



JOEY BILTMORE
CASE NO. Z-XX-25-6

LOCATED AT THE SOUTHWEST CORNER OF CAMELBACK
ROAD AND 31ST STREET

DATE OF INITIAL SUBMITTAL: OCTOBER 10, 2025

CITY OF PHOENIX

OCT 10 2025

Planning & Development
Department

A Planned Unit Development (“PUD”) is intended to be a stand-alone document of zoning regulations for a particular project. Provisions not specifically regulated by the PUD are governed by the Zoning Ordinance. A PUD may include substantial background information to help illustrate the intent of the development. The purpose and intent statements are not requirements that will be enforced by the City. The PUD only modifies Zoning Ordinance regulations and does not modify other City Codes or requirements. Additional public hearings may be necessary, such as, but not limited to, right-of way abandonments.

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A. PURPOSE AND INTENT

A1: Project Overview and Goals

Joey Restaurant Group (“Joey’s”) presents the “Joey Biltmore” project, an adaptive reuse redevelopment plan at the southwest corner of 31st Street and Camelback Road that proposes to (i) remove outdated and underutilized 1980’s era office space from the Camelback corridor, (ii) reimagine the visual appearance of the structure to improve its appearance and (iii) to establish a new high-quality restaurant providing a high quality sit-down dining experience.

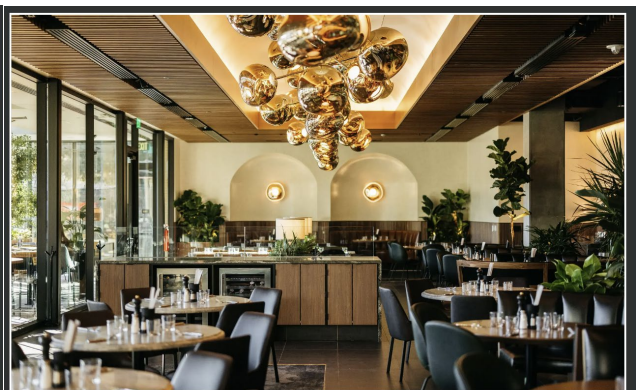
Joey’s operates 35 restaurants across Canada and the United States and is a privately held company employing 5,000+ employees across its locations. Every Joey Restaurant is custom-built to elevate its surroundings, often from the ground up, and no two restaurants are ever the same. Joey’s offers a modern American menu where fresh, premium-quality ingredients speak for themselves. Whether locally or globally inspired the premium ingredients are at the forefront of every dish.

Members of the Joey’s team have been a three-time James Beard House guest chef and Executive Chef Matthew Stowe is a veteran of televisions “Top Chef” program and recent guest judge on “Top Chef - Season 22”. As supporters of the industry, and to grow their team, in addition to their own “Joey University”, an industry leading learning and development program with courses on service excellence, culinary excellence, and leadership, Joey’s partners with local culinary schools to provide apprenticeships and continued education.

In addition to a passion for quality food and service, quality design is another feature of their guest experience. Their in-house design team works with world renowned architects and local artists to create distinctive and dynamic spaces. Each location features bespoke artwork commissioned from local artists.



JOEY Aventura



JOEY Dallas



JOEY Manhattan Beach



JOEY Newport Beach

Adding to their portfolio, the Joey Biltmore project will provide a planned restaurant of 10,300 square feet (inclusive of outdoor patio space) that will reconfigure a bulk of the existing office building with a new façade, outdoor spaces and landscaping. Note that the plan will keep the approximately 5,000 SF office currently utilized for banking purposes as-is (cumulatively the “Project”).

The primary goal of the Project is to provide a modern, upscale restaurant that updates the existing structure and maintains the existing bank branch while enhancing the visual quality of the 32nd & Camelback area. The Camelback Road corridor is known for a number of upscale dining options and the Project will contribute to that precedent while refreshing an outdated building, improving the built environment along this heavily utilized major arterial corridor while addressing the decrease in office demand in non-core areas.



Due to the adaptive reuse nature of the Project and the existing conditions of the structure on-site, Joey’s proposes a rezoning of the Property from its current C-O Commercial Office – Restricted Commercial (“C-O”) to Planned Unit Development (“PUD”). The PUD zoning district will allow Joey’s to establish tailored development standards to address existing current build environment features while providing an opportunity to add appropriate limitations specific to this Project and to the property that ensure the Project accomplishes the goals herein.

The Project's design proposes a sophisticated modern appearance that enhances the architectural character of the surrounding area while incorporating a "midcentury modern" design vernacular. Featuring clean lines, contemporary colors, significant amounts of glazing, and an emphasis on high-quality materials, the building offers a sleek and modern silhouette that complements the surrounding area, which features a wide range of architectural styles from both today and prior eras:



The current building is a typical 1980's glass box design, which benefits from the large older trees that break up its appearance from Camelback Road:



By removing the glass walls and reimaging the roofline, the new design provides for an open transparent feeling that welcomes the public in versus the existing mirrored glass. The new modern design will showcase the elegance of the interior and artwork within the walls of the building.

Reflecting today's modern design vernacular, the proposed building redesign is composed of a simple, modern form and a low, horizontal roofline, establishing a strong physical and visual connection to the surrounding environment. The design emphasizes a seamless relationship between interior and exterior spaces through the use of full-height glazing, natural materials, and a courtyard-style patio that integrates with a carefully landscaped site. These elements together create a warm, welcoming atmosphere that reflects both hospitality and contextual sensitivity.

The primary dining and lounge areas are oriented toward existing mature trees along Camelback Road and 31st Street, maximizing views and natural light while maintaining privacy and comfort for guests. A recessed patio off 31st Street forms a protected courtyard offering both acoustical and environmental comfort for guests (as well as strategically located to avoid noise/light intrusion to the neighborhood to the south). The east-facing side of the patio incorporates a screening element to mitigate wind and temperature extremes, ensuring guest comfort while maximizing the outdoor experience that is desired by Phoenixians.

Behind the transparent public-facing façade, a solid volume finished in warm cream stone contrasts with the glazed elevations. This massing discreetly contains all back-of-house operations and fully screens rooftop mechanical equipment within an integrated raised parapet, ensuring a clean architectural profile.

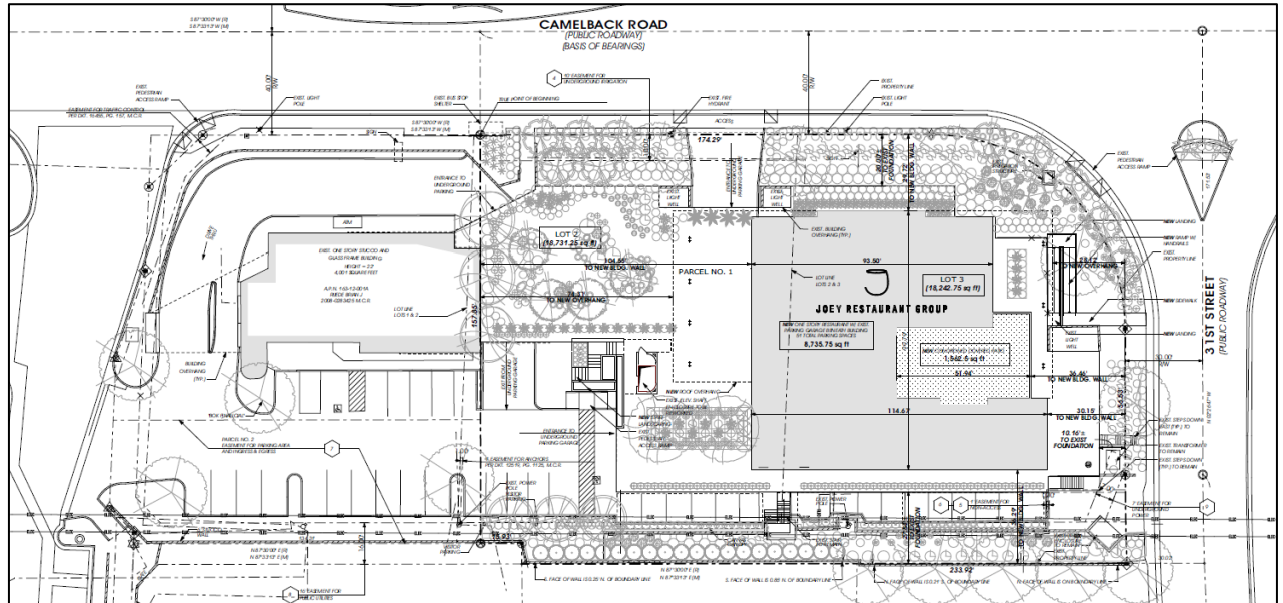


Guest arrival is elevated through a thoughtfully designed entry experience, beginning at the lower parking podium. Patrons ascend via a grand staircase or via the integrated elevator into a welcoming entry plaza, where the architectural façade invites them into the space. This transition leads guests into the main hospitality space, where they are welcomed and directed to the lounge, dining room, patio, or a private dining area. A glass-enclosed showcase kitchen offers visual access to culinary activity, reinforcing transparency and engagement with the preparation process.

Throughout the interior and exterior, a palette of sophisticated, neutral materials supports a timeless and inviting atmosphere. Rich walnut, natural stone, leather, and bronze metal accents throughout the interior lend warmth and texture, while curated landscaping ties together the indoor and outdoor environments, enhancing the overall guest experience. Landscape design extends throughout the patio and around the building perimeter, softening the structure and contributing to passive cooling, shading, and environmental integration.

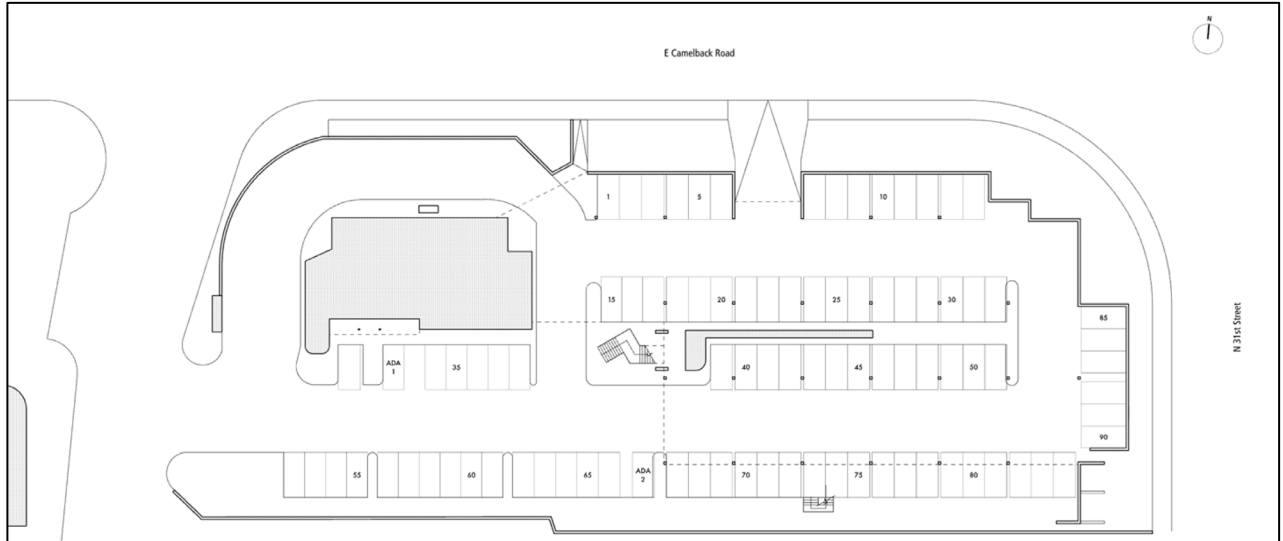
In summary, the proposed design (both exterior and interior) thoughtfully balances modern architectural expression with contextual sensitivity and reflects modern desert dining at its best.





The conceptual site plan provided herein illustrates the proposed site design, subject to modifications that are consistent with the provisions of this PUD as the Project is processed through the City's site plan and building permit approval processes.

The following provides an overview of the conceptual site plan provided with this PUD:



Lower Level (Level 0) of the podium structure consists of an office building with a drive-through, surface parking, and below building (or "podium" style) parking.

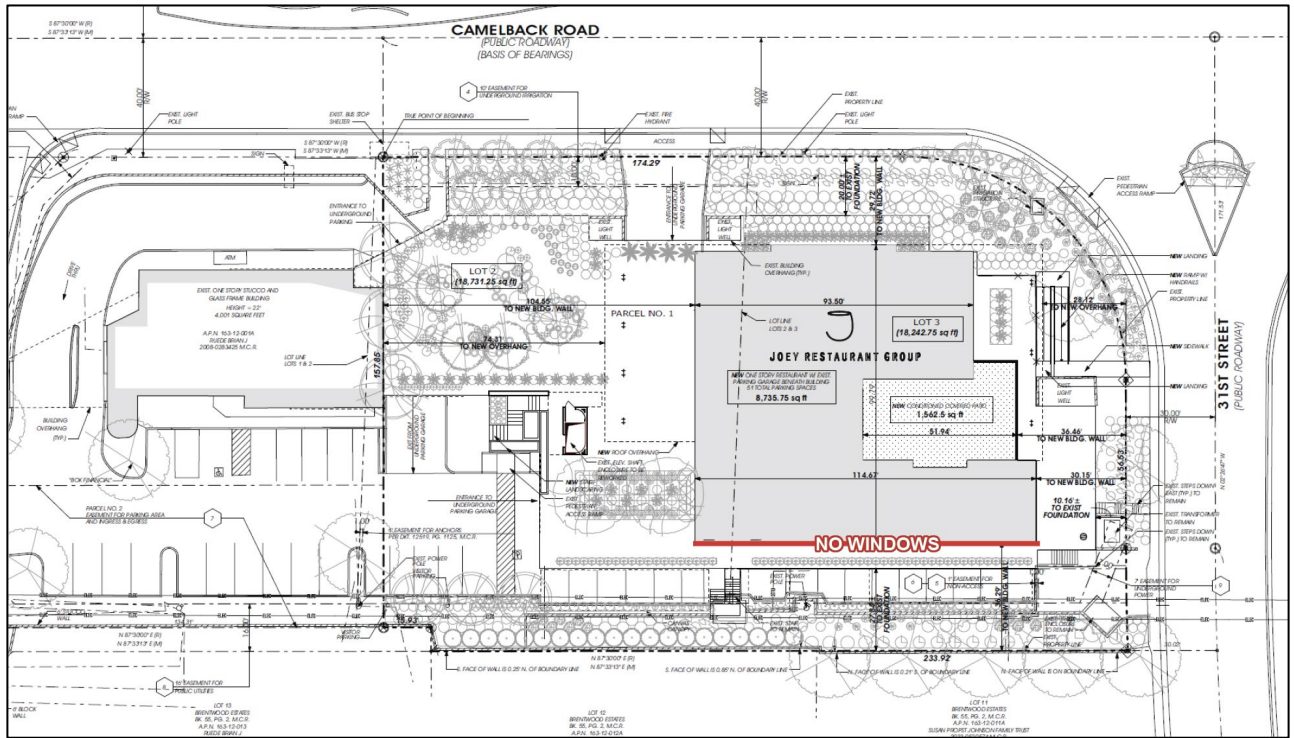


Ground Level (Level 1) is the location of primary building access, patio areas, service areas, restaurant space, and office space.

Site access occurs at existing driveways located on Camelback Road (north) and via a private driveway (west). No vehicular access into the Site is provided nor proposed from 31st Street. Parking areas are screened from public street view via building mass, architectural screen walls and live vegetation.

While the existing landscaping setbacks are retained, additional enhancements to the landscaping design are proposed to add additional visual buffering to the rear of the property, enhanced landscaping along Camelback and 31st Street as well as retention of key mature trees (to the extent practicable).

With the change of use, the design of the new restaurant is purposefully done to place “back of house” in a blocking condition, with no windows along the south property line to have the building mass act as a block to any excess noise from the use. In addition, the new design will provide additional screening of mechanical equipment and will reduce visual and audible impacts to the neighborhood to the south. The design purposefully places active uses in a location nearer to public rights of way and the building design incorporates screening, access and other functional features to buffer nearby properties as more detailed in the development and design standards herein.



In summary, while constrained by the adaptive reuse nature of the Site, which compels retention of existing site features including driveway locations, the design team has utilized a Camelback forward design to the new spaces that will provide a new modern look to Camelback Road while providing building mass and space planning that will minimize impacts from the use to the residential neighborhood located south of the Site.

C. LIST OF USES

The Zoning Administrator may issue interpretations for land uses that are analogous to those listed in Section C, as authorized by Zoning Ordinance Section 307.A.3.

C1: Permitted Uses

- C-O uses as permitted by Section 623 of the City of Phoenix Zoning Ordinance, in addition to the following:
 - Restaurants, subject to the following conditions or limitations:
 - Vehicular access shall be permitted only from (i) the private drive to the west and/or (ii) an arterial roadway (Camelback Road).
 - Outdoor dining shall not be located within forty (40) feet of a single-family zoned district and shall be separated by building mass of no less than 25 feet in depth.
 - Maximum interior floor area of the restaurant not to exceed 5,500 square feet and any outdoor patio space shall not exceed 1,800 square feet.¹
 - Windows are prohibited along the south façade as shown on Exhibit 7.

C2: Temporary Uses

- All temporary uses shall comply with Section 708 of the City of Phoenix Zoning Ordinance.

C3: Prohibited Uses

The following land uses are not permitted:

- All Special Permit uses otherwise permitted in the C-O Zoning District are prohibited.
- Adult Day Care Center
- Veterinary Offices
- Volunteer community blood center qualifying by law as a nonprofit entity
- Copying and reproduction center
- Radio, television broadcasting stations and sound laboratories without live performances

¹ Exclusive of kitchen, restrooms, storage etc.

D. DEVELOPMENT STANDARDS

The following development standards apply to any development of the property.

D1: Development Standards

D1: Development Standards	
a. Minimum Lot Width/Depth	No Minimum
b. Building Setbacks (Minimum)	
North (Camelback Road)	20' ²
East (31 st Street)	10'
South	25' ³
West	5'
c. Building Height (Maximum)	25'
d. Lot Coverage (Maximum)	Up to 50% of Total Net Site Area

D2: Landscape Standards

D2: Landscape Standards	
a. Landscape Requirements	
North (Camelback Road)	20' Minimum 5' permitted for up to 40% of the frontage
East (31 st Street)	10'
South	10' (Average)
West	5'
b. Landscape Requirements Adjacent to Camelback Road (North Property Line)	<p><u>Landscape:</u> 50% 2-inch caliper trees; 50% 3-inch caliper trees; planted 20' on center or in equivalent groupings, except for within driveways or sidewalks and excludes any areas where existing or proposed easements restrict tree plantings.</p> <p>Five (5) 5-gallon drought-resistant shrubs per tree.</p> <p>Any open area not improved, hardscaped, or required for conveyance of drainage shall include landscaping materials at a minimum of 75% living Groundcover.</p> <p><u>Utility Conflict Resolution:</u> Where utility conflicts exist, the developer shall work with the Planning and Development Department on alternative design solutions consistent with a pedestrian environment.</p>
c. Landscape Requirements Adjacent to 31st Street (East Property Line)	<p><u>Landscape:</u> 50% 2-inch caliper trees; 50% 3-inch caliper trees; planted 20' on center or in equivalent groupings, except for within driveways or sidewalks and excludes any areas where existing or proposed easements restrict tree plantings.</p>

² Existing drive-through lanes shall be permitted to encroach into the building setback. At time of complete redevelopment of site, encroachment shall no longer be permitted.

³ Parking canopies for sound reduction may encroach into the required setback up to 15'.

	<p>Five (5) 5-gallon drought-resistant shrubs per tree.</p> <p>Any open area not improved, hardscaped, or required for conveyance of drainage shall include landscaping materials at a minimum of 75% living Groundcover.</p> <p><u>Utility Conflict Resolution:</u> Where utility conflicts exist, the developer shall work with the Planning and Development Department on alternative design solutions consistent with a pedestrian environment.</p>
d. Landscape Requirements Adjacent to South Perimeter Property Line	<p><u>Landscape:</u> 100% 2-inch Caliper Trees (or greater) planted 25' on center or in equivalent groupings, except for within driveways or sidewalks and excludes any area (i) along fire lane where landscape area is not able to support trees and (ii) where any existing or proposed easement restrict tree plantings.</p> <p>Five (5) 5-gallon drought-resistant shrubs per tree.</p> <p>Any open area not improved, hardscaped, or required for conveyance of drainage shall include landscaping materials at a minimum of 75% living Groundcover.</p> <p><u>Utility Conflict Resolution:</u> Where utility conflicts exist, the developer shall work with the Planning and Development Department on alternative design solutions.</p>
e. Landscape Requirements Adjacent to West Perimeter Property Line	<p>Five (5) 5-gallon drought-resistant shrubs per 20 linear feet or similar grouping.</p> <p>Any open area not improved, hardscaped, or required for conveyance of drainage shall include landscaping materials at a minimum of 50% living Groundcover.</p> <p><u>Utility Conflict Resolution:</u> Where utility conflicts exist, the developer shall work with the Planning and Development Department on alternative design solutions.</p>
f. Plant Palette	<p>Only landscape materials listed in the Phoenix Active Management Area Low-Water-Use/Drought-Tolerant Plant List shall be utilized (except for courtyard/entry areas), as approved or modified by the Planning and Development Department. Existing trees (not listed in the Phoenix Active Management Area Low-Water-Use/Drought-Tolerant Plant List) shall be permitted to remain and replaced.</p>
g. Tree Salvage	<p>Development should minimize the removal of existing, non-native healthy plants (trees 4" caliper in diameter) or greater) and cacti (6' high or greater). If relocation is necessary and possible, mature trees should be salvaged and utilized on site.</p>

D3: Streetscape Standards

D3: Streetscape Standards ⁴	
a. Camelback Road	<p><u>Sidewalk (detached)</u>: 6' minimum width.</p> <p><u>Landscape Strip</u>: 10' minimum located between back of curb and sidewalk.</p> <p><u>Planting Standards</u>: The landscape strip shall be landscaped with minimum 2 to 3" caliper single-trunk, drought tolerant shade-trees to be planted 25' on center or in equivalent groupings. A minimum of five (5) 5-gallon drought-resistant shrubs or accent plants per tree. Landscape planters shall be planted to achieve a minimum of 50% total live vegetative groundcover.</p> <p><u>Sidewalk Tree Shade Coverage</u>: 50%, except areas where utilities, easements, and/or other required infrastructure and/or services that prevent installation of landscaping as are exempt for 50% coverage requirement.</p>
b. 31 st Street	<p><u>Sidewalk (detached)</u>: 6' minimum width.</p> <p><u>Landscape Strip</u>: 5' minimum located between back of curb and sidewalk.</p> <p><u>Planting Standards</u>: The landscape strip shall be landscaped with minimum 2 to 3" caliper single-trunk, drought tolerant shade-trees to be planted 25' on center or in equivalent groupings. A minimum of five (5) 5-gallon drought-resistant shrubs or accent plants per tree. Landscape planters shall be planted to achieve a minimum of 50% total live vegetative groundcover.</p> <p><u>Sidewalk Tree Shade Coverage</u>: 50%, except areas where utilities, easements, and/or other required infrastructure and/or services that prevent installation of landscaping as are exempt for 50% coverage requirement.</p>

D4: Parking

D4: Parking Standards	
a. Minimum Vehicle Parking Standards	
Restaurant	1 space per 105 SF of total building square footage, inclusive of patio space ⁵
Existing Bank Branch	11 spaces reserved out of total required Monday through Friday, 8AM to 5PM (not included in required total, shared only)
Other C-O Uses	Per Ordinance Section 702
b. Parking Location, Automotive	Parking spaces may consist of structured garage parking or open surface parking. See Sections E1.g and E1.h for parking screening requirements. Ordinance Sections 702.B.2.a.(2) and 702.B.2.b.(5) shall not apply.

⁴ Streetscape standards shall only apply to complete demolition and redevelopment of property and not adaptive reuse/ minor modifications to the property. Until such time as mentioned prior, existing attached sidewalks may remain.

⁵ Inclusive of kitchen, restrooms, storage, etc.

c. Parking Stall Dimensions	Minimum parking stall dimensions shall be as follows: <ul style="list-style-type: none"> • Within Parking Garage: 8'-6" x 18'-0" • Surface Parking Lot: 8'-6" x 15'-6" with 2'-6" overhang and/or 8'-6" x 18'-0" • Tandem: Minimum of eight and one-half (8 1/2) feet by eighteen (18) feet for each parking space.
d. Tandem Parking⁶	Permitted if utilized for (i) employee parking and/or (ii) valet; parking space dimension shall measure a minimum of eight and one-half (8 1/2) feet by eighteen (18) feet for each parking space.
e. Parking, Bicycle	One bicycle space per 20 vehicle parking spaces on-site, with a maximum of 25 spaces

D5: Fences/Walls

All fences and walls shall comply with Ordinance Section 703.

All Site fences and walls shall use materials and decorative accents, so the fences and walls complement or are compatible with the design of the primary building.

D6: Shade

D6: Shade	
a. General Shade Requirements	Shade shall be calculated at tree maturity and at summer solstice at noon. A shade study shall be submitted for review and approval by the Planning and Development Department.
b. Public and Private Sidewalks, Public and Private Walkways⁷	Minimum 50% shade coverage.
c. Private Sidewalks & Private Walkways	Minimum 50% shade coverage.

Utility Conflict Resolution: Where utility and/or easement conflicts exist, the developer shall work with the Planning and Development Department on alternative design solutions consistent with a pedestrian environment.

D7: Lighting Plan

All lighting will be consistent with the standards of Section 704, Section 507.Tab A.II.A.8, and Section 23-100 of the Phoenix Zoning Ordinance and City Code.

Pedestrian lighting to be provided along private sidewalks to comply with the standards of Section 1304.D and Section 1304.H.5.

All lighting directly adjacent to single-family residences shall be shielded to prevent light spillover.

⁶ Tandem spaces may be counted as 2 parking spaces.

⁷ At time of complete demolition and redevelopment of property and not adaptive reuse/ minor modifications to the property public sidewalks/walkways shall have minimum 75% shade coverage

E. DESIGN GUIDELINES

E1: Design Guidelines

The following design guidelines shall apply to any commercial development. Those standards not addressed herein, shall comply with Ordinance Section 507 Tab A:

E1. Design Guidelines	
a. Exterior Materials	<p>The building façades shall include:</p> <ul style="list-style-type: none"> • Minimum 30% glazing • Minimum 20% brick • Maximum 50% other materials (from list below) <p>Other materials utilized (at least two):</p> <ul style="list-style-type: none"> • Masonry • Non-reflective coated Metal • Decorative wrought iron railing • Wood • EIFS • Simulated wood • Composite paneling • Metal Panels • Metal • Wood Textured Aluminum • Flagstone • Concrete • Aluminum • Tile
b. Façade Restrictions	Blank walls shall not exceed 50' without a variation in texture, material, color, or building fenestration.
c. Color Palette	A balanced, urban commercial palette that combines warmth and neutral hues for a sophisticated and modern feel.
d. Screen Walls	Screen walls shall utilize architectural detailing, materials, and colors consistent with or complementary to the building façade.
e. Structured Parking Screening	The structured parking garage shall be fully screened from the public right-of-way and adjacent neighborhoods by vegetation and/or architecturally integrated facade.
f. Surface Parking Screening	All surface parking shall be buffered from direct view of public right-of-way and adjacent neighborhoods through architectural or vegetative screening.
g. Pedestrian Circulation	All on-site and off-site pedestrian pathways that cross over driveway entrances and parking lot surfaces shall feature enhanced materials, such as stamped or colored concrete, bricks, or other pavement treatments, that visually contrast with the adjacent parking and drive aisle surfaces shall be provided to delineate all areas where pedestrian paths cross drive aisles and parking fields.

E2: Landscape Design Guidelines

E2. Landscape Design Guidelines	
a. Uniform Streetscape Design (Camelback Road)	<p>The perimeter property lines will provide a shade canopy of street trees and colorful mix of shrubs, accents, and groundcover. At minimum, this landscape will be comprised of:</p> <ul style="list-style-type: none"> • Trees planted a minimum of 20' on center, or equivalent groupings. A minimum of five (5) 5-gallon drought-resistant shrubs or accent plants per tree. • Three (3) different shrub species • Two (2) different accent species • Three (3) different groundcover species • Minimum 75% live ground coverage • A minimum of 10% of the required shrubs, shall be a milkweed or other native nectar species, and shall be planted in groups of three or more, as approved by the Planning and Development Department. <p><u>Utility Conflict Resolution:</u> Where utility conflicts exist the developer shall work with the Planning and Development Department on alternative design solutions consistent with a pedestrian environment.</p>
b. Uniform Streetscape Design (31st Street)	<p>The perimeter property lines will provide a shade canopy of street trees and colorful mix of shrubs, accents, and groundcover. At minimum, this landscape will be comprised of:</p> <ul style="list-style-type: none"> • Trees planted a minimum of 20' on center, or equivalent groupings. A minimum of five (5) 5-gallon drought-resistant shrubs or accent plants per tree. • Three (3) different shrub species • Two (2) different accent species • Three (3) different groundcover species • Minimum 75% live ground coverage • A minimum of 10% of the required shrubs, shall be a milkweed or other native nectar species, and shall be planted in groups of three or more, as approved by the Planning and Development Department. <p><u>Utility Conflict Resolution:</u> Where utility conflicts exist the developer shall work with the Planning and Development Department on alternative design solutions consistent with a pedestrian environment.</p>
c. Uniform Interior Perimeter (South Property Line) Design	<p>The interior perimeter (South) property line will provide large canopy, drought tolerant shade trees and colorful mix of shrubs, accents, and groundcover. At minimum, this landscape will be comprised of:</p> <ul style="list-style-type: none"> • Trees shall be planted a minimum of 25' on center, or equivalent groupings. A minimum of five (5) 5-gallon drought-resistant shrubs or accent plants per tree. • Minimum three (3) different shrub species • Minimum two (2) different accent species

	<ul style="list-style-type: none"> • Minimum three (3) different groundcover species • Drought tolerant shrubs, accents, and vegetative ground covers to achieve a minimum 75% live coverage at maturity. • A minimum of 10% of the required shrubs, shall be a milkweed or other native nectar species, and shall be planted in groups of three or more, as approved by the Planning and Development Department. <p><u>Utility Conflict Resolution:</u> Where utility conflicts exist the developer shall work with the Planning and Development Department on alternative design solutions consistent with a pedestrian environment.</p>
d. Uniform Interior Perimeter (West Property Line) Design	<p>The interior perimeter (West) property line will provide a colorful mix of shrubs, accents, and groundcover. At minimum, this landscape will be comprised of:</p> <ul style="list-style-type: none"> • Five (5) 5-gallon drought-resistant shrubs per 20 linear feet or similar grouping. • Minimum three (3) different shrub species • Minimum two (2) different accent species • Minimum three (3) different groundcover species • Drought tolerant shrubs, accents, and vegetative ground covers to achieve a minimum 75% live coverage at maturity. • A minimum of 10% of the required shrubs, shall be a milkweed or other native nectar species, and shall be planted in groups of three or more, as approved by the Planning and Development Department. <p>Any open area not improved, hardscaped, or required for conveyance of drainage shall include landscaping materials at a minimum of 75% living Groundcover.</p> <p><u>Utility Conflict Resolution:</u> Where utility conflicts exist, the developer shall work with the Planning and Development Department on alternative design solutions consistent with a pedestrian environment.</p>
e. Landscape Irrigation	<p>Landscaping shall be maintained by permanent and automatic/water efficient WaterSense⁸ labeled irrigation controllers (or similar smart controller) to minimize maintenance and irrigation water consumption for all on and offsite landscape irrigation.</p> <p>Pressure regulating sprinkler heads and drip lines shall be utilized in any turf areas to reduce water waste.</p> <p>A leak detection device shall be installed for the irrigation system in landscape areas greater than 10,000 square feet.</p>

⁸ <https://www.epa.gov/watersense/watersense-labeled-controllers>

	A landscape irrigation plan shall be provided that includes zones to establish the amount of irrigation to apply based on maturity and type of landscaping. Irrigation should be applied efficiently based on the maturity and need for the vegetation.
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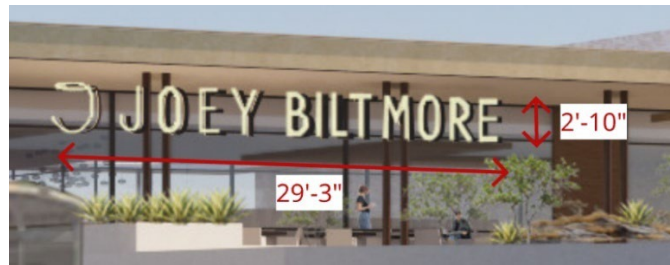
F. SIGNS

F1: Permitted Signs

Signage shall comply with Section 705 of the Zoning Ordinance except as modified below.

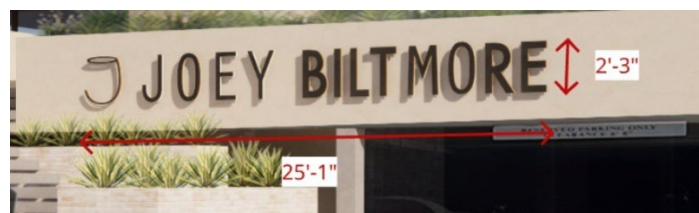
a. East & West Sides - Awning Suspended Signage

One (1) per elevation, canopy suspended, face lit sign. 4" deep, gold/bronze powder-coated aluminum channel letters with white acrylic face at a size of 3' high x 30' long.



b. North & West Monument Signage:

One (1) per façade, face mounted halo-lit illuminated sign. 4" deep, gold/bronze powder-coated aluminum letters on stand offs at a size of 2'-6" high x 25'-6".



No signage shall be placed on the southern façade of the building.

G. SUSTAINABILITY

G1: City Enforced Standards

The following are standards that are measurable and enforceable by the City and will be incorporated within the development:

- As encouraged by Reimagine Phoenix, recycling receptacles will be provided.
- Dual Glaze Windows with High Performance Low-e Glazing.
- All landscape and exterior building lighting will be LED lighting.
- Provide water efficient landscaping (drought tolerant plants).
- Utilize a drip irrigation system with a 'smart' controller to minimize water waste.

G2: Developer Enforced Standards

The following are sustainability practices that are highly encouraged and planned to be utilized but which are not enforceable by the City:

- Utilize low water usage plumbing fixtures.
- Encourage the design of buildings' HVAC systems to eliminate the usage of CFC's and CFC based refrigerants.
- Encourage the use of water-based adhesives on all VCT and vinyl flooring to minimize VOC off gassing.
- Lower flow toilets.
- Energy Star Rated appliances.
- Reduce heat island effect through ample open space, desert adapted landscaping and vegetation to include, shrubs etc.
- Recycling services will be provided.
- Consider use of grey water or condensate to supplement potable irrigation water.

H. INFRASTRUCTURE

H1: Grading and Drainage

The property is currently developed with an office building (bank with a drive-through and office space). The proposed adaptive reuse of the office portion of the site (with a restaurant) will not modify the existing grading and drainage previously approved and built on the site. Any grading/drainage work on-site shall confirm to City requirements.

H2: Water and Wastewater

The property will utilize existing water and wastewater connections in Camelback Road and 31st Street. Main extensions and upsizing will not be required. Existing irrigation facilities are permitted to remain in existing location. At time of future redevelopment (demolition and rebuild) of the entire property, said irrigation facilities shall be undergrounded and relocated outside of City right-of-way.

H3: Circulation Systems

Access to the site will be provided through the two (2) existing access points along Camelback Road. Internal circulation is accommodated with access to both driveways via internal movement. According to the traffic impact statement that was conducted for the project, it was determined that the proposed use of the Site would generate 892 weekday trips with 7 trips (5 in/2 out) during the AM peak hour and 96 trips (64 in/32 out) during the PM peak hour.

No vehicular access into the parking/circulation areas is proposed from 31st Street.

The City of Phoenix Complete Streets Design Guidelines include a number of suggestions for new development, some of which are applicable to this project:

- *Streets should be designed to promote safety for all users, particularly children, the elderly, those with disabilities, transit users, and more vulnerable modes (walking, bicycling, transit).* Existing attached sidewalks along Camelback Road and 31st Street will be maintained. At a later date when the site is redeveloped, detached sidewalks will be provided along Camelback Road and 31st Street which will help increase perceived and real pedestrian safety, contributing to a sense of comfort for travelers on foot. See **Section E1.i:** “All on-site and off-site pedestrian pathways that cross over driveway entrances and parking lot surfaces shall feature enhanced surfacing materials, such as stamped or colored concrete, bricks or other pavement treatments, that visually contrast with the adjacent parking and drive aisle surfaces shall be provided to delineate all areas where pedestrian paths cross drive aisles and parking fields.” Contrasting materials at pedestrian points of access/travel create a visual reminder for vehicle operators to check for pedestrian traffic, thereby promoting safety and eliminating modal conflicts.
- *Shade should be a primary technique in projects to reduce ambient temperatures and reduce direct sunlight exposure for pedestrians and cyclists.* See **Section D5: Shade**, “Shading, which may be architectural, vegetative or any combination thereof, shall be provided...” at a minimum of 50% for all public sidewalks and 50% for all private sidewalks.
- *Streets should be designed to expand the availability of public seating and bicycle racks.* See **Section D4.e: Bicycle Parking**, “one bicycle space per 20 vehicle parking spaces, with a maximum of 25 spaces” and **Section D4.e: Parking Location, Bicycle**.
- Bicycle parking areas be installed in conformance with Section 1307.H, except as follows: (i) Inverted-U style bicycle racks or artistic style racks consistent with the City of Phoenix preferred designs (see Comprehensive Bicycle Master Plan, Appendix K) shall be provided.”

I. COMPARATIVE ZONING STANDARDS

I: Comparative Zoning Standards Table

Standards	C-O Standards	Proposed PUD Standards
a. Building Setbacks		
North (Camelback Road):	20'	20'
East (31st Street):	5'	10'
South:	15'	25'
West:	5'	5'
b. Landscape Setbacks		
North (Camelback Road):	20'	20'
East (31st Street):	5'	10'
South:	15'	10' (Average)
West:	5'	5'
c. Maximum Building Height	56'	25'
d. Maximum Lot Coverage	50%	50%

J. LEGAL DESCRIPTION

J. Legal Description

APN 163-14-072

Per Deed Recorded at Maricopa County Recorder, Document #2008028425

Parcel No. 1:

Portions of Lots 1 and 2, of Brentwood Estates, according to the plat of record in the office of the County Recorder of Maricopa County, Arizona, recorded Book 55 of Maps, Page 2, a subdivision of part of the Northeast quarter of the Northeast quarter of Section 23, Township 2 North, Range 3 East, of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, and more particularly described as follows:

Beginning at the Northeast corner of said Section 23;

Thence South 87 Degrees 30 Minutes 00 Seconds West along the North line of said Section 23, a distance of 1179.29 feet to a point;

Thence South 02 Degrees 30 Minutes 00 Seconds East, a distance of 40.00 feet to a point on the South right of way line of Camel back Road, said point also being the True Point of Beginning;

Thence continuing South 02 Degrees 30 Minutes 00 Seconds East, a distance of 84.00 feet to a point on the East wall of Building A, said point hereinafter being referred to as Point A- I;

Thence continuing South 02 Degrees 30 Minutes 00 Seconds East, a distance of 73.85 feet to a point;

Thence South 87 Degrees 30 Minutes 00 Seconds West, a distance of 134.31 feet to a point;

Thence North 00 Degrees 00 Minutes 30 Seconds West, a distance of 4.25 feet to a point;

Thence North 47 Degrees 30 Minutes 00 Seconds West, a distance of 13.56 feet to a point;

Thence North 00 Degrees 00 Minutes 30 Seconds West, a distance of 58.04 feet to a point;

Thence North 16 Degrees 15 Minutes 43 Seconds East, a distance of 35.69 feet to a point;

Thence North 00 Degrees 00 Minutes 30 Seconds West, a distance of 32.29 feet;

Thence North 43 Degrees 44 Minutes 45 Seconds East, a distance of 28.89 feet to a point on the South right of way line of Camelback Road;

Thence North 87 Degrees 30 Minutes 00 Seconds East along said South right of way line, a distance of 107.44 feet to the True Point of Beginning.

Parcel No. 2

A perpetual non-exclusive easement for parking purposes and ingress and egress as granted by instrument recorded August 25, 1983 as 1983-34234 7 of official records and re-recorded July 31, 1987 as 1987-0486348 of official records; first amendment recorded September 18, 1995 as 1995-564656 of official records and second amendment recorded August 6, 2001 as 2001-717104 of official records and re-recorded September 7, 2001 as 2001-827514 of official records.

APN 163-12-003B

Per Deed Recorded at Maricopa County Recorder, Document #20060985722

Parcel No. 1:

Portions of Lots 2 and 3, BRENTWOOD ESTA TES, a subdivision of part of the Northeast quarter of the Northeast quarter of Section 23, Township 2 North, Range 3 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, more particularly described as follows:

BEGINNING at the Northeast corner of said Section 23;

THENCE South 87 degrees 30 minutes 00 seconds West along the North line of Section 23, a distance of 1179.29 feet to a point;

THENCE South 02 degrees 30 minutes 00 seconds East, a distance of 40.00 feet to a point on the South right-of-way line of Camelback Road, said point also being the TRUE POINT OF BEGINNING;

THENCE continuing South 02 degrees 30 minutes 00 seconds East, a distance of 15 7 .85 feet to a point;

THENCE North 87 degrees 30 minutes 00 seconds East, a distance of 15.93 feet to a point;

THENCE South 02 degrees 30 minutes 00 seconds East, a distance of 8.00 feet to a point;

THENCE North 87 degrees 30 minutes 00 seconds East, a distance of 233.93 feet to a point on the West right of way line of 31st Street;

THENCE Northerly along a curve concave to the East, having a radius of 1051 .17 feet and whose center bears North 85 degrees 37 minutes 44 seconds East, and through a central angle of 01 degrees 52 minutes 16 seconds and an arc distance of 34.33 feet to a point of tangency;

THENCE North 02 degrees 30 minutes 00 seconds West, a distance of 56 .53 feet to the point of curvature of a curve concave to the West and having a radius of 75.00 feet;

THENCE Northwesterly along said curve through a central angle of 90 degrees 00 minutes 00 seconds, an arc distance of 11 7 .81 feet to a point of tangency and a point on the South right of way line of Camelback Road;

THENCE South 87 degrees 30 minutes 00 seconds West along said right of way, a distance of 174.29 feet to the TRUE POINT OF BEGINNING.

Parcel No. 2:

A perpetual non-exclusive easement for parking and vehicular ingress and egress, as created in Paragraph 1; and thereafter described in Exhibit 'C' of the Perpetual Non-Exclusive Easement Agreement recorded August 25, 1983 in Instrument No. 83-342347 and re-recorded July 31, 198 7 in Instrument No. 8 7-486348; and thereafter First Amendment recorded September 18, 1995 in Instrument No. 95-0564656; and thereafter Second Amendment recorded August 6, 2001 in Instrument No. 20010717104 and re-recorded September 7, 2001 in Instrument No. 20010827514.

Exhibit 1



**SNELL
& WILMER**

1 East Washington Street, Suite 2700, Phoenix, AZ 85004



Site Aerial

3021 E Camelback Rd

September 2025

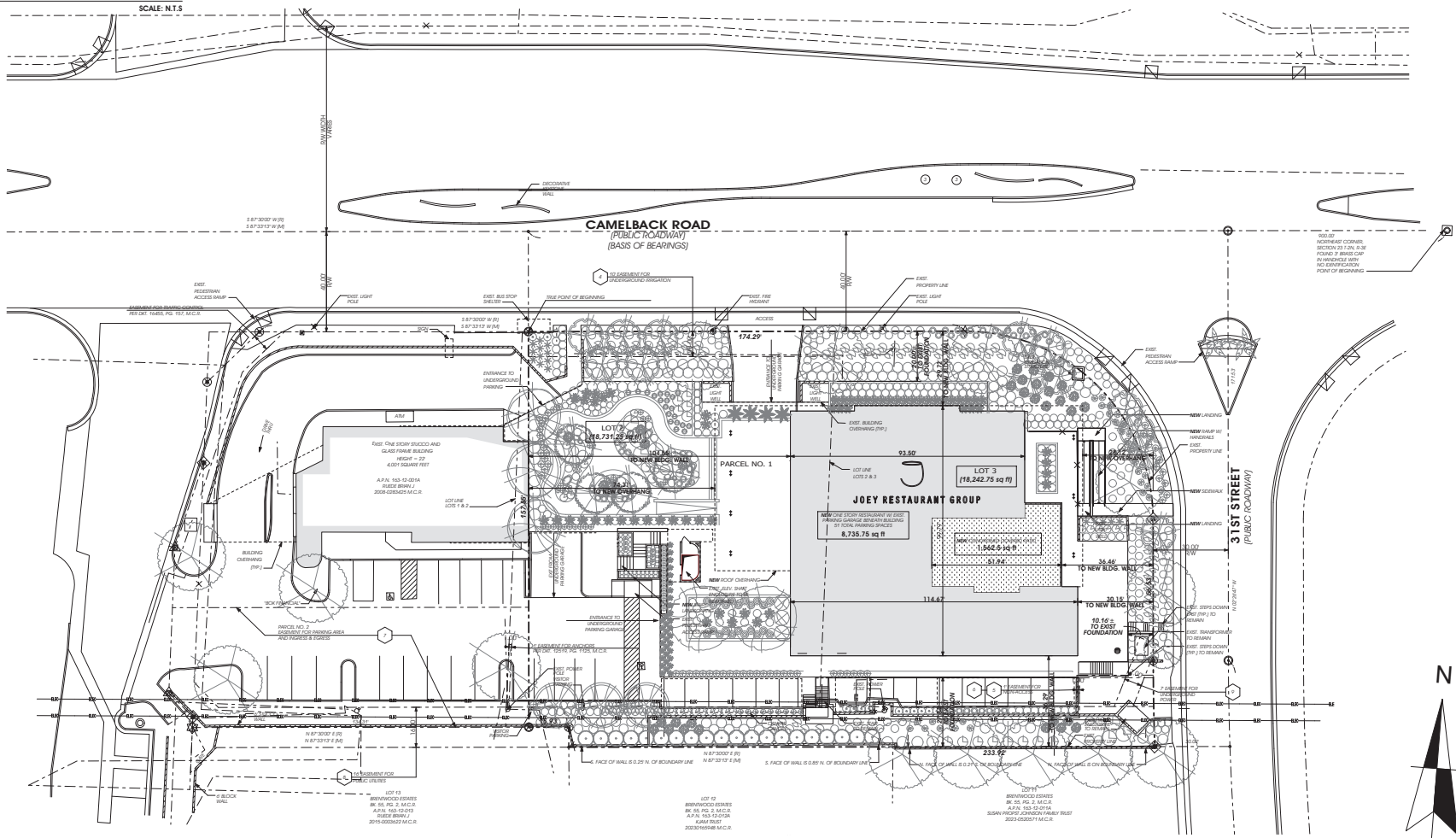
Exhibit 2



PROJECT LOCATION



VICINITY MAP



1 SITE PLAN

SCALE: 1"=20'-0"

PUD Section D4:

Bank: 11 Reserved spaces M-F 8A/5P (Included in Restaurant Total)
Restaurant: 96 spaces, shared parking with Bank
Ratio: 1 space per 105 SF of total building square footage

Total Required: 94 spaces
Total Provided: 96 spaces

Existing Zoning: C-O (Commercial Office District)
Proposed Zoning: PUD (Planned Unit Development)

Existing Use: Bank & Professional Office
Proposed Use: Bank & Restaurant

Proposed Building Height: 20'-0"

Building Setbacks:
North (Camelback Road): 20'-0"
South: 27'-0"
East (31st Street): 10'-0"
West: 5'-0"

EXISTING ALTA / NSPS LAND TITLE SURVEY
PREPARED BY SUPERIOR SURVEYING
SERVICES, INC. (PROVIDED SEPARATELY)

PLEASE REFER TO PLANTING EXHIBIT &
PLANT MATERIAL LEGEND PROVIDED BY
ABLA STUDIO (PROVIDED SEPARATELY)



JOEY RESTAURANT GROUP

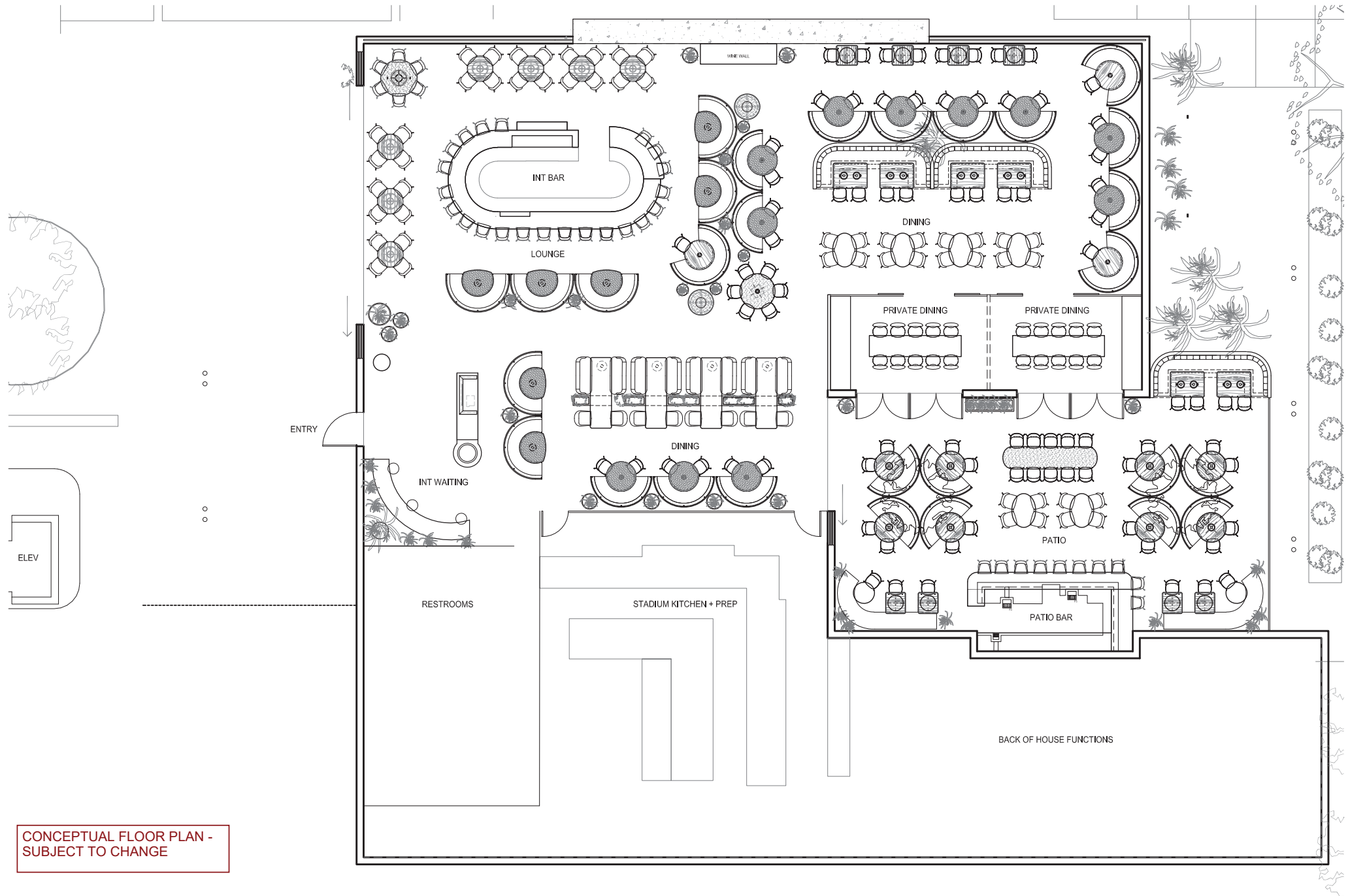
JOEY PHOENIX
3001 EAST CAMELBACK
RD. PHOENIX, AZ 85016

JOEY RESTAURANT GROUP

DATE	USER	REVISION
1	2/2/2020	RE: NOT TO BE BUILT

CONCEPTUAL SITE PLAN
DATE: 2/2/2020
SCALE: 1"=20'-0"
PROJECT: JOEY PHOENIX
CLIENT: JOEY RESTAURANT GROUP
DESIGNER: SUPERIOR SURVEYING SERVICES, INC.
PROJECT NUMBER: CSP1.0

Exhibit 3



CONCEPTUAL FLOOR PLAN -
SUBJECT TO CHANGE

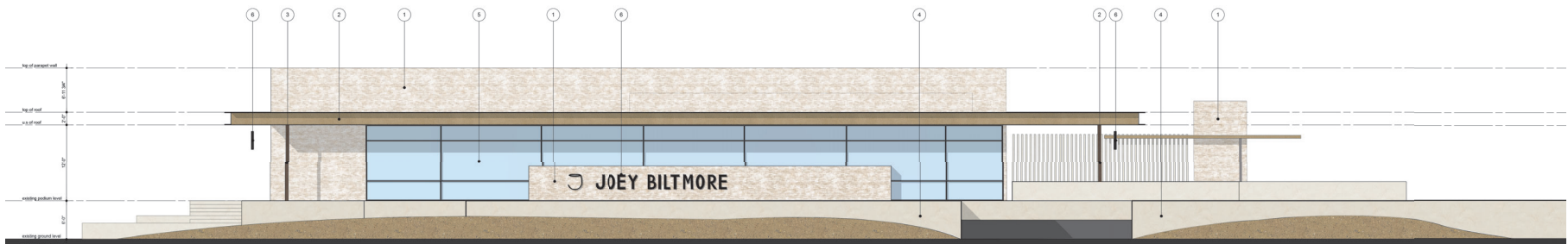
Exhibit 4

REFER TO SHEET CEL1.1 FOR MATERIAL LEGEND

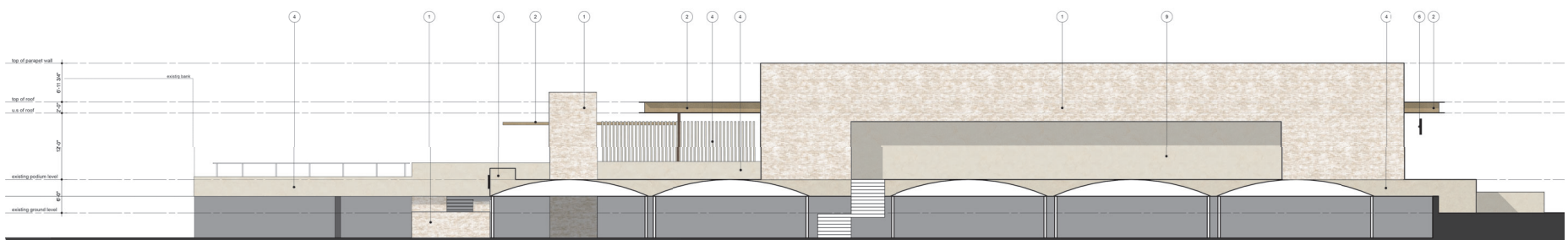
CONCEPTUAL EXTERIOR ELEVATIONS HAVE BEEN
PREPARED BY CAMPOS STUDIO



EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



JOEY RESTAURANT GROUP

JOEY PHOENIX
3001 EAST CAMELBACK
RD. PHOENIX, AZ 85016

JOEY RESTAURANT GROUP

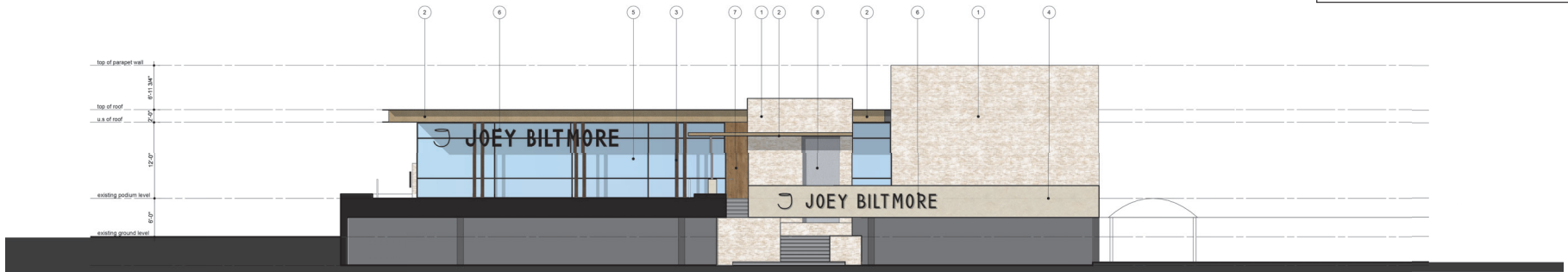
DATE	BY	CHKD	REV	DESCRIPTION

CONCEPTUAL
ELEVATIONS

CELL1.0

DATE: JULY 2020
BY: CAMPOS STUDIO

CONCEPTUAL EXTERIOR ELEVATIONS HAVE BEEN
PREPARED BY CAMPOS STUDIO



WEST ELEVATION

MATERIAL LEGEND

- 1 brick
- 2 light bronze roof edge
- 3 dark bronze columns
- 4 venetian plaster
- 5 storefront windows
- 6 illuminated metal sign
- 7 wood accent
- 8 metal accent
- 9 paint to match brick



JOEY PHOENIX
3001 EAST CAMELBACK
RD. PHOENIX, AZ 85016

JOEY RESTAURANT GROUP

DATE	DESCRIPTION	REVISIONS

CONCEPTUAL ELEVATIONS	CELL 1.1
DATE: JULY 2020	4/20

Exhibit 5





Exhibit 6

PLANT MATERIALS LEGEND

Tree	Box (n.)	Qty
Existing Palm Tree to Remain in Place	2	
Existing Tree to Remain in Place	15	
Acacia willardiana	24"	4
Palo Blanco	24"	20
Ficus microcarpa nitida	24"	3
Indian Laurel Fig	24"	13
Quercus virginiana 'Cathedral'	24"	2
Cathedral Live Oak	24"	3
Sophora secundiflora	24"	2
Texas Mountain Laurel	24"	3
Ulmus parvifolia 'Allee'	24"	
Allee Elm	24"	
Vitex agnus-castus	24"	
Chaste Tree	24"	

Extra Large Shrubs	Size	Cacti/ Accents	Size
Dodonaea viscosa	5 gal.	Agave desertiana	5 gal.
Green Hooped Bush	5 gal.	Smooth Leaf Agave	5 gal.
Tecoma 'Sparky'	5 gal.	Aloe hyb. 'Blue Elf'	5 gal.
Sparky Bells	5 gal.	Blue Elf Aloe	5 gal.
Large Shrubs	Size	Aloe striata	5 gal.
Calliandra californica	5 gal.	Coral Aloe	5 gal.
Red Fairy Duster	5 gal.	Bouteloua gracilis	1 gal.
Leucophyllum langmaniae	5 gal.	Blonde Ambition	5 gal.
Lynn's Legacy Sage	5 gal.	Cycas revoluta	5 gal.
Sirmondia chinensis	5 gal.	Sago Palm	5 gal.
Josiba	5 gal.	Daylily wheelers	5 gal.
Medium Shrubs	Size	Desert Spoon	5 gal.
Eremophila glabra spp. camosa	5 gal.	Euphorbia antisyphilitica	5 gal.
Winter Blaze	5 gal.	Candellilla	1 gal.
Eremophila hygrophana Blue Bells	5 gal.	Euphorbia rigida	5 gal.
Blue Bells	5 gal.	Gopher Plant	5 gal.
Eremophila maculata 'Valentine'	5 gal.	Hesperaloe sp. Pink Parade	5 gal.
Valentine Bush	5 gal.	Pink Parade Hesperaloe	3 gal.
Ericameria laetifolia	5 gal.	Hesperaloe parviflora 'Brakelights'	3 gal.
Turpentine Bush	1 gal.	Brakelights Red Yucca	3 gal.
Justicia spicigera	5 gal.	Muhlenbergia capillaris	5 gal.
Mexican Honeycuckle	5 gal.	'Regal Mist'	5 gal.
Nandina domestica	5 gal.	Opuntia santa rita	5 gal.
Heavenly Bamboo	5 gal.	Purple Prickly Pear	5 gal.
Nerium oleander 'Petite Pink'	5 gal.	Pachyrrhizus marginatus	5 gal.
Petite Pink Oleander	5 gal.	Mexican Fence Post Cactus	5 gal.
Raphiolepis indica 'Pink Lady'	5 gal.	Portulacaria afra minima	5 gal.
Teucrium fruticosum	5 gal.	Dwarf Elephant Food	5 gal.
Bush Germander	5 gal.	Yucca pallida	5 gal.
Small Shrubs	Size	Pale Leaf Yucca	5 gal.
Callistemon viminalis 'Little John'	5 gal.	Inerts	
Little John Bottle Brush	5 gal.	Decomposed Granite: Size	
Lavandula stoechas	5 gal.	Color	
Spanish Lavendar	5 gal.	Boulders	Size
Russelia equisetiformis	5 gal.	1/2 Ton Boulder	2'x2'x2'
Coral Fountain	5 gal.	1 Ton Boulder	3'x3'x2'
Groundcovers	Size	1-1/2 Ton Boulder	3'x3'x3'
Asparagus densiflorus cv sprengeri	1 gal.	Surface Select	4'x3'x3'
Sprenger Asparagus	1 gal.	Surface Select	4'x3'x3'
Eremophila prostrata	1 gal.	Surface Select	4'x4'x4'
Outback Sunrise Eremophila	1 gal.		
Lantana montevidensis 'Alba'	1 gal.		
Trailing White Lantana	1 gal.		
Rosemarinus officinalis 'Prostratus'	1 gal.		
Trailing Rosemary	1 gal.		
Teucrium chamaedrys 'prostratum'	1 gal.		
Prostrate Germander	1 gal.		
Wedelia trilobata	1 gal.		
Wedelia	1 gal.		

JOEY RESTAURANT BILTMORE

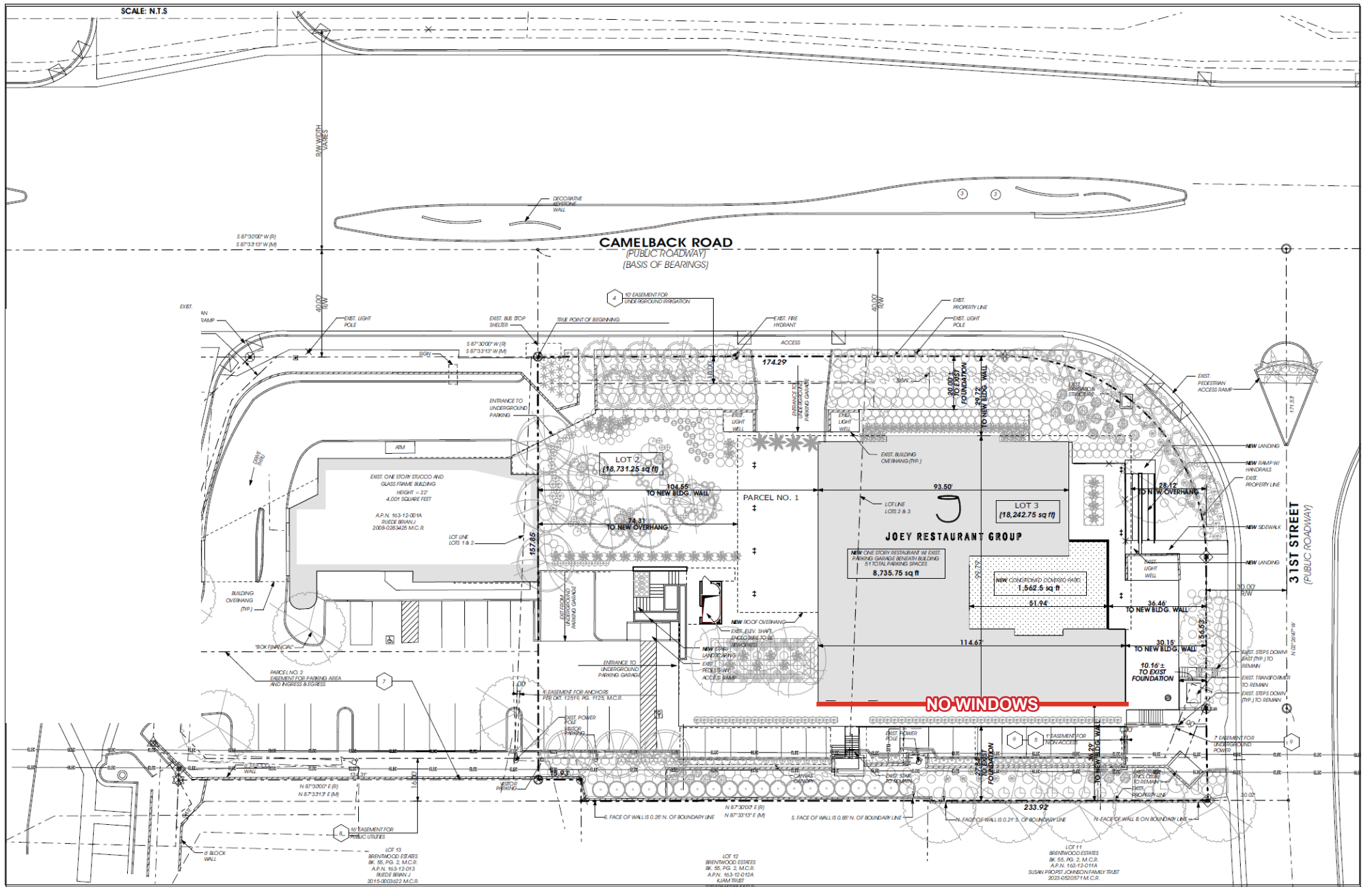
Planting Exhibit

Plan Scale 1" = 20' Date: 09-05-2025

ABLA STUDIO.COM



Exhibit 7



**SNELL
& WILMER**

1 East Washington Street, Suite 2700, Phoenix, AZ 85004



South Façade Window Prohibition Exhibit

3021 E Camelback Rd

September 2025