM)

NOTES

1. REFER HEREON FOR LEGEND.
2. ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED.

SITE PLAN NOTES

1. CONSTRUCT 4" VERTICAL CURB PER MAG STD. DET 220.
2. PROP. ADA PARKING STALL.
3. PROP. ADA SIGNAGE.
4. PROP. FIRE TURNING RADIUS.
5. CONSTRUCT SIDEWALK RAMP.
6. CONSTRUCT CONCRETE SIDEWALK PER COP STD DET P1350, WITH TOP PER PLAN.
7. INSTALL CROSSWALK AND DIMENSION PER PLAN.
8. INSTAL DRIVEWAY, LOADING ZONE.
9. CONSTRUCT PARKING SCREENWALL.
10. PROP. SITE LIGHT.
11. PROP. MONUMENT SIGN.
12. PROP. FENCE.
13. 2.5' VEHICLE OVERHANG.
14. PROP. POOL QUANTITY AREA, REF. ARCH. PLANS FOR DETAILS.
15. PROP. FLOOR PLAN AREA, REF. ARCH. PLANS FOR DETAILS.
16. PROP. FIRE HYDRANT.

N 64TH ST & E MAYO BLVD
PRELIMINARY SITE PLAN
PHOENIX, ARIZONA

Kimley»Horn
© 2025 KIMLEY-HORN AND ASSOCIATES, INC.
14648 N SCOTTSDALE ROAD, SUITE 200
SCOTTSDALE, ARIZONA 85254 (602) 944-5500

PROJECT No.
091377005

SCALE (H): 1"=20'

SCALE (V): NONE

DRAWN BY: MCH

DESIGN BY: WFK

CHECK BY: CGF

DATE: 12/29/25

NOT FOR
CONSTRUCTION



GRAPHIC SCALE IN FEET

A horizontal scale bar with markings at 0, 10, 20, and 40 feet. The bar is divided into four equal segments, each representing 10 feet.



K:\500_Civil\091577005 - 64th & Mayo\CAD\Print\SP.dwg, layout:Layout3 Dec 29, 2025 - 9:20am Model\deln\hoyne.kxf, xref: hwn.kxf xtb xlt_01 xbm_01 SouthProp xcd_01 xlt_01 xvf_01 xbm_05_01 xcd

MATCH LINE: SEE SHEET SP2



- NOTES**
1. REFER TO SHEET SP2 FOR LEGEND.
 2. ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED.

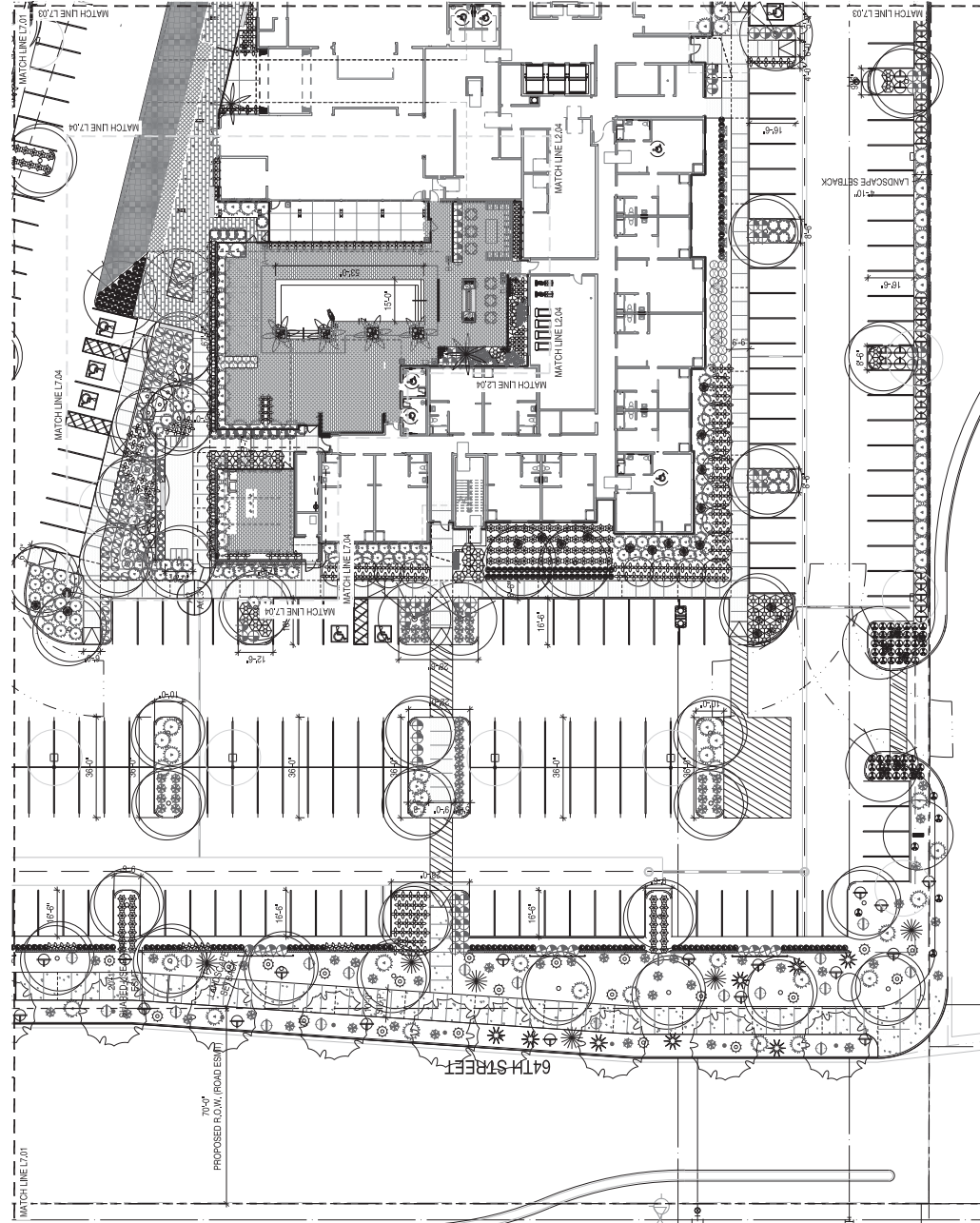
PHOENIX, ARIZONA

NOT FOR
CONSTRUCTION



EXHIBIT 2

1. PLANTING GENERAL NOTES:
a. PLANTING SYSTEM SHALL BE WATERED WITH AN AUTOMATIC DRIP IRRIGATION SYSTEM.
2. ALL PLANT MATERIAL SHALL CONFORM TO THE S7 STANDARD SET FORTH IN THE LANDSCAPE ARCHITECTURE SPECIFICATIONS AND THE RECOMMENDATIONS OF THE ASSOCIATION OF NURSERYMEN AND BY THE AMERICAN ASSOCIATION OF RECOMMENDED TREE SPECIFICATIONS.
3. ALL PLANT MATERIAL SHALL BE PLANTED TO THE RECOMMENDED PLANTING DEPTHS AND SPACINGS.
4. ALL AREAS TO BE DISTURBED BY CONSTRUCTION, INCLUDING ANY AREAS DISTURBED DURING WHAT IS SHOWN ON PLANS, SHALL BE REPLANTED AS CLOSE TO THE ORIGINAL PLANTING DENSITY AS POSSIBLE. ALL AREAS TO BE REPLANTED SHALL BE TO MATCH THE SURROUNDING AREA IN DENSITY AND PLANT TYPE.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTING PLANTING DENSITY AND PLANT TYPE. ALL RECOMPOSED GRANITE, MULCH AND OTHER ITEMS SHOWN ON THE PLANS, SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION OF MAJOR CHANGES TO THE PLANTING DENSITY AND PLANT TYPE. ALL PLANTS SUBMITTED ON THE PLANS MUST BE THE DRAWINGS SHALL COVER ALL PLANT SUBSTITUTIONS, TYPE OR QUANTITY DEVIATION FROM THE APPROVED LANDSCAPE OR ARCHITECTURE PLANS WITHOUT PERMISSION FROM THE LANDSCAPE ARCHITECT.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION. CONFLICTS SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT FOR RESOLUTION.



PARTIAL LANDSCAPE PLAN 01

PORTULACARIA ARA	5 GAL	104	CAN FULL	DESIERT SPOON	5 GAL	81	CAN FULL
ELEPHANT FOOT	5 GAL	53	CAN FULL	DESIERT SPOON	5 GAL	53	CAN FULL
SANSEVERIA THIFASCIATA 'MOONSHINE'	5 GAL	17	CAN FULL	EUPHORBIA ANTISTAPHYLICA	5 GAL	19	CAN FULL
SILVER SNAKE PLANT	5 GAL	25	CAN FULL	CANDELLA	5 GAL	7	CAN FULL
SANSEVERIA THIFASCIATA	5 GAL	283	CAN FULL	FOUQUIERA SPLENDENS	5 GAL	10	CAN FULL
SNAKE PLANT	5 GAL	56	CAN FULL	LOPHOCEREUS SCHOTTII MONSTROSE	5 GAL	15	CAN FULL
YUCCA PALLIDA	5 GAL	16	CAN FULL	TOTEM CACTUS	5 GAL	3	8FT MIN
PALM-LEAF YUCCA	5 GAL			OPUNTIA GOMEZ OLD MEXICO	5 GAL		
YUCCA ROSTRATA	5 GAL			PALE-LEAF YUCCA	5 GAL		
BEAKED YUCCA	5 GAL			MEXICAN FENCE POST	5 GAL		
VINES	5 GAL			PACHYCLERUS PRINGLEI 'CARDON'	5 GAL		
TOUS-POILS	5 GAL			MEXICAN GIANT CARDON	5 GAL		
CREeping FIG	5 GAL			PELITANTHUS BRACTEATUS	5 GAL		
INERT MATERIALS	5 GAL			TALL SLIPPER PLANT	5 GAL		

PLANTING GENERAL NOTES:

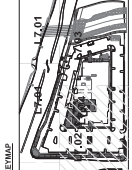
1. PLANTING AREAS SHALL BE WATERED WITH AN AUTOMATIC DRIP IRRIGATION SYSTEM. SMALL CONFORM TO THE STANDARDS SET FORTH IN THE AMERICAN ASSOCIATION OF NURSERYMEN AND BY THE AMERICAN ASSOCIATION OF NURSERYMEN. IN CASE OF DISCREPANCY BETWEEN THE NUMBER OF PLANTS INDICATED ON THE PLANT LIST, THE DRAWINGS SHALL GOVERN.
2. NO PLANT SUBSTITUTIONS, TYPE OF QUANTITY DEVIATION FROM THE LISTED PLANTS, OR PLANTING PLANS WITHOUT PERMISSION FROM THE LANDSCAPE ARCHITECT.
3. THE SUBCONTRACTOR SHALL MARK AND CONFIRM LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION. CONFLICTS SHALL BE RESOLVED BY THE LANDSCAPE ARCHITECT.
4. ALL AREAS TO BE DISTURBED BY CONSTRUCTION INCLUDING ANY AREAS DISTURBED BY TONING SHALL BE REPLANTED AS NOTED.

AREAS TO MATCH THE SURROUNDING AREA IN DENSITY AND PLANT

5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY QUANTITIES INCLUDING TREES, SHRUBS, GROUNDCOVERS, DECOMPOSED GRASS, MULCH AND OTHER ITEMS SHOWN ON THE PLANS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE QUANTITIES OF PLANTS INDICATED ON THE PLANT LIST, THE DRAWINGS SHALL GOVERN.
7. NO PLANT SUBSTITUTIONS, TYPE OF QUANTITY DEVIATION FROM THE LISTED PLANTS, OR PLANTING PLANS WITHOUT PERMISSION FROM THE LANDSCAPE ARCHITECT.
8. THE SUBCONTRACTOR SHALL MARK AND CONFIRM LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION. CONFLICTS SHALL BE RESOLVED BY THE LANDSCAPE ARCHITECT.

PLANT LEGEND

SYL	BOTANICAL NAME	SIZE	QTY.	NOTES
TREES				
1	UNAGED EXISTING TREE	-	1	
24	ACACIA VILLARDIANA	-	24	
5	CHILOPSIS LINEARIS 'BUBBA'	-	5	
9	DESERT WILLOW-BUBBA	-	9	
27	IRONWOOD	-	27	
4	PARNASSIA MICROPHYLLUM	-	4	
79	PHOENIX DACTYLIFERA	-	79	
1	DATE PALM	-	1	
32	SEEDLESS THORNLESS HYBRID MESQUITE	-	32	6-11 FT MIN
104	CHINOCACTUS GRISONII	-	104	SPEAR
SHRUBS				
1	SCOLEPAS SUBULATA	5 GAL	104	CAN FULL
16	MILKWEED	5 GAL	16	CAN FULL
48	CHLOROPHYTUM COMOSUM	5 GAL	48	CAN FULL
86	SPIDER PLANT	5 GAL	86	CAN FULL
174	BRICKELLIA FRANSOSA	5 GAL	174	CAN FULL
157	HESPERALOE PARVIFLORA BRANLEY	5 GAL	157	CAN FULL
11	BREAKLIGHTS RED YUCCA	5 GAL	11	CAN FULL
365	HESPERALOE PARVIFLORA RED	5 GAL	365	CAN FULL
58	JUSTICIA CALIFORNICA	5 GAL	58	CAN FULL
177	CHILIPAROSA	15 GAL	177	CAN FULL
12	LARREA TRIDENTATA	5 GAL	12	CAN FULL
134	CREOSOTE BUSH	5 GAL	134	CAN FULL
455	MULLENBERGIA HIGENS	5 GAL	455	CAN FULL
2	DREY GRASS	5 GAL	2	CAN FULL
11	HELIUM BRITANNICA	5 GAL	11	CAN FULL
2	RUSSELLIA EQUISETIFORMIS	5 GAL	2	CAN FULL
9	COMPACT JACOBIA	5 GAL	9	CAN FULL
ACCENT				
1	AGAVE BLUE GLOW	5 GAL	1	CAN FULL
2	AGAVE GLOW AGAVE	5 GAL	2	CAN FULL
3	AGAVE BARBADENSIS 'YELLOW'	5 GAL	3	CAN FULL
4	AGAVE VERA 'YELLOW'	5 GAL	4	CAN FULL
5	AGAVE HERCULES	5 GAL	5	CAN FULL
6	AGAVE	5 GAL	6	CAN FULL
7	AGAVE	5 GAL	7	CAN FULL
8	AGAVE	5 GAL	8	CAN FULL
9	AGAVE	5 GAL	9	CAN FULL
10	AGAVE	5 GAL	10	CAN FULL
11	AGAVE	5 GAL	11	CAN FULL
12	AGAVE	5 GAL	12	CAN FULL
13	AGAVE	5 GAL	13	CAN FULL
14	AGAVE	5 GAL	14	CAN FULL
15	AGAVE	5 GAL	15	CAN FULL
16	AGAVE	5 GAL	16	CAN FULL
17	AGAVE	5 GAL	17	CAN FULL
18	AGAVE	5 GAL	18	CAN FULL
19	AGAVE	5 GAL	19	CAN FULL
20	AGAVE	5 GAL	20	CAN FULL
21	AGAVE	5 GAL	21	CAN FULL
22	AGAVE	5 GAL	22	CAN FULL
23	AGAVE	5 GAL	23	CAN FULL
24	AGAVE	5 GAL	24	CAN FULL
25	AGAVE	5 GAL	25	CAN FULL
26	AGAVE	5 GAL	26	CAN FULL
27	AGAVE	5 GAL	27	CAN FULL
28	AGAVE	5 GAL	28	CAN FULL
29	AGAVE	5 GAL	29	CAN FULL
30	AGAVE	5 GAL	30	CAN FULL
31	AGAVE	5 GAL	31	CAN FULL
32	AGAVE	5 GAL	32	CAN FULL
33	AGAVE	5 GAL	33	CAN FULL
34	AGAVE	5 GAL	34	CAN FULL
35	AGAVE	5 GAL	35	CAN FULL
36	AGAVE	5 GAL	36	CAN FULL
37	AGAVE	5 GAL	37	CAN FULL
38	AGAVE	5 GAL	38	CAN FULL
39	AGAVE	5 GAL	39	CAN FULL
40	AGAVE	5 GAL	40	CAN FULL
41	AGAVE	5 GAL	41	CAN FULL
42	AGAVE	5 GAL	42	CAN FULL
43	AGAVE	5 GAL	43	CAN FULL
44	AGAVE	5 GAL	44	CAN FULL
45	AGAVE	5 GAL	45	CAN FULL
46	AGAVE	5 GAL	46	CAN FULL
47	AGAVE	5 GAL	47	CAN FULL
48	AGAVE	5 GAL	48	CAN FULL
49	AGAVE	5 GAL	49	CAN FULL
50	AGAVE	5 GAL	50	CAN FULL
51	AGAVE	5 GAL	51	CAN FULL
52	AGAVE	5 GAL	52	CAN FULL
53	AGAVE	5 GAL	53	CAN FULL
54	AGAVE	5 GAL	54	CAN FULL
55	AGAVE	5 GAL	55	CAN FULL
56	AGAVE	5 GAL	56	CAN FULL
57	AGAVE	5 GAL	57	CAN FULL
58	AGAVE	5 GAL	58	CAN FULL
59	AGAVE	5 GAL	59	CAN FULL
60	AGAVE	5 GAL	60	CAN FULL
61	AGAVE	5 GAL	61	CAN FULL
62	AGAVE	5 GAL	62	CAN FULL
63	AGAVE	5 GAL	63	CAN FULL
64	AGAVE	5 GAL	64	CAN FULL
65	AGAVE	5 GAL	65	CAN FULL
66	AGAVE	5 GAL	66	CAN FULL
67	AGAVE	5 GAL	67	CAN FULL
68	AGAVE	5 GAL	68	CAN FULL
69	AGAVE	5 GAL	69	CAN FULL
70	AGAVE	5 GAL	70	CAN FULL
71	AGAVE	5 GAL	71	CAN FULL
72	AGAVE	5 GAL	72	CAN FULL
73	AGAVE	5 GAL	73	CAN FULL
74	AGAVE	5 GAL	74	CAN FULL
75	AGAVE	5 GAL	75	CAN FULL
76	AGAVE	5 GAL	76	CAN FULL
77	AGAVE	5 GAL	77	CAN FULL
78	AGAVE	5 GAL	78	CAN FULL
79	AGAVE	5 GAL	79	CAN FULL
80	AGAVE	5 GAL	80	CAN FULL
81	AGAVE	5 GAL	81	CAN FULL
82	AGAVE	5 GAL	82	CAN FULL
83	AGAVE	5 GAL	83	CAN FULL
84	AGAVE	5 GAL	84	CAN FULL
85	AGAVE	5 GAL	85	CAN FULL
86	AGAVE	5 GAL	86	CAN FULL
87	AGAVE	5 GAL	87	CAN FULL
88	AGAVE	5 GAL	88	CAN FULL
89	AGAVE	5 GAL	89	CAN FULL
90	AGAVE	5 GAL	90	CAN FULL
91	AGAVE	5 GAL	91	CAN FULL
92	AGAVE	5 GAL	92	CAN FULL
93	AGAVE	5 GAL	93	CAN FULL
94	AGAVE	5 GAL	94	CAN FULL
95	AGAVE	5 GAL	95	CAN FULL
96	AGAVE	5 GAL	96	CAN FULL
97	AGAVE	5 GAL	97	CAN FULL
98	AGAVE	5 GAL	98	CAN FULL
99	AGAVE	5 GAL	99	CAN FULL
100	AGAVE	5 GAL	100	CAN FULL



09-05-14

This is a true and correct copy of the original drawing as submitted to the City of Phoenix for review and approval. The drawing was prepared by the landscape architect and is not to be used for any other purpose without the written consent of the landscape architect.

Engineer

N 64th ST & E MAYO BLVD
PHOENIX, AZ 85054

TAPESTRY COLLECTION
by Hiltner



PLAZA COMPANIES, AMO
9401 W. THUNDERBOLT RD.
PEORIA, ARIZONA 85381

FAYTH HOSPITALITY GROUP, LLC
6442 BELMONT AVE.
DALLAS, TX 75206

Revisions
11/20/2024 - CONCEPT SET
08/26/2025 - P&ID
10/22/2025 - PROGRESS UPDATE

drawn by VHS

DATE 11/19/2025

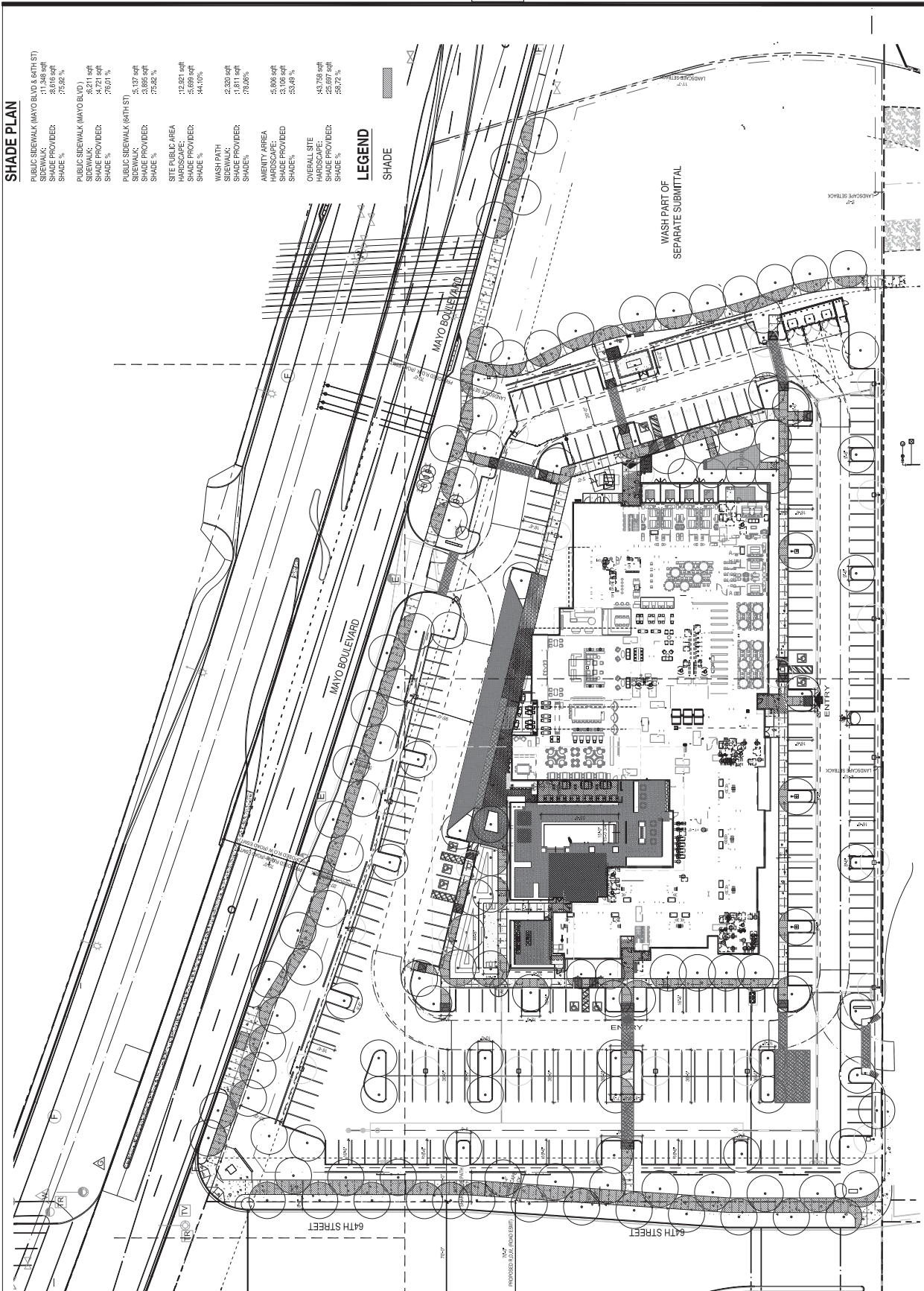
JOB NO. 25024

SHEET NO. LANDSCAPE PLAN

L7.02

© 2024 MAYE & ASSOCIATES, INC.
UNREGISTERED COPY AND NOT BE REPRODUCED

EXHIBIT 3



SHADE PLAN		
PUBLIC SIDEWALK (MAYO BLVD & 64TH ST)		
SIDEWALK:	11,548 sqft	
SHADE PROVIDED:	6,572 sqft	
SHADE %:	75.82 %	
PUBLIC SIDEWALK (MAYO BLVD)		
SIDEWALK:	3,721 sqft	
SHADE PROVIDED:	3,721 sqft	
SHADE %:	75.01 %	
PUBLIC SIDEWALK (64TH ST)		
SIDEWALK:	5,377 sqft	
SHADE PROVIDED:	3,895 sqft	
SHADE %:	75.82 %	
SITE PUBLIC AREA		
HARDSCAPE:	12,821 sqft	
SHADE PROVIDED:	5,669 sqft	
SHADE %:	44.10 %	
WASH PATH		
SIDEWALK:	2,320 sqft	
SHADE PROVIDED:	1,811 sqft	
SHADE %:	78.06 %	
AMENITY AREA		
HARDSCAPE:	5,806 sqft	
SHADE PROVIDED:	3,106 sqft	
SHADE %:	55.49 %	
OVERALL SITE		
HARDSCAPE:	43,759 sqft	
SHADE PROVIDED:	25,897 sqft	
SHADE %:	59.72 %	

LEGEND

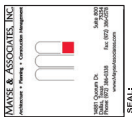
SHADE

SHADE PLAN 01

SCALE: 1" = 30'

0 15' 30' 60'

SCALE IN FEET 1:30



09-05-14

This is a true and correct copy of the original drawing as submitted to the City of Phoenix, Arizona, for review and approval. The drawing is the property of Mayse & Associates, Inc. and is not to be reproduced without written permission.

Engineer

N 64TH ST & E MAYO BLVD
PHOENIX, AZ 85054

TAPESTRY COLLECTION
by HOMWOOD SUITES



PLAZA COMPANIES, AMO
9401 W. THUNDERBOLT RD.
PEORIA, ARIZONA 85381

FAYTH HOSPITALITY GROUP, LLC
6442 BELMONT AVE.
DALLAS, TX 75206

Revisions
11/20/2024 - CONCEPT SET
05/02/2025 - PWD
10/02/2025 - PROGRESS UPDATE

drawn by VHS
date 12/23/2025
job no. 25024
sheet no. SHADE PLAN
sheet no.

L0.00

EXHIBIT 4



This is to certify that the undersigned is a duly Licensed Professional Engineer in the State of Arizona, No. 10000, dated 09-05-14.

Engineer

N 64th ST & E MAYO BLVD
PHOENIX, AZ 85054

TAPESTRY COLLECTION
by Hiltner
HILTMER
HOMewood SUITES



PLAZA COMPANIES, AMO
9401 W. THUNDERBOLT RD.
PEORIA, ARIZONA 85381

FAYTH HOSPITALITY GROUP, LLC
6442 BELMONT AVE.
DALLAS, TX 75206

Revisions
11/20/2024 - CONCEPT SET
08/26/2025 - PWD
10/22/2025 - PROGRESS UPDATE

drawn by VHS

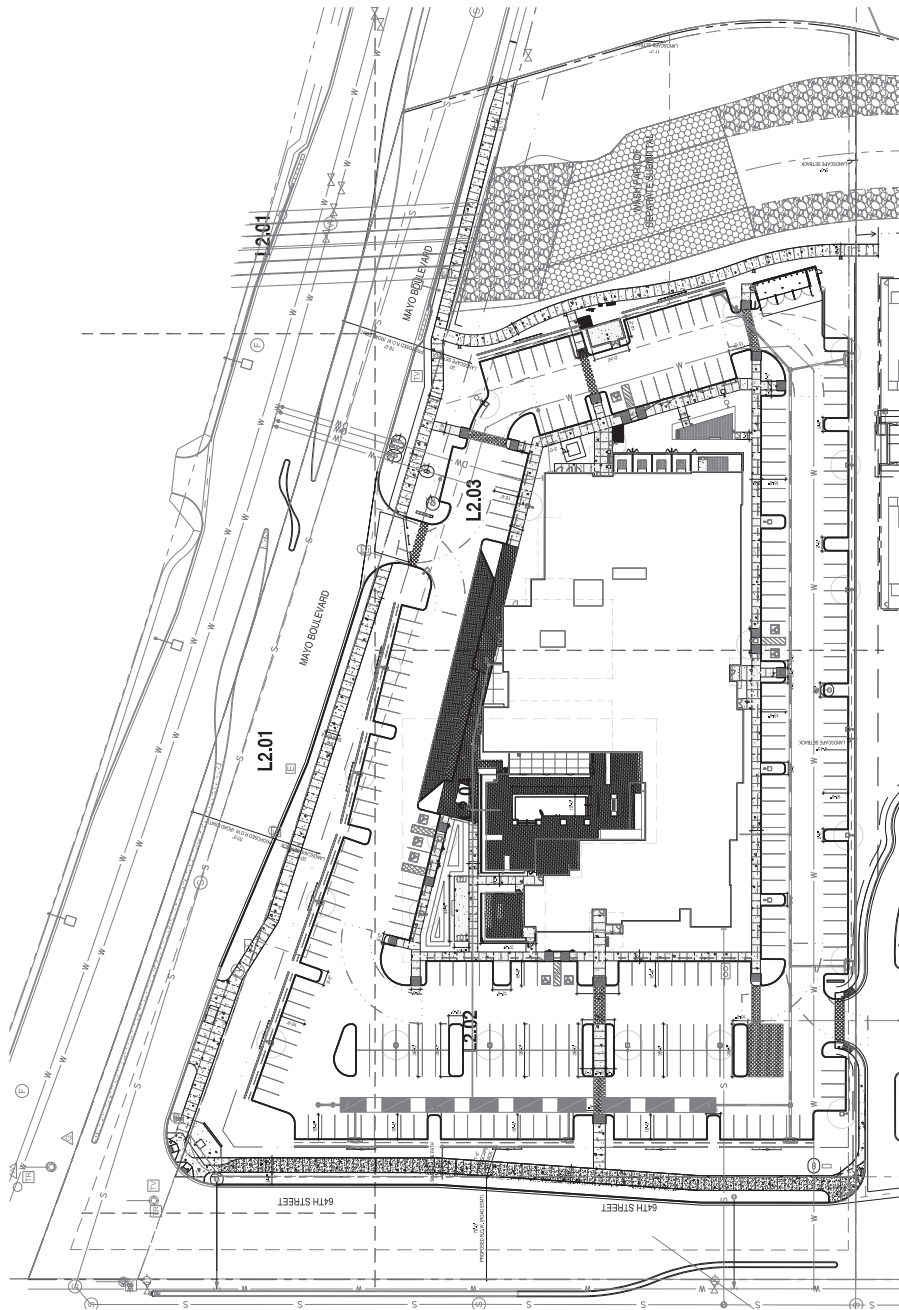
DATE 11/18/2025

JOB NO. 25024

SHEET NO. OVERALL HARDSCAPE
SHEET NO.

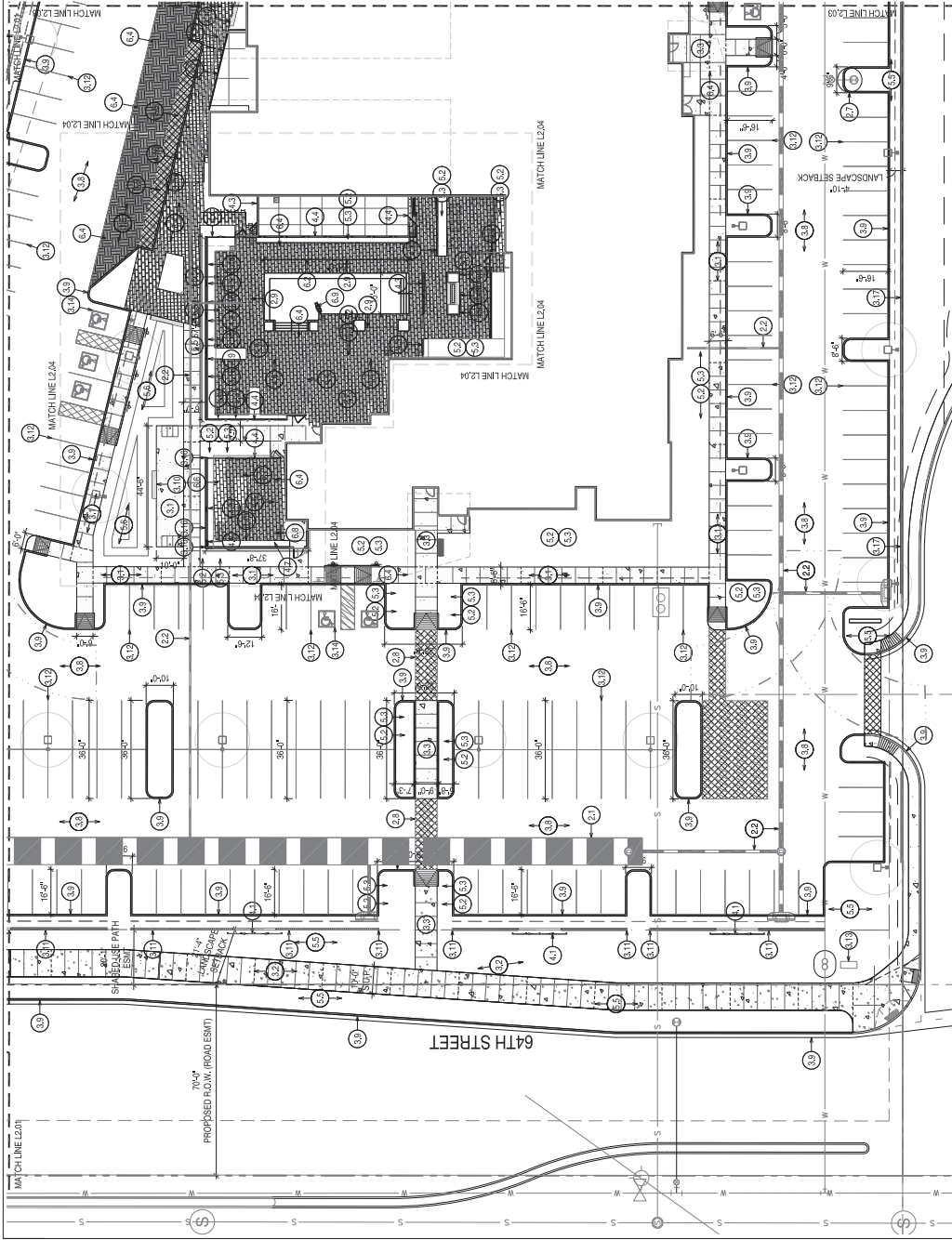
L2.00

- KEYNOTES:**
- EXISTING CONDITIONS:**
- 1.1 PROPERTY LINE
1.2 PROJECT LIMIT OF CONSTRUCTION
1.3 EXISTING CURB & GUTTER
- STEWART UTILITIES:**
- 2.1 UNDERGROUND STORAGE TANKS
2.2 STORM DRAIN
2.3 3" UTILITY CLEAR
2.4 MANHOLE COVER
2.5 SEWER MAIN
2.6 REVERSE
2.7 FIRE HYDRANT
2.8 CROSS WALK
- CONCRETE / PAVING / FINISHES:**
- 3.1 4" THICK CONCRETE
3.2 4" THICK FINISH CONC.
3.3 4" THICK ACID ETCH CONC.
3.4 PEDESTRIAN PAVERS
3.5 TEXTURED PEDESTRIAN PAVERS
3.6 VEHICULAR PAVERS
3.7 ASPHALT DRIVE
3.8 ASPHALT DRIVE
3.9 6" H. CIP CURB
3.10 18" H. CIP BENCH
3.11 3" H. SPLIT FACE BLOCK SCREEN WALL
3.12 PARKING STRIPING
3.13 2" H. SPLIT FACE BLOCK
3.14 2" H. SPLIT FACE BLOCK
3.15 6" H. DOUBLE SIDED FIRE PLACE
3.16 8" H. SPLIT FACE BLOCK WALL
3.17 8" H. CMU WALL PAINTED
- METAL / GLASS / WOOD:**
- 4.1 1/4" ALU. RAINING SCREEN WALL
4.2 1/2" TH. STL. HEADER
4.3 1" X 1/2" H. STL. PICKET FENCE & GATE
4.4 1" X 1/2" H. STL. PICKET FENCE & GATE
4.5 6" H. STL. SCREEN FENCING
4.6 STL. SHED STRUCTURE
4.7 3" X 1" STL. PLANTER
4.8 1" X 1/2" H. STL. PICKET FENCING
- PLANTING & LANDSCAPE:**
- 5.1 TURF
5.2 DESERT PLANTING
5.3 DESERT PAVEMENT
5.4 1/2" SCREENED TOP DRESSING
5.5 1/2" TOP DRESSING
5.6 FEATHERED RIP RAP
- MECHANICAL / ELECTRICAL / FURNISHING:**
- 6.1 3" CHARGE
6.2 CHARGE LOUNGE
6.3 MOVABLE TABLE / CHAIR
6.4 ROOF OVERHANG
6.5 CABANA STRUCTURE
6.6 BROWSE
6.7 BROWSE
6.8 FESTOON LIGHTING
6.9 CHAIR LIFT
6.10 PUBLIC ART
6.11 CORN HOLE



OVERALL HARDSCAPE PLAN 01
DETAIL

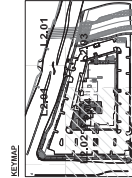




PARTIAL HARDSCAPE PLAN 01
DETAIL

SCALE: 1"=20'
SCALE IN FEET: 0 10 20 40
N

- KEYNOTES:**
- EXISTING CONDITIONS:**
- 1.1 PROPERTY LINE
 - 1.2 PROJECT LIMIT OF CONSTRUCTION
 - 1.3 EXISTING CURB & GUTTER
- STRUCTURE UTILITIES:**
- 2.1 UNDERGROUND STORAGE TANKS
 - 2.2 STORM DRAIN
 - 2.3 UTILITY CLEAR
 - 2.4 TRANSFORMER
 - 2.5 GENERATOR
 - 2.6 FURNACE
 - 2.7 FIRE HYDRANT
 - 2.8 CROSS WALK
- CONCRETE PAVING / FINISHES:**
- 3.1 4" TH. BROOM FINISH CONC.
 - 3.2 4" TH. FINISH CONC.
 - 3.3 4" TH. ADD. EDG. CONC.
 - 3.4 PEDESTRIAN PAVERS
 - 3.5 TEXTURED PEDESTRIAN PAVERS
 - 3.6 VEHICULAR PAVERS
 - 3.7 STONE PAVES @ POOL DECK
 - 3.8 8" H. CUBES
 - 3.9 8" H. CUBES
 - 3.10 18" H. CP BENCH
 - 3.11 3/4" SPLIT FACE BOOK SCREEN WALL
 - 3.12 PARKING STRIPING
 - 3.13 ENTRY MONUMENT SIGN
 - 3.14 ADA PARKING AND SIGN
 - 3.15 8" H. SPLIT FACE BOOK SCREEN WALL
 - 3.16 8" H. SPLIT FACE BOOK SCREEN WALL
 - 3.17 8" H. CMU WALL PAINTED
- METAL / GLASS / WOOD:**
- 4.1 3" H. MET. PARKING SCREEN WALL
 - 4.2 4" H. MET. PARKING SCREEN WALL
 - 4.3 1" X 1/2" H. STL. PICKET FENCE & GATE
 - 4.4 1" X 1/2" H. STL. PICKET FENCE & GATE
 - 4.5 6" H. STL. SCREEN FENCING
 - 4.6 STL. SHADE STRUCTURE
 - 4.7 FESTOON LIGHTING POST 1/2" X 1/2" SQ.
 - 4.8 1/2" X 1/2" STL. LAMPOST
 - 4.9 1/2" X 1/2" STL. PICKET FENCING
- PLANTING & LANDSCAPE:**
- 5.1 TURF
 - 5.2 AT GRADE PLANTING
 - 5.3 DESERT PLANTING
 - 5.4 12" SCISSOR TOP DRESSING
 - 5.5 12" TOP DRESSING
 - 5.6 FEATHERED RP RAP
- MISC. / SITE FURNISHINGS:**
- 6.1 EYE CHARGER
 - 6.2 MOVABLE TABLE
 - 6.3 MOVABLE TABLE & CHAIR
 - 6.4 ROOF OVERHANG
 - 6.5 CABANA STRUCTURE
 - 6.6 BBQ CENTER
 - 6.7 BBQ ISLAND
 - 6.8 FLOOD LIGHTING
 - 6.9 CHAIR LIFT
 - 6.10 PUBLIC ART
 - 6.11 CORN HOLE



This seal is valid only when used in connection with the professional services of the holder. It is not valid for use in connection with any other services. The holder is responsible for the accuracy of the information provided. This seal is not valid for use in connection with any other services.

Project No. 25024

N 64TH ST & E MAYO BLVD
PHOENIX, AZ 85054

TAPESTRY COLLECTION
by HILBERT
HOMELAND SUITES



PLAZA COMPANIES, AMO
9401 W. THUNDERBOLT RD.,
SUITE 200
PEORIA, ARIZONA 85381

FAYTH HOSPITALITY GROUP, LLC
6442 BELMONT AVE.
DALLAS, TX 75206

Revisions
11/20/2024 - CONCEPT SET
08/26/2025 - PUD
10/22/2025 - PROGRESS UPDATE

drawn by VHS

DATE 11/18/2025

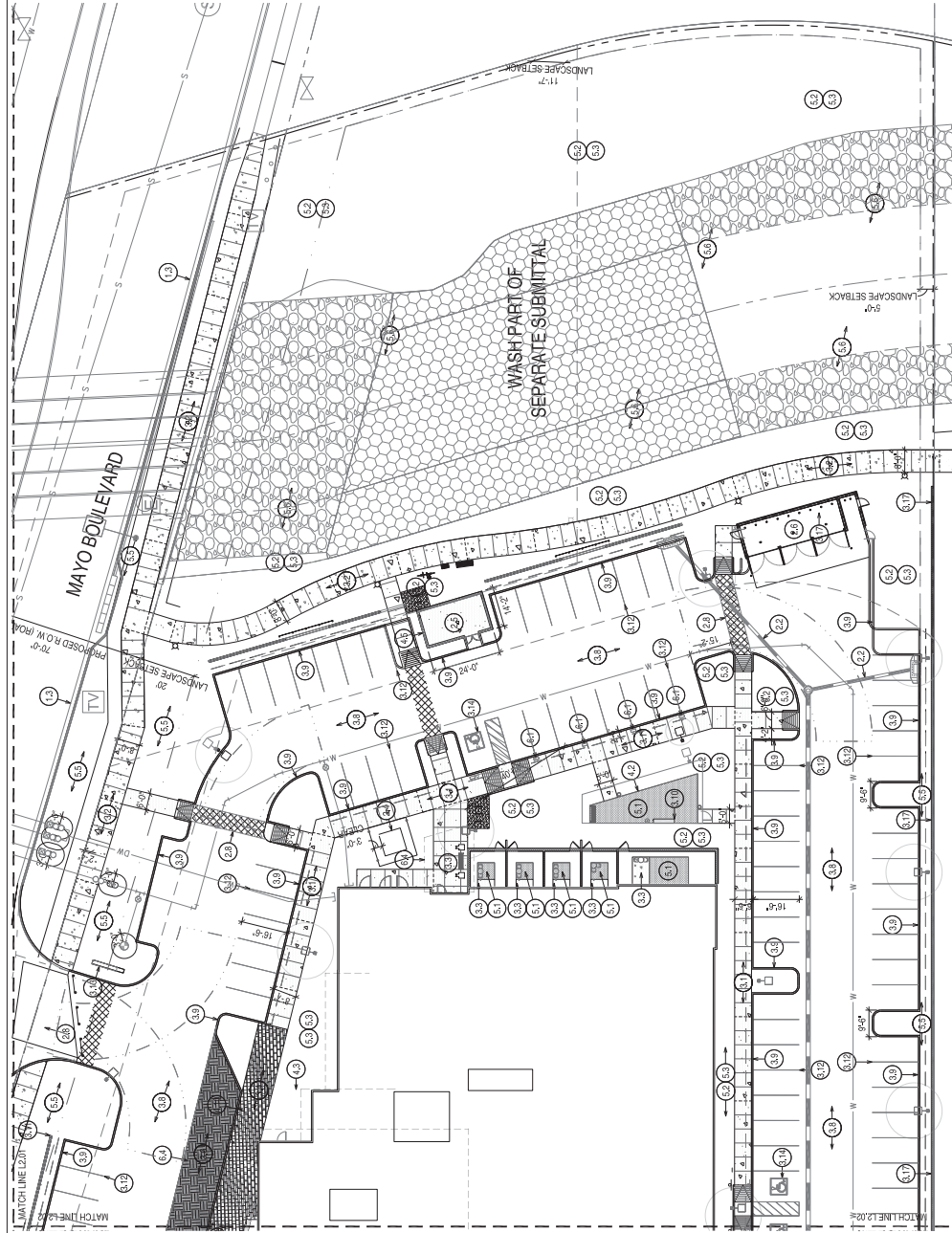
JOB NO. 25024

SHEET TITLE

HARDSCAPE PLAN

SHEET NO.

L2.02



KEYNOTES:

EXISTING CONDITIONS:

- 1.1 PROPERTY LINE
- 1.2 PROPOSED LIMIT OF CONSTRUCTION
- 1.3 EXISTING CURB & GUTTER

STEWORCK UTILITIES:

- 2.1 UNDERGROUND STORAGE TANKS
- 2.2 STORM DRAIN
- 2.3 UTILITY CLEAR
- 2.4 FURNACE
- 2.5 GENERATOR
- 2.6 REFUSE
- 2.7 FIRE HYDRANT
- 2.8 CROSS WALK

CONCRETE FINISHING / FINISHES:

- 3.1 4" TH. BROWN FINISH CONC.
- 3.2 4" TH. SALT FINISH CONC.
- 3.3 4" TH. ACID ETCH CONC.
- 3.4 PEDESTRIAN PAVERS
- 3.5 TEXTURED PEDESTRIAN PAVERS
- 3.6 POLISHED CONCRETE
- 3.7 STONE PAVING POOL DECK
- 3.8 ASPHALT DRIVE
- 3.9 6" H. CURB
- 3.10 18" H. QIP BENCH
- 3.11 3" H. SPIT FACE BOOK SCREEN WALL
- 3.12 PARKING STRIPING
- 3.13 12" H. CONCRETE SIGN
- 3.14 ADA PARKING AND SIGN
- 3.15 8" H. DOUBLE SIDED FIRE PLACE
- 3.16 8" H. SPIT FACE FIRE PLACE
- 3.17 8" H. CMU WALL PAINTED

METAL GLASS / WOOD:

- 4.1 3" H. METAL PARKING SCREEN WALL
- 4.2 12" H. STL. HEADER
- 4.3 1" X 1/2" H. STL. PICKET FENCE & GATE
- 4.4 1" X 1/2" H. STL. PICKET FENCE & GATE
- 4.5 6" H. STL. SCREEN FENCING
- 4.6 6" H. STL. SCREEN FENCING
- 4.7 FESTOON LIGHTING POST 7' X 3" SQ.
- 4.8 30" H. STL. PLANTER
- 4.9 1" X 1/2" H. STL. PICKET FENCING

PLANTING & LANDSCAPE:

- 5.1 AT GRADE PLANTING
- 5.2 DESERT PAVEMENT
- 5.3 12" SCREENED TOP DRESSING
- 5.4 12" TOP DRESSING
- 5.5 12" TOP DRESSING
- 5.6 FEATHERED RIP RAP

IRRIG. / SITE FURNISHING:

- 6.1 EV CHARGER
- 6.2 CHASE LOUNGE
- 6.3 MOVEABLE TABLE & CHAIR
- 6.4 ROOF OVERHANG
- 6.5 CARBONA STRUCTURE
- 6.6 BRUSHY PLANT
- 6.7 BED ISLAND
- 6.8 FESTOON LIGHTING
- 6.9 CHAIR LIFT
- 6.10 PUBLIC ART
- 6.11 CORN HOLE

DETAIL / REFERENCE:

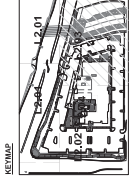
DETAIL / REFERENCE:

DETAIL / REFERENCE:

DETAIL / REFERENCE:

DETAIL / REFERENCE:

DETAIL / REFERENCE:



09-05-14

This seal is valid for 12 months from the date of issuance. It is not valid for use on any project that is not a part of the original project for which it was issued. It is not valid for use on any project that is not a part of the original project for which it was issued. It is not valid for use on any project that is not a part of the original project for which it was issued.

Engineer

N 64th ST & E MAYO BLVD
PHOENIX, AZ 85054

TAPESTRY COLLECTION
by HILLMAN
HOMELAND SUITES



PLAZA COMPANIES, AMO
9401 W. THUNDERBOLT RD.
SUITE 200
PEORIA, ARIZONA 85381

FAYTH HOSPITALITY GROUP, LLC
6442 BELMONT AVE.
DALLAS, TX 75206

Redlines

11/20/2024 - CONCEPT SET
08/26/2025 - PWD
10/22/2025 - PROGRESS UPDATE

drawn by VHS

DATE 11/18/2025

JOB NO. 25024

SHEET NO. HARDSCAPE PLAN

SHEET NO.

L2.03

© 2023 MAYHEW & ASSOCIATES, INC.
UNLAWFUL TO REPRODUCE OR TRANSMIT.

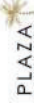
EXHIBIT 5

EXHIBIT 6

EXHIBIT 7

NORTH
PHOENIX NEAR
MAYO CLINIC
N 64th ST & E MAYO BLVD
PHOENIX, AZ 85064

TAPESTRY
COLLECTOR
HOMESWOOD
SUITES
NORTH PHOENIX NEAR MAYO CLINIC



PLAZA COMPANIES, AIO
9401 W. THUNDERBOLT RD.
PEORIA, ARIZONA 85381

FAYTH HOSPITALITY GROUP, LLC
5442 BELMONT AVE.
DALLAS, TX 75206

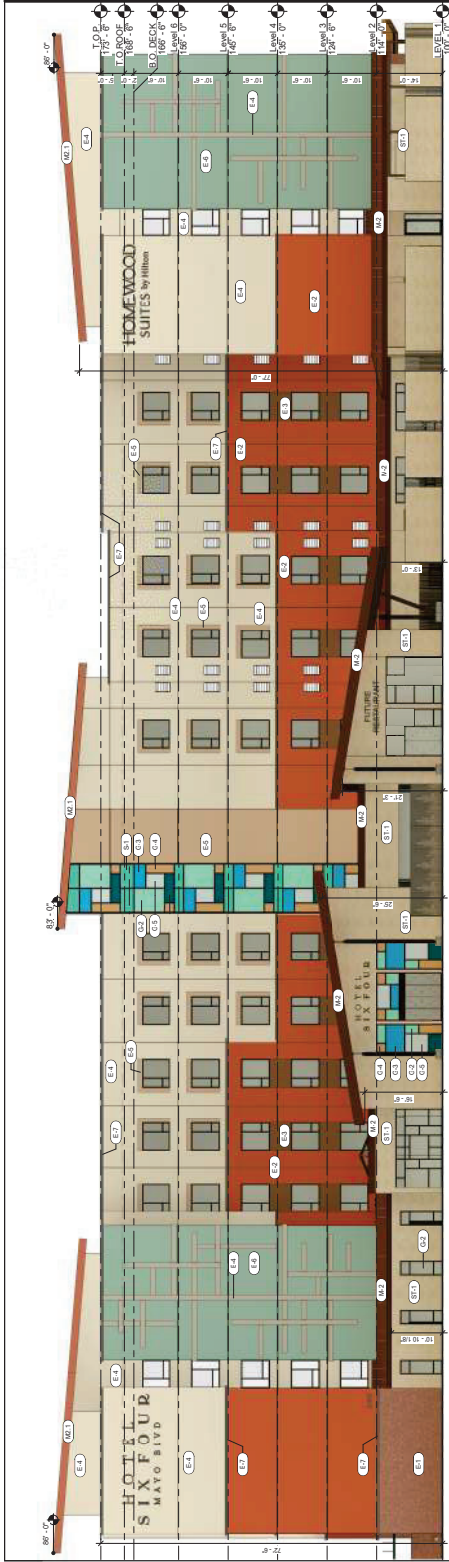
Revisions:
11/02/2024 - CONCEPT SET

Drawn by

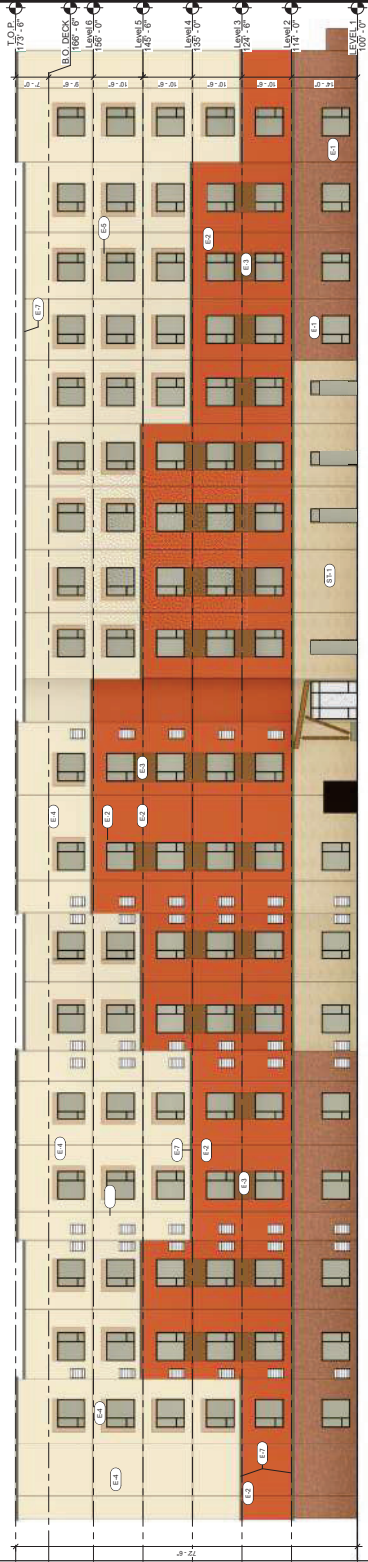
Date: 11/17/2025 5:10:24 PM
Project: 25024

EXTERIOR ELEVATIONS COLOR
SHEET 01

P3



C1 NORTH ELEVATION
332'-7 1/2" x 172'-0"



A1 SOUTH ELEVATION
332'-7 1/2" x 172'-0"

EXTERIOR FINISH LEGEND

E-1	ALLIUM FINE GRAY CONCRETE DRYVET	E-2	ALLIUM FINE GRAY CONCRETE DRYVET	E-3	ALLIUM FINE GRAY CONCRETE DRYVET	E-4	ALLIUM FINE GRAY CONCRETE DRYVET	E-5	ALLIUM FINE GRAY CONCRETE DRYVET	E-6	ALLIUM FINE GRAY CONCRETE DRYVET	E-7	ALLIUM FINE GRAY CONCRETE DRYVET	E-8	ALLIUM FINE GRAY CONCRETE DRYVET	E-9	ALLIUM FINE GRAY CONCRETE DRYVET	E-10	ALLIUM FINE GRAY CONCRETE DRYVET	E-11	ALLIUM FINE GRAY CONCRETE DRYVET	E-12	ALLIUM FINE GRAY CONCRETE DRYVET	E-13	ALLIUM FINE GRAY CONCRETE DRYVET	E-14	ALLIUM FINE GRAY CONCRETE DRYVET	E-15	ALLIUM FINE GRAY CONCRETE DRYVET	E-16	ALLIUM FINE GRAY CONCRETE DRYVET	E-17	ALLIUM FINE GRAY CONCRETE DRYVET	E-18	ALLIUM FINE GRAY CONCRETE DRYVET	E-19	ALLIUM FINE GRAY CONCRETE DRYVET	E-20	ALLIUM FINE GRAY CONCRETE DRYVET	E-21	ALLIUM FINE GRAY CONCRETE DRYVET	E-22	ALLIUM FINE GRAY CONCRETE DRYVET	E-23	ALLIUM FINE GRAY CONCRETE DRYVET	E-24	ALLIUM FINE GRAY CONCRETE DRYVET	E-25	ALLIUM FINE GRAY CONCRETE DRYVET	E-26	ALLIUM FINE GRAY CONCRETE DRYVET	E-27	ALLIUM FINE GRAY CONCRETE DRYVET	E-28	ALLIUM FINE GRAY CONCRETE DRYVET	E-29	ALLIUM FINE GRAY CONCRETE DRYVET	E-30	ALLIUM FINE GRAY CONCRETE DRYVET	E-31	ALLIUM FINE GRAY CONCRETE DRYVET	E-32	ALLIUM FINE GRAY CONCRETE DRYVET	E-33	ALLIUM FINE GRAY CONCRETE DRYVET	E-34	ALLIUM FINE GRAY CONCRETE DRYVET	E-35	ALLIUM FINE GRAY CONCRETE DRYVET	E-36	ALLIUM FINE GRAY CONCRETE DRYVET	E-37	ALLIUM FINE GRAY CONCRETE DRYVET	E-38	ALLIUM FINE GRAY CONCRETE DRYVET	E-39	ALLIUM FINE GRAY CONCRETE DRYVET	E-40	ALLIUM FINE GRAY CONCRETE DRYVET	E-41	ALLIUM FINE GRAY CONCRETE DRYVET	E-42	ALLIUM FINE GRAY CONCRETE DRYVET	E-43	ALLIUM FINE GRAY CONCRETE DRYVET	E-44	ALLIUM FINE GRAY CONCRETE DRYVET	E-45	ALLIUM FINE GRAY CONCRETE DRYVET	E-46	ALLIUM FINE GRAY CONCRETE DRYVET	E-47	ALLIUM FINE GRAY CONCRETE DRYVET	E-48	ALLIUM FINE GRAY CONCRETE DRYVET	E-49	ALLIUM FINE GRAY CONCRETE DRYVET	E-50	ALLIUM FINE GRAY CONCRETE DRYVET	E-51	ALLIUM FINE GRAY CONCRETE DRYVET	E-52	ALLIUM FINE GRAY CONCRETE DRYVET	E-53	ALLIUM FINE GRAY CONCRETE DRYVET	E-54	ALLIUM FINE GRAY CONCRETE DRYVET	E-55	ALLIUM FINE GRAY CONCRETE DRYVET	E-56	ALLIUM FINE GRAY CONCRETE DRYVET	E-57	ALLIUM FINE GRAY CONCRETE DRYVET	E-58	ALLIUM FINE GRAY CONCRETE DRYVET	E-59	ALLIUM FINE GRAY CONCRETE DRYVET	E-60	ALLIUM FINE GRAY CONCRETE DRYVET	E-61	ALLIUM FINE GRAY CONCRETE DRYVET	E-62	ALLIUM FINE GRAY CONCRETE DRYVET	E-63	ALLIUM FINE GRAY CONCRETE DRYVET	E-64	ALLIUM FINE GRAY CONCRETE DRYVET	E-65	ALLIUM FINE GRAY CONCRETE DRYVET	E-66	ALLIUM FINE GRAY CONCRETE DRYVET	E-67	ALLIUM FINE GRAY CONCRETE DRYVET	E-68	ALLIUM FINE GRAY CONCRETE DRYVET	E-69	ALLIUM FINE GRAY CONCRETE DRYVET	E-70	ALLIUM FINE GRAY CONCRETE DRYVET	E-71	ALLIUM FINE GRAY CONCRETE DRYVET	E-72	ALLIUM FINE GRAY CONCRETE DRYVET	E-73	ALLIUM FINE GRAY CONCRETE DRYVET	E-74	ALLIUM FINE GRAY CONCRETE DRYVET	E-75	ALLIUM FINE GRAY CONCRETE DRYVET	E-76	ALLIUM FINE GRAY CONCRETE DRYVET	E-77	ALLIUM FINE GRAY CONCRETE DRYVET	E-78	ALLIUM FINE GRAY CONCRETE DRYVET	E-79	ALLIUM FINE GRAY CONCRETE DRYVET	E-80	ALLIUM FINE GRAY CONCRETE DRYVET	E-81	ALLIUM FINE GRAY CONCRETE DRYVET	E-82	ALLIUM FINE GRAY CONCRETE DRYVET	E-83	ALLIUM FINE GRAY CONCRETE DRYVET	E-84	ALLIUM FINE GRAY CONCRETE DRYVET	E-85	ALLIUM FINE GRAY CONCRETE DRYVET	E-86	ALLIUM FINE GRAY CONCRETE DRYVET	E-87	ALLIUM FINE GRAY CONCRETE DRYVET	E-88	ALLIUM FINE GRAY CONCRETE DRYVET	E-89	ALLIUM FINE GRAY CONCRETE DRYVET	E-90	ALLIUM FINE GRAY CONCRETE DRYVET	E-91	ALLIUM FINE GRAY CONCRETE DRYVET	E-92	ALLIUM FINE GRAY CONCRETE DRYVET	E-93	ALLIUM FINE GRAY CONCRETE DRYVET	E-94	ALLIUM FINE GRAY CONCRETE DRYVET	E-95	ALLIUM FINE GRAY CONCRETE DRYVET	E-96	ALLIUM FINE GRAY CONCRETE DRYVET	E-97	ALLIUM FINE GRAY CONCRETE DRYVET	E-98	ALLIUM FINE GRAY CONCRETE DRYVET	E-99	ALLIUM FINE GRAY CONCRETE DRYVET	E-100	ALLIUM FINE GRAY CONCRETE DRYVET
-----	--	-----	--	-----	--	-----	--	-----	--	-----	--	-----	--	-----	--	-----	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	------	--	-------	--

GLAZING FINISH LEGEND

G-1	GLASS DRYVET	G-2	GLASS DRYVET	G-3	GLASS DRYVET	G-4	GLASS DRYVET	G-5	GLASS DRYVET	G-6	GLASS DRYVET	G-7	GLASS DRYVET	G-8	GLASS DRYVET	G-9	GLASS DRYVET	G-10	GLASS DRYVET	G-11	GLASS DRYVET	G-12	GLASS DRYVET	G-13	GLASS DRYVET	G-14	GLASS DRYVET	G-15	GLASS DRYVET	G-16	GLASS DRYVET	G-17	GLASS DRYVET	G-18	GLASS DRYVET	G-19	GLASS DRYVET	G-20	GLASS DRYVET	G-21	GLASS DRYVET	G-22	GLASS DRYVET	G-23	GLASS DRYVET	G-24	GLASS DRYVET	G-25	GLASS DRYVET	G-26	GLASS DRYVET	G-27	GLASS DRYVET	G-28	GLASS DRYVET	G-29	GLASS DRYVET	G-30	GLASS DRYVET	G-31	GLASS DRYVET	G-32	GLASS DRYVET	G-33	GLASS DRYVET	G-34	GLASS DRYVET	G-35	GLASS DRYVET	G-36	GLASS DRYVET	G-37	GLASS DRYVET	G-38	GLASS DRYVET	G-39	GLASS DRYVET	G-40	GLASS DRYVET	G-41	GLASS DRYVET	G-42	GLASS DRYVET	G-43	GLASS DRYVET	G-44	GLASS DRYVET	G-45	GLASS DRYVET	G-46	GLASS DRYVET	G-47	GLASS DRYVET	G-48	GLASS DRYVET	G-49	GLASS DRYVET	G-50	GLASS DRYVET	G-51	GLASS DRYVET	G-52	GLASS DRYVET	G-53	GLASS DRYVET	G-54	GLASS DRYVET	G-55	GLASS DRYVET	G-56	GLASS DRYVET	G-57	GLASS DRYVET	G-58	GLASS DRYVET	G-59	GLASS DRYVET	G-60	GLASS DRYVET	G-61	GLASS DRYVET	G-62	GLASS DRYVET	G-63	GLASS DRYVET	G-64	GLASS DRYVET	G-65	GLASS DRYVET	G-66	GLASS DRYVET	G-67	GLASS DRYVET	G-68	GLASS DRYVET	G-69	GLASS DRYVET	G-70	GLASS DRYVET	G-71	GLASS DRYVET	G-72	GLASS DRYVET	G-73	GLASS DRYVET	G-74	GLASS DRYVET	G-75	GLASS DRYVET	G-76	GLASS DRYVET	G-77	GLASS DRYVET	G-78	GLASS DRYVET	G-79	GLASS DRYVET	G-80	GLASS DRYVET	G-81	GLASS DRYVET	G-82	GLASS DRYVET	G-83	GLASS DRYVET	G-84	GLASS DRYVET	G-85	GLASS DRYVET	G-86	GLASS DRYVET	G-87	GLASS DRYVET	G-88	GLASS DRYVET	G-89	GLASS DRYVET	G-90	GLASS DRYVET	G-91	GLASS DRYVET	G-92	GLASS DRYVET	G-93	GLASS DRYVET	G-94	GLASS DRYVET	G-95	GLASS DRYVET	G-96	GLASS DRYVET	G-97	GLASS DRYVET	G-98	GLASS DRYVET	G-99	GLASS DRYVET	G-100	GLASS DRYVET
-----	-----------------	-----	-----------------	-----	-----------------	-----	-----------------	-----	-----------------	-----	-----------------	-----	-----------------	-----	-----------------	-----	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	------	-----------------	-------	-----------------



CONCEPT
SET IN
PROGRESS

This drawing is not a contract document.
It is intended for informational purposes only.
It is not to be used for construction or other
purposes without the written consent of
MAVRE & ASSOCIATES, INC.

Engineer

NORTH
PHOENIX NEAR
MAYO CLINIC
N 64th ST & E MAYO BLVD
PHOENIX, AZ 85064

TAPESTRY
COLLECTOR
HOMWOOD
SUITES
NORTH PACIFIC BLVD MAYO CLINIC



PLAZA COMPANIES, AIO
9401 W. THUNDERBOLT RD.
PEORIA, ARIZONA 85381

FAYTH HOSPITALITY GROUP, LLC
5442 BELMONT AVE.
DALLAS, TX 75206

Revisions:
11/02/2024 - CONCEPT SET

Drawn by

Date: 11/17/2025 5:11:58 PM
Project: 25024

Project Title: 25024
Drawing Title: EXTERIOR ELEVATIONS COLOR
Sheet No: 01

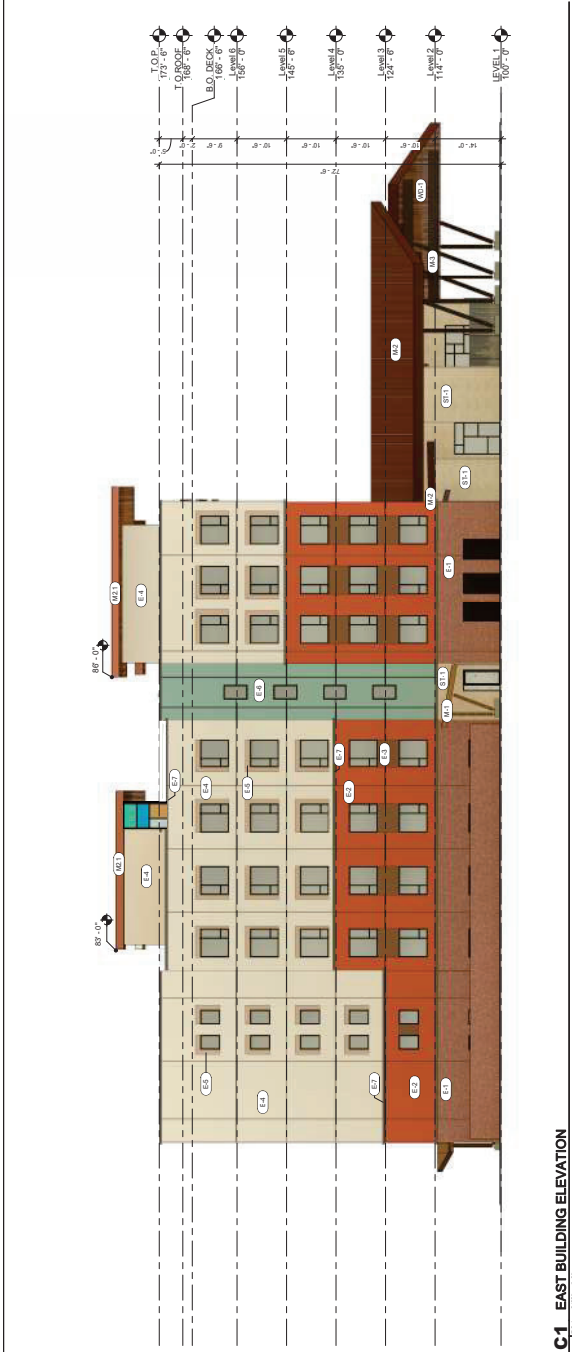
P3.1

GLAZING FINISH LEGEND

8-1	SPARKLE FINISHES VERTICAL CONTIGS
8-2	GRAY BLUE VERTICAL
8-3	ATLANTA VERTICAL
8-4	PACIFIC VERTICAL
8-5	OPTIC VERTICAL
8-6	OPTIC VERTICAL
8-7	OPTIC VERTICAL
8-8	OPTIC VERTICAL
8-9	OPTIC VERTICAL
8-10	OPTIC VERTICAL
8-11	OPTIC VERTICAL
8-12	OPTIC VERTICAL
8-13	OPTIC VERTICAL
8-14	OPTIC VERTICAL
8-15	OPTIC VERTICAL
8-16	OPTIC VERTICAL
8-17	OPTIC VERTICAL
8-18	OPTIC VERTICAL
8-19	OPTIC VERTICAL
8-20	OPTIC VERTICAL
8-21	OPTIC VERTICAL
8-22	OPTIC VERTICAL
8-23	OPTIC VERTICAL
8-24	OPTIC VERTICAL
8-25	OPTIC VERTICAL
8-26	OPTIC VERTICAL
8-27	OPTIC VERTICAL
8-28	OPTIC VERTICAL
8-29	OPTIC VERTICAL
8-30	OPTIC VERTICAL
8-31	OPTIC VERTICAL
8-32	OPTIC VERTICAL
8-33	OPTIC VERTICAL
8-34	OPTIC VERTICAL
8-35	OPTIC VERTICAL
8-36	OPTIC VERTICAL
8-37	OPTIC VERTICAL
8-38	OPTIC VERTICAL
8-39	OPTIC VERTICAL
8-40	OPTIC VERTICAL
8-41	OPTIC VERTICAL
8-42	OPTIC VERTICAL
8-43	OPTIC VERTICAL
8-44	OPTIC VERTICAL
8-45	OPTIC VERTICAL
8-46	OPTIC VERTICAL
8-47	OPTIC VERTICAL
8-48	OPTIC VERTICAL
8-49	OPTIC VERTICAL
8-50	OPTIC VERTICAL
8-51	OPTIC VERTICAL
8-52	OPTIC VERTICAL
8-53	OPTIC VERTICAL
8-54	OPTIC VERTICAL
8-55	OPTIC VERTICAL
8-56	OPTIC VERTICAL
8-57	OPTIC VERTICAL
8-58	OPTIC VERTICAL
8-59	OPTIC VERTICAL
8-60	OPTIC VERTICAL
8-61	OPTIC VERTICAL
8-62	OPTIC VERTICAL
8-63	OPTIC VERTICAL
8-64	OPTIC VERTICAL
8-65	OPTIC VERTICAL
8-66	OPTIC VERTICAL
8-67	OPTIC VERTICAL
8-68	OPTIC VERTICAL
8-69	OPTIC VERTICAL
8-70	OPTIC VERTICAL
8-71	OPTIC VERTICAL
8-72	OPTIC VERTICAL
8-73	OPTIC VERTICAL
8-74	OPTIC VERTICAL
8-75	OPTIC VERTICAL
8-76	OPTIC VERTICAL
8-77	OPTIC VERTICAL
8-78	OPTIC VERTICAL
8-79	OPTIC VERTICAL
8-80	OPTIC VERTICAL
8-81	OPTIC VERTICAL
8-82	OPTIC VERTICAL
8-83	OPTIC VERTICAL
8-84	OPTIC VERTICAL
8-85	OPTIC VERTICAL
8-86	OPTIC VERTICAL
8-87	OPTIC VERTICAL
8-88	OPTIC VERTICAL
8-89	OPTIC VERTICAL
8-90	OPTIC VERTICAL
8-91	OPTIC VERTICAL
8-92	OPTIC VERTICAL
8-93	OPTIC VERTICAL
8-94	OPTIC VERTICAL
8-95	OPTIC VERTICAL
8-96	OPTIC VERTICAL
8-97	OPTIC VERTICAL
8-98	OPTIC VERTICAL
8-99	OPTIC VERTICAL
8-100	OPTIC VERTICAL

EXTERIOR FINISH LEGEND

8-1	SPARKLE FINISHES VERTICAL CONTIGS
8-2	GRAY BLUE VERTICAL
8-3	ATLANTA VERTICAL
8-4	PACIFIC VERTICAL
8-5	OPTIC VERTICAL
8-6	OPTIC VERTICAL
8-7	OPTIC VERTICAL
8-8	OPTIC VERTICAL
8-9	OPTIC VERTICAL
8-10	OPTIC VERTICAL
8-11	OPTIC VERTICAL
8-12	OPTIC VERTICAL
8-13	OPTIC VERTICAL
8-14	OPTIC VERTICAL
8-15	OPTIC VERTICAL
8-16	OPTIC VERTICAL
8-17	OPTIC VERTICAL
8-18	OPTIC VERTICAL
8-19	OPTIC VERTICAL
8-20	OPTIC VERTICAL
8-21	OPTIC VERTICAL
8-22	OPTIC VERTICAL
8-23	OPTIC VERTICAL
8-24	OPTIC VERTICAL
8-25	OPTIC VERTICAL
8-26	OPTIC VERTICAL
8-27	OPTIC VERTICAL
8-28	OPTIC VERTICAL
8-29	OPTIC VERTICAL
8-30	OPTIC VERTICAL
8-31	OPTIC VERTICAL
8-32	OPTIC VERTICAL
8-33	OPTIC VERTICAL
8-34	OPTIC VERTICAL
8-35	OPTIC VERTICAL
8-36	OPTIC VERTICAL
8-37	OPTIC VERTICAL
8-38	OPTIC VERTICAL
8-39	OPTIC VERTICAL
8-40	OPTIC VERTICAL
8-41	OPTIC VERTICAL
8-42	OPTIC VERTICAL
8-43	OPTIC VERTICAL
8-44	OPTIC VERTICAL
8-45	OPTIC VERTICAL
8-46	OPTIC VERTICAL
8-47	OPTIC VERTICAL
8-48	OPTIC VERTICAL
8-49	OPTIC VERTICAL
8-50	OPTIC VERTICAL
8-51	OPTIC VERTICAL
8-52	OPTIC VERTICAL
8-53	OPTIC VERTICAL
8-54	OPTIC VERTICAL
8-55	OPTIC VERTICAL
8-56	OPTIC VERTICAL
8-57	OPTIC VERTICAL
8-58	OPTIC VERTICAL
8-59	OPTIC VERTICAL
8-60	OPTIC VERTICAL
8-61	OPTIC VERTICAL
8-62	OPTIC VERTICAL
8-63	OPTIC VERTICAL
8-64	OPTIC VERTICAL
8-65	OPTIC VERTICAL
8-66	OPTIC VERTICAL
8-67	OPTIC VERTICAL
8-68	OPTIC VERTICAL
8-69	OPTIC VERTICAL
8-70	OPTIC VERTICAL
8-71	OPTIC VERTICAL
8-72	OPTIC VERTICAL
8-73	OPTIC VERTICAL
8-74	OPTIC VERTICAL
8-75	OPTIC VERTICAL
8-76	OPTIC VERTICAL
8-77	OPTIC VERTICAL
8-78	OPTIC VERTICAL
8-79	OPTIC VERTICAL
8-80	OPTIC VERTICAL
8-81	OPTIC VERTICAL
8-82	OPTIC VERTICAL
8-83	OPTIC VERTICAL
8-84	OPTIC VERTICAL
8-85	OPTIC VERTICAL
8-86	OPTIC VERTICAL
8-87	OPTIC VERTICAL
8-88	OPTIC VERTICAL
8-89	OPTIC VERTICAL
8-90	OPTIC VERTICAL
8-91	OPTIC VERTICAL
8-92	OPTIC VERTICAL
8-93	OPTIC VERTICAL
8-94	OPTIC VERTICAL
8-95	OPTIC VERTICAL
8-96	OPTIC VERTICAL
8-97	OPTIC VERTICAL
8-98	OPTIC VERTICAL
8-99	OPTIC VERTICAL
8-100	OPTIC VERTICAL



**NORTH
PHOENIX NEAR
MAYO CLINIC
N 64th ST & E MAYO BLVD
PHOENIX, AZ 85064**

TAPESTRY
COLLECTION
HOMESWOOD
SUITES
by HKS

NORTH PHOENIX NEAR MAYO CLINIC



PLAZA COMPANIES, AND
3401 W. THUNDERBOLT RD.
PEORIA, ARIZONA 85381

FAYTH HOSPITALITY GROUP, LLC
5442 BELMONT AVE.
DALLAS, TX 75206

Revisions:
11/02/2024 - CONCEPT SET

Drawn by

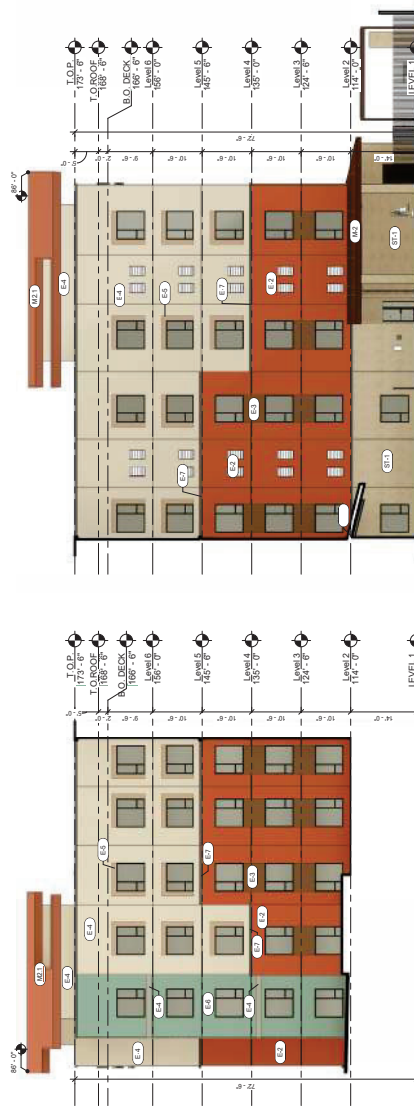
Date: 11/17/2025 5:13:00 PM
Project: 25024
Sheet: 25024

EXTERIOR ELEVATIONS COLOR
SHEETS

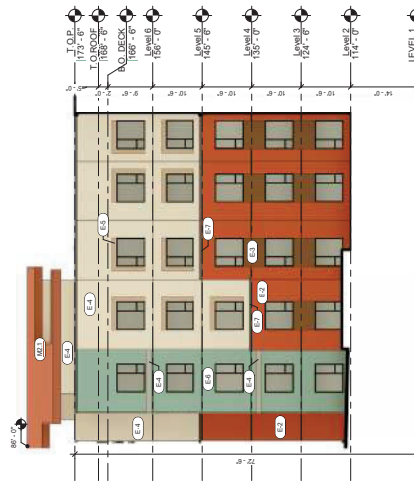
P3.2



D3 POOL COURTYARD ELEVATION



A2 WEST WING ELEVATION



A4 EAST WING ELEVATION

EXTERIOR FINISH LEGEND

S-1.1	TRIM STONE - 18" X 36"
S-1.2	CLADDING STONE - 18" X 36"
S-1.3	CLADDING STONE - 18" X 36"
S-1.4	CLADDING STONE - 18" X 36"
S-1.5	CLADDING STONE - 18" X 36"
S-1.6	CLADDING STONE - 18" X 36"
S-1.7	CLADDING STONE - 18" X 36"
S-1.8	CLADDING STONE - 18" X 36"
S-1.9	CLADDING STONE - 18" X 36"
S-1.10	CLADDING STONE - 18" X 36"
S-1.11	CLADDING STONE - 18" X 36"
S-1.12	CLADDING STONE - 18" X 36"
S-1.13	CLADDING STONE - 18" X 36"
S-1.14	CLADDING STONE - 18" X 36"
S-1.15	CLADDING STONE - 18" X 36"
S-1.16	CLADDING STONE - 18" X 36"
S-1.17	CLADDING STONE - 18" X 36"
S-1.18	CLADDING STONE - 18" X 36"
S-1.19	CLADDING STONE - 18" X 36"
S-1.20	CLADDING STONE - 18" X 36"
S-1.21	CLADDING STONE - 18" X 36"
S-1.22	CLADDING STONE - 18" X 36"
S-1.23	CLADDING STONE - 18" X 36"
S-1.24	CLADDING STONE - 18" X 36"
S-1.25	CLADDING STONE - 18" X 36"
S-1.26	CLADDING STONE - 18" X 36"
S-1.27	CLADDING STONE - 18" X 36"
S-1.28	CLADDING STONE - 18" X 36"
S-1.29	CLADDING STONE - 18" X 36"
S-1.30	CLADDING STONE - 18" X 36"
S-1.31	CLADDING STONE - 18" X 36"
S-1.32	CLADDING STONE - 18" X 36"
S-1.33	CLADDING STONE - 18" X 36"
S-1.34	CLADDING STONE - 18" X 36"
S-1.35	CLADDING STONE - 18" X 36"
S-1.36	CLADDING STONE - 18" X 36"
S-1.37	CLADDING STONE - 18" X 36"
S-1.38	CLADDING STONE - 18" X 36"
S-1.39	CLADDING STONE - 18" X 36"
S-1.40	CLADDING STONE - 18" X 36"
S-1.41	CLADDING STONE - 18" X 36"
S-1.42	CLADDING STONE - 18" X 36"
S-1.43	CLADDING STONE - 18" X 36"
S-1.44	CLADDING STONE - 18" X 36"
S-1.45	CLADDING STONE - 18" X 36"
S-1.46	CLADDING STONE - 18" X 36"
S-1.47	CLADDING STONE - 18" X 36"
S-1.48	CLADDING STONE - 18" X 36"
S-1.49	CLADDING STONE - 18" X 36"
S-1.50	CLADDING STONE - 18" X 36"
S-1.51	CLADDING STONE - 18" X 36"
S-1.52	CLADDING STONE - 18" X 36"
S-1.53	CLADDING STONE - 18" X 36"
S-1.54	CLADDING STONE - 18" X 36"
S-1.55	CLADDING STONE - 18" X 36"
S-1.56	CLADDING STONE - 18" X 36"
S-1.57	CLADDING STONE - 18" X 36"
S-1.58	CLADDING STONE - 18" X 36"
S-1.59	CLADDING STONE - 18" X 36"
S-1.60	CLADDING STONE - 18" X 36"
S-1.61	CLADDING STONE - 18" X 36"
S-1.62	CLADDING STONE - 18" X 36"
S-1.63	CLADDING STONE - 18" X 36"
S-1.64	CLADDING STONE - 18" X 36"
S-1.65	CLADDING STONE - 18" X 36"
S-1.66	CLADDING STONE - 18" X 36"
S-1.67	CLADDING STONE - 18" X 36"
S-1.68	CLADDING STONE - 18" X 36"
S-1.69	CLADDING STONE - 18" X 36"
S-1.70	CLADDING STONE - 18" X 36"
S-1.71	CLADDING STONE - 18" X 36"
S-1.72	CLADDING STONE - 18" X 36"
S-1.73	CLADDING STONE - 18" X 36"
S-1.74	CLADDING STONE - 18" X 36"
S-1.75	CLADDING STONE - 18" X 36"
S-1.76	CLADDING STONE - 18" X 36"
S-1.77	CLADDING STONE - 18" X 36"
S-1.78	CLADDING STONE - 18" X 36"
S-1.79	CLADDING STONE - 18" X 36"
S-1.80	CLADDING STONE - 18" X 36"
S-1.81	CLADDING STONE - 18" X 36"
S-1.82	CLADDING STONE - 18" X 36"
S-1.83	CLADDING STONE - 18" X 36"
S-1.84	CLADDING STONE - 18" X 36"
S-1.85	CLADDING STONE - 18" X 36"
S-1.86	CLADDING STONE - 18" X 36"
S-1.87	CLADDING STONE - 18" X 36"
S-1.88	CLADDING STONE - 18" X 36"
S-1.89	CLADDING STONE - 18" X 36"
S-1.90	CLADDING STONE - 18" X 36"
S-1.91	CLADDING STONE - 18" X 36"
S-1.92	CLADDING STONE - 18" X 36"
S-1.93	CLADDING STONE - 18" X 36"
S-1.94	CLADDING STONE - 18" X 36"
S-1.95	CLADDING STONE - 18" X 36"
S-1.96	CLADDING STONE - 18" X 36"
S-1.97	CLADDING STONE - 18" X 36"
S-1.98	CLADDING STONE - 18" X 36"
S-1.99	CLADDING STONE - 18" X 36"
S-1.100	CLADDING STONE - 18" X 36"

GLAZING FINISH LEGEND

G-1	GLAZING FINISH - 18" X 36"
G-2	GLAZING FINISH - 18" X 36"
G-3	GLAZING FINISH - 18" X 36"
G-4	GLAZING FINISH - 18" X 36"
G-5	GLAZING FINISH - 18" X 36"
G-6	GLAZING FINISH - 18" X 36"
G-7	GLAZING FINISH - 18" X 36"
G-8	GLAZING FINISH - 18" X 36"
G-9	GLAZING FINISH - 18" X 36"
G-10	GLAZING FINISH - 18" X 36"
G-11	GLAZING FINISH - 18" X 36"
G-12	GLAZING FINISH - 18" X 36"
G-13	GLAZING FINISH - 18" X 36"
G-14	GLAZING FINISH - 18" X 36"
G-15	GLAZING FINISH - 18" X 36"
G-16	GLAZING FINISH - 18" X 36"
G-17	GLAZING FINISH - 18" X 36"
G-18	GLAZING FINISH - 18" X 36"
G-19	GLAZING FINISH - 18" X 36"
G-20	GLAZING FINISH - 18" X 36"
G-21	GLAZING FINISH - 18" X 36"
G-22	GLAZING FINISH - 18" X 36"
G-23	GLAZING FINISH - 18" X 36"
G-24	GLAZING FINISH - 18" X 36"
G-25	GLAZING FINISH - 18" X 36"
G-26	GLAZING FINISH - 18" X 36"
G-27	GLAZING FINISH - 18" X 36"
G-28	GLAZING FINISH - 18" X 36"
G-29	GLAZING FINISH - 18" X 36"
G-30	GLAZING FINISH - 18" X 36"
G-31	GLAZING FINISH - 18" X 36"
G-32	GLAZING FINISH - 18" X 36"
G-33	GLAZING FINISH - 18" X 36"
G-34	GLAZING FINISH - 18" X 36"
G-35	GLAZING FINISH - 18" X 36"
G-36	GLAZING FINISH - 18" X 36"
G-37	GLAZING FINISH - 18" X 36"
G-38	GLAZING FINISH - 18" X 36"
G-39	GLAZING FINISH - 18" X 36"
G-40	GLAZING FINISH - 18" X 36"
G-41	GLAZING FINISH - 18" X 36"
G-42	GLAZING FINISH - 18" X 36"
G-43	GLAZING FINISH - 18" X 36"
G-44	GLAZING FINISH - 18" X 36"
G-45	GLAZING FINISH - 18" X 36"
G-46	GLAZING FINISH - 18" X 36"
G-47	GLAZING FINISH - 18" X 36"
G-48	GLAZING FINISH - 18" X 36"
G-49	GLAZING FINISH - 18" X 36"
G-50	GLAZING FINISH - 18" X 36"
G-51	GLAZING FINISH - 18" X 36"
G-52	GLAZING FINISH - 18" X 36"
G-53	GLAZING FINISH - 18" X 36"
G-54	GLAZING FINISH - 18" X 36"
G-55	GLAZING FINISH - 18" X 36"
G-56	GLAZING FINISH - 18" X 36"
G-57	GLAZING FINISH - 18" X 36"
G-58	GLAZING FINISH - 18" X 36"
G-59	GLAZING FINISH - 18" X 36"
G-60	GLAZING FINISH - 18" X 36"
G-61	GLAZING FINISH - 18" X 36"
G-62	GLAZING FINISH - 18" X 36"
G-63	GLAZING FINISH - 18" X 36"
G-64	GLAZING FINISH - 18" X 36"
G-65	GLAZING FINISH - 18" X 36"
G-66	GLAZING FINISH - 18" X 36"
G-67	GLAZING FINISH - 18" X 36"
G-68	GLAZING FINISH - 18" X 36"
G-69	GLAZING FINISH - 18" X 36"
G-70	GLAZING FINISH - 18" X 36"
G-71	GLAZING FINISH - 18" X 36"
G-72	GLAZING FINISH - 18" X 36"
G-73	GLAZING FINISH - 18" X 36"
G-74	GLAZING FINISH - 18" X 36"
G-75	GLAZING FINISH - 18" X 36"
G-76	GLAZING FINISH - 18" X 36"
G-77	GLAZING FINISH - 18" X 36"
G-78	GLAZING FINISH - 18" X 36"
G-79	GLAZING FINISH - 18" X 36"
G-80	GLAZING FINISH - 18" X 36"
G-81	GLAZING FINISH - 18" X 36"
G-82	GLAZING FINISH - 18" X 36"
G-83	GLAZING FINISH - 18" X 36"
G-84	GLAZING FINISH - 18" X 36"
G-85	GLAZING FINISH - 18" X 36"
G-86	GLAZING FINISH - 18" X 36"
G-87	GLAZING FINISH - 18" X 36"
G-88	GLAZING FINISH - 18" X 36"
G-89	GLAZING FINISH - 18" X 36"
G-90	GLAZING FINISH - 18" X 36"
G-91	GLAZING FINISH - 18" X 36"
G-92	GLAZING FINISH - 18" X 36"
G-93	GLAZING FINISH - 18" X 36"
G-94	GLAZING FINISH - 18" X 36"
G-95	GLAZING FINISH - 18" X 36"
G-96	GLAZING FINISH - 18" X 36"
G-97	GLAZING FINISH - 18" X 36"
G-98	GLAZING FINISH - 18" X 36"
G-99	GLAZING FINISH - 18" X 36"
G-100	GLAZING FINISH - 18" X 36"

EXHIBIT 8



THESE MATERIALS ARE THE PROPERTY OF KORTLANDT ASSOCIATES, INC. AND ARE TO BE USED ONLY FOR THE PROJECT SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MISUSE OF THESE MATERIALS WITHOUT THE WRITTEN PERMISSION OF KORTLANDT ASSOCIATES, INC. IS STRICTLY PROHIBITED.

Engineer: C

N 64th ST & E MAYO BLVD
PHOENIX, AZ 85004

TAPESTRY | HOME
COLLECTION | SUITES
PHOENIX

PLAZA
CITY CENTER
PHOENIX

FATH
CITY CENTER
PHOENIX

PLAZA COMPANIES, INC.
1000 N. CENTRAL AVENUE, SUITE 1000
PHOENIX, ARIZONA 85004

FATH HOSPITALITY GROUP, LLC
544 BELMONT AVE.
DALLAS, TX 75208

REVISIONS:
02/20/2021 01/11/21

GRAPH TITLE
DATE
JOB NO.
JOB NAME
2002
1/11/21
1/11/21




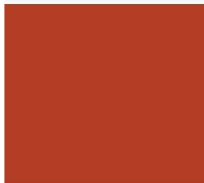








































<p>GATEHOUSE - HIGH ROOF SOFT FINISH T-8 PLANK WALL WESTERN STATES - PATTERN A WESTERN STATES</p>						
<p>EIFS COLOR SW 6822 HEARTY ORANGE SHERWIN WILLIAMS</p>		<p>EIFS COLOR 516 SEASCAPE DRIYIT</p>		<p>EIFS COLOR SEDONA RED AMERISTONE DRIYIT</p>		<p>EIFS COLOR 442 COTTON DRIYIT</p>
<p>EIFS COLOR 715 LICORICE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (MATERIAL SHINE) HAMMERED COPPER SMOOTH DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>
<p>STONE SAND CANYON FLAGSTONE - CREAM CORONADO</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>
<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>
<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>
<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>
<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>
<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>
<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>
<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>
<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>
<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>
<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>
<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>
<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>
<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>
<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>
<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>
<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>
<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>
<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>
<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>
<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>
<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>
<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>
<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>
<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>
<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>
<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>
<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (WINDOW ACCENT) 378 COPPERTONE DRIYIT</p>		<p>EIFS COLOR (</p>		

EXHIBIT 9



PERSPECTIVE VIEW IS BROWN ON THE SHEET
AND CONSTRUCTION INFORMATION AND
CONSTRUCTION INFORMATION



SEAL

E



The State of Arizona
Department of Transportation
Division of Construction
100 North Central Avenue, Suite 1000
Phoenix, Arizona 85004
100 North Central Avenue, Suite 1000
Phoenix, Arizona 85004
100 North Central Avenue, Suite 1000
Phoenix, Arizona 85004

D

Engineer

N 6th St & E Mayo Blvd
Phoenix, AZ 85004

TAPESTRY
CONSTRUCTION
SOLUTIONS

HOMESWOOD
SUITES
SOLUTIONS

NORTH PHOENIX, ARIZONA

PLAZA
COMPANIES

FAYTH
COMPANIES

PLAZA COMPANIES, INC.
901 W. ANTONIO STREET, SUITE 200
PEORIA, ARIZONA 85381

FAYTH HOSPITALITY GROUP, LLC
5442 BELMONT AVE.
DALLAS, TX 75206

PROJ. NO.
10000000000000000000

DATE
10/03/2025 10:00:00

drawn by

DATE
11/20/2025 5:18:45 PM

A
JOB NO.
250224

SHEET NO.
EXTERIOR RENDER

PROJECT NO.

A3.21

11/20/2025 5:18:48 PM
Architect: Davis/25024, Tapestry & Homewood Suites Club Brand, Phoenix, AZ, 7024 - Building 01
11/20/2025 5:18:48 PM

THIS DOCUMENT IS PRELIMINARY AND NOT FOR CONSTRUCTION. IT IS FOR INFORMATION ONLY. IT IS NOT FOR CONSTRUCTION. IT IS NOT FOR CONSTRUCTION. IT IS NOT FOR CONSTRUCTION.



DAVIS
ARCHITECTS
ARCHITECTS

SEAL

E

NOT FOR CONSTRUCTION
OFFICE OF CONSTRUCTION

1000 North Central Avenue, Suite 1000
Phoenix, Arizona 85004
Tel: 602.441.1111
Fax: 602.441.1112
www.davisarchitects.com

Engineer:

D

N 4TH ST & E MARIC BLVD
PHOENIX, AZ 85004

TAPESTRY
CONSTRUCTION
SUITES
HOMES

NORTH PHOENIX HAVEN HOTEL

PLAZA
COMPANIES

FAYTH
COMPANIES

PLAZA COMPANIES, INC.
901 W. WASHINGTON RD., SUITE 200
PEORIA, ARIZONA 85381

FAYTH HOSPITALITY GROUP, LLC
5442 BELMONT AVE.
DALLAS, TX 75206

10/20/2025 - 20% SET

B

drawn by

DATE: 11/20/2025 5:18:48 PM

A 10% SET

25024

EXTERIOR RENDER

PHASE TWO

A3.23

11/20/2025 5:18:48 PM

PROSPECTIVE OWNER: BROWN ON THE RIVER
ARCHITECTURAL, INC. (BROWN ON THE RIVER)
PHOTOGRAPHY: JAMES W. HARRIS



SEAL



THE AMERICAN REGISTER OF PROFESSIONAL ARCHITECTS
1100 North 1st Street, Suite 100
Phoenix, Arizona 85004
Tel: 602.258.1234
Fax: 602.258.1235
www.americanregister.org

Engineer:

N 4TH ST & E MAIN BLVD
PHOENIX, AZ 85004

TAPESTRY HOMESWOOD
CONSTRUCTION

10101 PHOENIX AVENUE, SUITE 100

PLAZA COMPANIES
10101 PHOENIX AVENUE, SUITE 100

FAYTH
10101 PHOENIX AVENUE, SUITE 100

PLAZA COMPANIES, INC.
9801 W. WILLOW BLVD., SUITE 200
PEORIA, ARIZONA 85381

FAYTH HOSPITALITY GROUP, LLC
5442 BELMONT AVE.
DALLAS, TX 75206

PROJ. NO.
10101 PHOENIX AVENUE, SUITE 100

Drawn By

DATE: 11/20/2025 5:18:51 PM

A JRF/PL 2/20/24

SHEET NO. EXTERIOR RENDER

PRINTED FILE

A3.32