

August 4, 2026

Ascent

Located east of the southeast corner of
the North Black Mountain Highway and
West Arroyo Norte Drive

City of Phoenix, Arizona

PLANNED UNIT DEVELOPMENT DEVELOPMENT NARRATIVE

CASE #: Z-_____

CITY OF PHOENIX

AUG 0 6 2026

Planning & Development
Department



4550 N 12th Street

Phoenix, AZ 85014

CVL Job. No: 1-01-03736-01

Planned Unit Development (PUD) Development Narrative

for

Ascent

City of Phoenix, Arizona

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A. Purpose and Intent

This narrative document has been prepared and submitted to the City of Phoenix (the City) on behalf of Lennar Arizona, LLC (Lennar), with the permission of the Property Owner, to request a Planned Unit Development (PUD) for an approximately 15.86 acre master planned community known hereto as Ascent (the Project). Ascent is a single family detached residential community located approximately 370 feet east of the southeast corner of the North Black Canyon Highway and West Arroyo Norte Drive in Phoenix, Arizona (the Property). The subject property of this PUD is approximately 15.86 acres of land known as Parcel No. 202-22-014P. (Refer to Exhibit A, Area Vicinity Map and Exhibit B, Aerial Map).

1. Project Overview and Goals

This is a request to update the existing C-2 zoning on the Property to PUD. This PUD will serve as a framework for the Ascent community featuring a range of housing product options to add needed options to the area's for-sale housing stock and serve as an appropriate transition between the North Black Canyon Highway to the west, the Great Hearts Anthem charter school directly north of West Arroyo Norte Drive, and the residential subdivisions located to the east and south of the Property. (See Exhibit C, Existing Zoning Map and Exhibit D, Proposed Zoning Map).

The purpose of this PUD is to promote a quality single-family residential community featuring a combination of thoughtfully designed housing product options that are well-suited to the area's context and character. This request activates this long-undeveloped property and creates the necessary framework to facilitate the development of a cohesive residential neighborhood with demonstrable marketability in this growing area of Phoenix.

A companion Minor General Plan Amendment (GPA) from Commercial to 5 to 10 dwelling units per acre (du/ac) - Traditional Lot is in progress to support the proposed request. This adjustment ensures conformance between the General Plan and the proposed PUD zoning, aligning the planned land use with the City's General Plan. (See Exhibit E.1 and E.2, Existing and Proposed General Plan Land Use Map).

This PUD is intended to be a stand-alone document of zoning regulations for the Project. Provisions not specifically regulated by the PUD are governed by the City of Phoenix Zoning Ordinance. If there are conflicts between specific provisions of this PUD and the Zoning Ordinance, the terms of this PUD shall apply. The PUD only modifies Zoning Ordinance regulations and does not modify other City Codes or requirements. The purpose and intent statements are not requirements that will be enforced by the City.

2. Project Design Concept

The Ascent community draws inspiration from the natural beauty and character of the Sonoran Desert, incorporating a thoughtfully designed desert cottage architectural theme that reflects the surrounding landscape. This aesthetic creates a warm, welcoming environment that is well-suited to its location near the foothills of Daisy Mountain. As further described in this narrative, the design approach for Ascent complements the area's existing identity, reinforces a strong sense of place, and contributes to the overall character of the Rio Vista Village.

B. Land Use Plan

1. Description of Land Use

The community design proposed with this PUD represents project visioning conducted by Lennar, who is pursuing development of Ascent with the objective of creating a well-designed single family detached residential neighborhood. Ascent features a charming desert cottage design character through its landscaping theme, design accents, wall elevations, architecture and amenity design for a cohesive and complementary aesthetic throughout the community.

Perimeter landscape buffers and a connected network of meandering shaded walking paths link homes to amenity areas, providing an enhanced walkable community experience for residents within Ascent. The site layout prioritizes safe and efficient vehicular circulation while promoting separation from pedestrian movement through pathways routed through common open space areas.

2. Description of Conceptual Site Plan

The conceptual site plan creates a thoughtfully designed single-family residential community that addresses the existing constraints encumbering the site, including the irregular shape of the Property, the 71 foot wide drainage easement running along the entire western property boundary, and the 20 foot water and sewer easement abutting West Arroyo Norte Drive.

The site plan addresses all relevant site issues, constraints, challenges, and requirements such as site access, site vehicular circulation and traffic impact, site drainage and retention, utilities, open space, walls and other required site improvements. The specific distribution of lot size and lot count identified on the plan are conceptual and will be finalized during the development plan review process, subject to the PUD standards established herein. (Exhibit F, Site Plan).

This proposal will provide a distinct and charming living environment for its residents through design features, the use of various complimentary building materials and architectural focal points to emphasize the project's unique desert cottage theme. All of the architectural elements will tie together to provide a strong identity for the site that complements the surrounding properties as well as creating an inviting atmosphere for both residents and guests. As demonstrated by the elements summarized above and detailed herein, this is a well-conceived PUD that offers housing product with demonstrable marketability in this growing area of Phoenix.

C. List of Uses

Unless modified herein, the permitted uses shall be as permitted for the R1-6 zoning district, pursuant to Section 608 of the Zoning Ordinance. The Zoning Administrator may issue interpretations for analogous land uses, as authorized by Zoning Ordinance Section 307.A.3.

1. Permitted Uses

As permitted for the R1-6 zoning district, pursuant to Section 608 of the Phoenix Zoning Ordinance.

2. Temporary Uses

Temporary uses shall be permitted subject to Section 708 of the Zoning Ordinance.

3. Accessory Uses

As permitted for the R1-6 zoning district, pursuant to Section 608 of the Phoenix Zoning Ordinance.

D. Development Standards

The Ascent community shall comply with Section 507 Tab A (Guidelines for Design Review) of the Zoning Ordinance and the provisions governed by the Zoning Ordinance for the R1-6 zoning district's Planned Residential Development (PRD) option, as modified herein. If there are conflicts between specific provisions of this PUD and the Zoning Ordinance, including design guidelines, the terms of this PUD shall apply. General development standards applicable to the Project are listed below.

1. Development Standards

The development standards regulations for Ascent are rooted in the City's comparable R1-6 Planned Residential Development (PRD) standards set forth by Section 613 "Single-Family Residential (R1-6)," of the Zoning Ordinance. Modifications that exceed the Zoning Ordinance standards are identified in **bold** below.

TABLE 1: DEVELOPMENT STANDARDS	
STANDARDS	PUD
Min. Lot Width	None
Min. Lot Depth	None
Max. Density	5.5 du/ac / 6.5 du/ac with bonus
Max. Subdivided Lots	5.5 lots/ac / 6.5 with bonus
Min. Individual Lot Setbacks	
Front	10 feet
Rear	None ⁽¹⁾
Street Side	10 feet
Interior Sides	None ⁽¹⁾
Min. Garage Door / Carport Entry Setback, Front	18 feet
Projections	Per City Code Section 701.A.3.B
Min. Perimeter Building Setbacks	
Perimeter Street	20 feet
Other Property Line	15 feet
Min. Perimeter Street Landscape Setback	20 feet. May be provided as part of the required building setback.
Max. Building Height	2 Stories/30'
Max. Lot Coverage	60% total for development ⁽²⁾
Min. Common Open Space	20% of gross area ⁽³⁾
Street Frontage Requirement	Public street or private accessway
Other Applicable Regulations	Subdivisions: Chapter 32, City Code; Design review: Section 507 Tab A; Bonus: Section 608.H
Garage Width (Maximum)	2 car widths
Garage Door Elevation – Garage Door Width (Maximum)	65% of house width
Vehicle Parking (Minimum)	Per Section 702.C – 2 spaces per primary dwelling unit.

Notes:

(1) Established by Building Code.

(2) Per City Planned Residential Development (PRD) option calculations.

(3) Common Open Space includes all common tracts regardless of location, size, and/or slope, including the 71 foot wide drainage easement along the western boundary of the Property.

2. Landscape Standards

As shown on Exhibit I, Landscape Plan, the cohesive desert cottage character design theme is reflected throughout the community with a landscape character and planting designed to provide a sense of place and theming to Ascent.

The plant palette will consist of drought-tolerant trees, shrubs, accents, and groundcovers, and utilize efficient irrigation systems to support the landscape materials to ensure the efficient use of water. Landscape standards shall comply with Section 507 Tab A (Guidelines for Design Review) of the Zoning Ordinance, as modified herein.

TABLE 2: LANDSCAPE STANDARDS

STANDARDS	PUD
Perimeter Street Landscape Setback Planting Standards	Drought-tolerant shrubs, trees, accents, and vegetative groundcovers to achieve a minimum of 50% coverage at maturity except in areas that are unable to be planted (e.g. driveways) and where utility and/or site conflicts exist (e.g. easements), as approved by the Planning and Development Department.
Pollinators in Common Area Landscape Areas	Minimum 5% of required shrubs, shall be a milkweed or other native pollinator species, as approved by the Planning and Development Department.
Irrigation Systems	Pressure regulating sprinkler heads and/or drip lines shall be utilized.

3. Parking Standards

Parking standards shall comply with Section 702 of the Zoning Ordinance, as modified herein. Each residential lot features a driveway and minimum two car garage to accommodate parking. Local roadways allow for on-street parking where applicable throughout the community to accommodate guest parking.

TABLE 3: PARKING STANDARDS	
STANDARDS	PUD
Vehicle Parking (Minimum)	Per Zoning Ordinance Section 702.C – 2 spaces per primary dwelling unit.
Electric Vehicle Parking	Developer shall provide EV-Capable (electrical wiring to allow for a junction box and appropriate voltage for an outlet capable of charging a vehicle) garage.
Bicycle Parking (Minimum)	10 total bicycle parking spaces to be provided through inverted U and/or artistic racks near amenity area(s) and installed per requirements of Zoning Ordinance Sections 1307.H.2, 1307.H.4, and 1307.H.5.
Special Parking Standards	No more than 55 percent of the required front yard shall be used for driveways, maneuvering areas, and non-required parking spaces.

4. Fence and Wall Standards

Fence and wall standards shall comply with Section 703 of the Zoning Ordinance. A cohesive modern desert cottage character design theme is reflected throughout the fence and wall design of the community through the use of colors and materials. The Project is planned for entry theme walls along the West Arroyo Norte Drive frontage and perimeter partial view walls along the existing drainage easement to the west and the electric line easement to the east. The Project's fence and wall design will feature character and theming elements as illustrated on Exhibit J, Wall Plan, and Exhibit L, Wall Elevations.

5. Open Space/Amenity Standards

Open Space/Amenity standards shall comply with Section 507 Tab A (Guidelines for Design Review) of the Zoning Ordinance, as modified herein. The Project will continue the proposed desert cottage design character through its amenity design and materials for a cohesive and complementary aesthetic within all of the Ascent community. Open space areas will be designed to promote community engagement and healthy outdoor activity, with shaded seating nodes and passive/active recreation areas connected by meandering paths.

A selection of quality amenities shall be provided in substantial conformance to Exhibit I, Landscape Plan and the table provided below. Additional design character elements not listed in the table and exhibit(s) can be provided as long as the design elements are in support of the overall character and intent of this PUD.

TABLE 4: OPEN SPACE/AMENITY STANDARDS	
STANDARD	PUD
Common Open Space	Common Open Space includes all common tracts regardless of location, size, and/or slope, including the 71 foot wide drainage easement along the western boundary of the Property. Common open space and retention tracts/ easements should be landscaped and accessible with exception of the drainage easement along the western boundary of the Property.. Any proposed seating areas should be shaded by structures or vegetation (50 percent at maturity). Streets (public and/or private) and required perimeter landscape setbacks will not count towards common open space.
Community Amenity	A minimum of 3 of the following amenities, or comparable components, shall be provided: • Patio Space • Overhead Shade Sails • Bollard Lighting • Open Turf Lawn • Seating Bench • Trail • Concrete Sidewalk • Ramada with Picnic Bench • Turf Area • Tot Lot • Vinyl Accent Fence • Shade Tree
Seating Node	A minimum of 2 of the following amenities, or comparable components, shall be provided: • Bollard Lighting • Seating Bench • Trail • Concrete Sidewalk • Shade Tree

6. Shade Standards

Shade standards shall comply with Section 507 Tab A (Guidelines for Design Review) of the Zoning Ordinance, as modified herein. The Ascent community is designed to meet the City's shade requirements to the greatest extent possible. However, the frontage along West Arroyo Norte Drive is encumbered due to the location of an abutting 20' water and sewer easement. While 50% shade is required adjacent to public and private walkways under the Zoning Ordinance, planting along the existing pedestrian sidewalks on West Arroyo Norte Drive is limited due to the existing easement. The remaining unencumbered portions of the community will offer 50% shade coverage to enhance pedestrian comfort and promote a walkable development.

Featured areas within the community will provide a 60% shade coverage through the use of shade sails and shade trees to enhance pedestrian comfort, and additional meaningful shade coverage will be provided for seating nodes and amenities, as illustrated on Exhibit I, Landscape Plan, and Exhibit M, Amenity Enlargements.

TABLE 5: SHADE STANDARDS	
STANDARD	PUD
Public and Private Pedestrian Walkways	50% by landscaping, structure, or combination of landscaping and structure except in areas that are unable to be planted (e.g. driveways) and where utility and/or site conflicts exist (e.g. easements), as approved by the Planning and Development Department. Featured areas within the community will provide 60% shade coverage through the use of shade sails and shade trees to enhance pedestrian comfort, and additional meaningful shade coverage will be provided for seating nodes and amenities, as illustrated on Exhibit I, Landscape Plan, and Exhibit M, Amenity Enlargements.

7. Lighting Standards

Lighting standards shall comply with Section 507 Tab A (Guidelines for Design Review) and Section 704 (Environmental Performance Standards – Outdoor Lighting) of the Zoning Ordinance as applicable. Site lighting will include enhanced elements such as bollard lighting in open space areas, uplighting for specimen trees and landscaping, and gooseneck fixtures at the primary entry monument to provide safety, wayfinding, and architectural enhancement throughout the community.

E. Design Guidelines

The Ascent community features enhanced design guidelines to support this PUD request. The Project shall conform to applicable Zoning Ordinance design guidelines in Section 507 Tab A, as modified herein, and to the guidelines identified below. In the event of a conflict between the Zoning Ordinance and this PUD, the provisions of the PUD shall control.

1. Architectural Design Guidelines

Ascent features a warm, welcoming take on classic cottage architecture, inspired by the beauty of the Sonoran Desert. Natural materials, soft colors, and handcrafted details create a sense of place that is both timeless and distinctly Arizona. The Project features a range of distinct housing elevations that enhance the character of the community through a visually appealing architectural character. Accent materials such as decorative masonry, stone veneer, wooden bracket details, or similar approved accents shall be incorporated where appropriate to add visual interest and variation. (Refer to Exhibit N, Character Storyboard, and Exhibit O, Architectural Elevations).

The architectural design of the community utilizes the following unified elements to establish visual interest and a sense of place:

- Manipulation of massing – vertical and horizontal changes in plane
- Building articulation
- Incorporating innovative textures, materials, colors
- Building offsets, reveals, recesses, building projections, columns, masonry piers, or other architectural treatment
- Varied heights
- Wall enhancements
- Decorative lighting
- Regionally significant

Architectural styling of the future housing product and colors and materials chosen by the developer shall complement the desert cottage design character, colors, and materials illustrated in the graphics provided and shall help reinforce a distinctive character for Ascent while encouraging flexibility. A range of product types and elevation options will be incorporated to create a distinctive and aesthetically diverse neighborhood. All development will be subject to the City's Design Review Process with architectural floor plans and elevations to be provided at the time of review.

Lennar will offer a mix of one-story and two-story plans, with a minimum of three elevations each, featuring distinct styles such as Craftsman, Cottage, Modern Farmhouse, and other alternate architectural styles, which will create a diverse range of options for future Ascent residents.

Building elevations shall incorporate architectural articulation and detailing to create visual interest and depth. Elements may include, but are not limited to, offsets, recesses, projections, pilasters, varied rooflines, varied window placement, covered entry features, window shutters, stone veneer accents, or similar components. Decorative variations in carriage lighting will be provided on the front of homes to elevate the facades. Additional variety in paint and roof tile will further enhance the diversity of the streetscape. Illustrative elevations featuring a selection of the noted styles and design elements are provided as Exhibit O, Architectural Elevations.

i. Garage Treatment

Section 507 Tab A of the Zoning Ordinance addresses garage treatment for detached single family homes through the established design guidelines for the Subdivision Diversity Design Review process. A modification to 507 Tab A.II.C.8.3, “Garage Treatment” is requested to allow garages to take up more than 50% of the lot width in order to accommodate the unique range of housing product options. The Project will permit garages to take up 65% of the lot width and minimize the impact of the garage and diminish perceived “garage dominance” through product orientation and architectural design elements including but not limited to the use of recessed garage doors, covered entries and/or columns set forward of garage doors, complementary colors, window treatments, visually interesting panels with textured or slatted design, or similar treatment. Illustrative elevations featuring these elements are provided as Exhibit O, Architectural Elevations.

Garage doors shall be designed as an integrated architectural element of the home and shall contribute to the overall quality and visual character of the streetscape. Design of garage doors may include variations in color, material, panel configuration, window placement, and surrounding architectural detailing. Garage door treatments and adjacent elements shall be thoughtfully coordinated with the overall building design to enhance visual interest and avoid monotonous appearances, as approved by the Planning and Development Department.

Additionally, the perimeter buildings along West Arroyo Norte Drive are oriented to the south, and the homes visible from the primary entry are oriented to the east and west, resulting in all garages facing toward the interior of the community. No garages will be visible or facing the perimeter public street and sidewalks.

2. Subdivision Design Guidelines

The subdivision design for the community encourages a variety of product types while enhancing the community character through the following design techniques:

- Mix of product types and/or elevations
- Meandering sidewalks and/or trails

As illustrated on the Site Plan provided as Exhibit F and supporting landscape exhibits, the Project's subdivision and landscape design provide an aesthetically pleasing residential neighborhood that will provide an appropriate transition from the surrounding uses. Open space areas throughout the community promote community engagement and healthy outdoor activity, with shaded seating nodes and passive/active recreation areas connected by meandering pathways.

As stated above, Lennar will offer a range of distinct housing elevations with a mix of one-story and two-story plans. A minimum of three elevations will be provided for each plan, featuring distinct styles such as Craftsman, Cottage, Modern Farmhouse, and other alternate architectural styles, which will create a diverse range of options for future Ascent residents. Building elevations shall incorporate architectural articulation and detailing to create visual interest and depth. Elements may include, but are not limited to, offsets, recesses, projections, pilasters, varied rooflines, varied window placement, covered entry features, window shutters, stone veneer accents, or similar components. Decorative variations in carriage lighting will be provided on the front of homes to elevate the facades. Additional variety in paint and roof tile will further enhance the diversity of the streetscape. Illustrative elevations detailing the mix of product types and elevations are provided as Exhibit O, Architectural Elevations.

3. Open Space Design Guidelines

The open space design for the community provides diversified amenities for recreational use and gathering places for community interaction through the following guidelines:

- Shading through structures such as ramadas, canopies, covered rest areas, and functional landscaping
- Active and passive recreation such as tot lots, ramadas, benches, and other appropriate amenities
- Trail connections

Ascent exceeds the City's minimum 5% common open space requirement by providing a minimum of 20% common open space for the community, including the open space, amenity, and retention areas as defined in Section D.5 of this PUD.

The amenity design for Ascent will emphasize a well-defined modern desert cottage design character through the use of colors and materials. Site structures, shade elements and landscape character will be designed to provide a sense of place and theming. Please refer to the Exhibit M, Amenity Enlargements and Exhibit N, Character Storyboard, for an illustration of the intended open space and amenity design character.

The ownership, control and maintenance of landscaping, open space and recreation facilities will be conveyed to and held in common by homeowners' association(s) (HOA) and/or a joint maintenance association.

4. Landscaping Guidelines

The landscape design for the Project provides shade, softens the look of the development, and enhances community character through the following elements:

- Themed landscape palette
- Low water use plants
- Preservation and/or salvage plan
- Identifiable landscaped streetscape
- Clustering of trees at appropriate locations

The Project will emphasize a well-defined modern desert cottage design character through its landscaping theme, split rail fence or comparable accents, wall elevations and amenity design for a cohesive and complementary aesthetic within all of Ascent. Please refer to the Landscape Plan provided as Exhibit I for an illustration of the intended landscape design character.

The landscape design concept will provide a palette of colorful, lush, drought-tolerant, and desert-adapted low water use plants and shade trees utilizing the Phoenix Active Management Area Low Water Using Plant List. Trees will be thoughtfully clustered as conceptually identified on the Landscape Plan. Finalized landscape plans will be provided during the development plan review process and an approved Salvage Plan has been implemented on the Property.

F. Signs

Monument entry signage and enhanced landscape treatments with design elements featuring the community's desert cottage character are provided at the primary entry as a thoughtful design element to provide residents with a sense of arrival into the community. An entry monument elevation has been provided as Exhibit K, Entry Monument Elevation and Plan.

Unless otherwise noted in the design details illustrated on the sign plan and elevations, Ascent shall comply with the City of Phoenix Sign Regulations and Zoning Ordinance. The signage illustrated herein is to act as the Comprehensive Sign Plan for Ascent in lieu of a separate submittal process.

G. Sustainability

1. Standards that are measurable and enforceable by the City during the site plan review and inspection process.

Ascent incorporates a series of measurable and enforceable sustainability standards that align with City of Phoenix expectations for resilient, resource efficient development. The Project's landscape palette will utilize drought-tolerant, desert-adapted plants from the Phoenix Active Management Area Low Water Using Plant List, ensuring compliance with City landscape standards and supporting long-term water conservation. The Project will utilize efficient irrigation systems to support the landscape materials and further ensure the efficient use of water. All landscape plans, irrigation systems, and open-space improvements will be reviewed and approved through the City's development plan review process.

The Project's circulation and open space design features shade to mitigate the urban heat island heat effect through clusters of drought-tolerant trees and shaded pedestrian sidewalks, which the City will enforce during development plan review.

2. Practices or techniques the development will be responsible for implementing.

The developer will be responsible for implementing sustainability and resource-efficient practices to comply with the standards noted above. The development will be responsible for using drought-tolerant, desert-adapted plant species from the Phoenix Active Management Area Low Water Using Plant List and installing efficient irrigation systems. The developer will also be responsible for incorporating shaded circulation and open-space elements, such as clustered shade trees and shaded pedestrian sidewalks. The Project's desert cottage-inspired architectural character will rely on durable, regionally appropriate materials that are intended to reduce long-term maintenance needs and support energy-efficient building performance.

The practices and techniques provided above reinforce the development's commitment to sustainability while supporting the City's broader goals for walkability, water efficiency, resilient neighborhood design, and quality community aesthetics.

H. Infrastructure

1. Grading and Drainage

According to the Flood Insurance Rate Map (FIRM) for Pinal County, Arizona and Incorporated Flood Areas, Panel No. 04013C0445M, effective November 4, 2015, the project site is located within Effective Federal Emergency Management Agency (FEMA) Flood Zone X (unshaded). Zone X (unshaded) is defined by FEMA as Other Areas: “Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.”

A 71 foot wide drainage easement traverses the entire western property boundary and guides the layout of the site plan and future drainage infrastructure. The proposed development will provide retention for first flush storage requirements in lieu of the 100-year, 2-hour storm event per the City of Phoenix design guidelines. The retention areas will be limited to a maximum of 3-feet of water depth and graded with maximum side slopes of 3:1. All retention facilities will be drained within 36-hours of a major storm event as required by the City of Phoenix Drainage Design Manual.

2. Water and Wastewater

All proposed utility systems and plans will be accessed and designed per the standards of the City and utility company to be submitted for review and approval during the plan review process. A list of the anticipated utility providers is identified below.

TABLE 6: PUBLIC SERVICES AND UTILITIES	
UTILITY	PROVIDER
Water	EPCOR
Sewer	EPCOR
Electric	APS
Gas	Southwest Gas
Telephone / Cable	FisionX/Hotwire and Cox Communications
Solid Waste	City of Phoenix

The proposed development falls within the EPCOR water service area. Adjacent existing infrastructure includes a 12-inch Ductile Iron Pipe (DIP) waterline within West Arroyo Norte Drive, north of the project site, a 12-inch DIP waterline just south of the project boundary, and a water tank owned by the Arizona American Water Company just south of the project boundary. A system of 8-inch DIP waterlines will be proposed to provide Arroyo Norte with adequate water distribution and fire protection services. Two connections to the existing system will be made to provide adequate looping. The connection will be made to the existing 12-inch waterline with West Arroyo Norte Drive and the other to the existing 12-inch waterline just south of the project boundary.

The proposed development falls within the EPCOR wastewater service area. Existing adjacent sewer lines include an existing 8-inch sewer line within West Arroyo Norte Drive Right-of-Way, and an existing 8-inch stub within Whisper Lane. A sewer layout consisting of 8-inch sewer pipe will be proposed to convey the wastewater south into Whisper Lane.

3. Circulation Systems

Access to the residential community will be from a primary entrance on West Arroyo Norte Drive, aligning with the existing Great Hearts West Driveway approximately 715 feet east of I-17 Frontage Road (measured centerline-to-centerline). The driveway will facilitate full-access movements and will provide northbound exiting traffic with a shared left-/right-turn lane. West Arroyo Norte Drive is an existing roadway with a 60' right-of-way, 40' pavement section, and 5' attached sidewalks. A right turn lane is proposed at the site entrance.

The proposed community features a local loop roadway that will tie into the existing West Arroyo Norte Drive. The local roadway will be a public roadway developed to the City of Phoenix required width with a 50' right-of-way, 32' pavement section, and 4' attached sidewalks. The internal roadway provides access to each lot within the neighborhood and allows for on-street parking where applicable. The proposed amenities and network of pedestrian pathways will be easily accessible from the local loop roadway. Refer to Exhibit G, Circulation Plan for an illustration of the intended street pattern.

Pedestrian access is an important and thoughtfully designed component of this PUD, supporting the character of Ascent as a walkable single-family residential community. The local road within the development will include 4' wide sidewalks on both sides of the roadway. The sidewalk will loop around the community with the proposed local roadway and tie into the existing sidewalk along West Arroyo Norte Drive at the site entrance. Where feasible, sidewalk connections are provided in open space tracts to connect residents to parks and other amenitized open spaces. Trail connection will extend to the existing drainage easement to the west for further connectivity to the surrounding area. Pedestrian facilities and pedestrian connectivity are provided as illustrated on the Landscape Plan attached as Exhibit I.

4. Traffic Impact Analysis

Existing and proposed roadway and traffic impacts have been analyzed within the Arroyo Norte Traffic Impact Analysis (TIA) prepared by Y2K Engineering, dated June 29, 2026. The TIA was submitted to the City for review and is provided with this application under separate cover for reference.

To ensure that intersections in the area operate at acceptable levels of service, the TIA calls for the development proposal associated with this request to:

- Provide a 100-foot eastbound right-turn lane at the driveway along West Arroyo Norte Drive entering the subject property;
- Install a stop sign on the northbound approach at the driveway providing access to West Arroyo Norte Drive; and
- Contribute eight percent towards the installation cost of a future traffic signal at the intersection of the I-17 frontage road (North Black Canyon Highway) and West Arroyo Norte Drive.

5. Complete Streets

The City's complete streets policy further advances its goal to create a more sustainable transportation system that is safe and accessible for everyone. Complete streets provide infrastructure that encourage active transportation such as walking, bicycling, transportation choices and increased connectivity.

As analyzed below, the development will further complete streets design guidelines pertaining to context, connectivity, safety, comfort and convenience, sustainability, stormwater management, and green infrastructure.

Design for Context / Connectivity

“The unique character of neighborhoods should be considered during the design of street projects.”

The Project’s streetscape along West Arroyo Norte Drive includes a landscape buffer featuring theme columns and signage consistent with the unique desert cottage character of the community. Refer to the Entry Monument Elevation and Plan and Wall Elevations exhibits provided as Exhibits K and L, respectively, intended to establish the conceptual design and character proposed for Ascent.

“Design streets to enhance access to and contribute to the open space network within the city.”

The streetscape planned along West Arroyo Norte Drive includes a perimeter landscape setback that will contribute to open space along the Project’s frontage. The Project provides pedestrian connection to the existing drainage easement adjoining the site to the west for further connectivity and opportunities for recreation.

“The bikeway system should expand and complement the existing network. For the purpose of this document, sharrows are not bicycle lanes.”

The existing improvements on West Arroyo Norte Drive feature bike lanes that provide connectivity to the City’s bikeway system. Each home within the Ascent community features private secured garages which may be used for bicycle parking.

“Design and connect neighborhoods via streets, sidewalks, and trails.”

The Project includes the provision of streets, sidewalks, and pedestrian pathways that will provide connections to the surrounding neighborhood and circulation network. Circulation and pedestrian connectivity are provided as illustrated on Exhibit G, Circulation Plan, and on the Landscape Plan attached as Exhibit I.

Design for Safety

“Design streets safely for all users.....”

The Ascent community will provide 4’ wide sidewalks on both sides of the local loop roadway which will tie into the existing sidewalks along West Arroyo Norte Drive at the site entrance. Where feasible, sidewalk connections are provided in open space tracts, away from streets and into open space areas to connect residents to amenities.

“Ensure that streets have sufficient lighting for all users in compliance with the City of Phoenix Street Lighting Policy.”

The Project will comply with City’s lighting policy and standards, as applicable.

Design for Comfort and Convenience

“Shade should be a primary technique in projects to reduce ambient temperatures and reduce direct sunlight exposure for pedestrians and cyclists.”

Shade will be provided in accordance with Section D.6 of this PUD narrative to both reduce ambient temperatures and direct sunlight exposure.

Design for Sustainability

“Reduce streets’ rate of heat absorption by maximizing tree canopy cover, reducing asphalt, and using high reflectivity materials or lighter colors.”

The Project will further this design guideline through the provision of shade trees adjoining interior sidewalks and pathways where possible throughout the community to maximize the tree canopy cover and shade the internal roadway where possible.

I. Comparative Zoning Standards Table

The development standards regulations for Ascent are rooted in the City’s comparable R1-6 Planned Residential Development (PRD) standards set forth by Section 613 “Single-Family Residential (R1-6),” of the Zoning Ordinance. Modifications that exceed the Zoning Ordinance standards are identified in **bold** below.

TABLE 7: COMPARATIVE ZONING STANDARDS

STANDARDS	TABLE 613.1. R1-6 PRD DEV. STANDARDS	PUD
Min. Lot Width	None	None
Min. Lot Depth	None	None
Max. Density	5.5 du/ac; 6.5 du/ac with bonus	5.5 du/ac; 6.5 du/ac with bonus
Max. Subdivided Lots	5.5 lots/ac; 6.5 with bonus	5.5 lots/ac; 6.5 with bonus
Min. Individual Lot Setbacks		
Front	10 feet	10 feet
Rear	None ⁽¹⁾	None ⁽¹⁾
Street Side	10 feet	10 feet
Interior Sides	None ⁽¹⁾	None ⁽¹⁾
Min. Garage Door / Carport Entry Setback, Front	18 feet	18 feet
Projections	Per City Code Section 701.A.3.B	Per City Code Section 701.A.3.B
Min. Perimeter Building Setbacks		
Perimeter Street	20 feet	20 feet
Other Property Line	15 feet	15 feet
Min. Perimeter Street Landscape Setback	15 feet, except none on lots which front on a perimeter street. May be provided as part of the required building setback.	20 feet. May be provided as part of the required building setback.
Max. Building Height	3 Stories/30'	2 Stories/30'
Max. Lot Coverage	60% total for development ⁽²⁾	60% total for development ⁽²⁾
Min. Common Open Space	5% of gross area	20% of gross area ⁽³⁾
Street Frontage Requirement	Public street or private accessway	Public street or private accessway
Other Applicable Regulations	Subdivisions: Chapter 32, City Code; Design review: Section 507 Tab A; Bonus: Section 608.H	Subdivisions: Chapter 32, City Code; Design review: Section 507 Tab A; Bonus: Section 608.H
Garage Width (Maximum)	3 or more car widths	2 car widths
Garage Door Elevation – Garage Door Width (Maximum)	50% of the house width for 2 cars, and 55% of the house width for 3 or more cars.	65% of house width
Vehicle Parking (Minimum)	Per Section 702.C – 2 spaces per primary dwelling unit.	Per Section 702.C – 2 spaces per primary dwelling unit.

Notes:

(1) Established by Building Code.

(2) Per City Planned Residential Development (PRD) option calculations.

(3) Common Open Space includes all common tracts regardless of location, size, and/or slope, including the 71 foot wide drainage easement along the western boundary of the Property.

J. Legal Description

The Project is located within Section 10, Township 6 North, Range 9 East of the Gila and Salt River Meridian, Maricopa County, Arizona. The property consists of approximately 15.86 acres of undeveloped desert land. Refer to Exhibit P, Legal Description for a full legal description with supporting exhibits.

K. Conclusion

The above-mentioned design for the Ascent community upholds the intent of the existing land use designated for the area while activating this undeveloped property for a new and attractive master planned community. This request provides compatibility with existing development in the area while supporting the goals and objectives of the City of Phoenix. The proposed PUD makes good land use sense on this property, maintains compatibility with the surrounding neighborhood, and will be an attractive presence in the area.

As described above, there is a need to revise the land plan to reflect present-day conditions by bringing the design up to meet current market demand to facilitate development of this long undeveloped property. As proposed, this community is poised to address the demand for single family residential housing in the region, as supported by the City's goals established in the 2025 Phoenix General Plan and the current pattern of development in the area. The development team believes that this request represents appropriate and favorable planning for the Ascent community.

ASCENT

Area Vicinity Map

Exhibit A



W ARROYO NORTE DR

N 43RD AVE

N ANTHEM WAY

ARIZONA VETERANS HIGHWAY

N GAVILAN PEAK PKWY

N DAISY MOUNTAIN DR



0' 500' 1000' 2000'

5 August 2026

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ASCENT

Aerial Map

Exhibit B



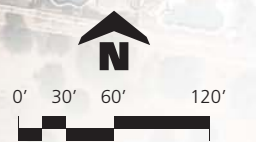
W ARROYO NORTE DR

N HIDSON TR

I-17 FRONTAGE RD

ARIZONA VETERANS HWY

17



5 August 2026

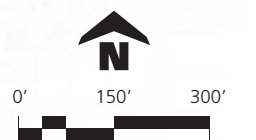
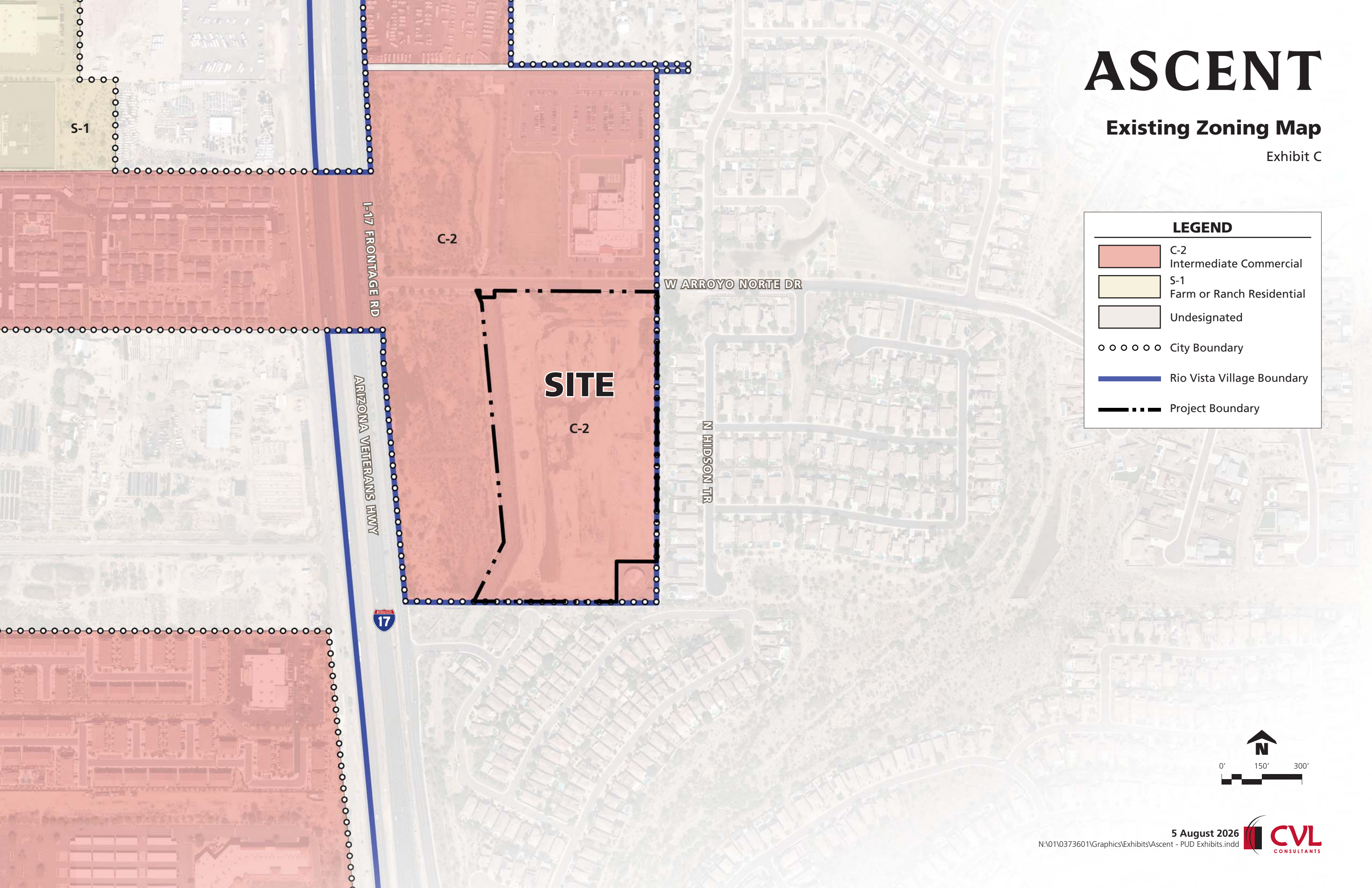
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ASCENT

Existing Zoning Map

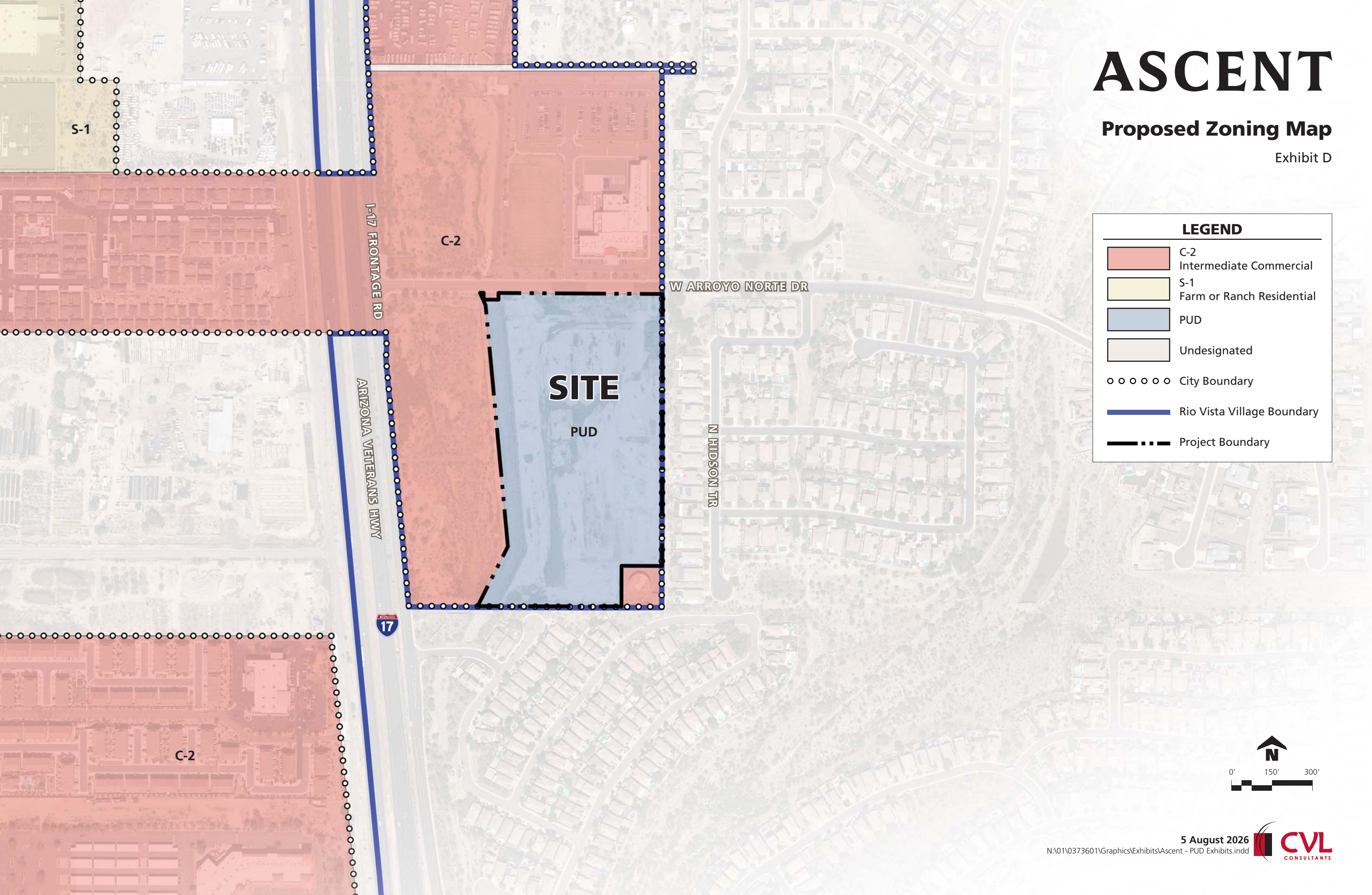
Exhibit C



ASCENT

Proposed Zoning Map

Exhibit D



5 August 2026

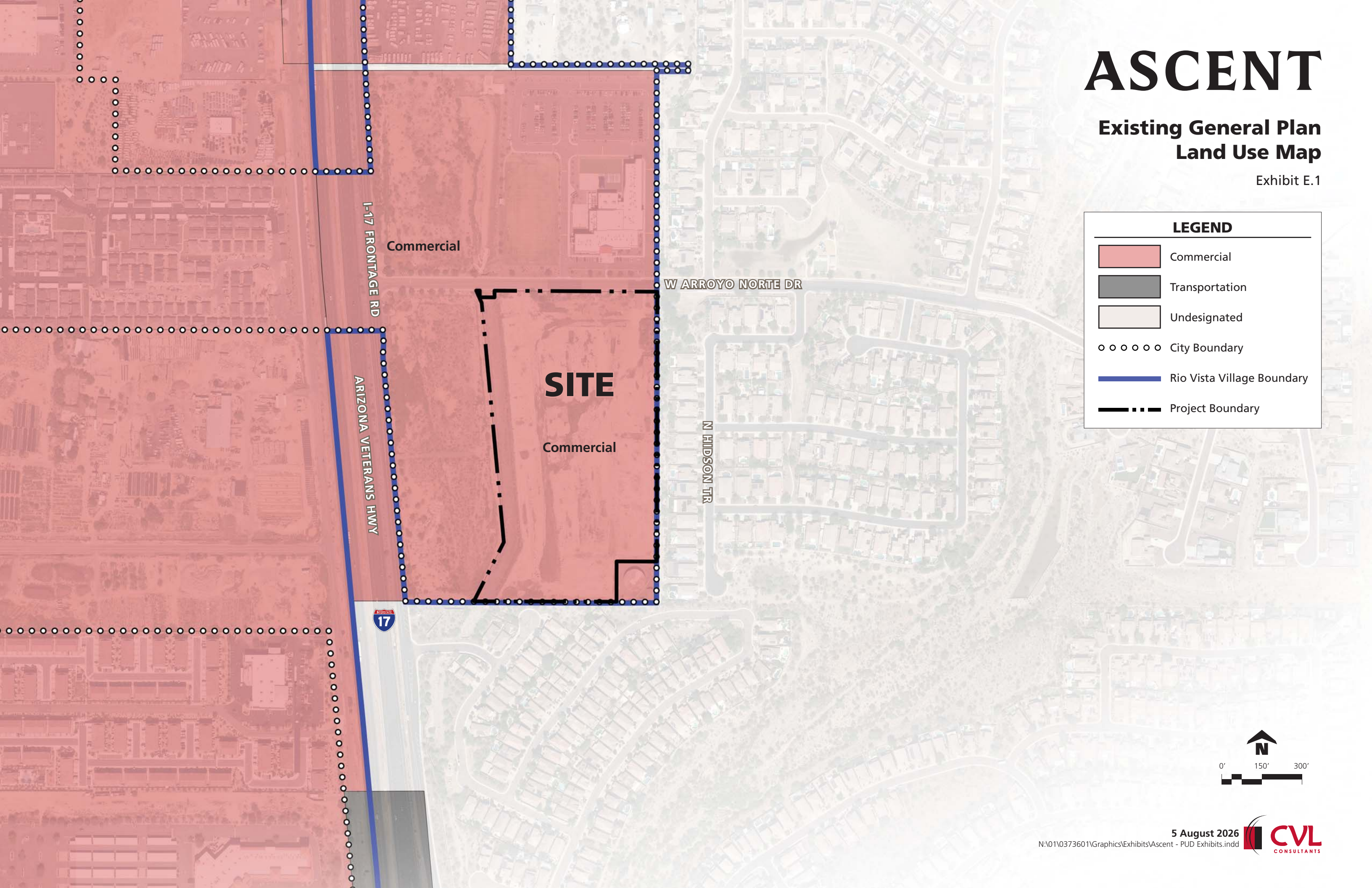
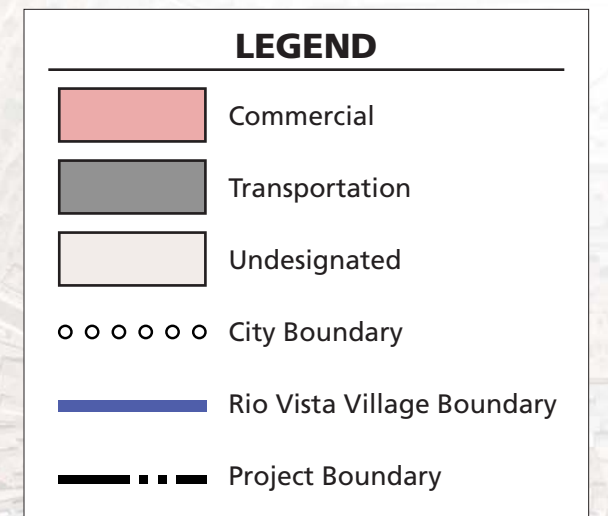
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Existing General Plan Land Use Map

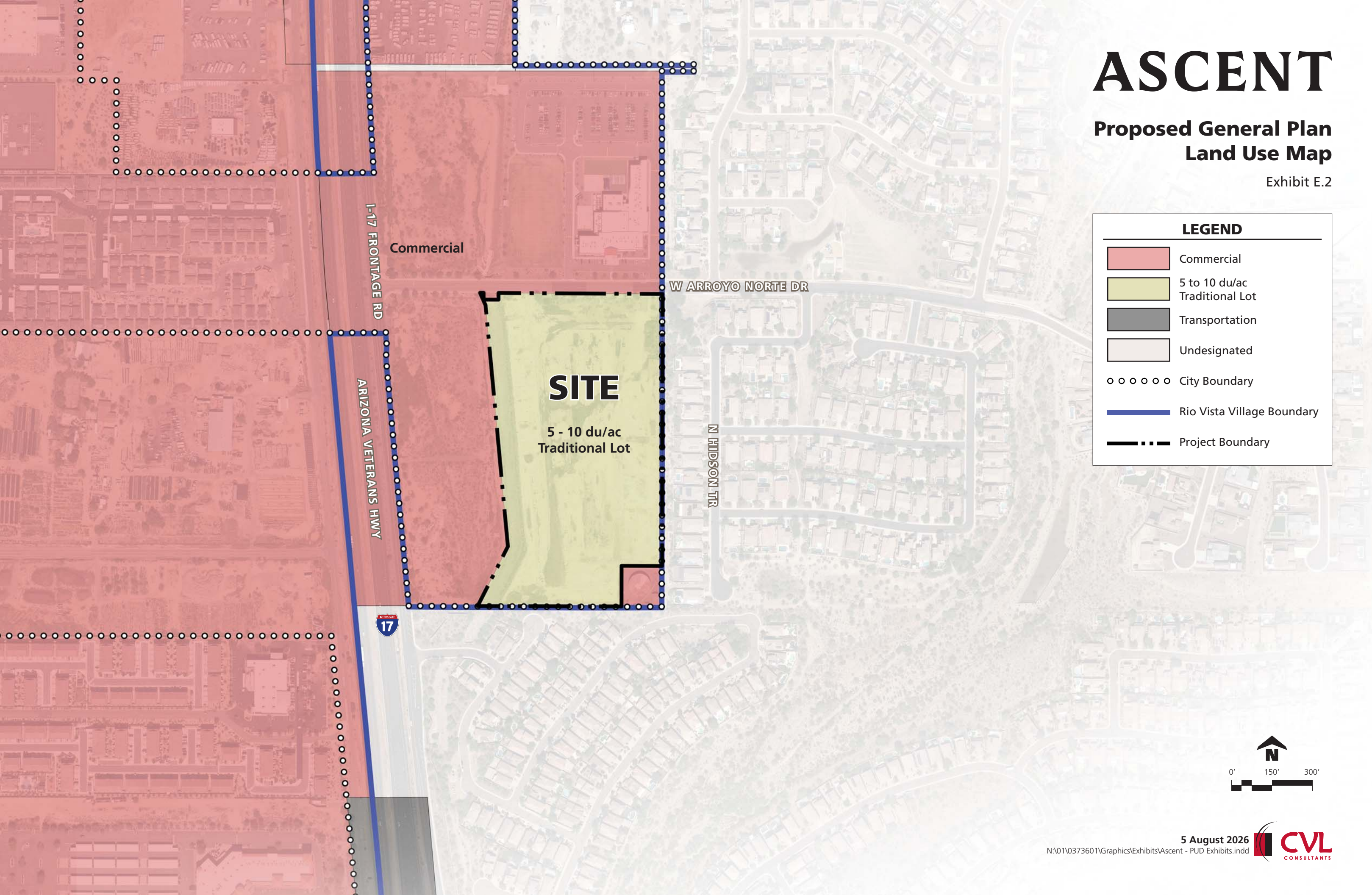
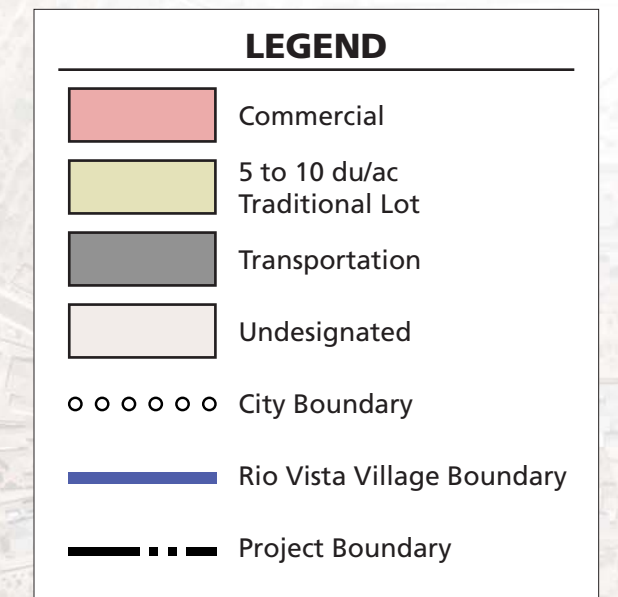
Exhibit E.1



ASCENT

Proposed General Plan Land Use Map

Exhibit E.2



ASCENT

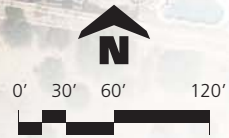
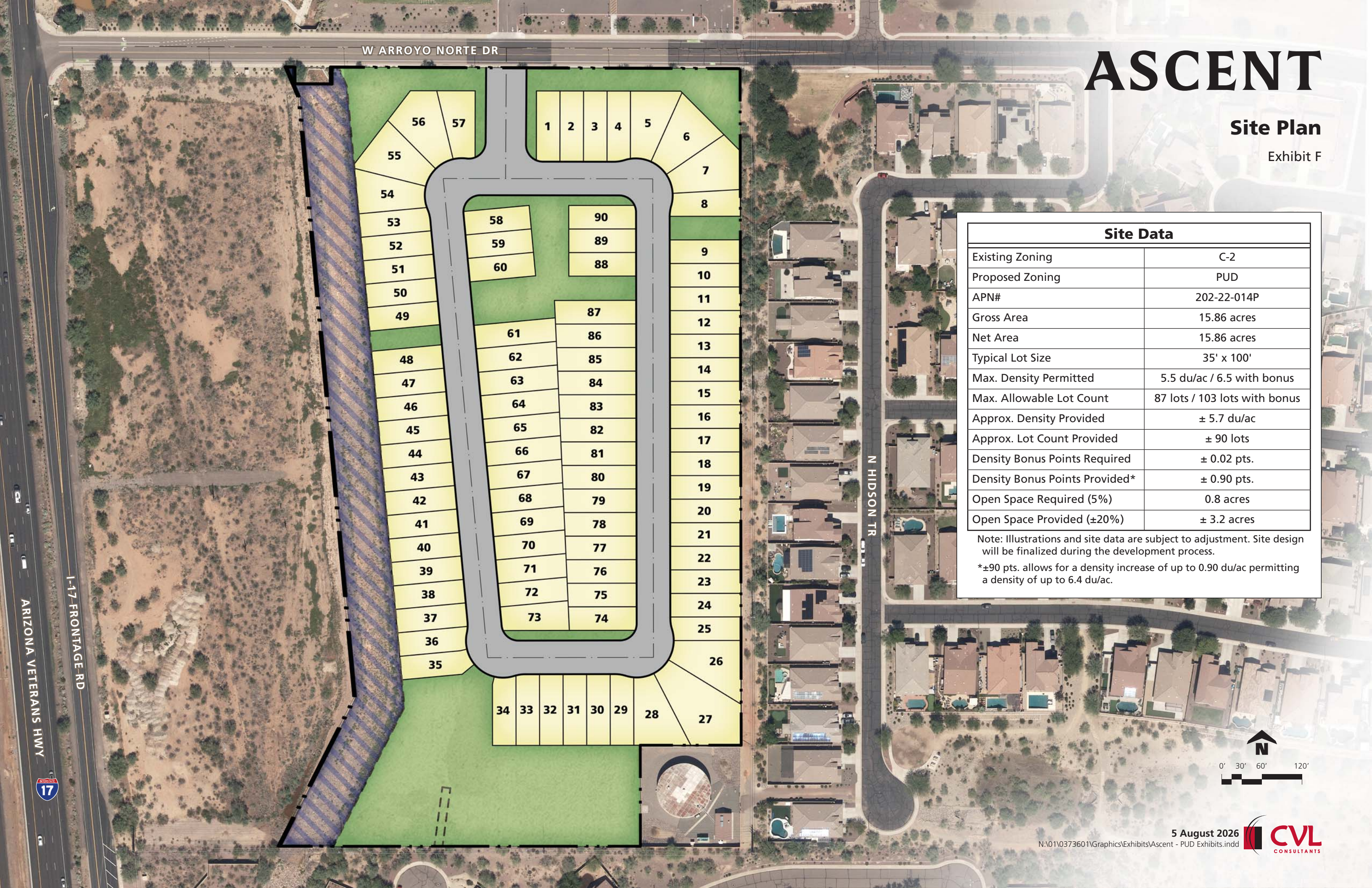
Site Plan

Exhibit F

Site Data	
Existing Zoning	C-2
Proposed Zoning	PUD
APN#	202-22-014P
Gross Area	15.86 acres
Net Area	15.86 acres
Typical Lot Size	35' x 100'
Max. Density Permitted	5.5 du/ac / 6.5 with bonus
Max. Allowable Lot Count	87 lots / 103 lots with bonus
Approx. Density Provided	± 5.7 du/ac
Approx. Lot Count Provided	± 90 lots
Density Bonus Points Required	± 0.02 pts.
Density Bonus Points Provided*	± 0.90 pts.
Open Space Required (5%)	0.8 acres
Open Space Provided (±20%)	± 3.2 acres

Note: Illustrations and site data are subject to adjustment. Site design will be finalized during the development process.

*±90 pts. allows for a density increase of up to 0.90 du/ac permitting a density of up to 6.4 du/ac.



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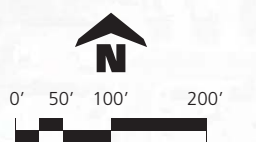
Circulation Plan

Exhibit G



LEGEND

- Offsite Interstate Highway
- Offsite Frontage Road
- Offsite W Arroyo Norte Dr (West)
- 5' Detached Sidewalk
- Offsite W Arroyo Norte Dr (East)
- Bike Lane
- 5' Attached Sidewalk
- Onsite W Arroyo Norte Dr
- Bike Lane
- 5' Attached Sidewalk
- Onsite Local Road
- 4' Attached Sidewalk
- 5' Concrete Trail



5 August 2026

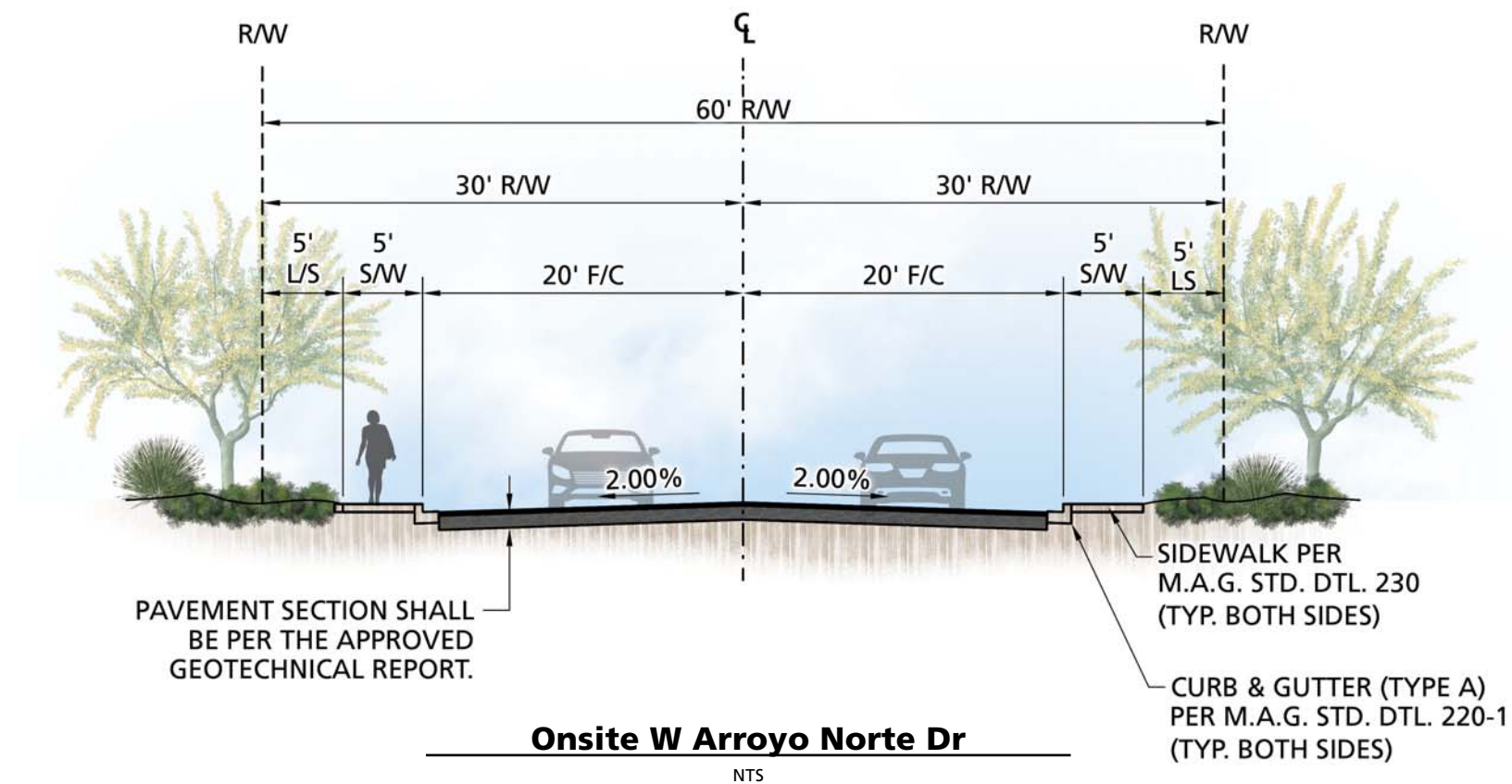
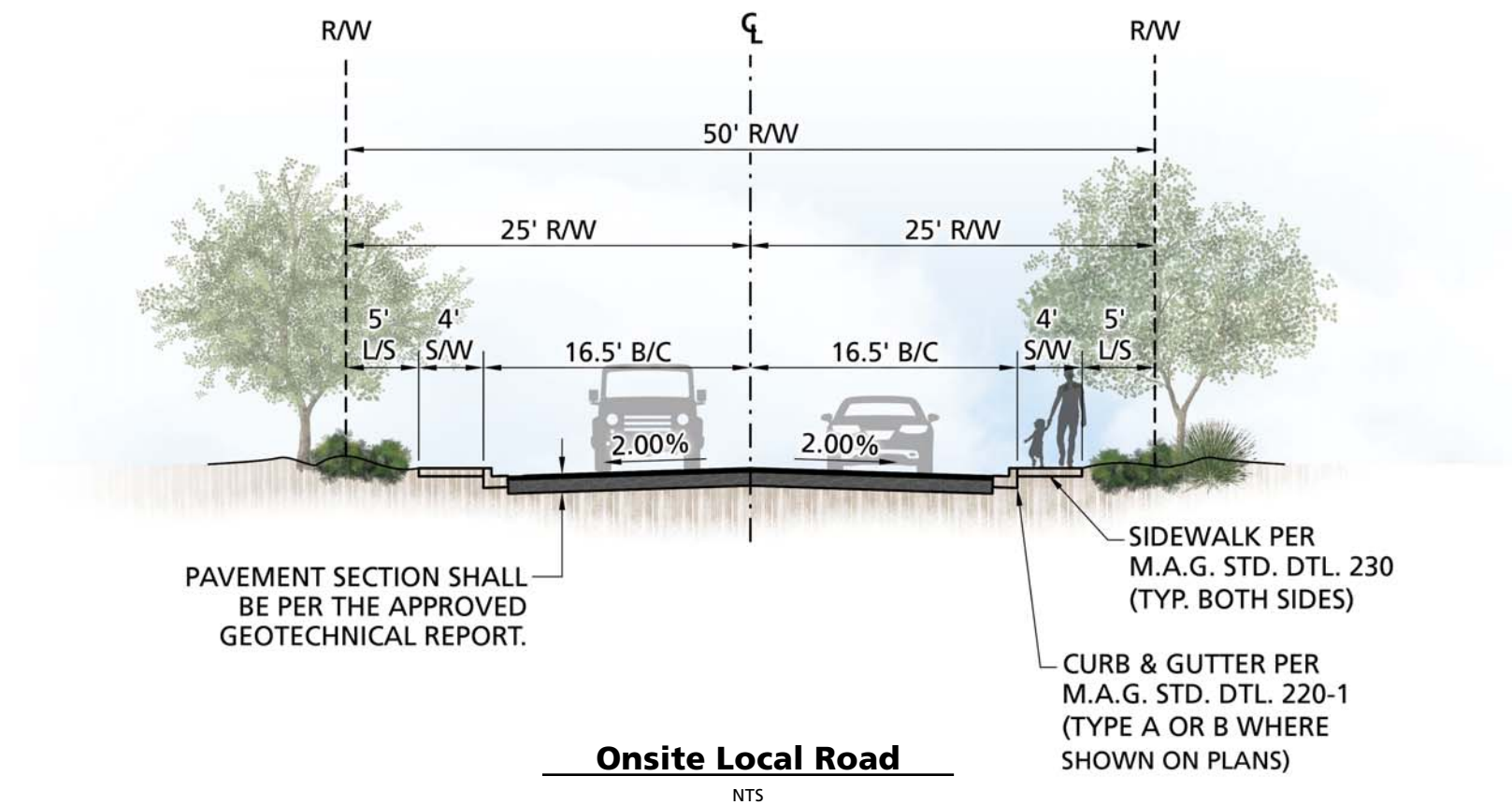
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Street Sections

Exhibit H



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Landscape Plan

Exhibit I



Density Bonus Points

Enhancement Category	No.	Site Enhancements	Bonus Points	Points Earned	Description
Perimeter / Backup Treatment	1	Increase common landscaped setback adjacent to perimeter street to 20' avg./15' minimum.	10 pts.	10 pts.	A ± 25' landscape tract is provided adjacent to Arroyo Norte Drive.
	3	Provide a minor entry feature with a minimum 1,000 sq. ft. of landscaped area (exclusive of perimeter landscaping and right-of-way).	5 pts./feature	5 pts.	A minor entry feature with a min. 1,000 sq. ft. of landscaped area is provided at the northwest corner of the community.
Streetscape	1	Provide additional common area, such that each additional 1% of common area earns 2 bonus points.	2 pts.	30 pts.	15% of additional common area is provided for a total of 30 bonus points.
Open Space / Recreation	3	Provide minor private recreational amenities (e.g., bikepath or multiuse trail which provide an internal linkage within the development as well as a connection to similar facilities located at the perimeter of the site).	5 pts./feature	45 pts.	Minor private recreational amenities are included within the development. Examples of such amenities include but are not limited to pathways running through open space corridors, shaded play structure, shade ramada, picnic table and shaded seating node.
Total				90 pts.	

Note: Illustrations and site data are subject to adjustment. Site design will be finalized during the development process.

An increase of 0.1 du/ac may be achieved for each ten bonus points earned up to 6.5 du/ac.

90 pts. allows for a density increase of up to 0.90 du/ac permitting a density of up to 6.4 du/ac.

PARK DETAILS

A Entry Monument

B North Amenity

- Stabilized DG Patio Space with Furniture
- Overhead Shade Sails
- Bollard Lighting
- Open Turf Lawn
- Seating Benches
- Stabilized DG Trail

C South Amenity

- Ramada with Picnic Bench
- Turf Area
- Tot Lot
- Shade Trees
- Seating Benches
- Concrete Trail Access

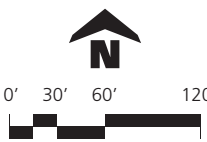
Seating Node

- Stabilized DG Trail Access
- Bench with Shade Tree

PARK DETAILS

4' Concrete Trail

4' Stabilized DG Trail



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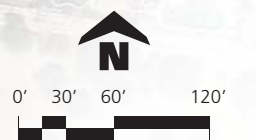
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Wall Plan

Exhibit J

LEGEND

- Theme Wall
- Partial View Wall
- Existing Water Tank Wall
- Standard Column
- Feature Column
- Primary Entry Monument



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W ARROYO NORTE DR

I-17 FRONTAGE RD

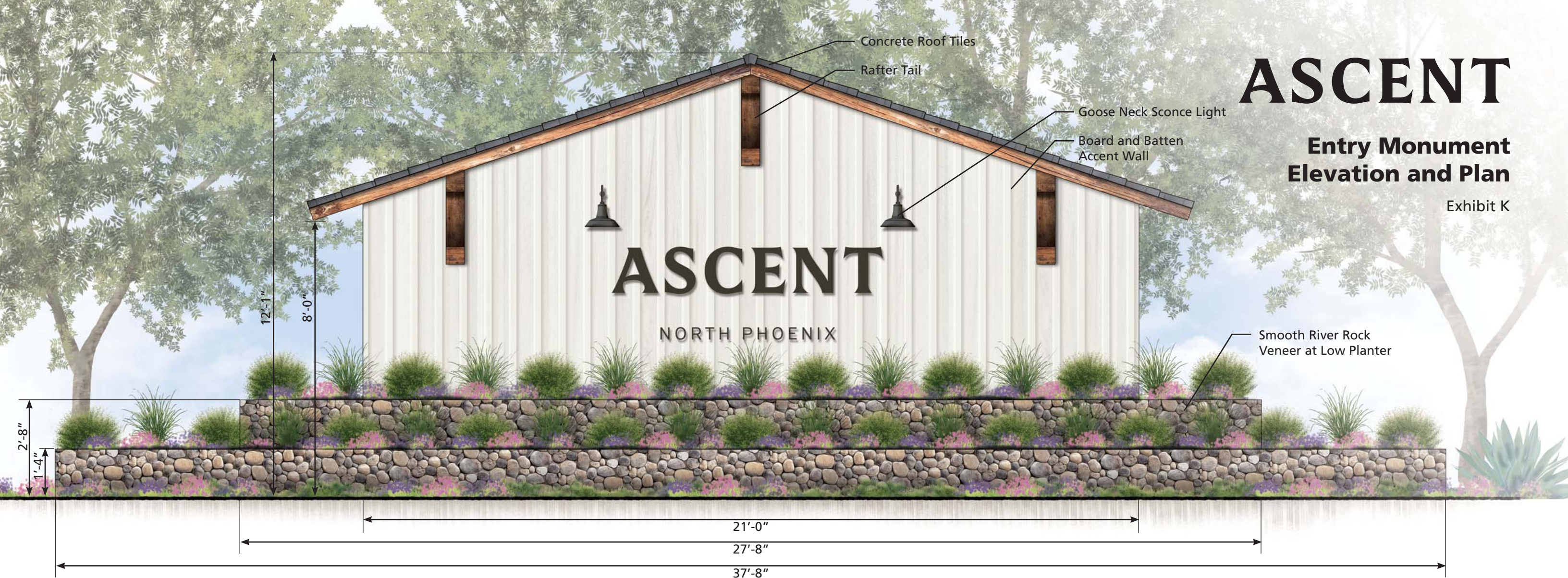
ARIZONA VETERANS HWY

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Entry Monument Elevation and Plan

Exhibit K



ENTRY MONUMENT ELEVATION



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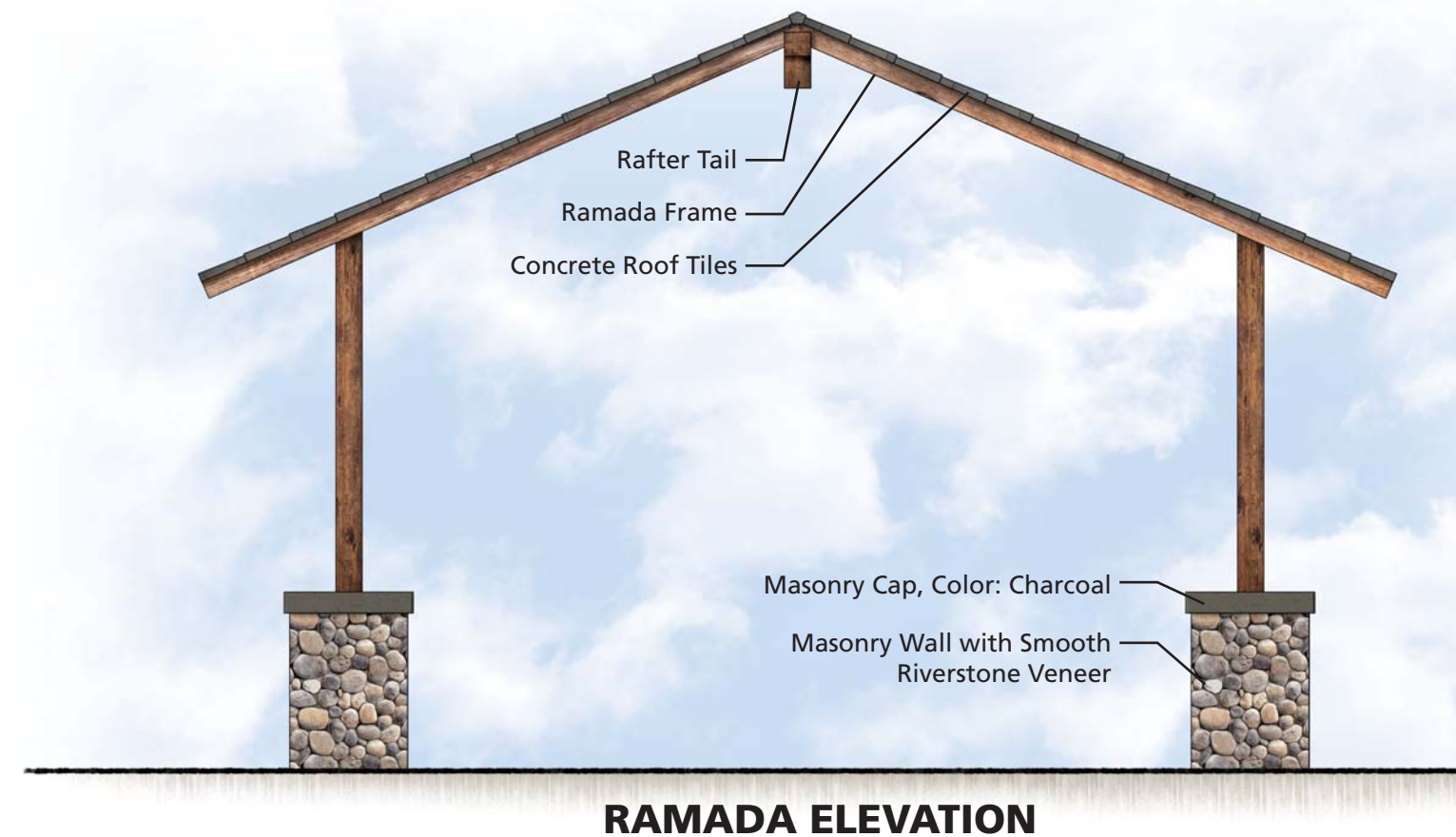
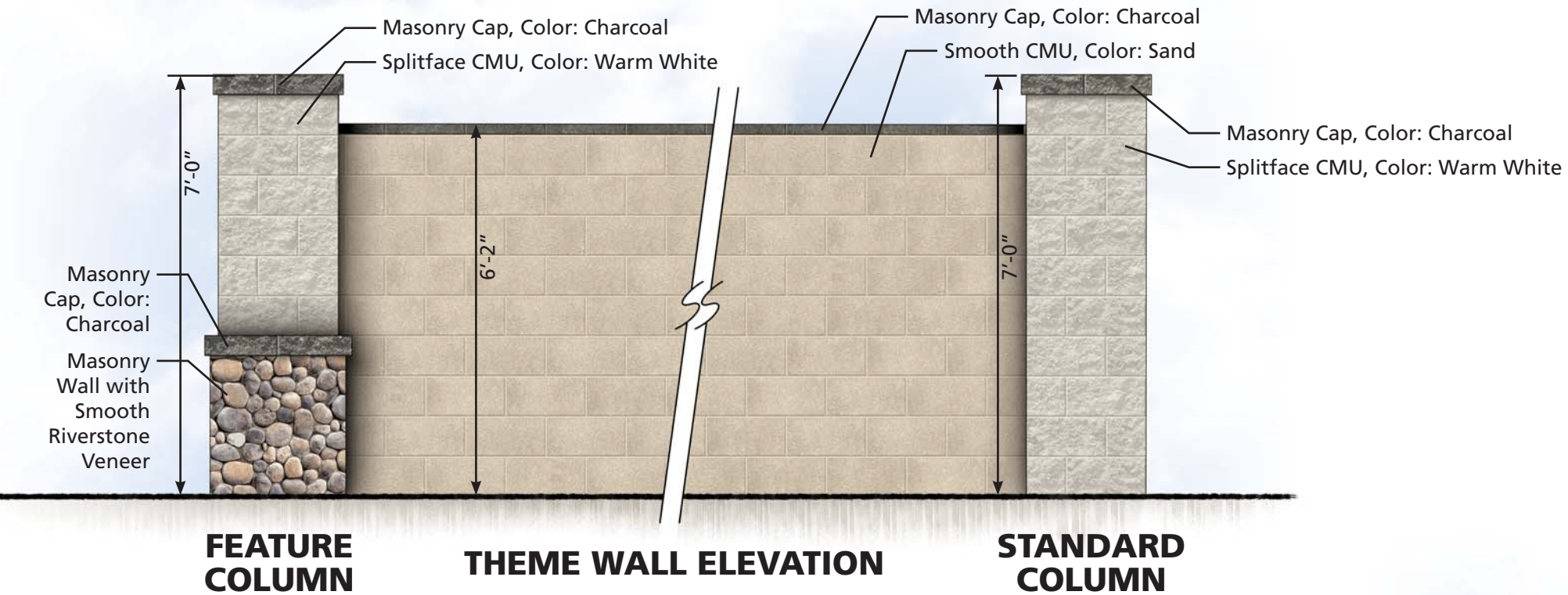
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Wall Elevations

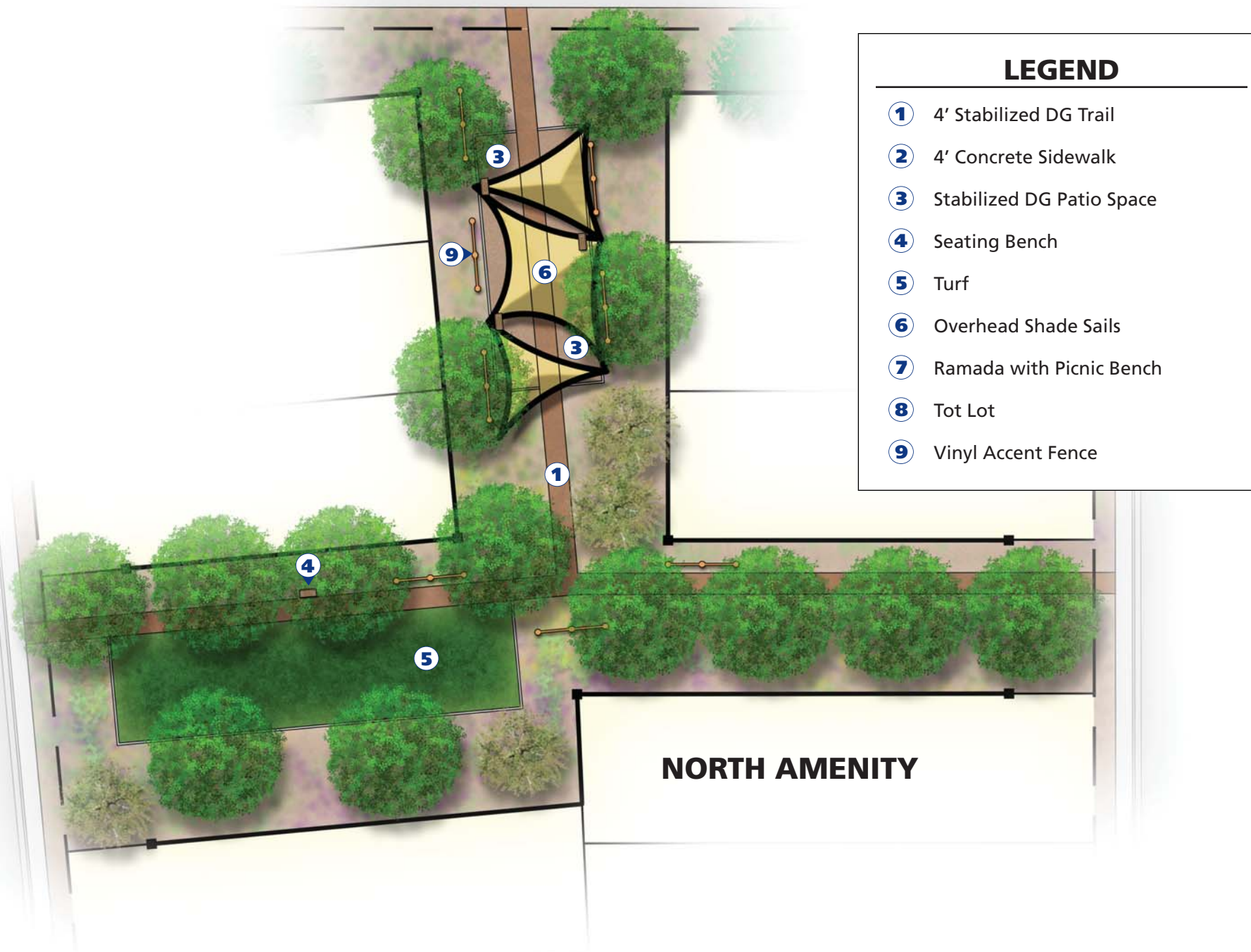
Exhibit L



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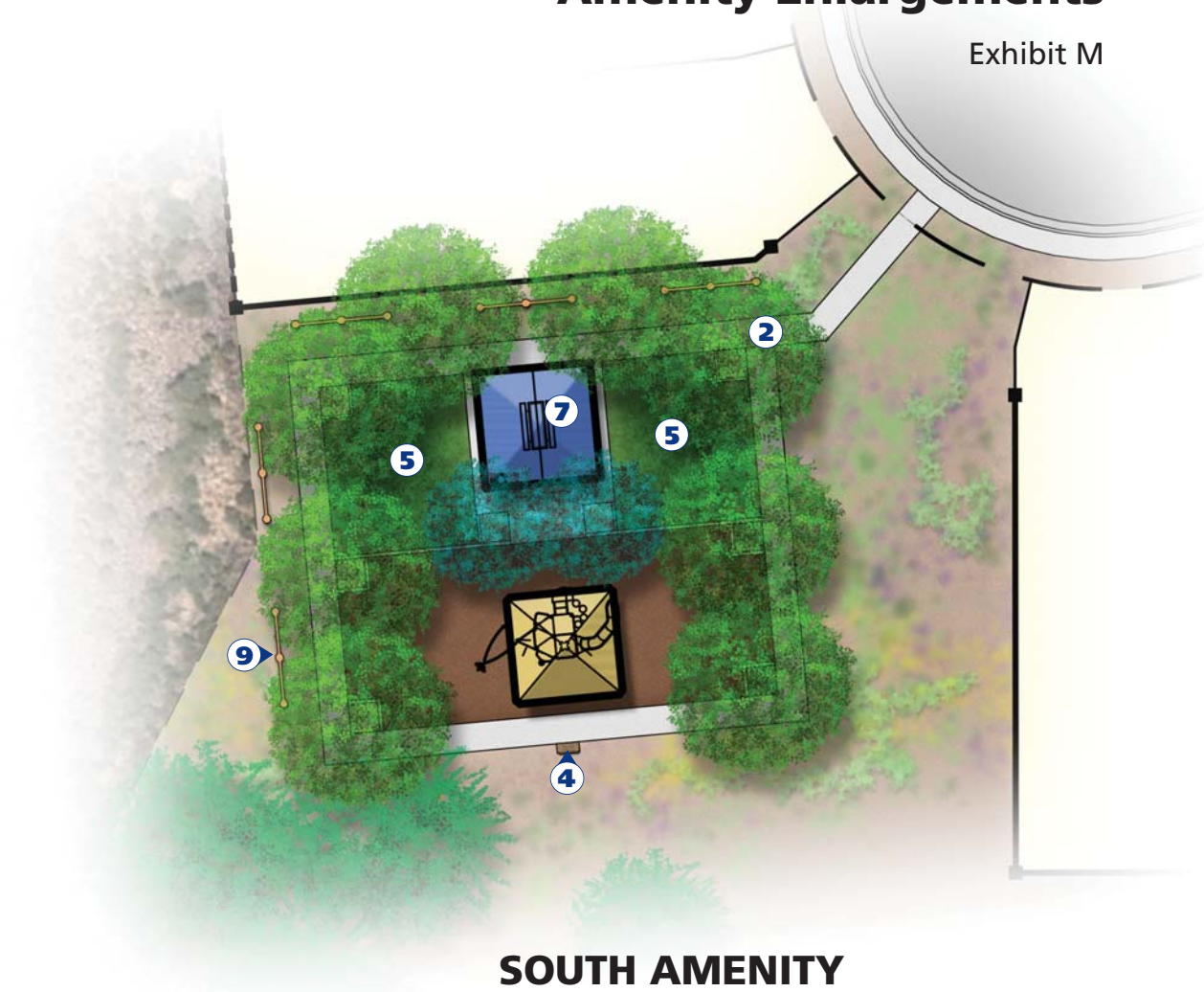
Amenity Enlargements

Exhibit M



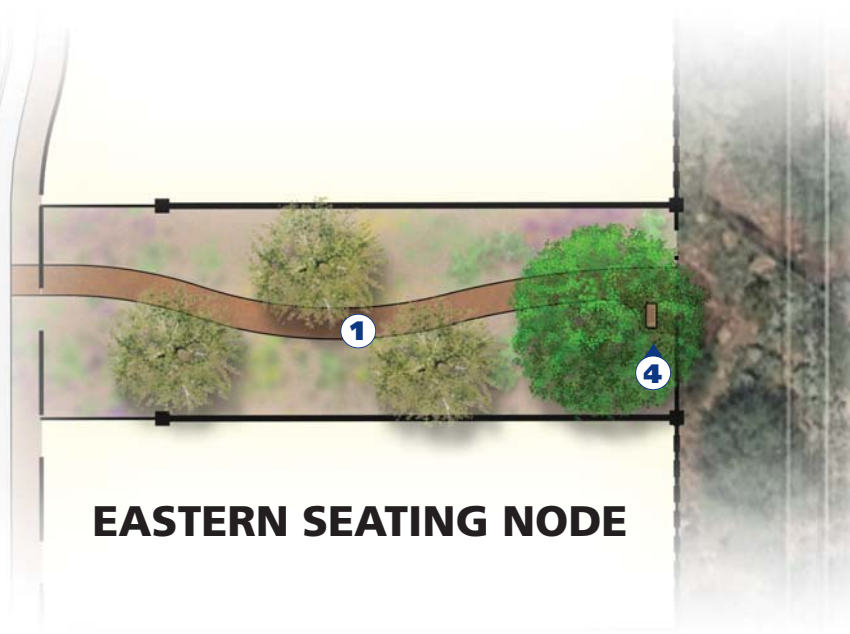
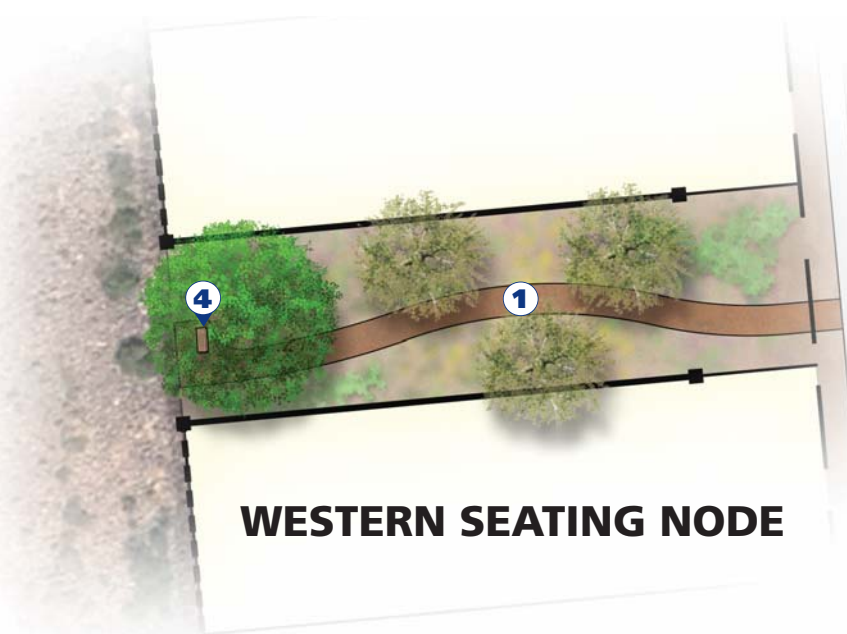
LEGEND

- ① 4' Stabilized DG Trail
- ② 4' Concrete Sidewalk
- ③ Stabilized DG Patio Space
- ④ Seating Bench
- ⑤ Turf
- ⑥ Overhead Shade Sails
- ⑦ Ramada with Picnic Bench
- ⑧ Tot Lot
- ⑨ Vinyl Accent Fence



NORTH AMENITY

SOUTH AMENITY



WESTERN SEATING NODE

EASTERN SEATING NODE

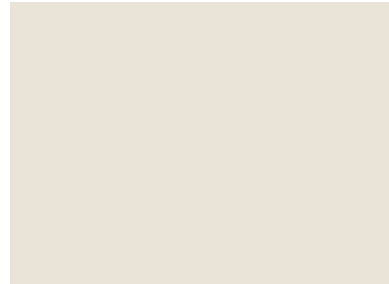


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Character Storyboard

Exhibit N

DESERT COTTAGE COLOR PALETTE



Warm White
Crisp Muslin (DE6212)
or approved equal



Clay
Clouds in My Coffee (DEBN08)
or approved equal



Charcoal
Renwick Brown (DET630)
or approved equal



Sand
Rustic Taupe (DE6129)
or approved equal



Sage
Sage Smudge Stick (DESS28)
or approved equal



Wood Tone
Oxford Brown Wood Stain
or approved equal

DESERT COTTAGE

A warm, welcoming take on classic cottage architecture, inspired by the beauty of the Sonoran Desert. Natural materials, soft colors, and handcrafted details create a sense of place that is both timeless and distinctly Arizona.

DESERT COTTAGE DETAILS



Courtyard Walls



Wrought Iron



House Numbers



Lighting

MATERIALS & TEXTURES



Gravel



Sandy Stucco



Concrete Tiles



Stone Veneer



Composite Wood



Brick Pavers

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ASCENT

Architectural Elevations

Exhibit O



ELEVATION K - MODERN FARMHOUSE



ELEVATION F - FRENCH COUNTRY



ELEVATION A - SPANISH

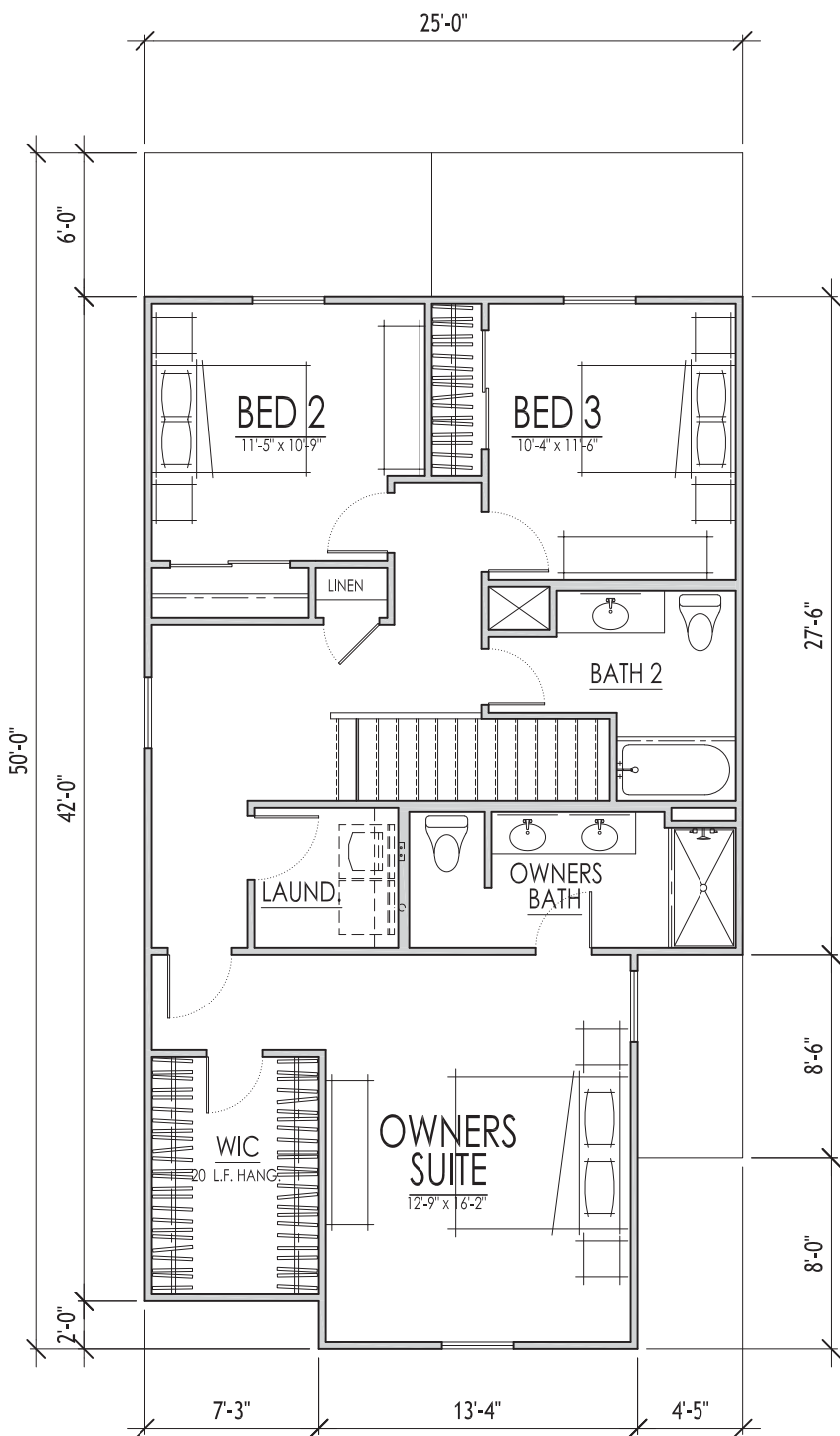
1/8" = 1'-0"

PLAN 2550

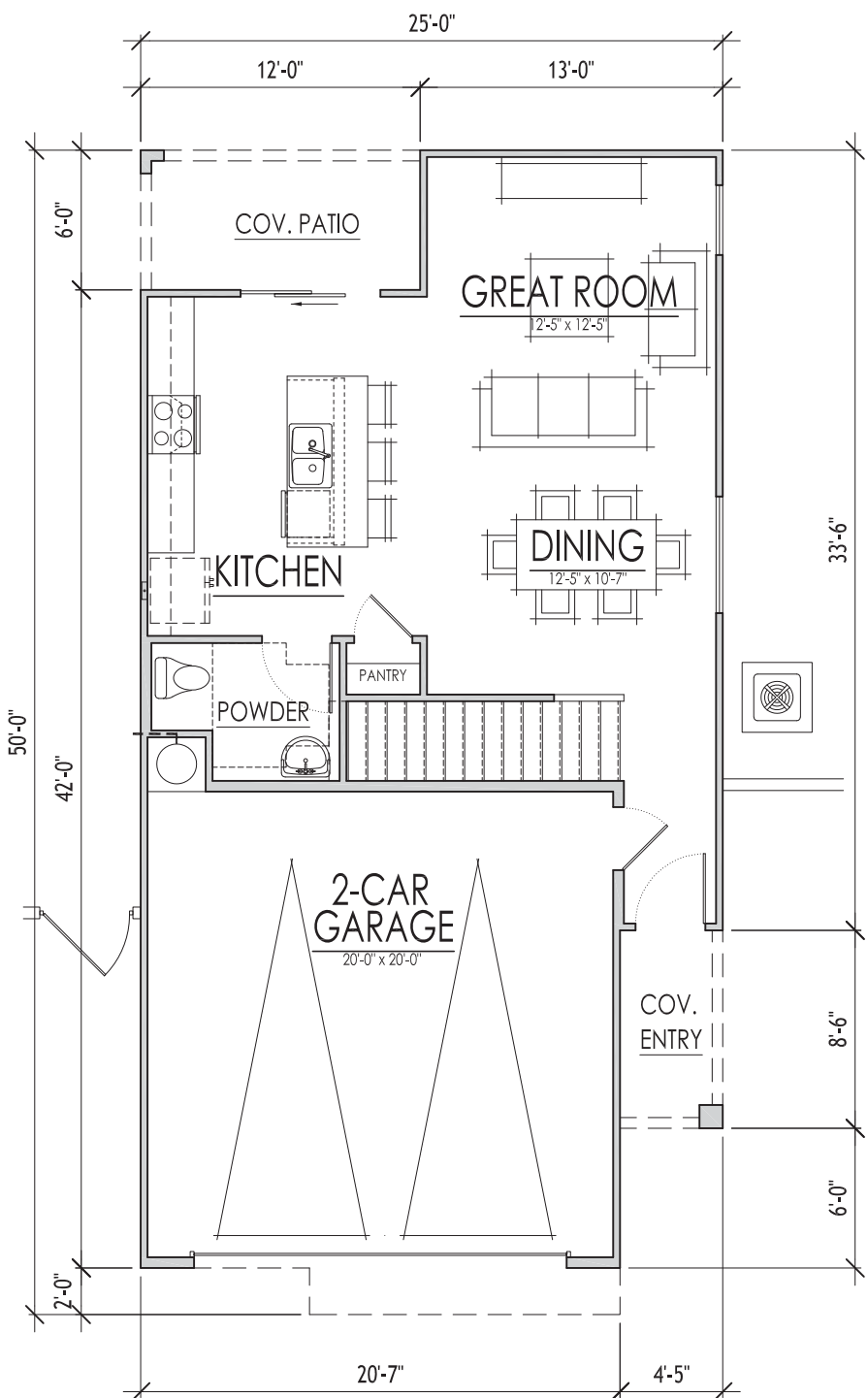
FRONT ELEVATIONS

LENNAR®

ASCENT



SECOND FLOOR



FIRST FLOOR

1,615 S. F. LIVABLE

1 / 8 " = 1 ' - 0 "

PLAN 2550

FLOOR PLANS - ELEVATION A - SPANISH

LENNAR

ASCENT
PHOENIX, ARIZONA



ELEVATION M - COTTAGE



ELEVATION C - CRAFTSMAN



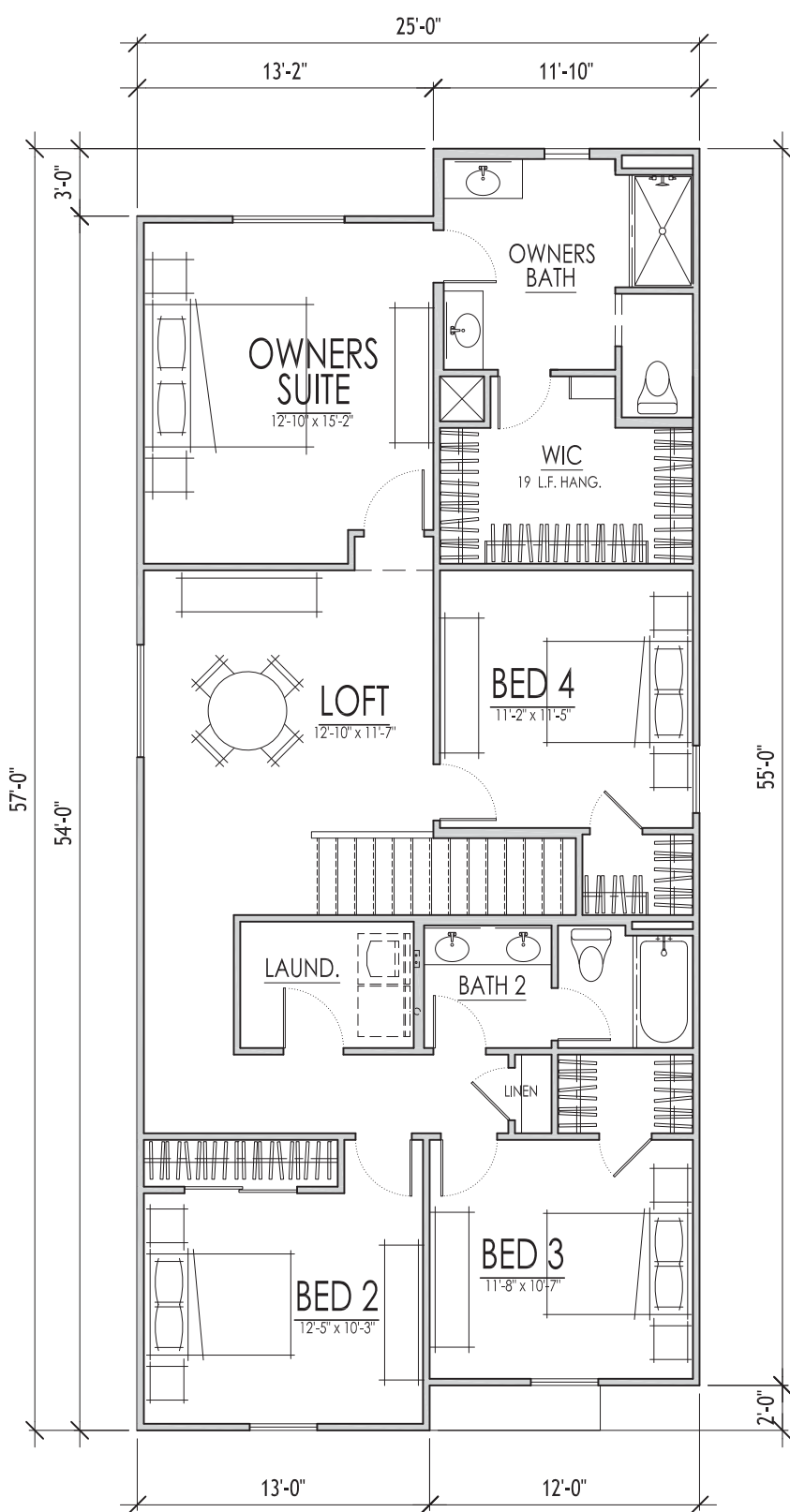
ELEVATION A - SPANISH

1/8" = 1'-0"

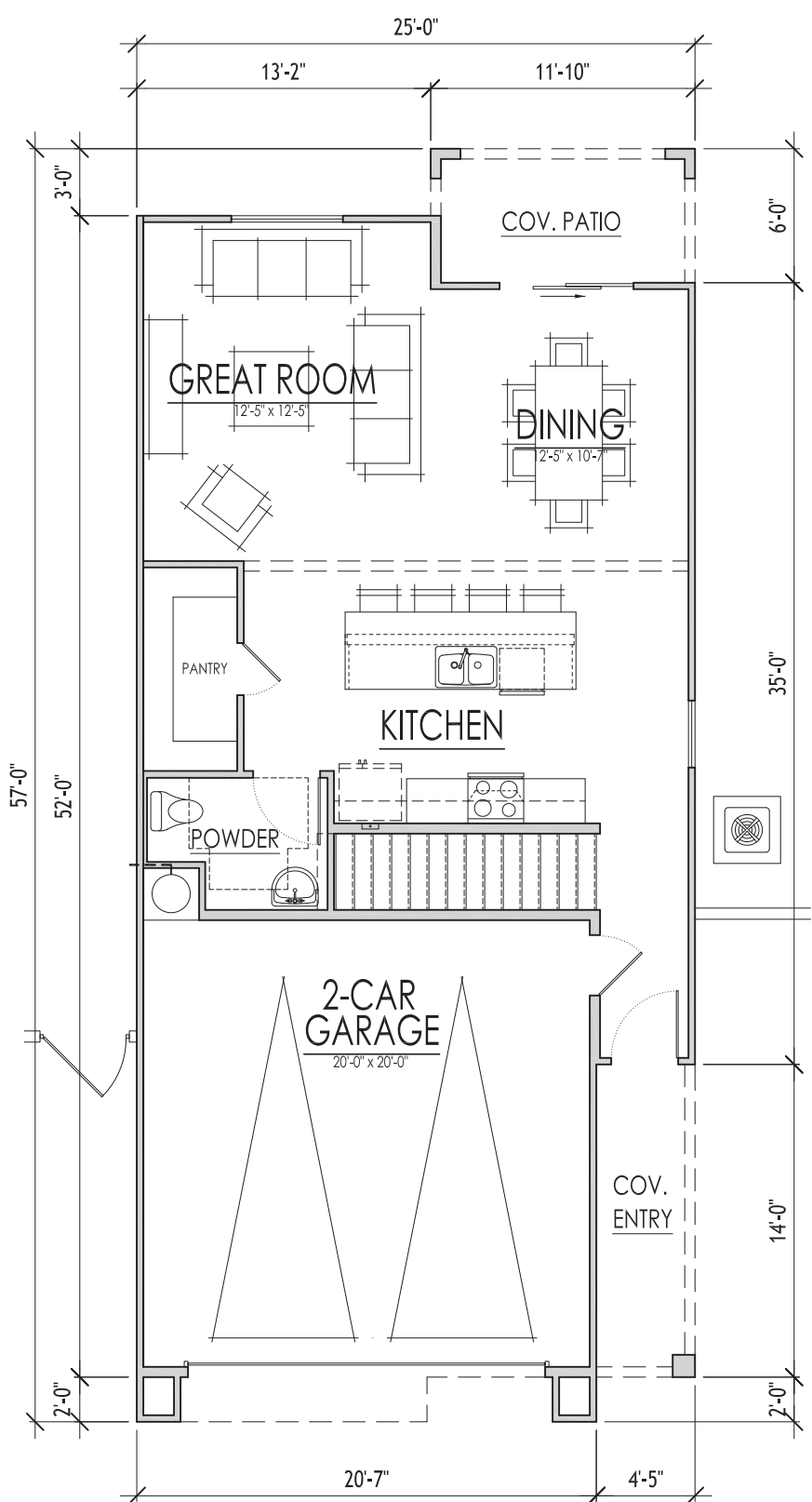
PLAN 2560
FRONT ELEVATIONS

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SECOND FLOOR



FIRST FLOOR

2,104 S. F. LIVABLE

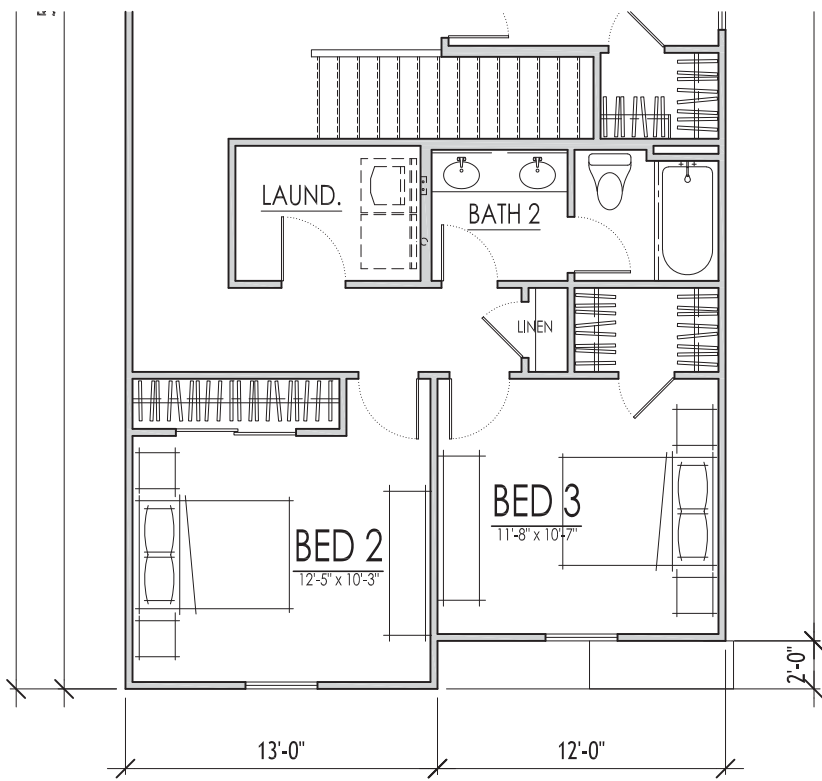
1/8" = 1'-0"

PLAN 2560

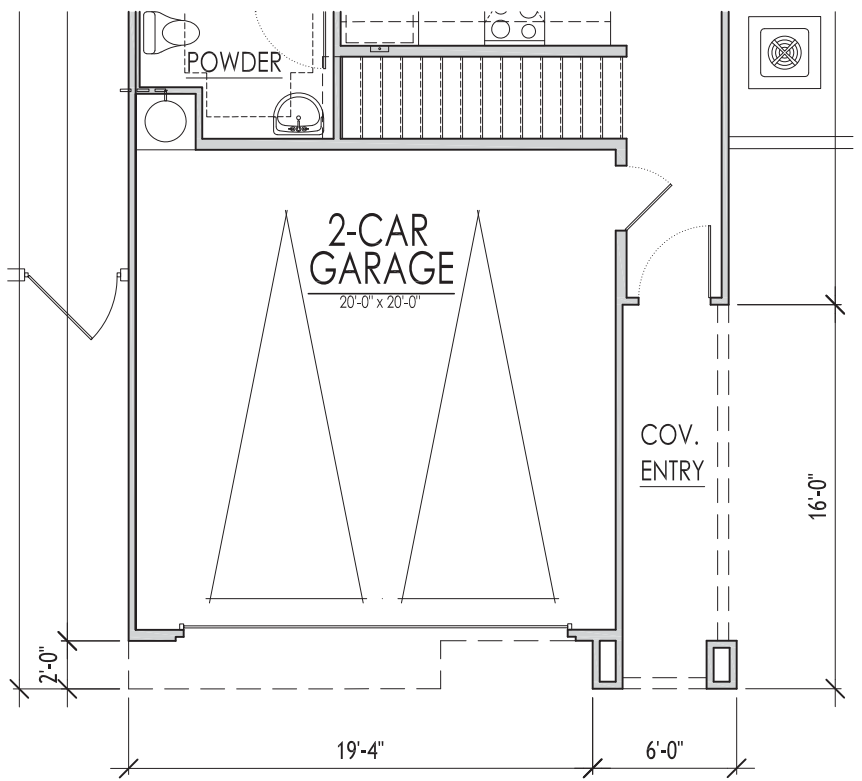
FLOOR PLANS - ELEVATION A - SPANISH

LENNAR

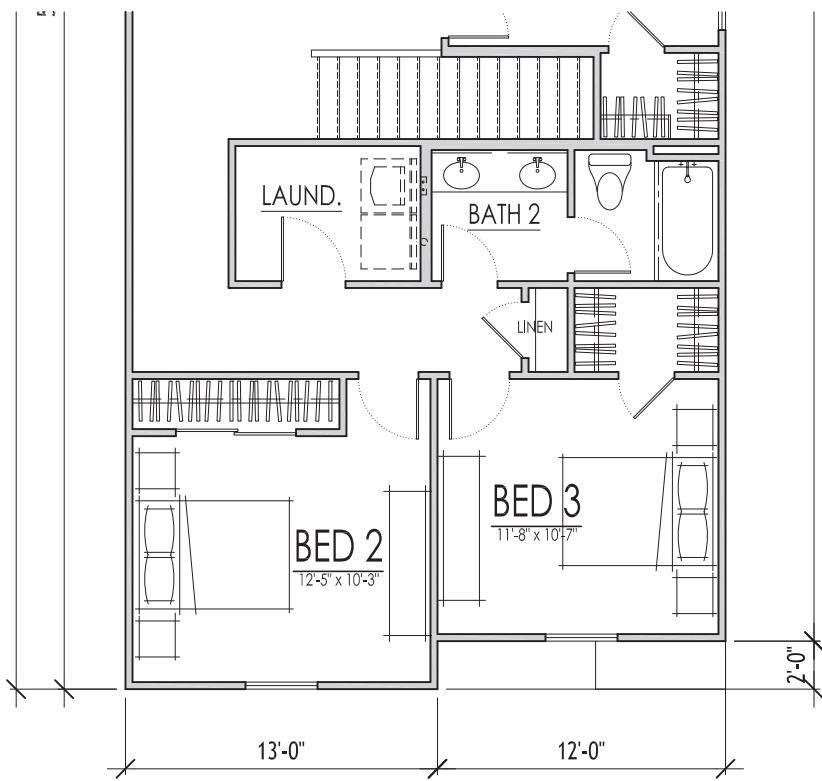
ASCENT
PHOENIX, ARIZONA



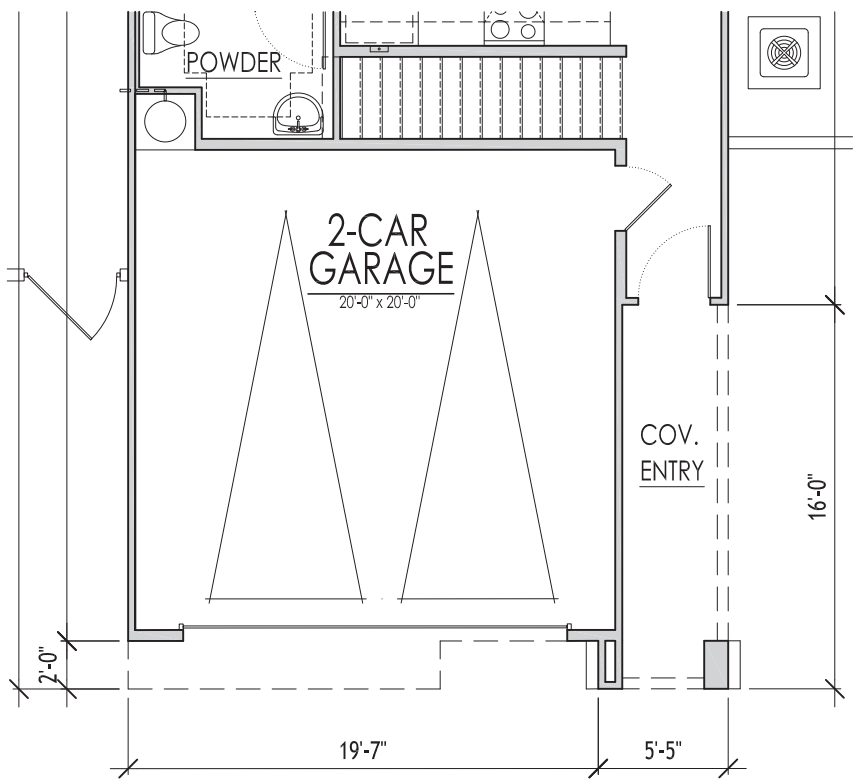
PART. SECOND FLOOR - M



PART. FIRST FLOOR - M



PART. SECOND FLOOR - C



PART. FIRST FLOOR - C

2,104 S. F. LIVABLE

1 / 8 " = 1 ' - 0 "

PLAN 2560

PARTIAL FLOOR PLANS - ELEVATION C - CRAFTSMAN AND M - COTTAGE

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ASCENT
PHOENIX, ARIZONA

Lily Plan 2566
Cottage Series

1,177 sq ft
Single-story
3 beds · 2 baths
2-bay garage

Lily Plan 2566
Cottage Series

1,177 sq ft
Single-story
3 beds · 2 baths
2-bay garage



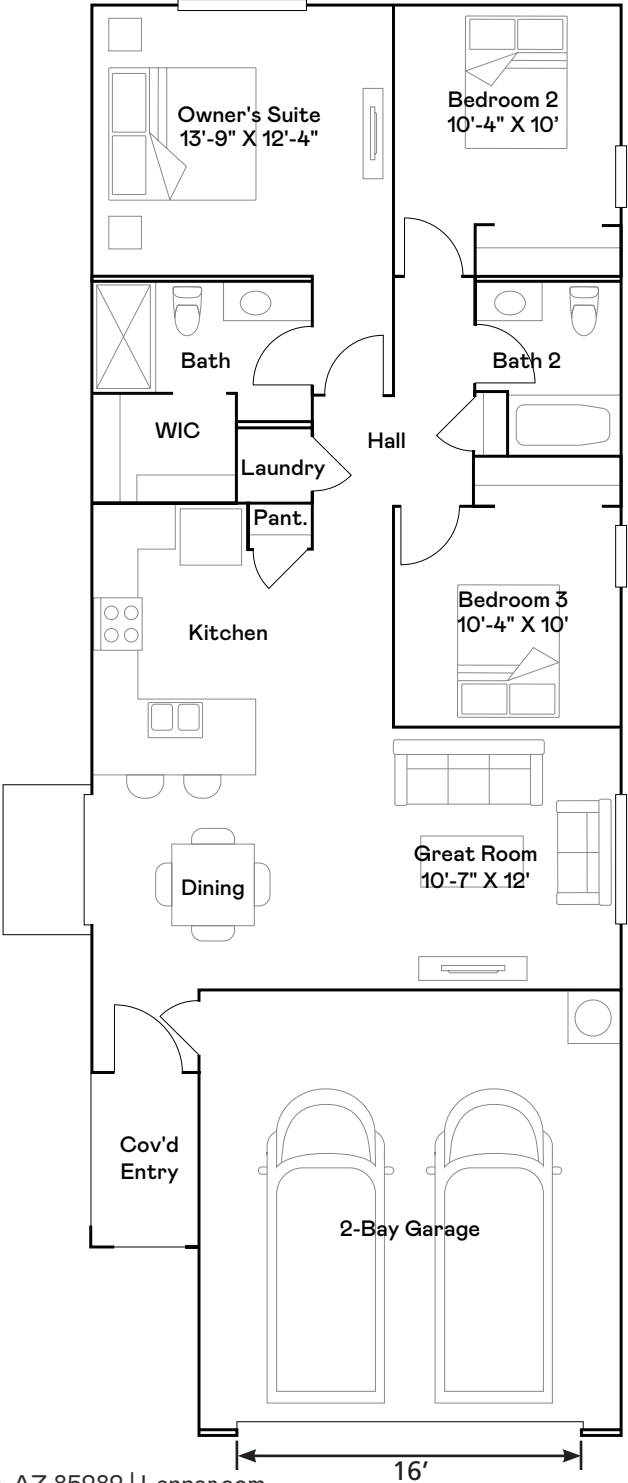
Elevation G | Italtinate



Elevation A | Spanish Colonial



Elevation C | Craftsman



1665 W. Alameda Drive #130 | Tempe, AZ 85282 | Lennar.com



1665 W. Alameda Drive #130 | Tempe, AZ 85282 | Lennar.com



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Lilac Plan 2569
Cottage Series

1,232 sq ft
Single-story
3 beds · 2 baths
2-bay garage



Elevation F | French Country



Elevation A | Spanish Colonial



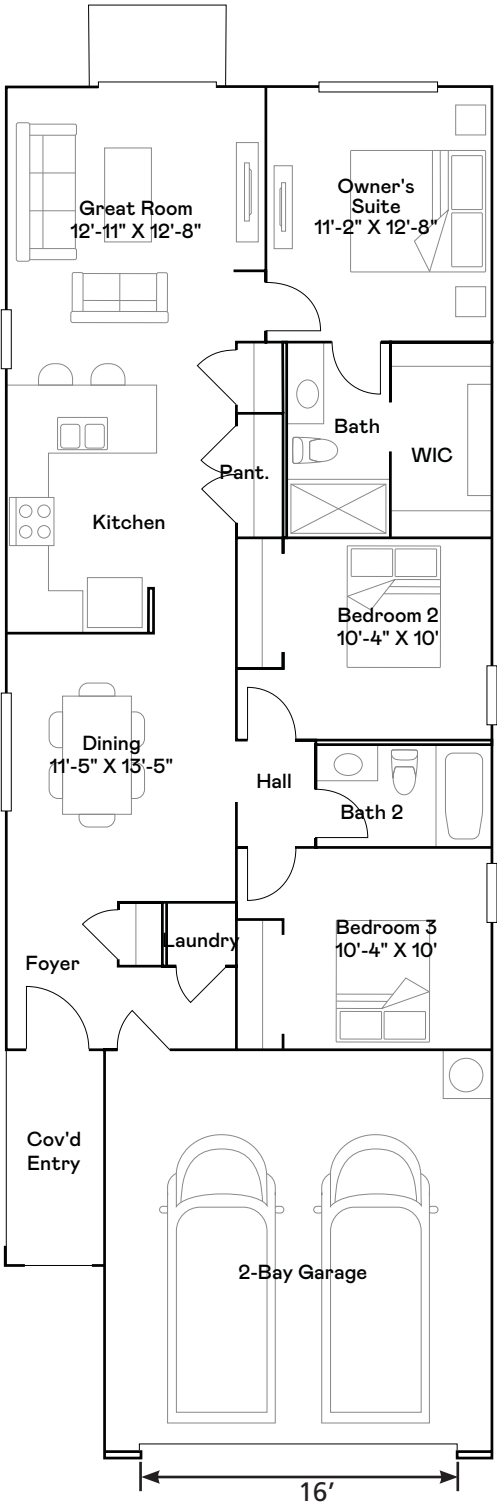
Elevation M | Cottage

1665 W. Alameda Drive #130 | Tempe, AZ 85282 | Lennar.com



Lilac Plan 2569
Cottage Series

1,232 sq ft
Single-story
3 beds · 2 baths
2-bay garage



1665 W. Alameda Drive #130 | Tempe, AZ 85282 | Lennar.com



Features, amenities, floor plans, elevations, and designs vary and are subject to changes or substitution without notice. Items shown are artist's renderings and may contain options that are not standard on all models or not included in the purchase price. Availability may vary. Sq. ft. is estimated; actual sq. ft. will differ. Garage/bay sizes may vary from home to home and may not accommodate all vehicles. This is not an offer in states where prior registration is required. Void where prohibited by law. Copyright © 2023 Lennar Corporation. Lennar, the Lennar logo, Next Gen and the Next Gen logo are U.S. registered service marks or service marks of Lennar Corporation and/or its subsidiaries. A Public Report is available at the State Real Estate Department website www.azre.gov. Seller's broker: Lennar Sales Corp. Constructed by Lennar Arizona Construction, Inc., ROC 228129B. Lennar Arizona LLC d/b/a Lennar Homes, ROC 232731B. Lennar Communities Development, LLC, ROC 137295KA. Date 12.9.23



ASCENT

Legal Description

Exhibit P

June 1, 2026

LEGAL DESCRIPTION FOR
ARROYO NORTE
ZONING

That part of the Northwest Quarter of Section 10, Township 6 North, Range 2 East, of the Gila and Salt River Meridian, Maricopa County, Arizona, more particularly described as follows:

Commencing at the Maricopa County Department of Transportation Brass Cap Flush marking a point on the centerline of Arroyo Norte Drive as dedicated in Book 896 of Maps, Page 50, Records of Maricopa County, from which the calculated position of the North Quarter Corner of said Section 10, bears North 00°05'17" West, a distance of 1449.03 feet, and from which a City of Phoenix Brass Cap in hand hole at the intersection of said Arroyo Norte Drive and Black Canyon Highway Frontage Road bears North 89°47'21" West, a distance of 1070.94 feet;

Thence South 00°05'17" East, along the East line of said Northwest Quarter, a distance of 30.01 feet to the Point of Beginning;

Thence continuing South 00°05'17" East, along said East line, a distance of 1004.63 feet to a point on a line which is parallel with and 150.00 feet Northerly from the South line of said Northwest Quarter;

Thence South 89°59'41" West, along said parallel line, a distance of 150.00 feet to a point on a line which is parallel with and 150.00 feet Westerly from said East line;

Thence South 00°05'17" East, along last said parallel line, a distance of 150.00 feet to a point on said South line;

Thence South 89°59'41" West, along said South line, a distance of 535.68 feet;

Thence North 27°01'32" East, departing said South line, a distance of 247.46 feet;

Thence North 05°17'51" West, a distance of 894.37 feet;

Thence North 23°01'36" West, a distance of 50.18 feet to a point on the Southerly right-of-way said Arroyo Norte Drive;

Thence along said Southerly right-of-way the following five (5) courses:

Thence South 89°47'21" East, a distance of 12.44 feet;

Thence South 00°12'39" West, a distance of 25.00 feet;

Thence South 89°47'21" East, a distance of 55.00 feet;

Thence North 00°12'39" East, a distance of 25.00 feet;

Thence South 89°47'21" East, a distance of 606.23 feet to the Point of Beginning.

Containing 691,001 Square Feet or 15.863 Acres, more or less.



ARROYO NORTE
ZONING

S00°05'17.0000" E 30.01

BOUNDARY

S00°05'17.0000" E 1004.63

S89°59'41.0000" W 150.00

S00°05'17.0000" E 150.00

S89°59'41.0000" W 535.68

N27°01'32.0000" E 247.46

N05°17'51.0000" W 894.37

N23°01'36.0000" W 50.18

S89°47'21.0000" E 12.44

S00°12'39.0000" W 25.00

S89°47'21.0000" E 55.00

N00°12'39.0000" E 25.00

S89°47'21.0000" E 606.23
to

Area = 691000.88 15.863 AC

Closing course: 19°48'51.1332" 0.000713

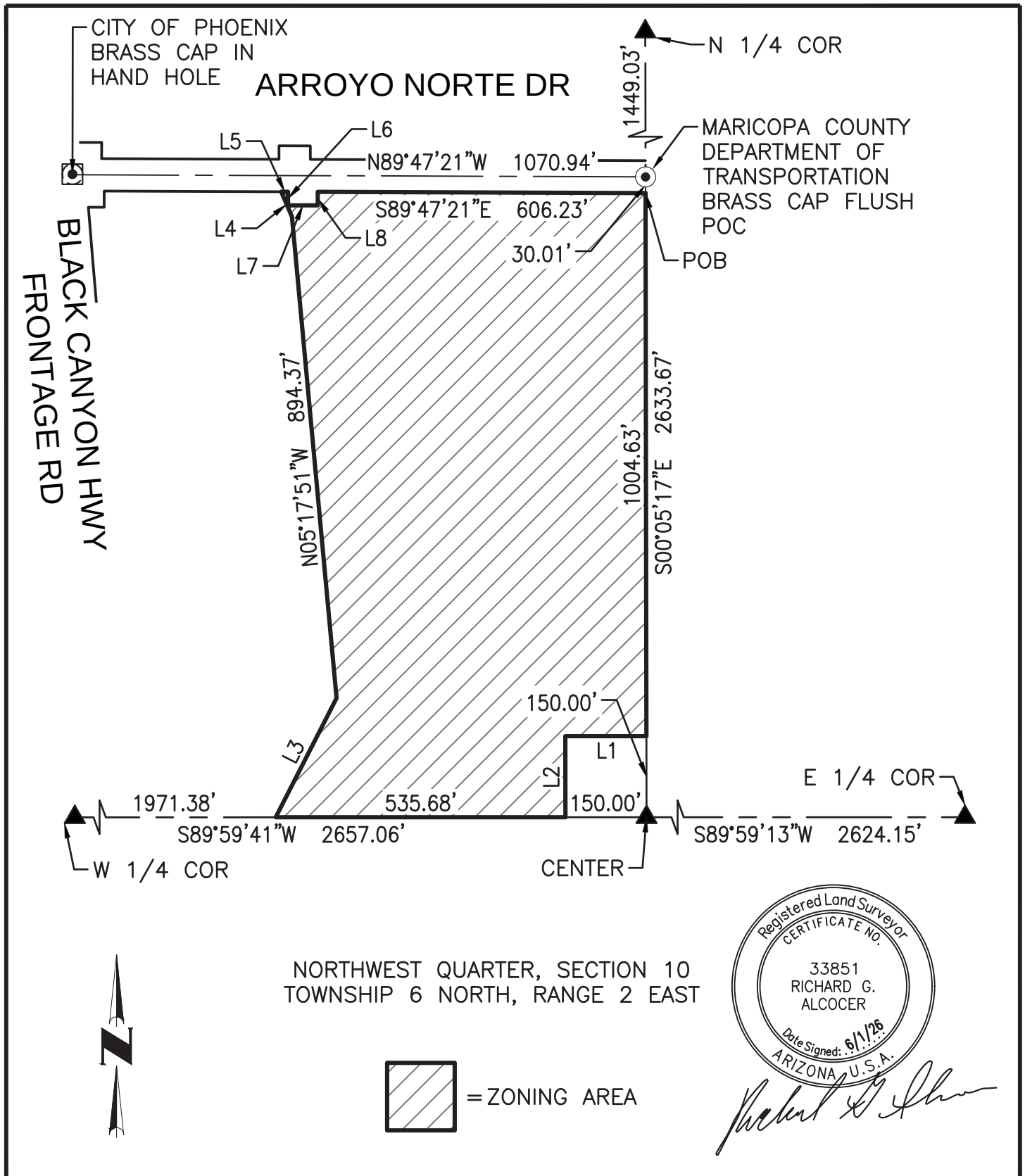
Misclosure: 1/1,000,000+

North Error: 0.000671

East Error: 0.000242



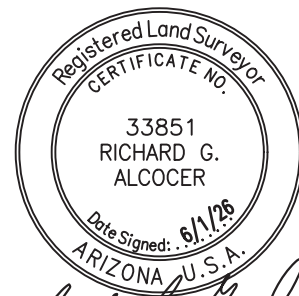
A handwritten signature in black ink, appearing to read "Richard G. Alcocer", written over the bottom of the surveyor's seal.



SCALE 1" = 250'	ARROYO NORTE	
EXHIBIT		
4550 North 12th Street Phoenix, Arizona 85014 Phone 602-264-6831 http://www.cvlci.com	ZONING	1 OF 2

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LINE TABLE		
NO.	BEARING	LENGTH
L1	S89°59'41"W	150.00'
L2	S00°05'17"E	150.00'
L3	N27°01'32"E	247.46'
L4	N23°01'36"W	50.18'
L5	S89°47'21"E	12.44'
L6	S00°12'39"W	25.00'
L7	S89°47'21"E	55.00'
L8	N00°12'39"E	25.00'



Richard G. Alcocer

NO SCALE	ARROYO NORTE	
EXHIBIT		
4550 North 12th Street Phoenix, Arizona 85014 Phone 602-264-6831 http://www.cvlci.com	ZONING	2 OF 2

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