



NEC of 17th Drive and Glendale Avenue, Phoenix, AZ 85021

Planned Unit Development

Development Narrative

Z-80-18

City Council Adopted: April 17, 2019

A Planned Unit Development (PUD) is intended to be a stand-alone document of zoning regulations for a particular project. Provisions not specifically regulated by the PUD are governed by the zoning ordinance. A PUD may include substantial background information to articulate the intent of the development. The purpose and intent statements are not requirements that shall be enforced by the City. The PUD only modifies zoning ordinance regulations and does not modify other City Codes or requirements.

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A. EXECUTIVE SUMMARY

Located at the northeast corner of Glendale Avenue and 17th Drive in central Phoenix's Alhambra Village, the Beatitudes Campus has been in existence at this location since its founding in 1964. The property sits a few blocks east of the Valley Metro light rail. The Campus is envisioned as a place to live, work, shop and play within a compact, urban environment. The Beatitudes Campus shall complement the Alhambra Village core values, providing a mixed-use wellness campus anchored by the existing retirement community.

Refer to Figure 1: Aerial Vicinity Map

In 2005, approximately 12-acres of the Campus property was rezoned from R1-6, R-5, and R-4 to C-1 and R-5 the property was rezoned to a combination of C-1, R-5, R-5 Special Permit, R-4 Special Permit (Case No. Z-99-05-1) in order to enhance the development of the site as a continuing care retirement community (CCRC) with accessory related uses. Over the past 10 years, the campus has acquired several single-family parcels immediately abutting the existing campus along Myrtle Avenue and 17th Drive.

With a change in market conditions and the continuing evolution of the senior living product offerings, the Beatitudes Campus embarked on a two year master planning exercise to see how the project team would envision the future of senior living. With the incorporation of the acquired single family parcels, the master planning team took a fresh look at the campus and what the greatest and best uses are that could be included in the redevelopment.

The Beatitudes Campus now owns approximately 26 acres of property including the original campus site and the acquired single-family parcels. The campus has taken the opportunity to reimagine the opportunities to plan this redevelopment, a mixed-use wellness campus anchored by the original retirement community. The property is envisioned to include a redeveloped Town Plaza that shall serve as the commercial center of the campus with a variety of dining, resident services and minor retail components. Furthermore, a new five-story residential building on the southeast corner of the site and a new four-story residential building with some minor commercial elements are envisioned in the center of the campus. The existing four residential buildings closest to Glendale Avenue shall also be remodeled and given a new exterior design to modernize their appearance and tie them into the fabric of the new master plan. A variety of resident amenities shall be featured in various locations throughout the site. The intent is to increase the residential density and increase building heights to accommodate a larger development.

The overall Beatitudes Campus property boundary includes R1-6, R-4 SP, R-5 SP, R-5 and C-1 zoning. The existing boundaries are not consistent with the vision of a reimagined campus and this PUD rezoning shall help eliminate antiquated zoning boundaries and position the campus for success for the next 50 years of operation. The legal description for the PUD boundary, inclusive of 30.5 gross acres (26 net acres), is provided in Appendix A.

B. PURPOSE AND INTENT

1. Project Overview and Goals

The purpose of this PUD is to create the regulatory means necessary to achieve “The Beatitudes Campus” vision for a world class destination retirement campus with some mixed-use development. The new redeveloped Town Plaza shall be the defining centerpiece of “The Beatitudes Campus.” It shall set the tone for a vibrant residential and wellness-focused community, suiting the needs of an ever growing senior demographic. Other uses and site amenities may include medical office facilities, small retail, restaurants, assisted living, skilled nursing, community open space and fitness trails.

Goals of the Beatitudes Campus PUD are to:

- 1) Facilitate development of proposed residential buildings, a redeveloped Town Plaza and ancillary uses.
- 2) Incorporate flexible development standards and design guidelines that blend with the character of the area and further the City’s vision for the Alhambra Village.
- 3) Create new jobs and generate tax revenue.
- 4) Provide a comprehensive framework for development in order to establish a retirement community that shall include a variety of land uses, services and employment opportunities.

2. Overall Design Concept

Beatitudes Campus is planned to be a retirement and wellness-focused community anchored by the central Town Plaza and by new residential buildings. The retirement and wellness campus is designed as an urban environment that promotes walkability; and, fosters social interaction amongst its visitors, residents and employees.

Common design elements such as building materials and colors, hardscape elements, landscape, signage and streetscape shall unify the development and create a cohesive vision for the approximately 26 acre site. This PUD encourages flexibility in uses and design while meeting the design intent of the City of Phoenix PUD zoning requirements.

3. Regulatory Provisions

Unless a use or standard for development is specifically restated herein, the Phoenix Zoning Ordinance as adopted and periodically amended, shall apply. If there are conflicts between specific provisions of this PUD and the Phoenix Zoning Ordinance, the terms of this PUD shall apply.

C. LAND USE PLAN

The Beatitudes Campus is a multi-use retirement and wellness campus consisting of a continuum of care including independent living, assisted living, and skilled nursing. Additional uses include office and retail/commercial land uses. The land uses shall support both existing and proposed land uses in the area, complement the planned intensity and density of the Alhambra Village and promote the goals and vision of the City of Phoenix General Plan.

Refer to Figure 2: General Plan Land Use Plan

Refer to Figure 3: Conceptual Site Plan / Redevelopment Phasing Plan

Refer to Figure 4: Existing Zoning Map

Given the scale, complexity and existing uses on the campus, the redevelopment team envisions three character areas to help delineate the three different portions of the Campus.

They are identified as follows:

Character Area A: Low density residential with limited common area amenities for campus residents. This character area would be along the north and western edges of the campus to create a buffer between the surrounding single family residential properties and the denser core of the Beatitudes Campus.

Character Area B: Medium density residential with multiple common area amenities for campus residents. Minor commercial uses would be mostly for campus residents with limited access to the general public. This character area would be in the center portion of the campus bounded by the low density Area A to the north and the higher density Area C to the south.

Character Area C: High density residential with multiple common area amenities for campus residents and limited access to the general public. Minor commercial uses would be located in this character area which would be located on the southern one third of the campus along Glendale Avenue.

Character Areas will be discussed in further detail in Section F.

D. SITE LOCATION AND EXISTING CONDITIONS

1. Site Location and Context

The property is bounded by 17th Drive to the west, Glendale Avenue to the south, existing single-family residential (north half) and commercial office and multifamily residential (south half) to the east and Myrtle Avenue to the north. (Refer to Figure 2: Aerial Vicinity Map)

Neighboring properties in the immediate vicinity are existing developed single family homes dating back to the 1950s in most cases. A variety of multi-family, commercial and some institutional uses also existing in the surrounding neighborhood.

The Alhambra Village Core is located approximately 1 mile to the south of the Beatitudes Campus. The existing Valley Metro light rail is located along 19th Avenue less than ¼ mile west of the campus. Retail development including a grocery store, home improvement store, restaurants and ancillary uses exists less than a ¼ mile west near the intersection of Glendale and 19th Avenues.

2. Topography and Site Features

The property is relatively flat with minimal slope to the south. The existing campus has been developed since the mid-1960's with the entire existing site and newly acquired single family parcels being built out. The redevelopment proposed in this PUD includes the demolition and replacement of existing developed property. No virgin land is being used for construction as part of this application.

Currently, the property includes existing infrastructure serving the site from Glendale Avenue, 17th Drive and Myrtle Avenue. A public 12-inch water line and public 12-inch sewer line currently exist within Glendale Avenue. Furthermore, a public 8-inch water line and public 8-inch sewer line currently exist within 17th Drive and similarly, a public 8-inch water line and public 8-inch sewer line currently exist within Myrtle Avenue. Service lines for Salt River Project (SRP), Southwest Gas, Century Link, and Cox Communications follow the Glendale, Myrtle and 17th Drive alignment.

E. ZONING AND LAND USE COMPATIBILITY

The Beatitudes Campus property is currently zoned C-1, R-5, R-5 SP, R-4 SP and R1-6. This PUD applies to all of these existing zoning districts in an effort to simply and unify the various campus zoned areas into one cohesive PUD boundary.

The surrounding area is primarily zoned P-1, R-5, R-4, R1-6, C-2, C-0 and PSC

Refer to Table 1: Adjacent Zoning and Land Use

Refer to Figure 4: Existing Zoning Map

Refer to Figure 5: Proposed Zoning Map

Properties adjacent to Beatitudes are existing, developed parcels with a combination of multi-family, single-family, commercial office and parking uses. Those uses are compatible with the land uses proposed for the Beatitudes Campus. Many of the existing uses on the campus shall continue as part of PUD application and shall be enhanced and streamlined as part of this process.

In terms of surrounding land use, the properties to the west include a four story medical office building with a large, surface parking lot. To the east (southern portion) and south of the Beatitudes Campus, a series of two-story, multi-family apartments exist. These existing R-5 zoning districts allow for a high density residential use (43+ du/acre) and up to four stories, forty-eight (48) feet building height. To the north, northwest and northeast, the existing development is R1-6 single-family residential. These districts allow up to 5 du/acre of density and up to two stories, thirty (30) feet in building height.

Given that the majority of surrounding land uses are multi-family residential, the proposed Beatitudes Campus PUD and its height and uses fit well within the existing adjacent zoning.

F. DEVELOPMENT STANDARDS AND GUIDELINES

1. Contextual Design Guidelines

The Beatitudes Campus project originally got its name from the founding Church of Beatitudes as a congregate care community. Its mission continues to be one that serves the broad middle-class in providing high-quality senior living with a focus on the resident and their livelihood. The campus is committed to staying in the Central Phoenix community that it has called home for the past 54 years.

The existing architecture of the campus emphasizes the mid-century modern architecture that continues to define many great communities in the Central Phoenix area. The proposed PUD development would continue that architectural legacy and carry it forward into the next 50 years of the Beatitudes Campus' life.

This PUD encourages the use of the following Design Guidelines to provide a comprehensive approach to design and development which is compatible in character with the Beatitudes Campus site location.

- Orient buildings to take advantage of intermediate and distant views to the mountain peaks to the west, north and south.
- Provide access within the Residential District to the existing pedestrian network around the existing property
- Provide a 'soft' edge along the western, northern & eastern PUD boundary incorporating a variety of edge treatments to soften the development as it abuts nearby single-family residential properties
- Allow for pedestrian view corridors in and out of the project.
- Edge treatments may include items such as, building orientation (massing), passive open space, active open space, pedestrian access points, etc.
- Provide human scale within the built environment with the inclusion of items such as ground level plazas, shaded courtyards, etc.
- Utilize indigenous and alternative paving materials for pedestrian circulation which permit the infiltration of water, yet still provides accessibility to the physically disabled.
- Incorporate the use of mid-century modern design element in signage, landscape features and building materials to reflect the existing design character of the site

2. Character Areas

The Beatitudes Campus PUD shall comply with the development standards and design guidelines as written in the Phoenix Zoning Ordinance, as may be amended from time to time, and as amended herein. If there are conflicts between specific provisions of this PUD and the City of Phoenix Zoning Ordinance or design guidelines, the terms of this PUD shall apply. Refer to Figure 6 - Proposed Character Area Map
Refer to Figure 6: Proposed Character Area Map

A. Character Area A:

The northern and westernmost portions of the Beatitudes Campus, as shown on the Land Use Plan, is intended to allow for development of the new patio home (rowhouses), as well as other resident common amenity uses. The uses permitted within Character Area A shall be those permitted in Section 614 R-2 Multifamily Residence District of the City of Phoenix Zoning Ordinance, as amended from time to time, with the following exclusions and additions:

Below are the development standards and guidelines that regulate development within Character Area A:

Refer to Table 2: Character Area A Development Standards and Guidelines

The following uses shall be allowed by right and NOT subject to a use permit:

LIST OF USES (CITY OF PHOENIX ZONING ORDINANCE) FOR PUD CHARACTER AREA "A" R-2

- Single-Family dwellings
- Group Home
- Guestrooms
- 5-10 Adult Day Care Home
- Public Assembly – Residential
- 7-12 Dependent Care Facility

B. Character Area B:

The central portion of the Beatitudes Campus, as shown on the Land Use Plan, is intended to allow for development of the new mid-rise residential buildings, as well as other resident common amenity uses and limited commercial uses. The uses permitted within Character Area B shall be those permitted in Section 618 R-5 Multifamily Residence District of the City of Phoenix Zoning Ordinance, as amended from time to time, with the following exclusions and additions:

Refer to Table 3: Character Area B Development Standards and Guidelines

The following uses shall be allowed by right and NOT subject to a use permit:

LIST OF USES (CITY OF PHOENIX ZONING ORDINANCE) FOR PUD CHARACTER AREA “B” R-5

- Adult day care center
- Community residence center
- Copy and reproduction center
- Dependent care facility for 13 or more dependents and schools for the mentally or physically handicapped
- Group home
- Hospice
- Office for Administrative, Clerical, or Sales Services
- Office for professional use
- Nursing home
- Private clubs and lodges qualifying by law as a nonprofit entity
- Teaching of the fine arts
- Volunteer community blood centers

C. Character Area C:

The southern portion of the Beatitudes Campus, as shown on the Land Use Plan, is intended to allow for development of the new mid-rise residential buildings, assisted living, as well as other resident common amenity uses and limited commercial uses. The uses permitted within Character Area C shall be those permitted in Section 618 R-5 Multifamily Residence District and Section 622 Commercial (C-1) of the City of Phoenix Zoning Ordinance, as amended from time to time, with the following exclusions and additions:

Refer to Table 4: Character Area C Development Standards and Guidelines

The following uses shall be allowed by right and NOT subject to a use permit:

LIST OF USES (CITY OF PHOENIX ZONING ORDINANCE) FOR PUD CHARACTER AREA "C" C-1, R-4, R-5

- Adult Day Care Home and Center.
- Antique Shop
- Art Gallery, Commercial Sales
- Artist Supplies, Retail
- Bakers and Baked Goods, Retail Sales
- Banks and Trust Companies
- Barbers
- Beauty Shops
- Bingo, subject to a use permit
- Booksellers and Rentals, except adult bookstores
- Braces, Orthopedic, Sales Retail
- Candy Shops, Retail
- Canvas Goods Sales, Retail
- Caterers
- Charitable Institutions, Offices Only
- Clothing, Retail Sales
- Community Garden
- Community Residence Center
- Confectioneries, Retail Sales
- Curio Shops
- Delicatessens
- Delivery Service Office
- Draperies, Sales
- Dressmakers, Custom
- Drugs, Retail Sales
- Farmers Market
- Florists, Retail Sales
- Gift Shops
- Groceries, Retail Sales
- Health Food Products, Retail Sales
- Hobby Goods Stores
- Hospice
- Ice Cream Shops
- Jewelers, Retail Sales and Repairs, Gem Stone Repair and Cutting

- Laundries, Collecting Shops
- Libraries, Private, Rental
- Lunch Rooms
- Magazines, Retail Sales, except adult bookstores
- Needlework
- Nursing Home
- Nut Shop
- Offices including those requiring use permits in R-5
- Outdoor Sales of Food Items:
- Parking Lots, Customer
- Pet Grooming
- Pet Shops, Retail Sales Only
- Pharmacy
- Photographic Equipment and Supplies, Retail Sales
- Picture Framing, Custom
- Pottery, Retail Sales
- Private clubs, lodges and community organizations qualifying by law as a nonprofit entity
- Restaurants
- Self-Service Laundry
- Stamp Dealers
- Stationers, Retail Sales
- Tailors, Custom
- Tea Room
- Teaching of Fine Arts
- Travel Bureau
- Variety Stores, Retail
- Watches, Sales and Repairing
- Weaving, Handicraft, Custom

The following additional uses shall be allowed:

- Public Assembly, General
- Public Assembly, Residential

3. General Provisions

The following Development Standards and Guidelines pertain to all Districts located within the Beatitudes Campus PUD, unless otherwise stated.

a) Residential Units

Refer to Table 5: Residential Units

PUD allows for up to 15% reallocation of units between Character Areas.

b) Wireless Communication Facilities

Wireless communication facilities must adhere to the standards for disguised, concealed, or visible facilities as set forth within the City of Phoenix Zoning Ordinance Section 715. Mono-palms shall be prohibited as a design solution for wireless communication facilities. All visible wireless communication facilities shall be restricted to an area located within one hundred (100) feet of the Glendale Avenue, Myrtle Avenue and 17th Drive right-of-way within Character Area C.

c) Building Setbacks

Refer to Figure 7: Minimum Building Setback Standards Plan

d) Building Heights

Refer to Figure 8: Maximum Building Height Standards Plan

e) Open Space

Refer to Figure 9: Open Space Plan

f) Development Standards by Character Area

Development Standards by Character Area

DEVELOPMENT STANDARDS	Character Area A	Character Area B	Character Area C
MINIMUM LOT WIDTH / DEPTH	40' width, 50' depth	40' Width, 50' Depth	N/A
DENSITY, MAXIMUM NUMBER OF DWELLING UNITS	5.5 dwelling units/acre (45 units)	40.3 dwelling units/acre (482 units)	37.6 dwelling units/acre (372 units)
PERIMETER STANDARDS	20' front, 15' rear, 10' side	20' Front, 10' Rear, 10' Side 20' adjacent to residential	20' front, 10' side
BUILDING SETBACKS	10' Front, 35' front plus rear	10' Front, 30' Front Plus Rear	20' front, 10' side
LANDSCAPE SETBACKS	N/A	N/A	20' front, 10' side
BUILDING SEPARATION	N/A	N/A	N/A
MAXIMUM HEIGHT	2 stories and 30'	4-Stories or 56'	5 Stories or bldg. ht. 65'
LOT COVERAGE (MAXIMUM)	45%	50%	50%
DIVISION OF USES	N/A	N/A	N/A
STREET STANDARDS	Public Street	Public street	Public Street
COMMON AREAS	Per Section 703	Per Section 703	Per Section 703
REQUIRED REVIEW	Development review per section 507	Subdivision with bldg. setbacks	

4. Architectural Character

For architectural design intent, refer to Figure 10: Architectural Character Imagery. The images represented on Figures 10-12 are intended to provide examples of the type of architectural character, materials, and outdoor environments that may be used to shape the built environment at Beatitudes Campus.

Refer to Figure 10: Architectural Character Imagery

Refer to Figure 11: Architectural Detail Imagery

Refer to Figure 12: Architectural Exterior Imagery

A) Massing: The visual presence of a building relates to the size of the building as well as the relationship between its length, width and height. The interest of a building can be enhanced by appropriate utilization of features such as prominent entries, windows, color and materials.

- a) Building mass shall be broken into smaller elements, consistent with the proportions of the architectural style selected and surrounding uses.
- b) In large multi-building projects, vary the size, massing and height of the buildings in relation to each other.
- c) Reduction of building mass may be achieved by using a combination of the following techniques:
 - Variation in the rooflines and form
 - Use of protected or recessed entries
 - Use of vertical elements on or in front of expansive blank walls
 - Use of pronounced wall plane offsets and projections
 - Use of focal points and vertical accents
 - Inclusion of windows on elevations facing streets and pedestrian areas
 - Retaining a clear distinction between roof, body and base of a building

B) Design: Articulate facades to provide visual interest that is consistent with the community's character and scale.

- a) All facades, including back and side elevations of a building, visible from public view or adjacent to residential areas, shall be architecturally treated and relate to but not overwhelm the neighborhood.
- b) Design multi-building projects to include consistent design elements that unify project.
- c) Building elevations shall incorporate architectural features and patterns that include a pedestrian scale.
- d) Internalize roof drain elements within the building or an architectural feature such as columns (excepting at-grade discharge).
- e) For all buildings with facades greater than 200 feet in length, a minimum of two of the elements listed below, shall repeat at appropriate intervals, either horizontally or vertically:
 - Texture change
 - Material change
 - Architectural variety and interest through a change in plane such as offsets, reveals, or projecting features
 - Wall plane projections or recesses
- f) Roof size, shape, material, color and slope shall be coordinated with the scale and theme of the building. The size of all roof elements shall be appropriate to the size and scale of roofing materials used.

- g) Solid and Soft or Open areas of the façade shall be arranged to create a relationship that complements the architectural style of the structure. Soft or open building elements include windows, entryways, arbors, porches, trellis, etc.
- h) Predominant exterior building materials include, but are not limited to:
 - Decorative masonry block
 - Stone, natural or faux
 - Integral color, sand blasted or stained textured masonry
 - Split-face or scored concrete masonry units
 - Textured tilt-up concrete panels
 - Stucco/EIFS
 - Treated metal roofs
 - Natural or indigenous materials
 - Clear and tinted glass
- i) Predominant exterior building materials shall not include the following:
 - Un-textured tilt-up concrete panels
 - Highly reflective glass
 - Wood
- j) Predominant facade colors shall possess low reflectivity characteristics and respect the diversity of color in the southwest. The use of bright color schemes shall be justified by the overall design and relevance to the mid-century modern architectural vernacular
- k) Building trim, signage and accent areas may feature different building materials and different colors than the building field color, including use of Beatitudes corporate colors, as shown on Figures 11-12, if compatible with the architectural design.
- l) Buildings shall have clearly defined customer entrance(s) through the use of elements such as:
 - Canopies or porticos
 - Overhangs
 - Recesses/projections
 - Raised parapets over the door
 - Entrance framed by outdoor pedestrian features or enhanced landscaping
 - Architectural details such as moldings/projections integrated into the building structure to frame the entryway
 - Integral planters or wing walls that incorporate landscaped areas and/or sitting areas.
 - Enhanced pedestrian surfaces

C) Freestanding Accessory Structures: Enclosed service/refuse areas and covered parking shall be designed to be an integral part of the building architecture. The forms, colors, textures and materials used shall be contextual to the main building.

Walls and fences within Beatitudes Campus shall be designed to comply with the City of Phoenix Zoning Ordinance (Sections 507 Tab A, 4 and 703).

5. Landscaping

The landscape character within The Beatitudes Campus is intended to create gardenesque common spaces and private garden spaces that provides residents, staff, visitors and guests a multi-sensorial experience within amenity spaces that provide outdoor leisure activities, enjoyment and healing through the natural elements. The historical charm of the Beatitudes Campus will be preserved and enhanced for current and future residents. There are eleven (11) different landscape zones that define the campus landscape character, each with its own distinct character.

Refer to Figure 13: Conceptual Landscape Plan

Refer to Figure 14: Landscape Character Zones

Refer to Table 6: Landscape Standard Table

a) Main Entry (ME)

- The Main Entry area is defined as the landscape zone located along Glendale Boulevard between the Town Center and Plaza East Independent Living. This character consists of a lush, colorful array of plantings with a designated colorful theme tree denoting the entry to the campus. The zone consists of a themed entry tree of the Red Push Pistache. The red accent and historical structural form will provide a visually prominent entrance to the campus. An understory of colorful annual flowers, shrubs and accents will be planted to further enhance the arrival experience.

b) Town Plaza (TP)

- The Town Plaza landscape character is defined as the landscape zone located along Glendale Drive, adjacent to the ME character zone. This area serves as an important activity hub for the campus lifestyle. This zone introduces more aromatic flowering plants for the campus residences to enjoy while they are strolling to the main dining hall or activity class. Shade trees such as the Chinese Evergreen Elm provide and encourage outdoor seating and gathering.

c) Beatitudes Promenade (BP)

- The Beatitudes Promenade aesthetic character is defined as the landscape zone that serves as the main central pedestrian spine through the campus. This significant zone connects the past, present and future of the campus by defining the main aesthetic character. The Red Push Pistache focal tree that was introduced at the main entry will continue along both sides of this pedestrian lane to frame and connect to the architecture and aesthetic character, new and old. Central pedestrian nodes will be introduced at key circulation points to mark a visual station for direction. The nodes will be defined with circular planted Date Palms and a signature tree. The signature tree for this campus will be the Swan Hill Olive Tree. Accent planting will be used along the Beatitudes Promenade to provide connectivity and gathering spaces for residents, staff and guests.

d) Central Park (CP)

- The Central Park zone is located in the heart of campus, north of the Town Center. This area provides more intimate gardenesque and amenity features that trail off the Beatitudes Promenade main pedestrian connection. The landscape character is defined by promenade shade tree plantings such as the Chinese Evergreen Elm. Accent and lush planting surround the garden spaces to create a serene and pleasant environment. Open space areas allow for multiple uses such as event and gathering spaces. Community gardens are provided to allow for active and seasonal involvement within the campus community.

e) Promenade Residences (PR)

- The Promenade Residences character zone is inspired by the new Mid-Century Modern architecture buildings. The Beatitudes Promenade zone connects through the middle of this grand architectural space. This space will provide opportunities to connect the inside and outside elements. Two gardens and amenity spaces will be provided for strolling, sensory and gathering spaces. Elements such as a Citrus grove and Swan Hill Olive Tree plaza will be the main aesthetic features that provide healing and aromatic experiences in the gardens. The flower blooming accent planting will attract the buzzing interest of humming birds and residences. Lush planting material will also be incorporated to create open spaces areas as foregrounds and backgrounds to highlight the key architecture focal features.

f) Plaza Apartments (PA)

- The Plaza Apartments zone consist of the existing and new plaza buildings and areas located at the south portion of the campus property. These units serve as the independent and assisting living apartments for the campus. The independent plaza apartment units will have opportunities for amenity features for passive gathering spaces. The assisted living plaza apartments will have opportunities for healing and sensitive planting character zones. This landscape zone will be defined by connecting the existing landscape character with the new plaza apartments and renovation spaces. A pedestrian spine will be implemented at the south side of the main parking area which will consist of uniform planting of the Desert Museum Palo Verde tree. The pedestrian spine will guide visitors and residents to the main Palm focal entrance to the Plaza West apartments.

g) Patio Homes (PH)

- The Patio Homes aesthetic character consists of providing a lush landscape that both aesthetically and practically compliments the new architectural style of the patio homes with the existing patio home units, through the design of the private courtyard gardens and amenity parks. The private courtyard gardens create a warm, welcoming, pleasant, and calming space for residences to enjoy. Intimate planter spaces are introduced at each patio home to establish a strong residential corridor which consist of a row of Desert Museum Palo Verde trees. The Beatitudes Promenade pedestrian connection carries over to the main Patio Homes amenity space, which includes an architecture trellis shade structure with vine plantings that was inspired by the concrete shade sculpture that is currently on the campus.

h) Wellness Center (WC)

- The Wellness Center zone is defined as the landscape zone located at the Administrative Center, Central Plant and Facilities building. This zone will be informally landscaped with large screen plantings and shade trees that will help screen the facilities that will be used by staff and maintenance crews which includes the Mondel Pine tree. The Administrative Center entrance will be highlighted with accent trees to denote the welcome center to the campus.

i) Glendale Avenue Streetscape (GS)

- The Glendale Avenue Streetscape is defined as the landscape zone facing Glendale Avenue. Streetscape trees include Red Push Pistache and Heritage Live Oak. The (two) trees share a similar aesthetic of historical Phoenix landscape trees and create visual interest to the campus' historic charm along this major street. The upright structure on both trees also provide a pleasant and inviting pedestrian experience for the public. Understory planting with structural

forms and colorful blooms such as Desert Spoon, Rio Bravo Sage, New Gold Lantana and Brakelights Red Yucca will further enhance visual interest to the campus.

j) Myrtle Avenue Streetscape (MS)

- The Myrtle Avenue Streetscape is defined as the landscape zone facing Myrtle Avenue. These areas will have Streetscape trees that honor the historic neighborhood aesthetics and bind the campus into its context. The lush Evergreen Elm is the main streetscape tree. Mexican Fan Palm that holds heritage value in the community are planted in the second row as an accent. Arizona Ash is planted in between to create adequate screening to the campus. For the understory, turf is planted to enhance the lush planting theme and to visually tie into the neighborhood.

k) 17th Drive Streetscape (DS)

- The 17th Drive Streetscape is defined as the landscape zone facing 17th Drive. Streetscape trees include Chinese Evergreen Elm and Red Push Pistache. The Chinese Evergreen Elm is a continuation of the Myrtle Drive streetscape tree, creating a cohesive visually identity for the Beatitudes Campus when viewed from outside of the perimeters. "Red Push" Pistache are located at pedestrian and vehicular entries as an accent to emphasize the sense of welcome. Colorful understory shrubs, grass, accent and groundcover will be planted to enhance visual interest and screen the campus from outside vehicular traffic.

6. Main Entry Landscaping

Beatitudes includes two main entry landscape zones, one at the entry from Glendale Avenue and the other at the entry from 17th Drive. These entries are existing and shall continue to be maintained and landscaped as existing.

Future potential modifications of the main entry landscaping will be limited to no more than 25% of the plants / trees being relocated or replaced with other compatible species as determined by the planning and development services department.

7. Amenities

The Beatitudes Campus PUD shall include a variety of on-site amenities to serve both the residents and visitors to the campus. Those exterior amenities shall include the site features as shown on the following figures:

Character Area A

Refer to Figure 15: Character Area A Amenities

Refer to Figure 16: Character Area A Amenities

Character Area B

Refer to Figure 17: Character Area B Amenities

Character Area C

Refer to Figure 18: Character Area C Amenities

8. Parking

Refer to the City of Phoenix Zoning Ordinance Section 702 Off-Street Parking and Loading for the required parking and loading standards for Beatitudes with the following exceptions:

- a) Total parking required per Section 702 Off-Street Parking and Loading shall be reduced to 50% of required due to the nature of the residents living on the Beatitudes Campus. Most residents do not drive due to age or physical condition, as such the standard parking required shall be reduced to accommodate this senior living population.
- b) Parking Stall Dimensions
 - Perpendicular parking space dimensions are modified for the following uses:
 - a) Multi-family residential and commercial: Nine (9) feet wide by eighteen (18) feet deep.
- c) Vehicular Drive Aisles
 - All vehicular drive aisles shall comply with City of Phoenix Fire Department regulations as approved by City of Phoenix Planning & Development
- d) Off-street Loading Spaces
 - Off-street loading spaces are required for non-residential development based on the following standards:
 - a) Stall dimensions shall be ten (10) feet wide and thirty (30) feet deep.
 - b) One (1) loading stall shall be required for development with gross building area greater than 24,999 square feet and less than one hundred thousand (100,000) square feet.
 - c) One (1) additional loading stall shall be required for each additional five hundred thousand (500,000) square feet of aggregate gross building area or fraction thereof.
- e) Bicycle Parking
 - 15 bicycle parking spaces shall be provided and shall be located throughout the property and shall comply with City of Phoenix Zoning Ordinance requirements.

9. Shade

Refer to City of Phoenix Zoning Ordinance Section 507 Tab A Guidelines for Design Review.

Additional shading will be provided via the following site amenities/features:

- Extensive, tree-line pedestrian walkways
- Building entry canopies
- Freestanding shading devices such as canopies, pergolas and gazebos

Shading elements shall be located throughout the Beatitudes Campus site as shown on the following figures:

Character Area A

Refer to Figure 15: Character Area A Amenities

Refer to Figure 16: Character Area A Amenities

Character Area B

Refer to Figure 17: Character Area B Amenities

Character Area C

Refer to Figure 18: Character Area C Amenities

10. Fences / Walls

The proposed development plan associated with the Beatitudes Campus PUD shall feature new site fences and site walls in various locations throughout the campus. Site walls and fences shall be no higher than 6 feet above finished grade. The materials will be painted concrete masonry unit and painted wrought iron view fencing.

All fences and walls shall be in compliance with Section 703 of the City of Phoenix Zoning Ordinance with the exception that site walls and fences up to six feet shall be permitted in the front building setback up to and including the street frontage property lines.

The Beatitudes Campus site plan calls for several site fences that are 6 feet in height and located within the front yard setback at the northern property lines along Myrtle Avenue. These fences have been previously approved by the City of Phoenix as part of past variance application in 2006 and 2018. The site fencing consists of 2' x 2' masonry piers 6 feet high located approximately 20 feet on center. These masonry piers are painted to complement the existing building colors of the campus. Spanning between the masonry piers is 6 foot height metal view fencing painted dark grey to match other site fencing on the campus. The proposed PUD would permit these fence heights and styles to remain as part of the overall campus rezoning.

11. Lighting

Site lighting within Beatitudes Campus shall be sensitive to the surrounding communities through the use of screening and shielding mechanisms. All lighting shall comply with lighting standards as defined within Section 704 of the Environmental Performance Standards and Section 507 Tab A of the Guidelines for Design Review of the Phoenix Zoning Ordinance and shall comply with the lighting standards and guidelines at the time of plan review and permit. Proposed site lighting fixtures are:

Refer to Figure 19: Parking Light Fixture Cut Sheet

Refer to Figure 20: Parking Light Fixture Details

Refer to Figure 21: Pedestrian Bollard Light Fixture Cutsheet

G. SIGNAGE

All signage must comply with the non-residential in a residential district standards of Section 705 of the City of Phoenix Zoning Ordinance.

H. SUSTAINABILITY

Beatitudes Campus intends to incorporate, where feasible, building elements and environmental systems that increase energy efficiency, reduce water consumption, and help to reduce the urban heat island. This PUD encourages sustainability principles through the implementation of at least five (5) of the following Design Review Presumptions, or other sustainability principles as identified during the Site Plan Review process.

- Building designs shall respond to the southwest climate by incorporating materials and design methods suitable for the region.
- The orientation of buildings shall recognize the value of human comfort zones, and surrounding buildings with appropriate landscaping and abundant shading.
- Orientation of buildings and fenestration design shall maximize solar benefits while minimizing the negative impacts of heat gain.
- Recognizing that sustainability methods are continually improving and evolving over time, incorporate state of-the-art sustainability methods and products as the project is phased.
- Incorporate solar collection technologies for providing and storing energy as well as heated water systems for individual buildings.
- Design to reduce project energy loads by addressing passive design elements (i.e. daylight, natural ventilation, materials solar mass properties) and active design elements (i.e. environmental conditioning methods, shared building systems).
- Design for effective water usage and conservation methods in buildings by using low flow plumbing fixtures using minimal amounts of potable water.
- Design for effective use of energy efficient appliances and HVAC systems by demonstrating reductions in on-going power consumption.
- Provide water efficient landscaping (drought tolerant plants) for at least 50% of the campus areas
- Utilize a drip irrigation system to minimize water waste.
- Incorporate “Smart” irrigation control systems into the design and development of the development phase.
- Use roofing materials that specify a high Solar Reflectance Index for a minimum of 75% of the roof surface area.
- Use recycled and/or salvaged, non-hazardous, construction and demolition materials where economically viable to do so. Develop and implement a construction waste management plan to identify the materials to be diverted from disposal and whether the materials shall be sorted on-site or comingled.
- Use paints and coatings on the interior of the building (i.e., inside of the weatherproofing system and applied on-site) that comply with the following criteria as applicable to the project scope 1:
 1. Architectural paints and coatings applied to interior walls and ceilings must not exceed the volatile organic compound (VOC) content limits established in Green Seal Standard GS-11, Paints, 1st Edition, May 20, 1993.
 2. Anti-corrosive and anti-rust paints applied to interior ferrous metal substrates must not exceed the VOC content limit of 250 g/L established in Green Seal Standard GC-03, Anti-Corrosive Paints, 2nd Edition, January 7, 1997.
 3. Clear wood finishes, floor coatings, stains, primers, and shellacs applied to interior elements must not exceed the VOC content limits established in South Coast Air Quality Management District (SCAQMD) Rule 1113, Architectural Coatings, rules in effect on January 1, 2004.

- The Beatitudes Campus PUD shall utilize a number of design and site strategies to reduce the urban heat island effect on the local environment. The following are some of the intended features to assist in this effort:
 - Provide light colored, reflective roof materials
 - Maximize use of building orientation to help shade as much of the adjacent ground plain as possible through effective structure placement
 - Utilize extensive landscaping and turf in the gardens located throughout the campus to help reduce absorption of daytime sun
 - Install numerous covered parking canopies with light color, reflective roof materials to prevent the daytime solar energy from striking the parking surfaces
 - Provide numerous pedestrian shade canopies throughout the campus with light colored, reflective roof surfaces

I. INFRASTRUCTURE

1. Circulation System

Beatitudes Campus proposes a comprehensive internal street network which ties into the existing major circulation routes for the area as planned by the City of Phoenix. The property is adjacent to a major significant transportation corridor, Glendale Avenue located along the southern boundary. The existing internal street network includes connections to 17th Drive and Glendale Avenue. Refer to the following figures for circulation and campus access points:

Refer to Figure 22: Vehicular Circulation Plan

Refer to Figure 23: Pedestrian / Bicycle Circulation Plan

2. Grading and Drainage

- a) The overall campus is generally flat and drains from north to south toward Glendale Avenue. Emphasis on safe pedestrian pathways, ADA compliance, and minimizing trip hazards have been incorporated into the existing and proposed grading designs.
- b) On-campus storm water retention is provided in several basins throughout the campus. Offsite drainage from Myrtle is conveyed through the campus in an existing 18-inch storm drain pipe and connects to the existing 27-inch storm drain pipe in Glendale Avenue. In addition to conveying offsite drainage flows, this existing 18-inch pipe incorporates several inlets accepting campus drainage not retained in the existing basins.
- c) For the proposed Patio Homes, the City of Phoenix has waived the retention requirements for the 100-year, 2-hour storm event. The proposed Patio Homes (17th Drive and Myrtle) project sites have been designed to follow the proposed drainage patterns and collect runoff from roofs, landscape areas and parking areas. Storm water runoff shall be routed to retention basins via valley gutters or sheet flow to retention basins. Both project sites were given the opportunity to retain the greatest volume between the two scenarios of Pre-vs.-Post and First Flush. The volume of the First Flush scenario analysis was the greater of the two required retention volumes. Therefore, with the First Flush scenario governing the design, both Patio Home project sites retain the entirety of the first 0.5 inches of direct storm runoff onsite in retention basins with a depth of 1-foot.
- d) The proposed Patio Homes sites have sufficient retention capacity to retain the First Flush of direct runoff from a storm event per the City of Phoenix design standards. The future redevelopment of the Beatitudes Campus shall also retain storm water in accordance with City of Phoenix design standards.

J. PHASING

The Beatitudes Campus redevelopment is a multi-phase development with the initial phase of improvements anticipated to include the following:

- Phase one to included the new patio homes
- Phase two to include rental, independent living building near the southeast corner of the site and the new entry-fee, independent living building near the center of the campus.

Development of additional phases of the Town Plaza redevelopment, existing building renovation and development shall be driven by market conditions.

Refer to Figure 3: Conceptual Site Plan / Redevelopment Phasing Plan

Appendix A

Legal Description

A PORTION OF LOTS 1 & 2, WEST ORANGEWOOD, ACCORDING TO BOOK 6 OF MAPS, PAGE 37, RECORDS OF MARICOPA COUNTY, ARIZONA; LOTS 1 AND 2, THE BEATITUDES, ACCORDING TO BOOK 899 OF MAPS, PAGE 24, RECORDS OF MARICOPA COUNTY, ARIZONA; THAT PORTION OF THE ABANDONED ALLEY AS SET FORTH IN RESOLUTION RECORDED IN DOCUMENT NO. 2009-0804182, RECORDS OF MARICOPA COUNTY, ARIZONA; LOTS 205, 206, 207, 208 AND 209, WESTWOOD HEIGHTS UNIT THREE, ACCORDING TO BOOK 90 OF MAPS, PAGE 39, RECORDS OF MARICOPA COUNTY, ARIZONA; AND THAT PORTION OF THE ABANDONED ALLEY AS SET FORTH IN RESOLUTION RECORDED IN DOCUMENT NO. 2009-0801642, RECORDS OF MARICOPA COUNTY, ARIZONA; SITUATED IN A PORTION OF THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 2 NORTH, RANGE 3 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT CITY OF PHOENIX THREE-INCH BRASS CAP IN HANDHOLE AT THE SOUTH QUARTER CORNER OF SAID SECTION SIX, FROM WHICH A CITY OF PHOENIX THREE-INCH BRASS CAP FLUSH MARKED AS "WC", BEING A WITNESS CORNER TO THE SOUTHWEST CORNER OF SAID SECTION SIX, BEARS NORTH 88 DEGREES 27 MINUTES 00 SECONDS WEST, 2521.21 FEET, ALSO BEING THE MONUMENT LINE AT GLENDALE AVENUE BETWEEN THE INTERSECTION OF NORTH 15TH AVENUE AND SAID BRASS CAP FLUSH, 54.63 FEET EAST OF NORTH 19TH AVENUE;

THENCE NORTH 88 DEGREES 27 MINUTES 00 SECONDS WEST, 527.00 FEET, ALONG SAID MONUMENT LINE TO THE **POINT OF BEGINNING**;

THENCE CONTINUING NORTH 88 DEGREES 27 MINUTES 00 SECONDS WEST, 1066.18 FEET, ALONG SAID MONUMENT LINE TO A THREE-INCH CITY OF PHOENIX BRASS CAP FLUSH AT THE INTERSECTION OF NORTH 17TH DRIVE;

THENCE THE FOLLOWING SIX COURSES ARE ALONG THE CENTERLINE ROAD OF SAID NORTH 17TH DRIVE:

THENCE NORTH 0 DEGREES 01 MINUTES 27 SECONDS WEST, 423.27 FEET TO A CITY OF PHOENIX THREE-INCH BRASS CAP FLUSH ALSO BEING THE BEGINNING OF A CURVE, CONCAVE SOUTHEAST, HAVING A RADIUS OF 100.00 FEET;

THENCE NORTHEASTERLY 115.36 FEET ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 66 DEGREES 05 MINUTES 38 SECONDS;

THENCE NORTH 66 DEGREES 04 MINUTES 12 SECONDS EAST, 63.00 FEET TO A CITY OF PHOENIX THREE-INCH BRASS CAP FLUSH ALSO BEING THE BEGINNING OF A CURVE, CONCAVE NORTHWEST, HAVING A RADIUS OF 100.00 FEET;

THENCE NORTHEASTERLY 115.28 FEET ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 66 DEGREES 02 MINUTES 52 SECONDS TO A CITY OF PHOENIX THREE-INCH BRASS CAP FLUSH;

THENCE NORTH 0 DEGREES 01 MINUTES 20 SECONDS EAST, 142.61 FEET TO A CITY OF PHOENIX THREE-INCH BRASS CAP IN HANDHOLE ALSO BEING THE BEGINNING OF A CURVE, CONCAVE SOUTHWEST, HAVING A RADIUS OF 132.70 FEET;

THENCE NORTHWESTERLY 160.84 FEET ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 69 DEGREES 26 MINUTES 40 SECONDS A CITY OF PHOENIX THREE-INCH BRASS CAP IN HANDHOLE;

THENCE LEAVING SAID CENTERLINE ALONG A NON-TANGENT LINE NORTH 20 DEGREES 34 MINUTES 40 SECONDS EAST, 25.00 FEET TO A REBAR WITH CAP "RLS 15573" ALSO BEING A POINT ON THE NORTHEASTERLY RIGHT OF WAY LINE PER BOOK 90, PAGE 39, MARICOPA COUNTY RECORDER;

THENCE NORTH 16 DEGREES 23 MINUTES 45 SECONDS EAST, 106.91 FEET ALONG THE EASTERLY LINE OF "WESTWOOD HEIGHTS, UNIT 3, BOOK 90, PAGE 39, MARICOPA COUNTY RECORDER" TO A MARKED "RLS 15573" EPOXY DISC;

THENCE NORTH 46 DEGREES 04 MINUTES 23 SECONDS EAST, 11.23 FEET ALONG SAID EASTERLY LINE;

THENCE SOUTH 88 DEGREES 30 MINUTES 26 SECONDS EAST, 171.93 FEET ALONG THE SOUTHERLY LINE OF "WEISHEIT REVOCABLE LIVING TRUST DEED 10-0062884, MARICOPA COUNTY RECORDER" TO A REBAR WITH CAP "MATTINGLY RLS 36888";

THENCE NORTH 0 DEGREES 01 MINUTES 21 SECONDS EAST, 278.99 FEET ALONG THE EASTERLY LINE OF SAID WEISHEIT REVOCABLE LIVING TRUST TO A CITY OF PHOENIX THREE-INCH BRASS CAP FLUSH AT THE CENTERLINE OF MYRTLE AVENUE;

THENCE SOUTH 88 DEGREES 31 MINUTES 00 SECONDS EAST, 1039.06 FEET ALONG SAID CENTERLINE;

THENCE LEAVING SAID CENTERLINE SOUTH 0 DEGREES 06 MINUTES 42 SECONDS EAST, 292.11 FEET ALONG THE WESTERLY LINE OF "MYRTLE ESTATES ON FIFTEENTH, BOOK 1274, PAGE 48, MARICOPA COUNTY RECORDER" AND "GLENN WEST, BOOK 127, PAGE 17, MARICOPA COUNTY RECORDER" TO A REBAR WITH CAP "RLS 15573";

THENCE NORTH 88 DEGREES 31 MINUTES 00 SECONDS WEST, 411.24 FEET ALONG THE NORTHERLY LINE OF SAID "GLENN WEST";

THENCE SOUTH 0 DEGREES 02 MINUTES 41 SECONDS EAST, 374.82 FEET ALONG THE WESTERLY LINE OF SAID "GLENN WEST" TO A REBAR WITH CAP "RLS 15573";

THENCE SOUTH 88 DEGREES 26 MINUTES 39 SECONDS EAST, 255.10 FEET ALONG THE SOUTHERLY LINE OF SAID "GLENN WEST" TO A REBAR WITH CAP "RLS 15573";

THENCE SOUTH 0 DEGREES 02 MINUTES 41 SECONDS EAST, 299.46 FEET ALONG THE WESTERLY LINE OF "LWH CASCADA LP, DEED 12-0310813, MARICOPA COUNTY RECORDER";

THENCE NORTH 88 DEGREES 26 MINUTES 39 SECONDS WEST, 127.55 FEET ALONG THE NORTHERLY LINE OF "CHRIST FAMILY TRUST, DEED 15-0861348, MARICOPA COUNTY RECORDER" TO A DISC MARKED "RLS 15573";

THENCE SOUTH 0 DEGREES 02 MINUTES 41 SECONDS EAST, 349.53 FEET ALONG THE WESTERLY LINE OF SAID "CHRIST FAMILY TRUST" TO THE **POINT OF BEGINNING**.

CONTAINS 1,310,546 SQUARE FEET OR 30.0860 ACRES, MORE OR LESS.

Appendix B

Traffic Impact Analysis

(Separate Document - 230 Pages)

Final Traffic Impact Analysis for Beatitudes Campus

Prepared for: Orcutt Winslow & City of Phoenix

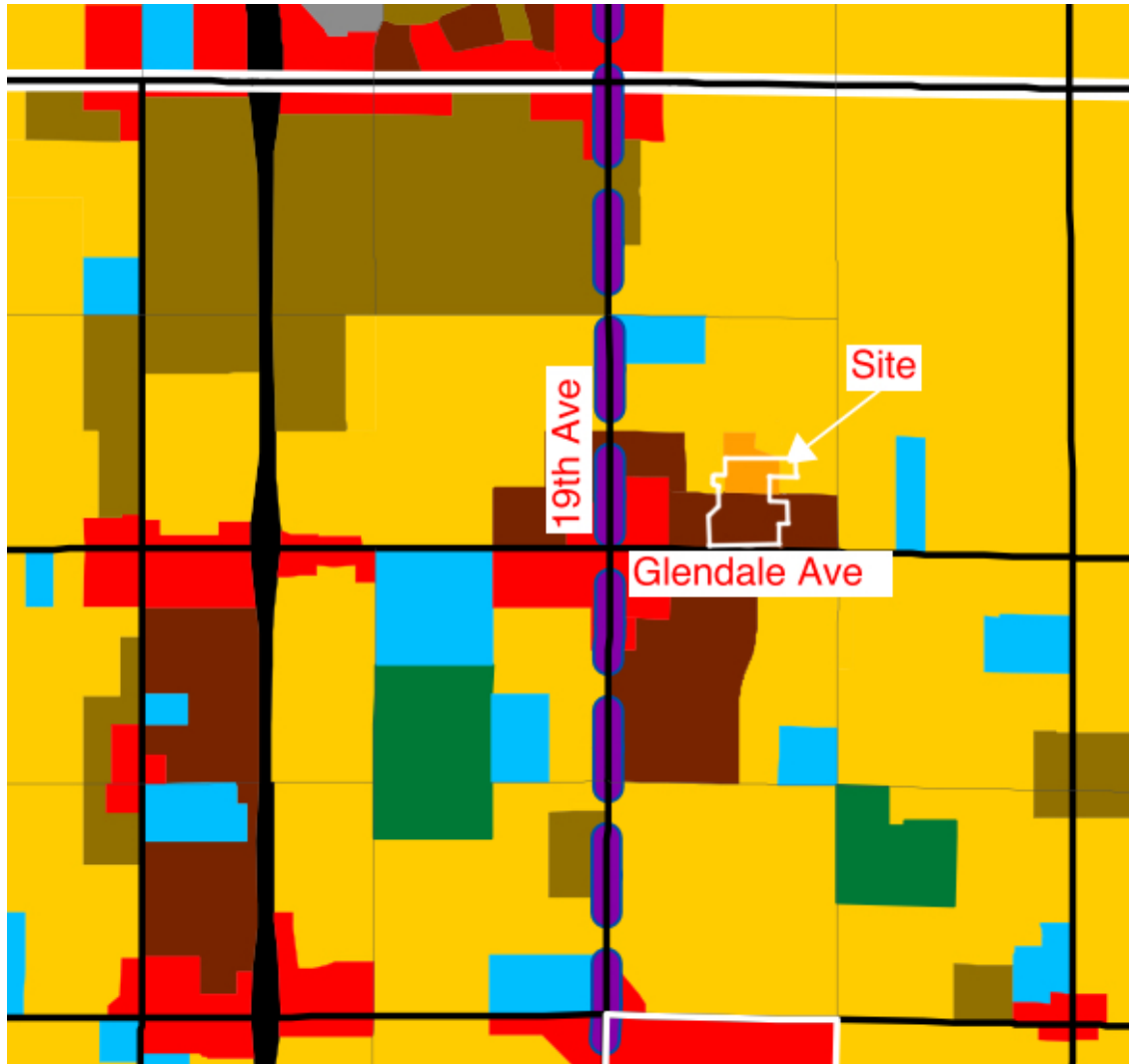
Prepared by: EPS Group, Inc.

Dated: September 28, 2018

FIGURE 1: AERIAL VICINITY MAP



FIGURE 2: GENERAL PLAN LAND USE MAP



LEGEND

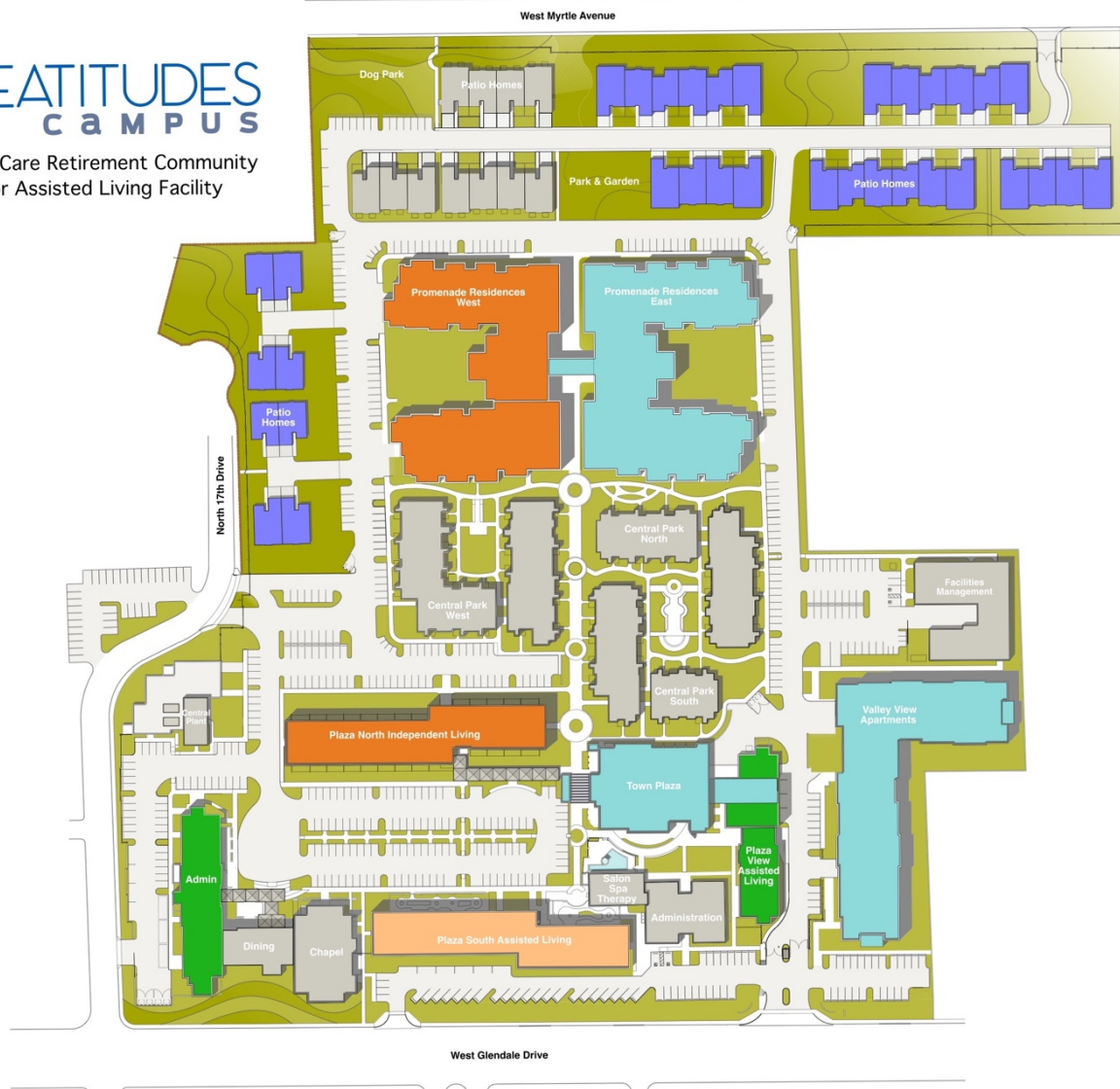
LAND USE

0 to 1 du/acre - Large Lot		NOTE: Movement within large lot, traditional lot and higher density residential categories does not require a General Plan amendment.	Proposed Park in Area
1 to 2 du/acre - Large Lot			Proposed School in Area
2 to 3.5 du/acre - Traditional Lot			R Resort (See NOTES: below)
3.5 to 5 du/acre - Traditional Lot			10 Density Cap
5 to 10 du/acre - Traditional Lot		 Density Cap Limit
10 to 15 du/acre - Higher density attached townhouses, condos, or apartments			
15+ du/acre - Higher density attached townhouses, condos, or apartments			
Parks/Open Space - Publicly Owned			
Parks/Open Space - Privately Owned			
Future Parks/Open Space or 1 du/acre			
Mixed Use Agricultural			
Nurseries/Flower Gardens with alternative 3.5 to 5 du/acre			
Commercial			
Mixed Use (MU)			
Mixed Use (Areas C, D and Northwest Area only)			
			Industrial
			Commerce / Business Park
			Public/Quasi-Public
			Floodplain
			Undesignated Area

FIGURE 3: CONCEPTUAL SITE PLAN / REDEVELOPMENT PHASING PLAN



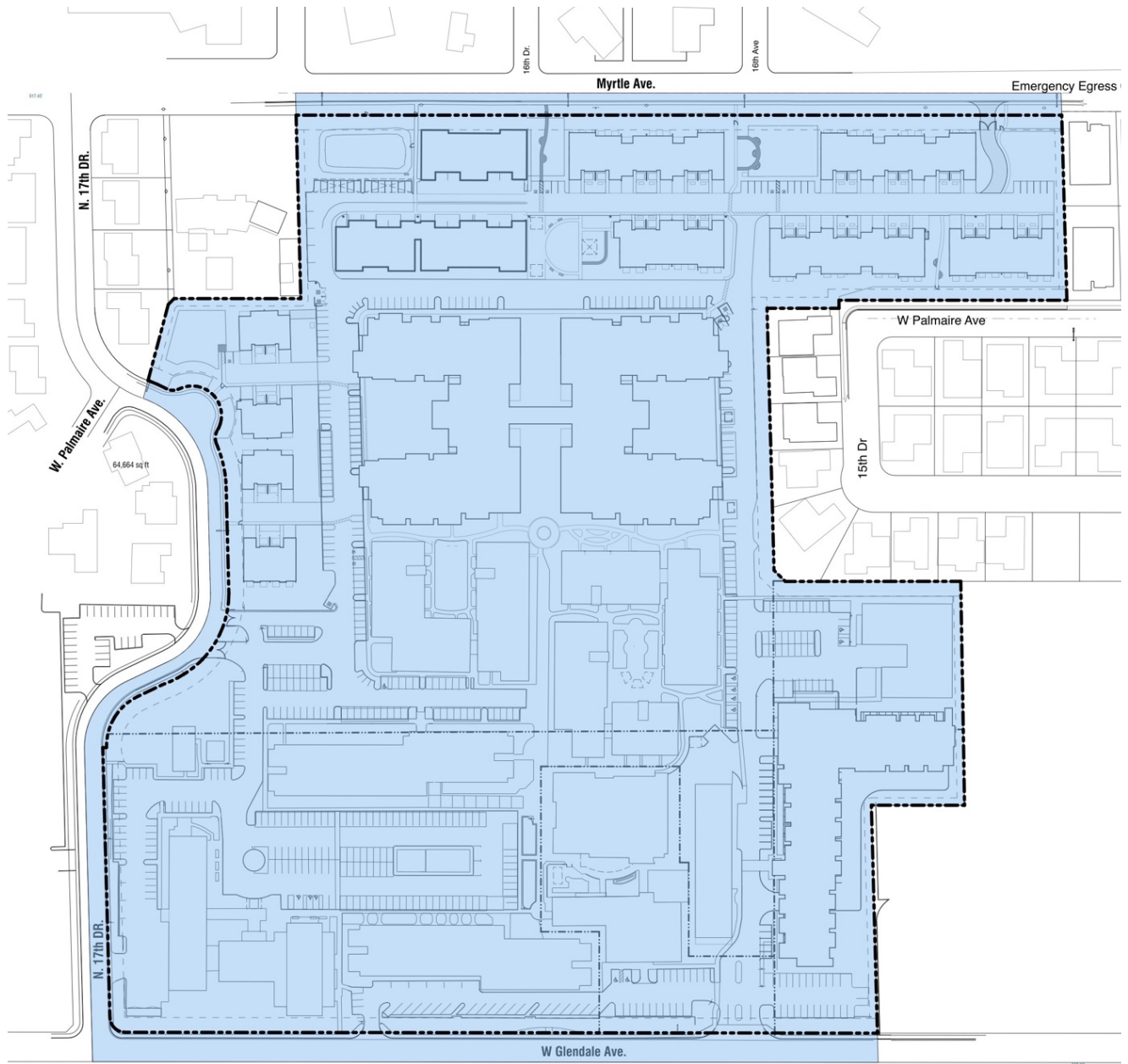
Continuing Care Retirement Community
& Senior Assisted Living Facility



- | | |
|--|--|
| <p>■ PHASE THREE</p> <ul style="list-style-type: none"> • New 72 Independent Living Residences (4-story, max. building height 56') • Renovation of Plaza North (Existing 5-story, building height 52') <p>■ PHASE FOUR</p> <ul style="list-style-type: none"> • Renovation of Plaza South (Existing 5-story, building height 52') <p>■ PHASE FIVE</p> <ul style="list-style-type: none"> • Renovation of Plaza View (Existing 5-story, building height 52') • Renovation - Existing building turn into Admin bldg (Existing 5-story, building height 52') | <p>■ EXISTING NO ALTERATIONS</p> <p>■ PHASE ONE</p> <ul style="list-style-type: none"> • New 34 Patio Homes (1-story, max bldg ht 30') <p>■ PHASE TWO</p> <ul style="list-style-type: none"> • New 72 Independent Living Residences (4-story, max. building height 56') • New 132 Independent Living Apartments (5-story, max. building height 65') • Dining Venues and Amenities |
|--|--|

[illegible]

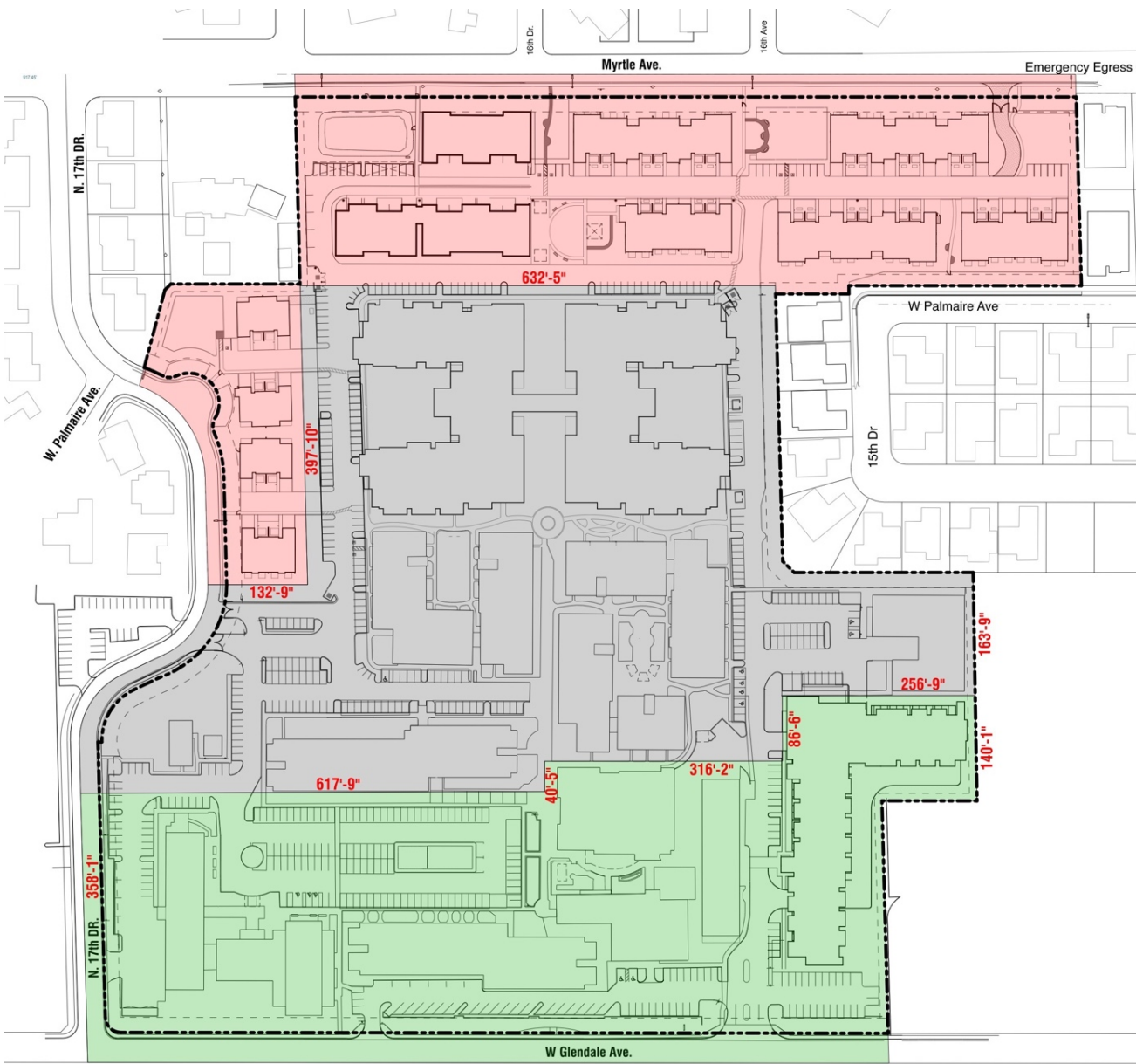
FIGURE 5: PROPOSED ZONING MAP



Legend

- PROPERTY LINE
- PROPOSED PUD ZONING

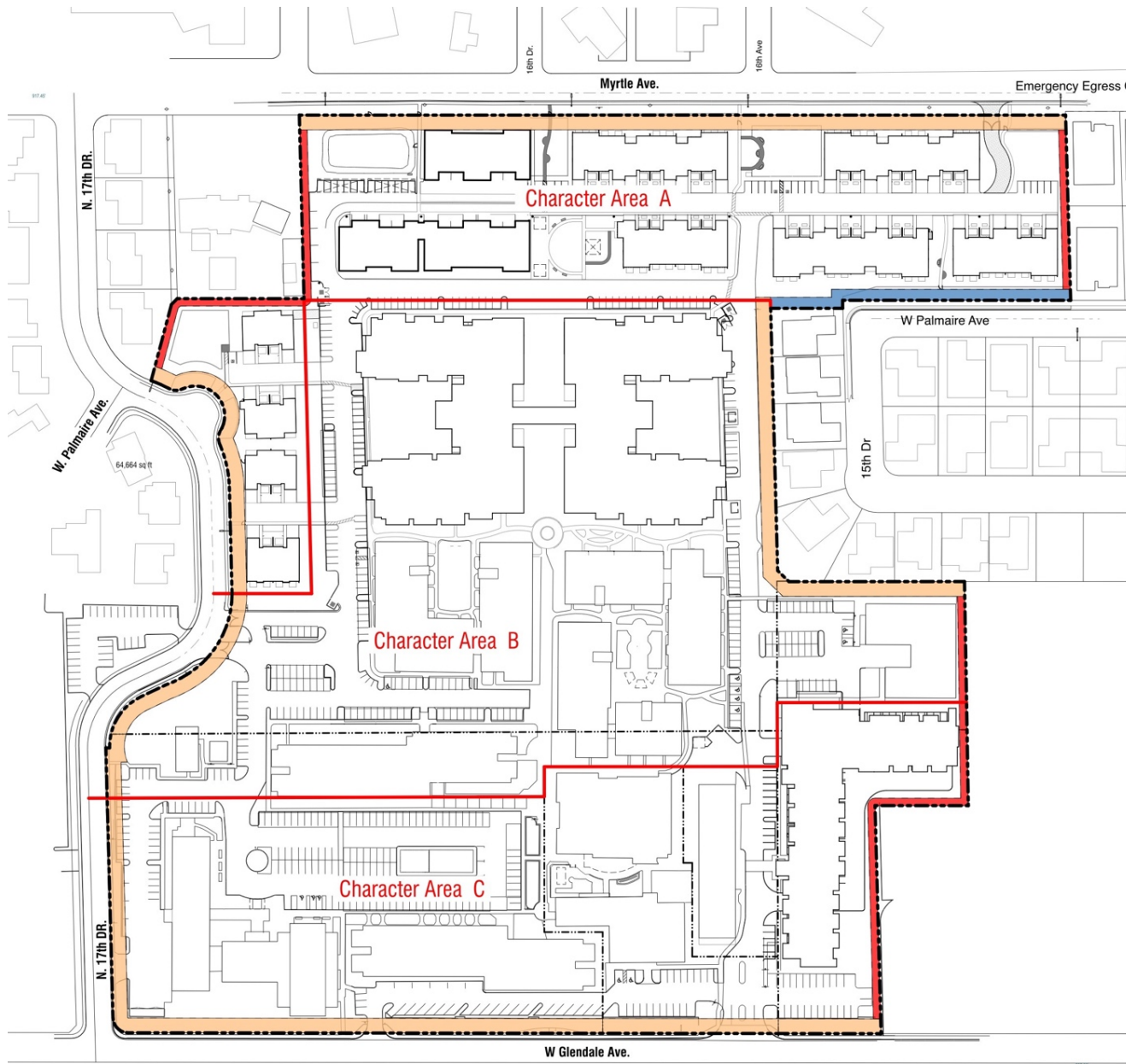
FIGURE 6: PROPOSED CHARACTER AREA PLAN



Legend

- PROPERTY LINE
- CHARACTER AREA 'A'
- CHARACTER AREA 'B'
- CHARACTER AREA 'C'

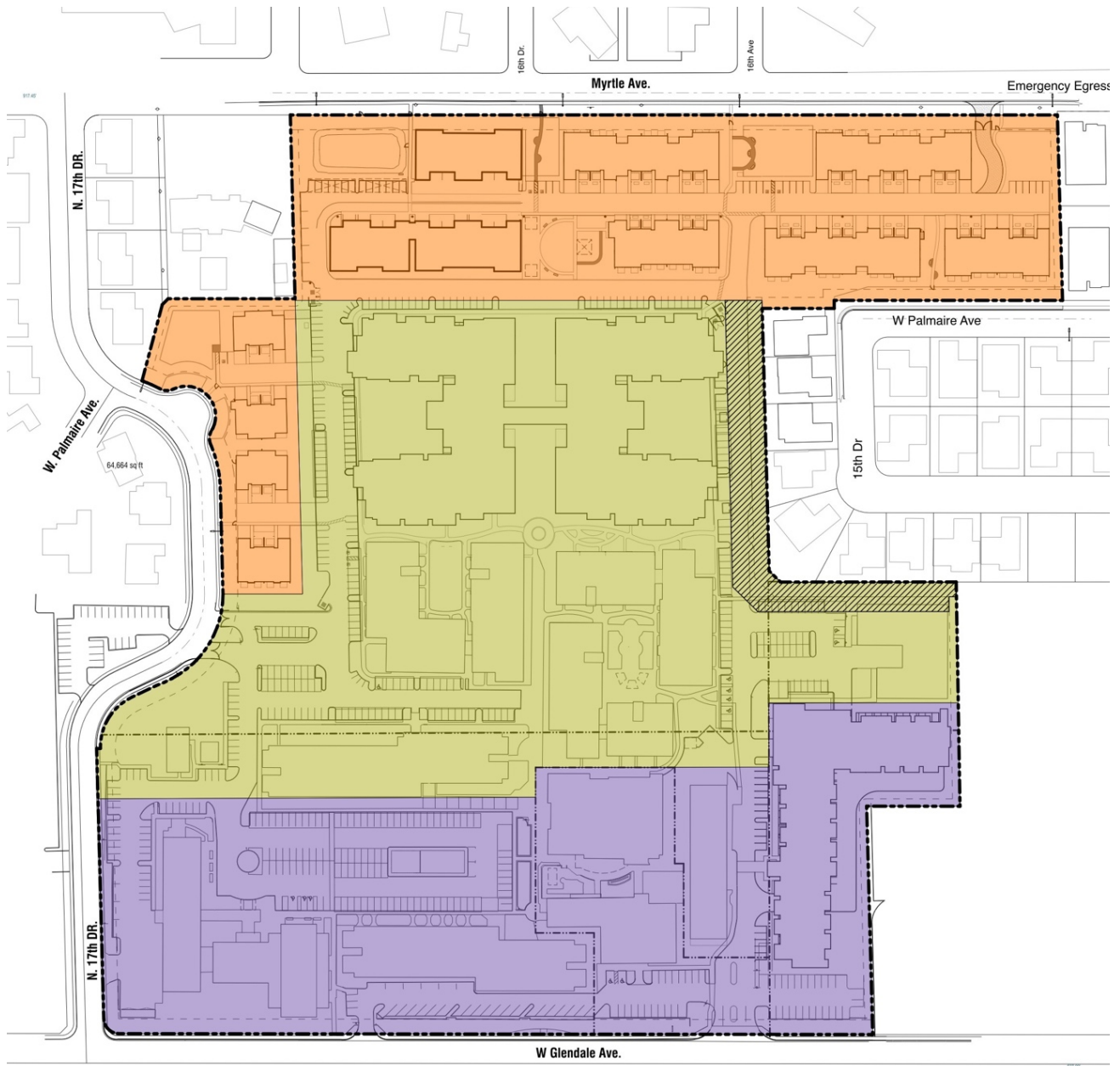
FIGURE 7: MINIMUM BUILDING SETBACK STANDARDS PLAN



Legend

- PROPERTY LINE
- CHARACTER AREA SEPARATION
- 20' SETBACK
- 15' SETBACK
- 10' SETBACK

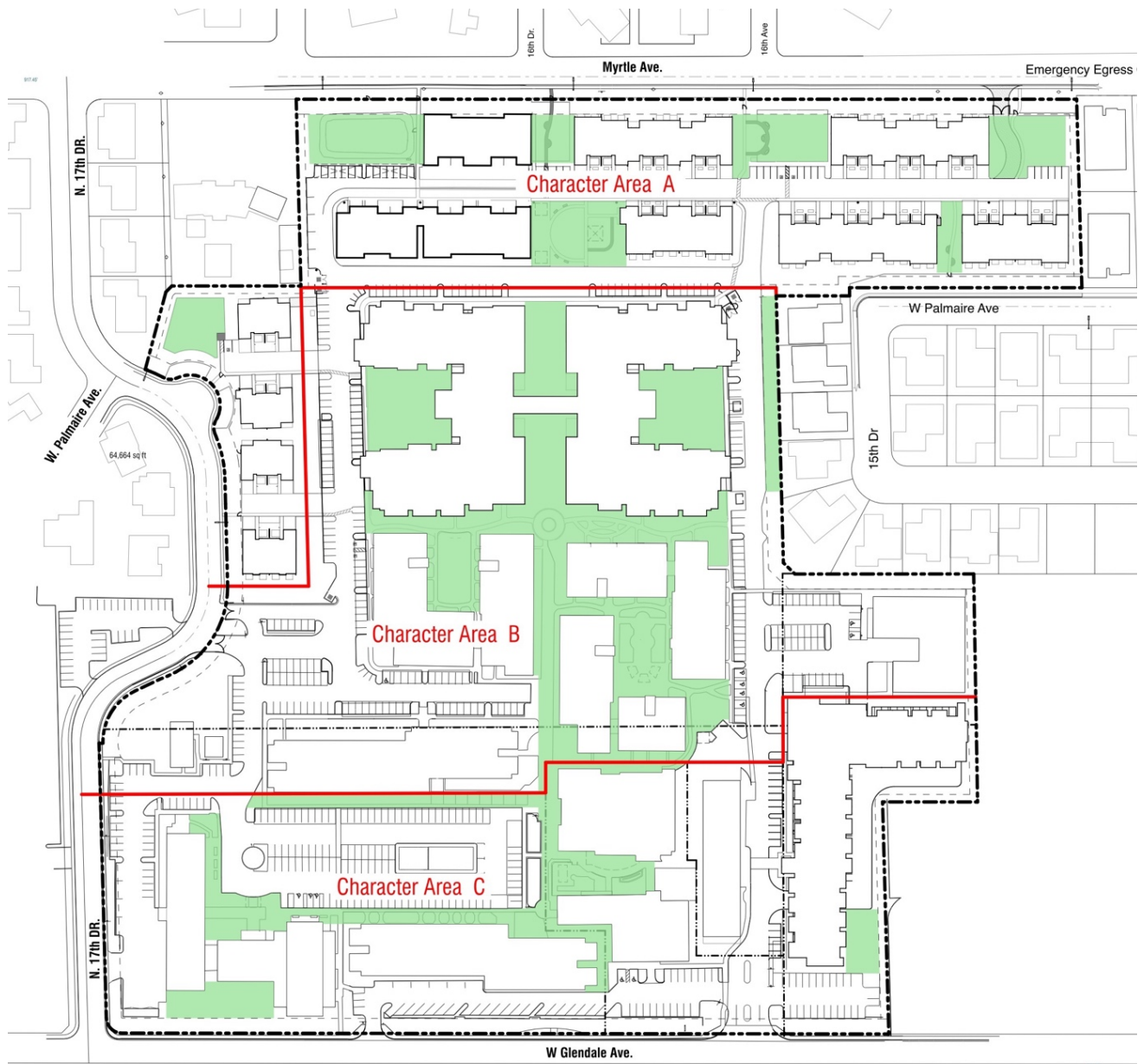
FIGURE 8: MAXIMUM BUILDING HEIGHT STANDARDS PLAN



Legend

- PROPERTY LINE
- CHARACTER AREA 'A' - 30' MAX.
- CHARACTER AREA 'B' - 56' MAX
- CHARACTER AREA 'C' - 65' MAX
- 30' MAX HEIGHT BUFFER WITHIN 50' OF PL.

FIGURE 9: OPEN SPACE PLAN



Legend

- PROPERTY LINE
- CHARACTER AREA SEPARATION
- OPEN SPACE AREA

Character Area	Gross Area	Required Open Space	Provided Open Space
A	357,885 s.f.	5% = 17,894 s.f.	13% = 45,879 s.f.
B	520,788 s.f.	5% = 26,039 s.f.	19% = 100,673 s.f.
C	431,374 s.f.	5% = 21,569 s.f.	12% = 50,349 s.f.
Gross Site	1,310,047 s.f.	5% = 65,502 s.f.	15% = 196,901 s.f.

FIGURE 10: ARCHITECTURAL CHARACTER IMAGERY



FIGURE 11: ARCHITECTURAL DETAIL IMAGERY

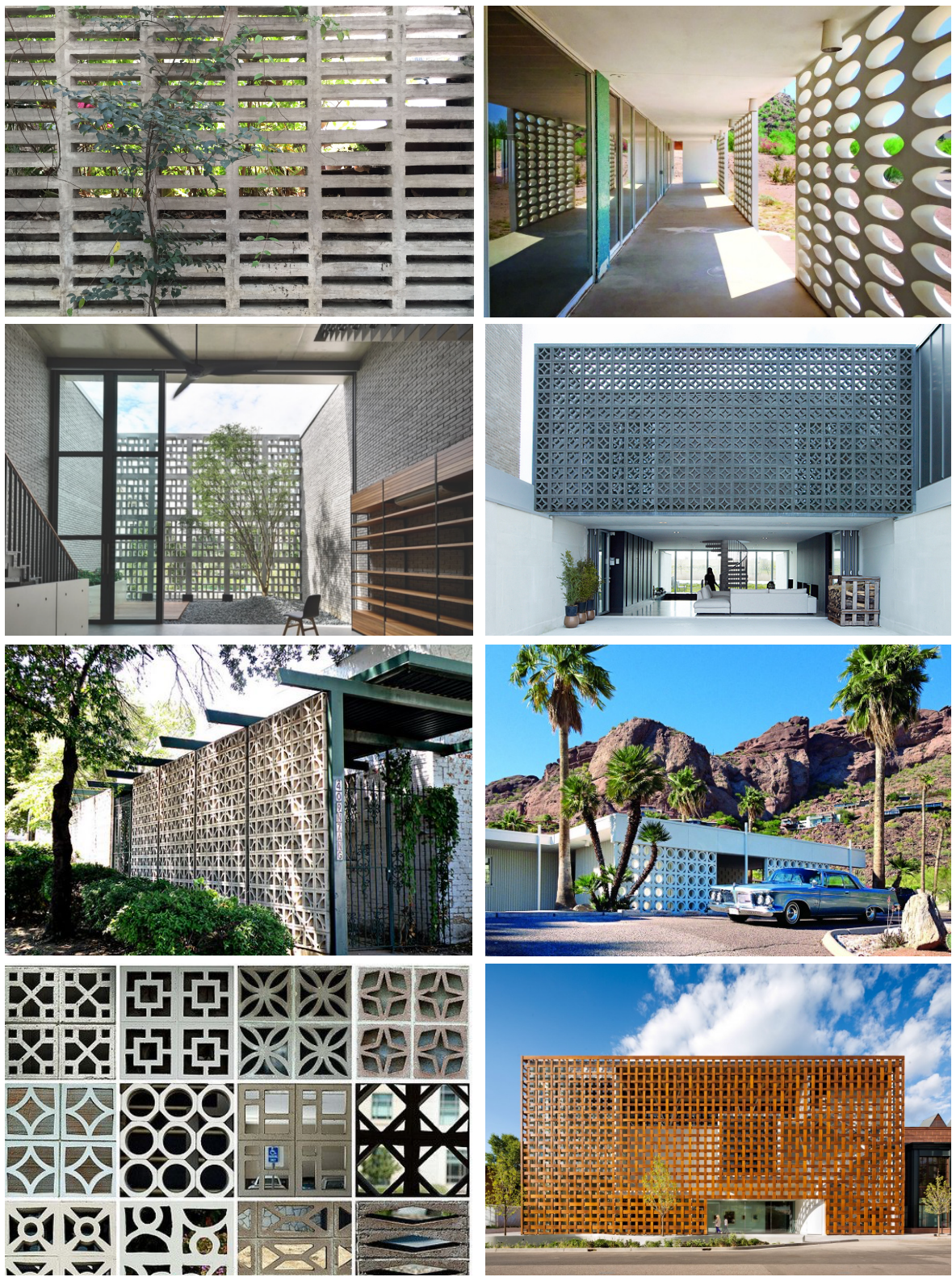


FIGURE 12: ARCHITECTURAL EXTERIOR IMAGERY



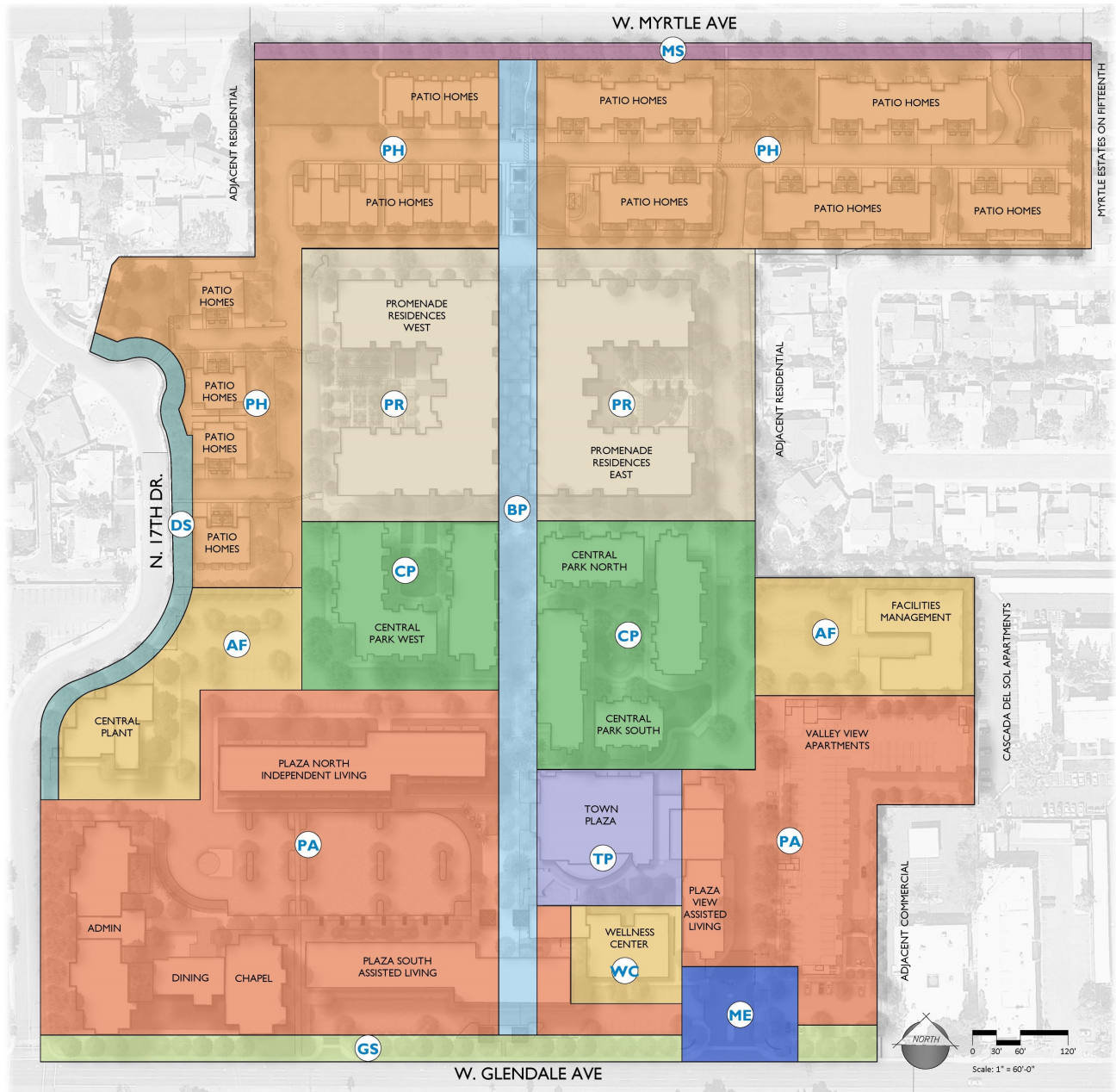
FIGURE 13: CONCEPTUAL LANDSCAPE PLAN



KEYNOTES

- ① MAIN ENTRY
- ② SECONDARY ENTRY
- ③ EXISTING BUILDING
- ④ EXISTING BUILDING TO BE RENOVATED
- ⑤ NEW BUILDING
- ⑥ BEATITUDES PROMENADE
- ⑦ PEDESTRIAN SPINE
- ⑧ AMENITY GARDENS
- ⑨ PEDESTRIAN OFFSITE CONNECTION

FIGURE 14: LANDSCAPE CHARACTER ZONES



- ME Main Entry
- TP Town Plaza
- BP Beatitudes Promenade
- CP Central Park
- PR Promenade Residences
- PA Plaza Apartments
- PH Patio Homes
- WC Wellness Center
- GS Glendale Avenue Streetscape
- MS Myrtle Avenue Streetscape
- DS 17th Drive Streetscape

FIGURE 15: CHARACTER AREA A AMENITIES



KEYNOTES

- ① 6' PERIMETER VIEW FENCE
- ② PATIO HOMES ENTRY DRIVE
- ③ TURF
- ④ PEDESTRIAN GATE
- ⑤ LOW SCREEN WALL
- ⑥ COLORFUL ACCENT TREES
- ⑦ SIDEWALK
- ⑧ PRIVATE PATIO
- ⑨ PRIVATE BACKYARD
- ⑩ PARK OPEN SPACE AREA
- ⑪ PARKING SCREEN WALL

FIGURE 16: CHARACTER AREA A AMENITIES



KEYNOTES

- ① 6' PERIMETER VIEW FENCE
- ② PARK OPEN SPACE AREA
- ③ TURF
- ④ SIGNATURE OLIVE TREE
- ⑤ PEDESTRIAN GATE
- ⑥ COLORFUL ACCENT TREES
- ⑦ HISTORIC SIGNATURE PALM TREE
- ⑧ STABILIZED DG VEHICULAR EMERGENCY ACCESS
- ⑨ SIDEWALK
- ⑩ PRIVATE PATIO
- ⑪ PRIVATE BACKYARD
- ⑫ EMERGENCY ACCESS GATE
- ⑬ HISTORIC SIGNATURE PECAN TREE
- ⑭ PARK AMENITY AREA
- ⑮ PARKING SCREEN WALL
- ⑯ STABILIZED DG STROLLING PATH
- ⑰ BENCH SEATING

FIGURE 17: CHARACTER AREA B AMENITIES



KEYNOTES

- | | |
|---|---|
| ① PEDESTRIAN PROMENADE WITH DECORATIVE PAVING | ⑮ CORN HOLE |
| ② ARCHITECTURAL TRELLIS STRUCTURE WITH VINE PLANTING | ⑯ BUTTERFLY & HUMMING BIRD GARDEN |
| ③ LANDSCAPE BENCH | ⑰ DESERT GARDEN |
| ④ PROMENADE PLAZA WITH SEATING AND PALM TREE PLANTING | ⑱ AMPHITHEATER STAGE WITH SHADE STRUCTURE |
| ⑤ PARKING | ⑲ AMPHITHEATER WITH TURF AND SEATWALL |
| ⑥ BOCCIE BALL COURT | ⑳ TURF OPEN ACTIVITY AREA |
| ⑦ GOLF PUTTING COURSE | ㉑ ACCENT PALM TREE PLANTING |
| ⑧ SUNSET CHAPEL | ㉒ SEATWALL |
| ⑨ DOG RUN AREA WITH ARTIFICIAL TURF | ㉓ WATER FEATURE WITH BUBBLERS |
| ⑩ TRELLIS WITH VINE | ㉔ TRELLIS SHADE STRUCTURE WITH VINE |
| ⑪ DOG WASHING STATION | ㉕ PLANTER SEATWALL WITH PALO VERDE |
| ⑫ TURF & PLANTING GRID PLAZA | ㉖ ROSE GARDEN |
| ⑬ STABILIZED DECOMPOSED GRANITE PATH | |
| ⑭ PLAZA WITH SEATWALL AND SIGNATURE OLIVE TREE | |

FIGURE 18: CHARACTER AREA C AMENITIES



GLENDALVE AVE.

KEYNOTES

- | | | | |
|----|--|----|------------------------------------|
| 11 | BUILDING ENTRY | 1 | VEHICULAR ENTRY |
| 12 | LANDSCAPE BENCH | 2 | ENTRY PLAZA WITH LANDSCAPE BENCHES |
| 13 | EXISTING SECURITY KIOSK | 3 | SCREEN WALL WITH VINE PLANTING |
| 14 | EXISTING ENTRY MONUMENT | 4 | DECORATIVE VEHICULAR PAVING |
| 15 | 24" WROUGHT IRON FENCE ADDITION TO EXISTING PERIMETER WALL | 5 | ENTRY PALM TREE THEME PLANTING |
| 16 | VINE PLANTING | 6 | PARKING |
| 17 | DECORATIVE POT | 7 | HUMMINGBIRD/ BUTTERFLY GARDEN |
| 18 | FIRE PIT AREA WITH SEATING | 8 | OPEN TURF ACTIVITY AREA |
| | | 9 | RAMADA WITH PICNIC TABLES |
| | | 10 | STROLLING PATH |

FIGURE 19: PARKING LIGHT FIXTURE CUTSHEET

McGraw-Edison

DESCRIPTION

The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and UL/cUL Listed for wet locations.

SPECIFICATION FEATURES

Construction

Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

Optics

Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT 70 CRI. Optional 3000K, 5000K and 6000K CCT.

Electrical

LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 600mA, 800mA and 1200mA drive currents (nominal).

Mounting

STANDARD ARM MOUNT: Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the

arm mounting requirement table. Round pole adapter included. For wall mounting, specify wall mount bracket option. **QUICK MOUNT ARM:** Adapter is bolted directly to the pole. Quick mount arm slide into place on the adapter and is secured via two screws, facilitating quick and easy installation. The versatile, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

Finish

Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

Warranty

Five-year warranty.



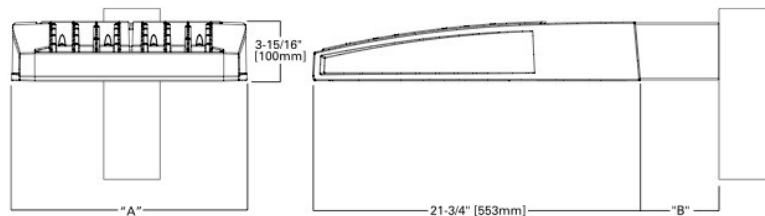
GLEON GALLEON LED

1-10 Light Squares
Solid State LED

AREA/SITE LUMINAIRE



DIMENSIONS



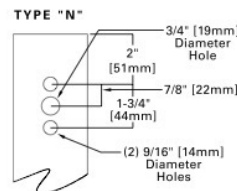
DIMENSION DATA

Number of Light Squares	"A" Width	"B" Standard Arm Length	"B" Optional Arm Length ¹	Weight with Arm (lbs.)	EPA with Arm ² (Sq. Ft.)
1-4	15-1/2" (394mm)	7" (178mm)	10" (254mm)	33 (15.0 kgs.)	0.96
5-6	21-5/8" (549mm)	7" (178mm)	10" (254mm)	44 (20.0 kgs.)	1.00
7-8	27-5/8" (702mm)	7" (178mm)	13" (330mm)	54 (24.5 kgs.)	1.07
9-10	33-3/4" (857mm)	7" (178mm)	16" (406mm)	63 (28.6 kgs.)	1.12

NOTES: 1. Optional arm length to be used when mounting two fixtures at 90° on a single pole. 2. EPA calculated with optional arm length.



DRILLING PATTERN



CERTIFICATION DATA

UL/cUL Wet Location Listed
ISO 9001
LM79 / LM80 Compliant
3G Vibration Rated
IP66 Rated
DesignLights Consortium® Qualified*

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120V-277V 50/60Hz
347V & 480V 60Hz
-40°C Min. Temperature
40°C Max. Temperature
50°C Max. Temperature (HA Option)



*www.designlights.org

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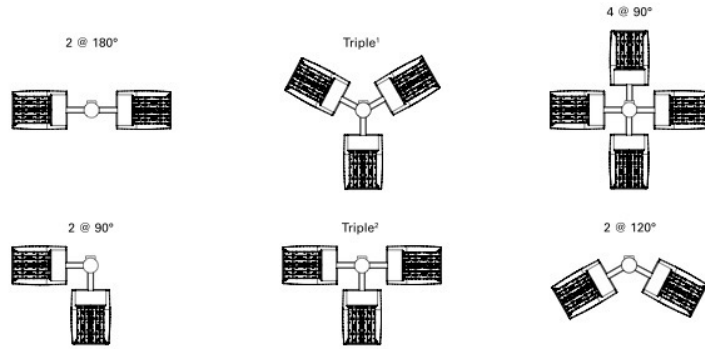
FIGURE 20: PARKING LIGHT FIXTURE DETAILS

page 2

GLEON GALLEON LED

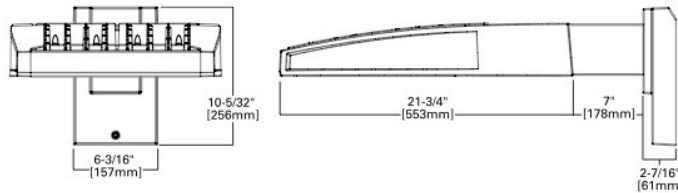
ARM MOUNTING REQUIREMENTS

Configuration	90° Apart	120° Apart
GLEON-AF-01	7" Arm (Standard)	7" Arm (Standard)
GLEON-AF-02	7" Arm (Standard)	7" Arm (Standard)
GLEON-AF-03	7" Arm (Standard)	7" Arm (Standard)
GLEON-AF-04	7" Arm (Standard)	7" Arm (Standard)
GLEON-AF-05	10" Extended Arm (Required)	7" Arm (Standard)
GLEON-AF-06	10" Extended Arm (Required)	7" Arm (Standard)
GLEON-AF-07	13" Extended Arm (Required)	13" Extended Arm (Required)
GLEON-AF-08	13" Extended Arm (Required)	13" Extended Arm (Required)
GLEON-AF-09	16" Extended Arm (Required)	16" Extended Arm (Required)
GLEON-AF-10	16" Extended Arm (Required)	16" Extended Arm (Required)

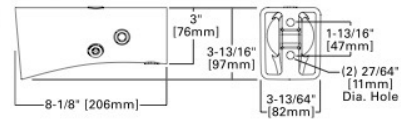


NOTES: 1 Round poles are 3 @ 120°. Square poles are 3 @ 90°. 2 Round poles are 3 @ 90°.

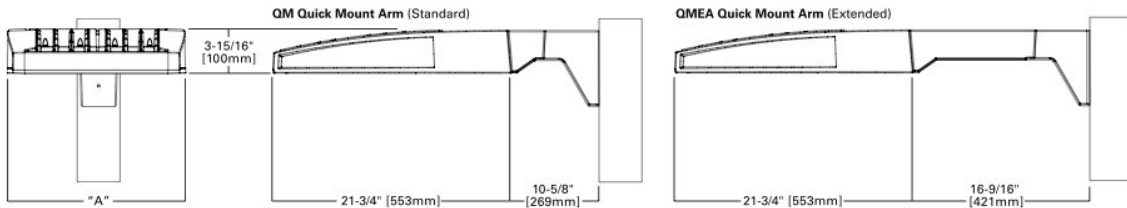
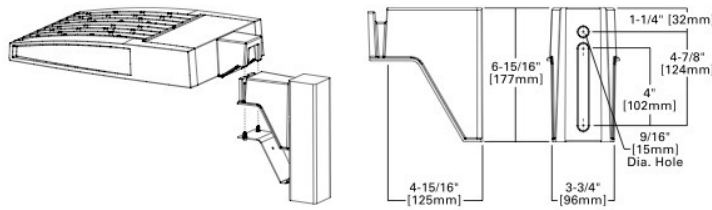
STANDARD WALL MOUNT



MAST ARM MOUNT



QUICK MOUNT ARM (INCLUDES FIXTURE ADAPTER)



QUICK MOUNT ARM DATA

Number of Light Squares ^{1,2}	"A" Width	Weight with QM Arm (lbs.)	Weight with QMEA Arm (lbs.)	EPA (Sq. Ft.)
1-4	15-1/2" (394mm)	35 (15.91 kgs.)	38 (17.27 kgs.)	1.11
5-6 ³	21-5/8" (549mm)	46 (20.91 kgs.)	49 (22.27 kgs.)	
7-8	27-5/8" (702mm)	56 (25.45 kgs.)	59 (26.82 kgs.)	

NOTES: 1 QM option available with 1-8 light square configurations. 2 QMEA option available with 1-6 light square configurations. 3 QMEA arm to be used when mounting two fixtures at 90° on a single pole.



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www.eaton.com/lighting

Specifications and
dimensions subject to
change without notice.

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FIGURE 21: PEDESTRIAN BOLLARD LIGHT FIXTURE CUTSHEET

Lumière

DESCRIPTION

Eon 303-B1-LEDB2 is a compact, low profile, dimmable, LED bollard that provides downlight only via a fixed head. 303-B1-LEDB2 has a single head on one side of the luminaire. The bollard comes standard with universal input LED drivers (120-277V, 50/60 Hz). Dimming is achieved with a standard ELV, reverse phase dimming driver or an optional 0-10V dimming driver. Eon fixtures may be used indoors or outdoors and carry an IP66 rating. The patented LumaLevel™ leveling system provides quick installation, easy adjustment, secure mounting and protection from vibration.

SPECIFICATION FEATURES

Construction

The head of the 303-B1-LEDB2 is precision machined from corrosion-resistant 6061-T6 aluminum. Body is extruded aluminum and adjustable mounting base is cast from corrosion resistant aluminum alloy. Stainless steel hardware is included. Four (4) 3/8" x 12" galvanized anchor bolts and a galvanized steel anchor bolt template are standard. Specify option -LAB and order the anchor bolt/template kit separately (Catalog: 7581-01PK).

Optical

LightBAR™ and optical assembly are sealed by a clear, impact resistant tempered glass lens. The optical assembly is available in three distributions: T2 (lateral throw), T4 (forward throw) and T5X (Flood). Available in several color temperatures: 2700K, 3000K, 3500K,

4000K and TSAM (Amber). Both color temperature and distribution must be specified when ordering – see catalog logic for details. An edge-lit option is available.

Electrical

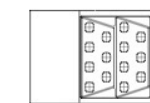
The bollard is standard with an ELV trailing edge phase dimmable driver that accepts a universal input (120-277, 50/60Hz). The standard driver is ELV trailing edge phase dimmable. An optional 0-10V dimming driver is also available. Both driver options incorporate surge protection. The receptacle option incorporates a specification grade, 120V, 15A tamper proof and weather resistant duplex GFCI. The photocell option comes in either a 120V or 277V. Please see Option section for more detail.

Finish

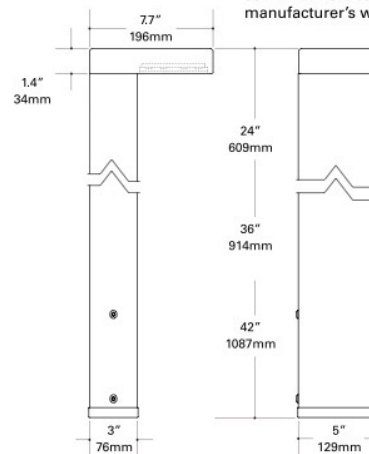
Luminaire and mounting base are double protected by a RoHS compliant chemical film undercoating and polyester powdercoat paint finish. The mounting base is painted black. The luminaire housing and head are available in a variety of standard colors. RAL and custom color matches are available upon request. As an option, the Eon bollards are also available in colors to match other outdoor Eaton product lines, such as Invue. See the Finish section in the ordering detail for more detail. The LightBAR™ cover plates are standard white.

Warranty

Lumière warrants the EON series of fixtures against defects in material and workmanship for five (5) years. Auxiliary equipment such as LED drivers carries the original manufacturer's warranty.



Under side profile view



303-B1-LEDB2

EON LED

APPLICATIONS:
BOLLARD

CERTIFICATION DATA

UL and cUL Wet Location Listed
LM79 / LM80 Compliant
ROHS Compliant
IP66 Ingress Protection Rated

TECHNICAL DATA

50°C Maximum Temperature Rating
External Supply Wiring 90°C Minimum



ORDERING INFORMATION

Sample Number: 303-B1-LEDB2-2700-120-T2-DIM10-BK-42-EDGE-PC1-RFL-LAB

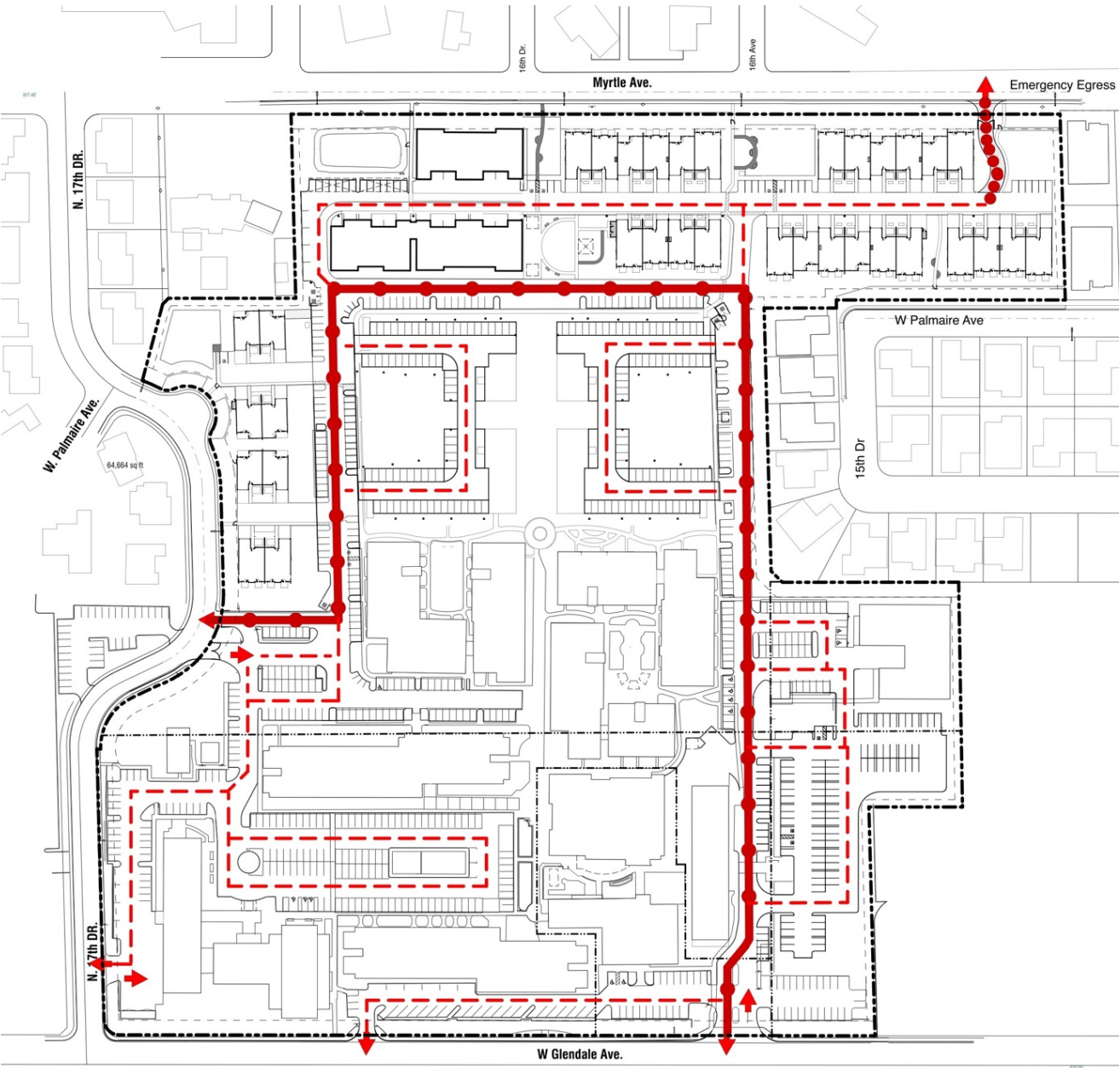
Series ¹	Color Temperature	Input Voltage	Optics	Dimming	Finish ²	Height ⁴	Options ⁵
303-B1-LEDB2 Head contains two (2) Mini LightBAR™	2700=2700K 3000=3000K 3500=3500K 4000=4000K TSAM=Turtle Safe Amber (585-595nm)	UNV=120-277V ¹ 120=120V 277=277V ²	T2 =Type II, Lateral Throw T4 =Type IV, Forward Throw T5X =Type V, Extra Wide Flood	DIMELV=Trailing Edge Phase Dimming Driver DIM10=0-10V Dimming Driver	Painted BK=Black BZ=Bronze CS=City Silver WT=White Premium Paint AP=Grey DP=Dark Platinum GM=Graphite Metallic	24=24" 36=36" 42=42"	EDGE=Edge lit glass lens PC1=Photocontrol 120V ⁴ PC2=Photocontrol 208-277V ⁴ RIU=Receptacle - In Use (120V Only) ⁶ RFL=Receptacle - Flip-Lid (120V Only) ⁶ LAB=Less Anchor Bolts & Template ⁷

NOTES: 1 Universal Voltage (UNV) is standard unless specifying Photocontrol or Receptacle (RIU or RFL - 120V) options. 2 Specify for PC2 option only. 3 Custom and RAL color matching available upon request. Consult factory for further information. 4 Bollard heights are nominal (shown in inches). 5 Add suffix in the order shown. 6 Must specify voltage when ordering. 7 When specifying LAB option the anchor bolts and template need to be ordered separately 7581-01PK. 8 DesignLights Consortium™ Qualified and classified for DLC Standard. Refer to www.designlights.org for details on exact qualified EON 303-B1-LEDB2 product as not all configurations are DLC classified.



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March 15, 2016

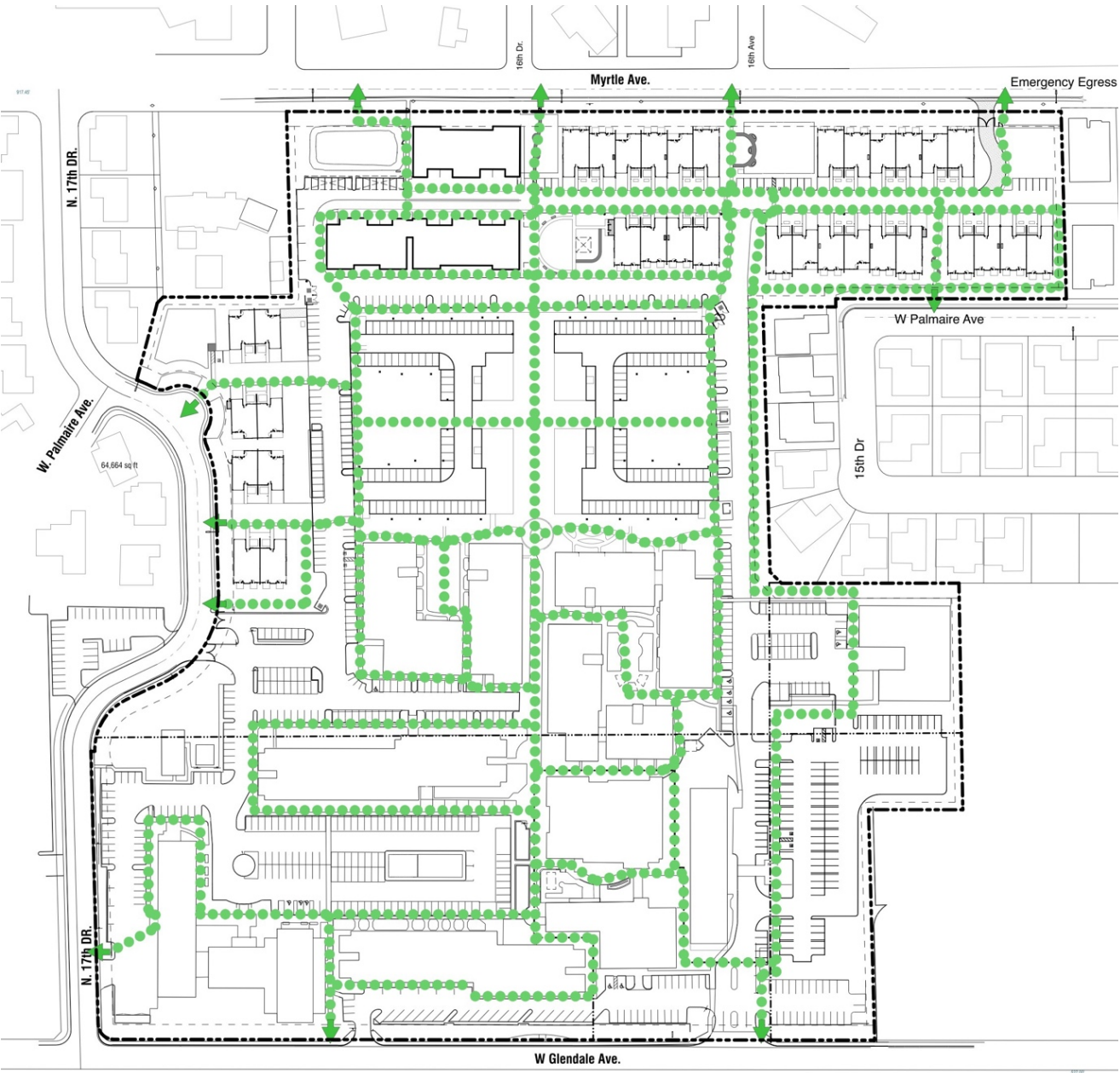
FIGURE 22: VEHICULAR CIRCULATION PLAN



Legend

- PROPERTY LINE
- PRIMARY DRIVE AISLE
- - - SECONDARY DRIVE AISLE
- EMERGENCY ACCESS ONLY
- ← INGRESS / EGRESS POINT

FIGURE 23: PEDESTRIAN / BICYCLE CIRCULATION PLAN



Legend

- PROPERTY LINE
- PEDESTRIAN WALKWAY / BICYCLE ROUTE

TABLE 1: ADJACENT ZONING AND LAND USE

Location	Ownership	General Plan	Zoning	Land Use
North	Multiple Single Family Parcels	3.5-5 du/ac Traditional Lot	R1-6	Single-family Residential
South	Multiple Single Family Parcels	15+ du/acre – Higher Density	R-5, C-1	Multi-family Residential
East	Multiple Single Family Parcels	15+ du/acre – Higher Density & 3.5-5 du/ac Traditional Lot	R1-6, R-4, C-O	Commercial Office & Multi-family residential
West	Multiple Single Family Parcels	Commercial & 15+ du/acre – Higher Density	R-5, P-1, R1-6	Commercial Office & Parking

TABLE 2: CHARACTER AREA A DEVELOPMENT STANDARDS AND GUIDELINES

DEVELOPMENT STANDARDS	Character Area A	
	R-2	PUD
	COMPARATIVE	PROPOSED
MINIMUM LOT WIDTH / DEPTH	40' width, 50' depth	40' width, 50' depth
DENSITY, MAXIMUM NUMBER OF DWELLING UNITS	10 dwelling units/acre (82 units)	5.5 dwelling units/acre (45 units)
PERIMETER STANDARDS	20' front, 15' rear, 10' side	20' front, 15' rear, 10' side
BUILDING SETBACKS / BUILD-TO LINES	10' Front, 35' front plus rear	10' Front, 35' front plus rear
LANDSCAPE SETBACKS	N/A	N/A
BUILDING SEPARATION	N/A	N/A
MAXIMUM HEIGHT	2 stories and 30'	2 stories and 30'
LOT COVERAGE (MAXIMUM)	45%	45%
DIVISION OF USES	N/A	N/A
STREET STANDARDS	Public Street	Public Street
COMMON AREAS	Per Section 703	Per Section 703
REQUIRED REVIEW	Development review per section 507	Development review per section 507

TABLE 3: CHARACTER AREA B DEVELOPMENT STANDARDS AND GUIDLINES

DEVELOPMENT STANDARDS	Character Area B	
	R-5	PUD
	COMPARATIVE	PROPOSED
MINIMUM LOT WIDTH / DEPTH	40' Width, 50' Depth	40' Width, 50' Depth
DENSITY, MAXIMUM NUMBER OF DWELLING UNITS	43.5 dwelling units/acre (522 units)	40.3 dwelling units/acre (482 units)
PERIMETER STANDARDS	20' Front, 15' Rear, 10' Side	20' Front, 10' Rear, 10' Side 20' adjacent to residential
BUILDING SETBACKS / BUILD-TO LINES	10' Front, 30' Front Plus Rear	10' Front, 30' Front Plus Rear
LANDSCAPE SETBACKS	N/A	N/A
BUILDING SEPARATION	N/A	N/A
MAXIMUM HEIGHT	4-Stories or 48'	4-Stories or 56'
LOT COVERAGE	50%	50%
DIVISION OF USES	N/A	N/A
STREET STANDARDS	Public street	Public street
COMMON AREAS	Per Section 703	Per Section 703
REQUIRED REVIEW	Subdivision with bldg. setbacks	Subdivision with bldg. setbacks

TABLE 4: CHARACTER AREA C DEVELOPMENT STANDARDS AND GUIDLINES

DEVELOPMENT STANDARDS	Character Area C	
	C-1, R-4 ,R-5	PUD
	COMPARATIVE	PROPOSED
MINIMUM LOT WIDTH / DEPTH	Per Existing Site Plan	N/A
DENSITY, MAXIMUM NUMBER OF DWELLING UNITS	43.5 dwelling units/acre (430 units)	37.6 dwelling units/acre (372 units)
PERIMETER STANDARDS	For structures not exceeding two stories or 30' Minimum 20' permitted for up to 50% of structure, including projections	20' front, 10' side
BUILDING SETBACKS / BUILD-TO LINES	For structures not exceeding two stories or 30' Minimum 20' permitted for up to 50% of structure, including projections	20' front, 10' side
LANDSCAPE SETBACKS	Average 25' for structures not exceeding two stories or 30', minimum 20' permitted for up to 50% of the frontage. Average 30', for structures exceeding two stories or 30' minimum 20' for up to 50% of the frontage.	20' front, 10' side
BUILDING SEPARATION	N/A	N/A
MAXIMUM HEIGHT	4-Stories or 48'	5 Stories or bldg. ht. 65'
LOT COVERAGE	Lot Coverage: Lot coverage shall not exceed 50 percent (50%) of the net lot area exclusive of the first six (6) feet of roof overhang, open carports, covered patios or covered walkways.	50%
DIVISION OF USES	N/A	N/A
STREET STANDARDS	Public Street	Public Street
COMMON AREAS	Per Section 703	Per Section 703
REQUIRED REVIEW	Per Existing Site Plan	

TABLE 5: Residential Units

Character Area	Gross Area (acres)	Maximum # of units	Maximum Density (units/acre)
A	8.2	45	5.5
B	12.0	482	40.3
C	9.9	372	37.6
overall	30.1	899	29.9

TABLE 6: LANDSCAPE STANDARD TABLE

NO.	BOTANICAL NAME	COMMON NAME	ZONE											
			ME	TC	BP	CP	CA	PA	PH	AF	GS	MS	DS	
TREES														
T1	Caesalpinia cacalaco 'Smoothie'	Thornless Cascalote				X	X	X						
T2	Chitalpa tashkentensis 'Pink Dawn'	Chitalpa		X		X	X	X		X				
T3	Citrus species	Citrus					X					X		
T4	Fraxinus velutina 'Fan Tax'	Fan Tex Ash							X					
T5	Jacaranda mimosifolia	Jacaranda			X	X	X	X						
T6	Olea europeae 'Swan Hill'	Swan Hill Olive			X		X	X	X					
T7	Parkinsonia x 'Desert Museum'	Desert Museum Palo Verde					X	X	X					
T8	Phoenix dactylifera	Date Palm			X									
T9	Phoenix roebelenii	Pygmy Palm		X			X	X						
T10	Pinus elderica	Mondel Pine							X	X				
T11	Pistacia x 'Red Push'	Red Push Pistache	X		X	X	X	X	X		X	X	X	X
T12	Quercus virginiana 'Heritage'	Heritage Live Oak				X	X	X	X		X			
T13	Ulmus parviflora	Chinese Evergreen Elm	X	X		X	X	X	X	X		X	X	X
T14	Vitex agnus-castus	Chaste Tree		X	X	X	X	X	X	X	X	X		X
T15	Washingtonia robusta	Mexican Fan Palm	X				X	X	X				X	
SHRUBS / ACCENTS														
S1	Abutilon palmeri	Indian Mallow		X		X	X							
S2	Agave desmettiana	Smooth Agave	X				X	X			X			
S3	Agave victoriae-reginae	Queen Victoria Agave							X					
S4	Aloe barbadensis	Aloe Vera		X	X	X	X	X						
S5	Aloe hybrid 'Blue Elf'	Blue Elf Aloe	X	X	X	X	X	X	X		X			
S6	Asclepias subulata	Desert Milkweed					X	X	X	X	X			
S7	Bulbine frutescens 'Tiny Tangerine'	Tiny Tangerine Bulbine	X	X	X	X	X	X	X					
S8	Calliandra eriophylla	Pink Fairy Duster				X	X	X	X	X	X	X	X	
S9	Dasyliiron wheeleri	Desert Spoon					X	X	X	X	X	X	X	X
S10	Eremophila maculata 'Valentine'	Valentine Emu Bush	X		X	X			X		X			
S11	Gaura lindheimeri 'Siskiyou Pink'	Pink Gaura		X	X	X	X	X	X					
S12	Hesperaloe parviflora 'Brakelights'	Brakelights Red Yucca					X	X	X	X	X			X
S13	Justicia californica	Chuparosa		X		X	X	X	X	X				X
S14	Leucophyllum langmaniae 'Rio Bravo'	Rio Bravo Sage					X	X	X	X	X	X	X	
S15	Muhlenbergia capillaris 'Regal Mist'	Regal Mist' Muhly			X									
S16	Muhlenbergia lindheimeri 'Autumn Glow'	Autumn Glow' Muhly		X	X	X	X	X	X				X	X
S17	Muhlenbergia rigida 'Nashville'	Purple Muhly	X	X		X	X	X	X		X			
S18	Portulacaria afra minima	Dwarf Elephant Food		X		X	X	X						
S19	Pedilanthus macrocarpus	Lady Slipper		X			X	X	X					
S20	Rosa species	Rosa species			X	X	X	X	X					
S21	Ruellia penninsularis	Ruellia				X	X	X		X	X			
S22	Russelia equisetiformis	Firecracker Bush	X	X	X	X	X	X	X	X	X			
S23	Simmondsia chinensis 'Vista'	Compact Jojoba					X	X	X	X	X	X	X	X
S24	Tecoma stans 'Gold Star'	Yellow Bells		X	X	X	X	X	X	X				
S25	Tecoma x 'Orange Jubilee'	Orange Jubilee	X	X	X	X	X	X	X	X				
S26	Yucca palida	Pale Leaf Yucca					X	X	X		X			
GROUNDCOVERS														
G1	Eremophila prostrata 'Outback Sunrise' *	Outback Sunrise Emu	X				X	X	X				X	X
G2	Lantana x 'Dallas Red'	Dallas Red Lantana		X	X	X	X	X	X	X	X			
G3	Lantana x 'New Gold'	New Gold Lantana		X	X	X	X	X	X	X	X	X		X
G4	Lantana montevidensis	Purple Trailing Lantana	X	X	X	X	X	X	X		X			
VINES														
V1	Grewia occidentalis	Star Lavender Vine		X		X	X	X	X					
V2	Bougainvillea species	Bougainvillea Vine		X	X		X	X	X					
V3	Rosa banksiae 'Alba Plena'	White Lady Banks Rose		X	X		X	X	X					
TURF														
TU1	Cynodon dactylon 'Tifway 419'	Tifway 419		X		X	X	X	X				X	X

X = allowed species