



**City of Phoenix**  
PLANNING AND DEVELOPMENT DEPARTMENT

July 9, 2026

Michelle Green  
Lazarus & Silvyn P.C.  
206 East Virginia Avenue  
Phoenix, Arizona 85004

RE: MINOR AMENDMENT OF KIERLAND SKY PUD AMENDMENT (Z-14-A-20-2)  
SOUTHEAST CORNER OF KIERLAND BOULEVARD AND MARILYN ROAD

Dear Ms. Green,

I have had the opportunity to review your request for a Minor Amendment to the Kierland Sky PUD Amendment that you submitted on behalf of Kierland Sky LLC.

Section 671 Planned Unit Development of the Phoenix Zoning Ordinance, states that amendments not meeting the criteria for a major amendment shall be deemed to be a minor amendment and may be administratively approved by the Planning and Development Director.

Upon review of this material and through consultation with other Planning and Development staff, I have determined that this request is a reasonable modification to the existing PUD ordinance and I therefore approve the amendment described herein. This request meets the minor amendment criteria because it does not specifically change any height, density, setback, or lot coverage development standards. The amendment maintains minor amendments to the Design Guidelines while maintaining the intent of the PUD.

An updated Development Narrative for the Kierland Sky PUD Amendment reflecting the changes approved through this request shall be submitted to the Planning and Development Department within 30 days of the approval of this request.

This minor amendment shall be approved, subject to the following changes:

- 1) An updated Development Narrative for the Kierland Sky PUD Amendment PUD reflecting the changes approved through this request shall be submitted to the Planning and Development Department within 30 days of approval of this request. The updated Development Narrative shall be consistent with the Development Narrative dated January 3, 2024, as modified by the following stipulations:
  - Page 1, Cover Sheet: Update the graphic on the cover to reflect the newest proposal.
  - Page 1, Cover Sheet: Modify the submittal dates as follows:
    - 1st Minor Amendment Approved: June 9, 2026
  - Page 20, Development Standards Table: Revise Electric Vehicle Infrastructure Row to state: Minimum of 10% of required parking spaces shall have EV-ready

infrastructure defined as a stall with a fully installed branch circuit and outlet that is ready for electric vehicle supply equipment (EVSE) to be plugged in.

- Page 20, Development Standards Table, Vehicular Parking section: Revise Parking Location Row to state: - Maximum of 40 surface parking spaces. - All other parking underground or screened by buildings.
- Page 21, Landscape Standards, General Row: Revise language to include Shrubs, accents, and vegetative groundcovers to achieve a minimum of 75% live coverage at maturity for landscape areas excluding active amenity areas including the pool deck, sport courts and dog parks.
- Page 25, Shade Standards, General row, bullet point 2: Revise to: Shade calculations and shade studies shall be based on landscaping at maturity at summer solstice at 12:00 p.m.
- Page 25, Shade Standards, Public and Private Open Space Areas row: Revise to state: Minimum 50% shaded with landscaping or structures or a combination thereof.
- Page 26, Design Guidelines / Architectural Standards, Pedestrian Access and Circulation, bullet point 3: Replace "Where pedestrian walkways cross a vehicular path, the pathway shall be constructed of decorative pavers, stamped, or colored concrete, or other paving materials that visually contrasts parking and drive aisle surfaces" with "All private driveways, walkways, and sidewalks shall be enhanced or alternative paving materials. Acceptable design solutions include but are not limited to decorative concrete, joint pattern, texture, brick, pavers, integral colored concrete, permeable pavers, porous concrete, or other similar materials. Where pedestrian walkways cross a vehicular path, contrasting material shall be used to denote the pedestrian path. Paint shall not be considered an alternative paving material."
- Page 26, Design Guidelines / Architectural Standards, Pedestrian Access and Circulation, bullet point 4: Replace "Alternative paving materials such as permeable pavers, porous concrete or similar materials shall be used for on-site hardscaping to reduce urban heat island effect, and to allow natural drainage and filtration (see Sustainability section)" with "Where possible, alternative paving materials such as permeable pavers, porous concrete or similar materials shall be used for on-site hardscaping to reduce urban heat island effect, and to allow natural drainage and filtration (see Sustainability section)."
- Page 27, Design Guidelines / Architectural Standards, Pedestrian Access and Circulation, bullet point 5: Delete "All driveways, walkways, and sidewalks shall be enhanced by using decorative concrete, joint pattern, texture, brick, pavers, or integral colored concrete."
- Page 27, Design Guidelines / Architectural Standards, Architectural Style, 3rd sentence; Add the words in quotes: The "non-residential uses on the" ground floors of each building shall be transparent to encourage views through the buildings connecting the landscape throughout the entire development.
- Page 27, Design Guidelines / Architectural Standards, Architectural Design Elements: Add the words in quotes: Building entries shall be clearly defined and identifiable. Designs shall incorporate consistent detailing for each side of the building "that faces a public right-of-way or public open space".
- Page 28, Design Guidelines / Architectural Standards, Building Form Guidelines, bullet point 2: Delete the word "and" and add the word in quotes: A combination of wall plane setbacks and "or" vertical setback elements shall be incorporated on all four sides of the building's exterior elevations.
- Page 28, Design Guidelines / Architectural Standards, Building Design Elements, bullet point 6: Revise to read as follows: A minimum of 60% of the units shall include outdoor balconies. The private balconies (those outdoor private balconies

- located above the first floor) shall be designed to meet the following: Minimum area of 50 "30" square feet with a minimum depth of 6 "3" feet.
- Page 28, Design Guidelines / Architectural Standards, Building Design Elements, bullet 6, sub-bullet 2: Add the language in quotes: Balconies "for Phase 2" should include a Vertically Integrated Architectural Landscape System along the building façade.
  - Page 29, Design Guidelines / Architectural Standards, Building Colors and Materials, bullet points 4 through 7: Replace the following text "• Maximum 20% of façade shall be stucco. • Minimum 20% of façade shall be natural stone. • Minimum 20% of façade shall be metal with a natural patina finish. • Minimum 40% of façade shall be glazing" with "• Maximum of approximately 50% of façade shall be stucco for elevations that face public rights of way or public open space. Variation in siding shall be required on any elevations facing private drives. • Minimum 20% of façade shall be natural stone or brick veneer. • Minimum approximately 30% of the façade shall be glazing".
  - Page 31, Sustainability, Guidelines – City Enforced, Landscape, bullet 7, Bioswales, sub-bullet 2 and 3: Replace "Bio-Retention shall make up 25% of landscape area, Bioswale treatment shall make up 10% of landscape area" with "Bioretention shall make up 25% of the landscape area, excluding active amenity areas. Bioswale treatment shall make up 10% of the landscape area, excluding active amenity areas."
  - Page 31, Sustainability, Guidelines – City Enforced, Hardscape, bullet point 1 and 2: Delete "The project shall reduce heat island effect by: • Complying with the Shade Standards section within this PUD narrative that are more stringent than conventional zoning standards. • Ensuring that 75% percent of hardscape area are shaded or are a non-absorptive material (Have Minimum SRI Value of 0.33 at time of installation) • Walkways and plazas to be high albedo (0.70 - 0.80) to minimize heat gain but due to glare concerns these areas must be shaded."
  - Page 32, Sustainability, Guidelines – City Enforced, Energy, bullet point 2: Replace "Each building shall have centralized HVAC systems that can provide cooling to all spaces. A chilled water loop economizer system is preferred" with "Each building shall have centralized A/C or rooftop mounted and appropriately screened equipment."
  - Page 32, Sustainability, Guidelines – City Enforced, Energy, bullet point 3: Delete "Energy recovery mechanical units shall be provided to all common spaces".
  - Page 32, Sustainability, Guidelines – City Enforced, Building Construction Type, bullet point 1: Delete "Steel Shall be made from 90% recycled materials and ideally created by the electric arc method".
  - Page 32, Sustainability, Guidelines – City Enforced, Building Construction Type, bullet point 3: Replace "Walls to be provided with 2-inch continuous rigid insulation with thermal breaks. Wall cavities to be filled with closed cell spray insulation" with "Add "Buildings must meet applicable energy and building code requirements for insulation".
  - Page 33, Sustainability, Guidelines – City Enforced, Interiors, bullet point 5: Delete "All wood products to FSC (Forest Stewardship Council) certified".

In addition, you requested confirmation that the revised Exhibits A-E conforms to the current PUD approval for this site, pursuant to Section 671.E.3.a of the Zoning Ordinance. A major amendment to the Kierland Sky PUD was approved on January 3, 2024, in Case No. Z-14-A-20-2.

#### Site Plan (Exhibit A)

The major open space facing the community increases total open space to 51% from 47%, with the focal garden and pond shifted south. There is one access point along Kierland as requested

by Traffic during FACT submittal. There is limited surface parking. Most of the parking is completely within the building "wrap" apartments.

Open Space (Exhibit B)

The total open space provided is .4% more than in the approved PUD. The focal garden has been increased from 29,000 SF to 36,000 square feet and has been shifted south towards the single-family residential neighborhood. Most of the public open space is facing Kierland Boulevard. The open space provides a connection between the multifamily residential neighborhoods to the southwest. There are four types of open space: two dog parks and resident courtyards.

Access (Exhibit C)

The number of access points along Kierland Boulevard were reduced from two to one as required by Stipulation No. 5.

Parking (Exhibit D)

The number of parking spaces increased from 751 to 787; however, parking is not visible from the street, and the number of surface parking spaces was reduced from 36 to 7.

Phase (Exhibit E)

The number of phases has not changed.

Section 671.E.3.a of the Phoenix Zoning Ordinance allows the Planning and Development Department to administratively approve modifications to site plans and/or elevations that result in one or more of the following: (1) an increase in building height less than five percent; (2) any change in density less than five percent; (3) a change in building or landscape setbacks less than five percent; (4) any increase in open space; (5) any change in traffic circulation that positively impacts traffic circulation or increases traffic or pedestrian safety; or (6) an increase in building footprint less than five percent. After reviewing your request, I have determined that an administrative review is appropriate since as depicted on the revised Exhibits A-E, the building height has not increased; there was no change in density, building or landscape setbacks; the open space was reconfigured; access points along Kierland Boulevard was reduced from two to one as required by Stipulation No. 5. and no increase in the building footprint.

Should you have any questions, please contact the Village Planner, Matteo Moric, at [matteo.moric@phoenix.gov](mailto:matteo.moric@phoenix.gov) or (602) 261-8235.

Sincerely,

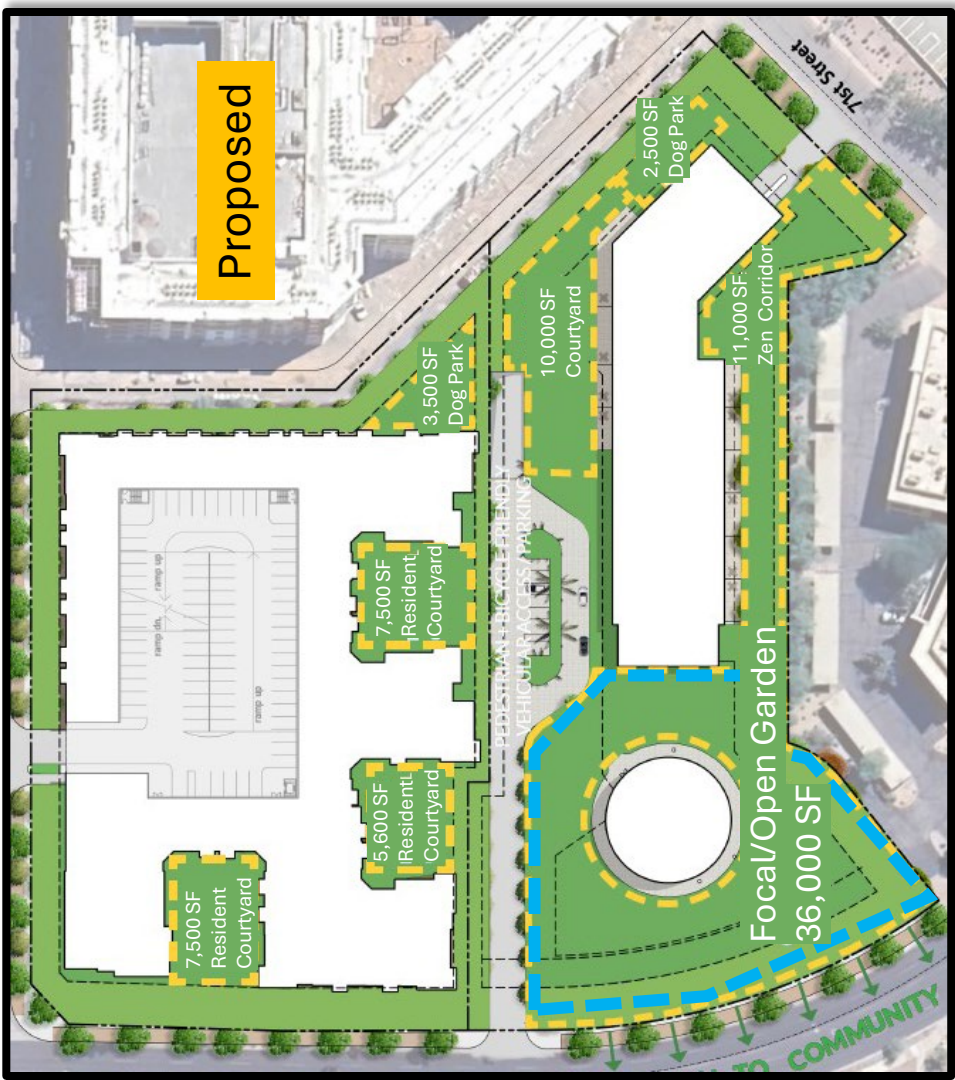
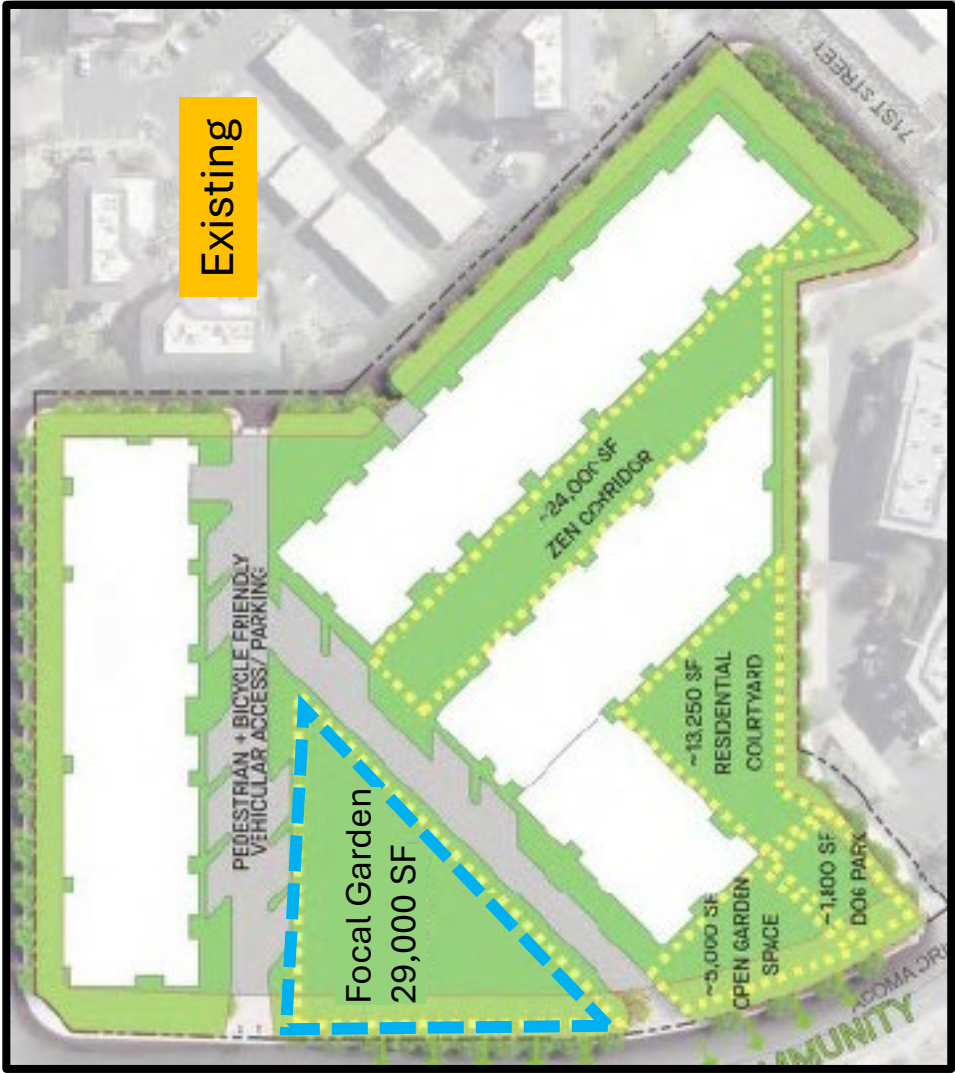


Joshua Bednarek  
Planning and Development Director

c: Z-14-A-20-2 file

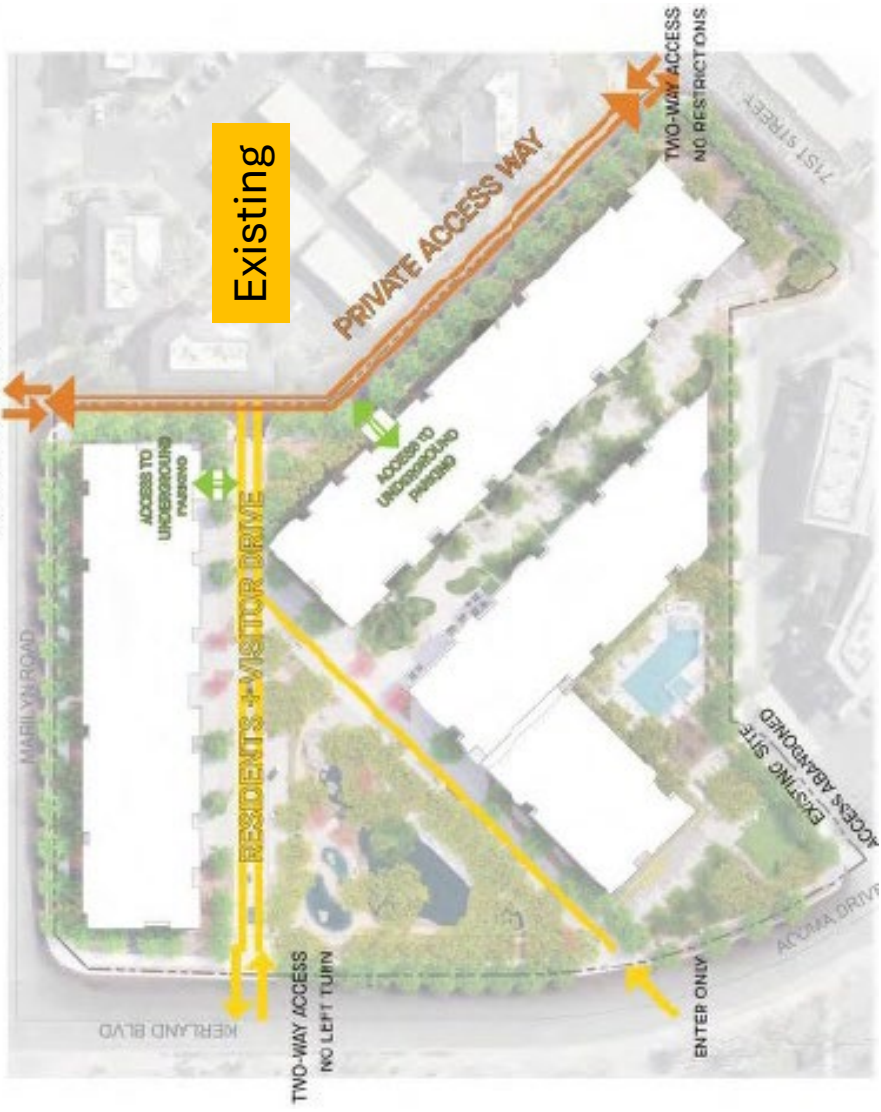
Attachments:  
Exhibits A-E (5 pages)



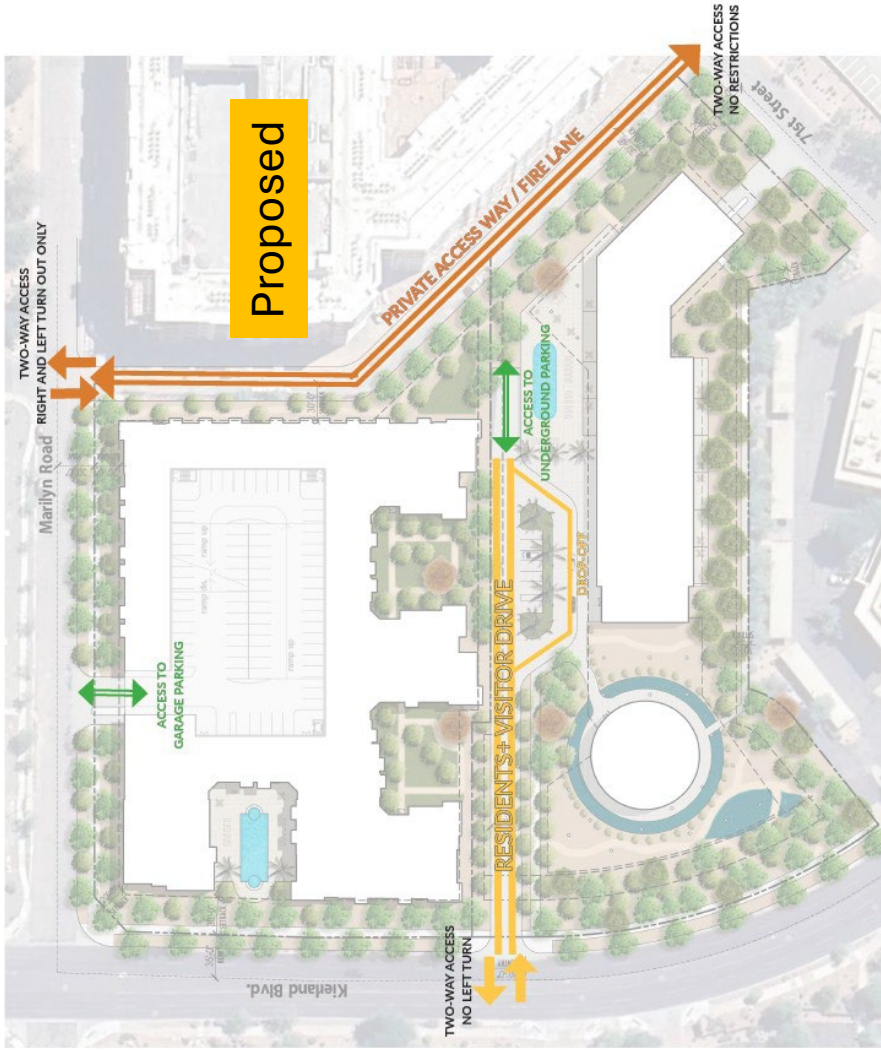


## Open Space

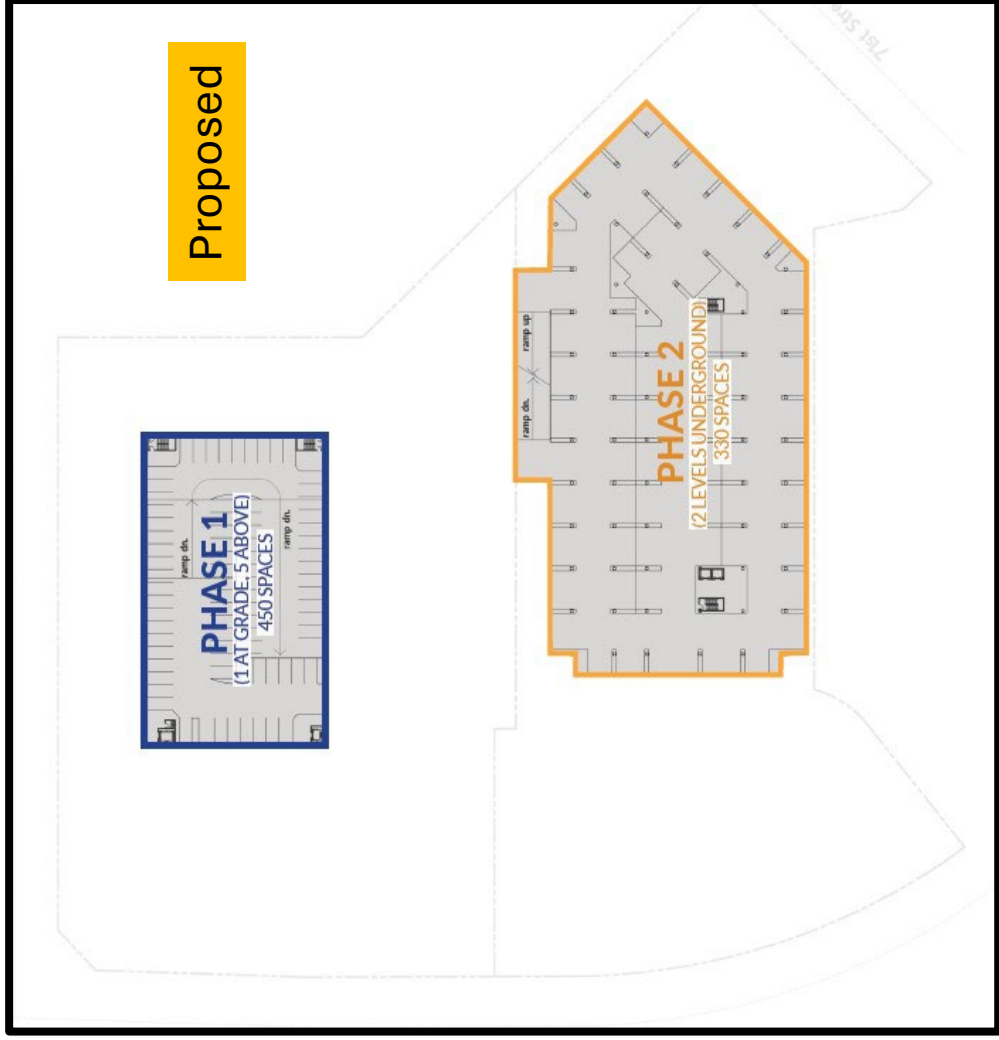
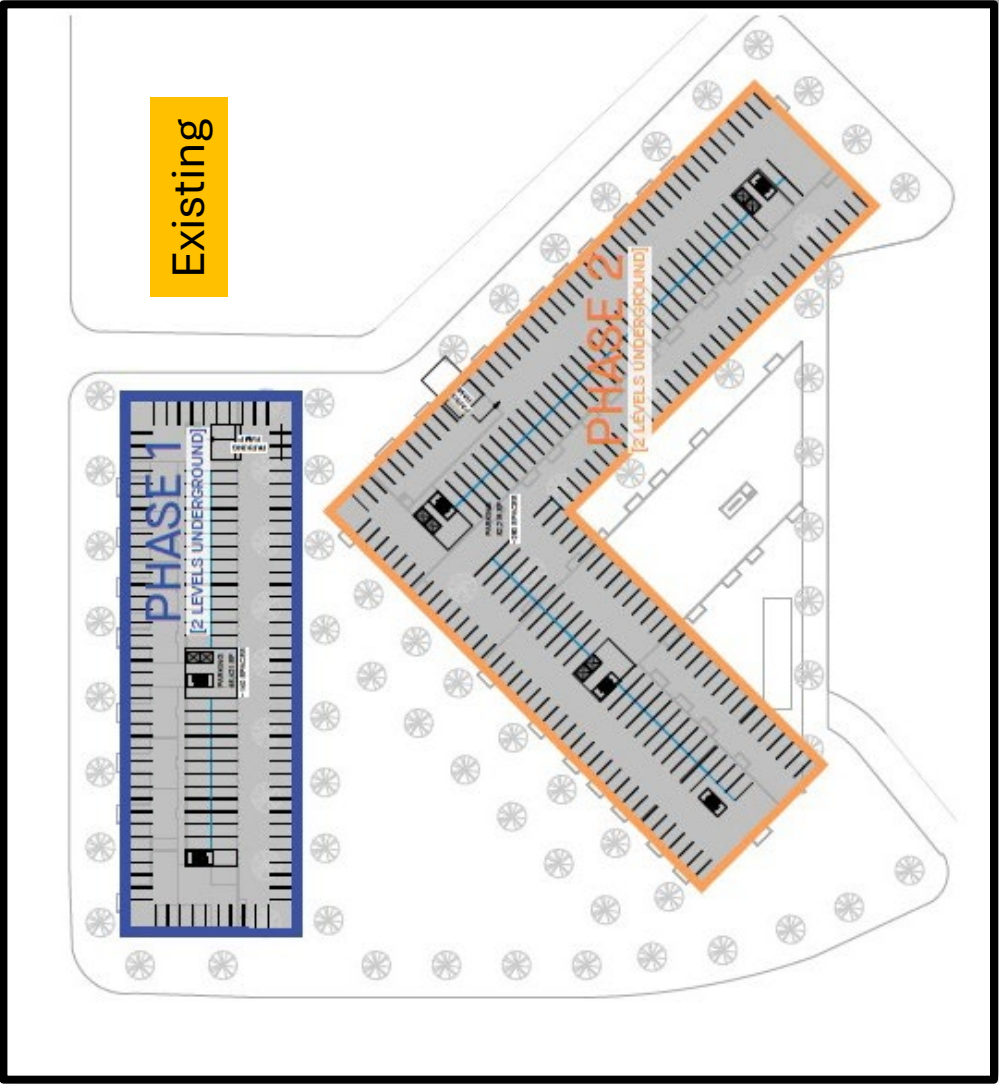
- The total open space provided is .4% more than the site plan in the approved PUD.
- The focal garden has been increased from 29,000 SF to 36,000 SF and been shifted south towards the single-family residential neighborhood, see above.
- Most of the public open space in the proposed site plan is facing Kierland Boulevard as it does in the approved site plan.
- The buildings are arranged so as not to create a wall of buildings along Kierland Boulevard.
- The open space still provides a connection between the multifamily residential neighborhoods to the southwest.
- There are still four types of open space; however, the proposed site plan has two dog parks instead of one and four resident courtyards instead of one.



Access



Access for both plans is very similar; however, the number of access points along Kierland Boulevard has been reduced from two to one. This is in response to Traffic’s initial comments on a FACT submittal where they stated that they preferred one driveway access off Kierland.



## Parking

- Number of Parking spaces increased from 751 to 787.
- The Parking is not visible from the street in either of the site plans.
- The number of surface parking spaces is reduced from 36 to 7. This is an improvement in visible parking for the property.



# Phasing

The Phasing plans are very similar.

