

**SNELL
& WILMER**

CITY OF PHOENIX

MAY 20 2026

**Planning & Development
Department**



**PLAZA COMPANIES
HOSPITALITY**
CASE NO. Z-87-E-03-2

LOCATED AT THE SOUTHEAST CORNER OF MAYO BOULEVARD

DATE OF INITIAL SUBMISSION: SEPTEMBER 11, 2025
2ND SUBMITTAL: NOVEMBER 19, 2025
3RD SUBMITTAL: DECEMBER 30, 2025
HEARING DRAFT SUBMITTAL: JANUARY 12, 2026
CITY COUNCIL ADOPTED: APRIL 8, 2026

A Planned Unit Development (“PUD”) is intended to be a stand-alone document of zoning regulations for a particular project. Provisions not specifically regulated by the PUD are governed by the Phoenix Zoning Ordinance. A PUD may include substantial background information to help illustrate the intent of the development. The purpose and intent statements are not requirements that will be enforced by the City. The PUD only modifies Zoning Ordinance regulations and does not modify other City Codes or requirements. Additional public hearings may be necessary, such as, but not limited to, right-of way abandonments.

Principals and Development Team

Developers

Plaza Companies
9401 W Thunderbird Road, Suite 200
Peoria, AZ 85381
www.theplazaco.com



Fayth Hospitality Group, LLC
5442 Belmont Avenue
Dallas, TX 75206
www.faythhosp.com



Architect

Mayse & Associates
14881 Quorum Drive, Suite 800
Dallas, TX 75254
www.mayseassociates.com



Landscape Architect

Colwell Shelor
4450 N 12th Street, Suite 104
Phoenix, AZ 85014
www.colwellshelor.com



Civil & Traffic Engineer

Kimley-Horn
14648 N Scottsdale Road, Suite 200
Scottsdale, AZ 85254
www.kimley-horn.com



Zoning Attorney

Nick Wood, Esq.
Snell & Wilmer, LLP
1 E Washington Street, Suite 2700
Phoenix, AZ 85004
nwood@swlaw.com
602.382.6269



Table of Contents

	<u>Page #</u>
A. Purpose and Intent	5
B. Land Use Plan	8
C. List of Uses	9
D. Development Standards	12
E. Design Guidelines	20
F. Signs	25
G. Sustainability	26
H. Infrastructure	28
I. Comparative Zoning Standards	30
J. Legal Description	31

Exhibits

Exhibit 1: Conceptual Site Plan	32
Exhibit 2: Conceptual Landscape Plan	37
Exhibit 3: Conceptual Shade Plan	43
Exhibit 4: Hardscape Plan	45
Exhibit 5: Pedestrian Connectivity Plan	51
Exhibit 6: Vehicle Circulation Plan	53
Exhibit 7: Building Elevations	55
Exhibit 8: Material and Color Palette	59
Exhibit 9: Building Renderings	61

A. PURPOSE AND INTENT

A1. Project Overview and Goals

A1: Project Overview and Goals

The **Plaza Companies Hospitality PUD** is a rezoning proposal to establish more neighborhood compatible land use categories to support a proposed new dual-brand 6-story hotel concept with approximately 260 guestrooms (or “keys”) and supportive quality guest amenities situated on an 8.15 gross-acre site near the southeast corner of 64th Street and Mayo Boulevard (the “Development”). The subject property lies within the Desert View Village part of the City, an area of continued growth, as well as its significant commercial and employment hubs.



The property was sold at auction by the Arizona State Land Department in 2022 and is currently undeveloped. A significant drainage channel runs along its eastern edge. The property is currently zoned Commerce Park/Business Park, Planned Community District (subject to the Desert Ridge PCD) (“CP/BP PCD, an industrial district that is no longer compatible with development east of 64th Street.

With existing residential development to the east, planned residential multi-family development to the north, and planned attached single-family homes to the south, the site is well situated to provide a location for residentially compatible uses at what is becoming a key intersection for the area. In this context, this PUD is proposing a hospitality development that is complementary to the growing Mayo campus, a hub of medical services and related businesses while changing the allowed land uses away from less compatible industrial/warehousing and other Commerce Park/Business Park (CP/BP) uses.

A primary goal of the Development is to transition away from industrial land uses to more appropriate commercial uses, with an emphasis on the desired hotel development and custom development standards required to accomplish a structure that is similar to the image below.



A key objective of the Development is to enhance the 64th Street & Mayo Boulevard intersection with a quality visually pleasing structure that will also act as a buffer between the lower density residential development to the east and the significantly more intense commercial and industrial development planned to the west.

The development will also enhance the area by providing the modern roadway and pedestrian infrastructure improvements to facilitate a comfortable pedestrian environment along both Mayo Boulevard, 64th Street and the eastern drainage channel which will be leveraged as a public pedestrian amenity and regional trail network link.

A2. Overall Design Concept

A2: Overall Design Concept

A few key items this PUD includes are:

Establishing a Gateway and landmark at the southeast corner of Mayo Boulevard and 64th Street which serves as the regional employment hub's "front door", providing seamless access to the growing campus on which ASU, the Mayo Clinic and Discovery Oasis are anticipated to experience exponential growth within the coming years. A quasi-residential use, such as the proposed hotel, provides an appropriate transitional use between the lower density residential uses to the east and south and the regional commercial and industrial uses expected to expand to the property's west. The property takes advantage of its proximity to the drainage channel by providing a significant setback to the residential homes to the east, thus establishing an appropriate buffer and transition between these complementary land uses. A similarly significant setback is provided to the residential homes to the south.

Preservation of the Existing Wash Corridor and inclusion of adjacent pedestrian improvements, providing the “missing link” to ensure unified development of the planned shared pedestrian trail traversing across developments from the Loop-101 south to Reach 11.

Walkability with the final plans for the Development that will strengthen the surrounding pedestrian realm via implementation of detached sidewalks, enhanced landscape treatment and shade.

Architecture Quality, with a design that is focused on a modern southwest design vernacular featuring clean lines, variation in materials, and contemporary colors. Respecting the high visibility of the Development, an attention to detail and architectural treatment is incorporated throughout the elevations. All portions of the building will consist of durable materials and a warm, modern color palette reflective of the surrounding natural desert environment.

In summary, the Development, as expressed in this PUD, will be a high-quality dual branded hotel development that: (i) will develop an important, and highly visible corner in proximity to future anticipated growth; (ii) will establish a quasi-residential use as an appropriate land use buffer between residential and commercial/institutional uses; (iii) will build capacity to support anticipated growth in the surrounding employment hubs; and (iv) will reinforce a strong pedestrian environment through significant pedestrian infrastructure and landscape improvements adjacent to the public rights-of-way. The final plans for the Development will strengthen the pedestrian realm and complement surrounding land uses via implementation of the development standards and design guidelines provided by this PUD.



B. LAND USE PLAN

B1. Proposed Land Use Categories

B1: Proposed Land Use Categories

The Plaza Companies Hospitality PUD is a development proposal to establish a custom dual-brand 6-story hotel concept with approximately 260 guestrooms and first-class quality guest amenities situated on an 8.2 gross-acre site near the southeast corner of 64th Street and Mayo Boulevard. Rezoning to the proposed PUD designation will ensure certain land uses incompatible with surrounding residential land uses which are permitted under the current CP/BP designation (such as warehousing and manufacturing) are prohibited.

B2. Conceptual Site Plan Summary

B2: Conceptual Site Plan Summary

The following provides an overview of the conceptual site plan provided with this PUD:

Grade Level is the location of the main building entrance, guest drop-off area, lobby, restaurant, swimming pool and amenity courtyard, ground floor guest units, surface parking, and service/trash collection area. The architecture and landscape support the connection to the surrounding pedestrian realm by incorporating significant use of glazing, pedestrian scale architecture at building entrances and canopies, and an enhanced landscape design which will include a minimum 75% shade along public sidewalks by way of live vegetation.

Levels 2, 3, 4, 5 and 6 will consist of hotel guest units. There are no rooftop amenities.

C. LIST OF USES

The Zoning Administrator may issue interpretations for land uses that are analogous to those listed in Section C, as authorized by Phoenix Zoning Ordinance Section 307.A.3.

C1. Permitted Uses

C1: Permitted Uses

- Hotel. The following accessory uses are permitted; provided, that the entrance to said accessory uses shall be from within the building only and that no sign or display for the accessory uses shall be located so as to be visible from a public thoroughfare or adjacent property:
 - Auto rental agency; provided, that there are no more than three vehicles stored on the hotel property.
 - Barbeque.
 - Child care, for hotel guests only.
 - Convention or private group activities.
 - Fitness Center.
 - Gift shop/snack bar.
 - News stand.
 - Spa.
 - Swimming Pool (indoor/outdoor).
 - Other services customarily accessory thereto.
- Restaurants, bars, and cocktail lounges subject to the following conditions or limitations:
 - Music or entertainment shall be permitted subject to the following regulations:
 - The stage or performance area shall be a maximum of 80 square feet unless a use permit is obtained.
 - The noise level, measured at any point on the received property, shall not exceed 55 dBa unless a use permit is obtained. An occurrence where the sound level increases up to 60 dBa for five continuous seconds or less shall not be deemed a violation of this section as long as there are no more than five occurrences within a hour long interval.
 - Nothing in this section shall be construed to include an adult use.
 - Patron dancing shall be permitted only upon securing a use permit.
 - Outdoor recreation uses, outdoor dining, and outdoor alcoholic beverage consumption shall be permitted as accessory uses only facing Mayo Boulevard or 64th Street and set back a minimum of 300 feet from the east property line and 150 feet from the south property line.

- Drive-through facilities shall be prohibited.
- Any bar or cocktail lounge which exceeds 5,000 square feet in gross floor area shall be permitted only upon securing a use permit.
- Outdoor food preparation and cooking shall be permitted as an accessory use subject to the following conditions:
 - The outdoor cooking area shall be fully enclosed and screened from public street view and adjacent residential zoning districts.
 - The regularly used cooking area inside the establishment shall be of equal or greater size than the outdoor cooking area.
 - The outdoor cooking area shall be located within 50 feet of a building entrance from where the restaurant is operated. This distance shall be measured from the appliance in the outdoor cooking area closest to the building entrance from where the restaurant is operated.
- The outdoor cooking area shall be set back a minimum of 300 feet from the east property line and 150 feet from the south property line. This distance shall be measured from the appliance in the outdoor cooking area closest to the property line

C2. Temporary Uses

C2: Temporary Uses

- All temporary uses shall comply with Section 708 of the Phoenix Zoning Ordinance

C3. Prohibited Uses

C3: Prohibited Uses

- a) Data Center
- b) All uses not expressly permitted in Section C1 shall be prohibited.

D. DEVELOPMENT STANDARDS

The following development standards shall apply to any development of the property. Where the PUD is silent on a development standard, the Phoenix Zoning Ordinance standard shall control.

D1: Development Standards

D1. Development Standards	Proposed PUD
a. Maximum Hotel Keys	260
b. Minimum Lot Width/Depth	No Minimum
c. Minimum Building Setbacks ¹	From PUD Perimeter Property Line
North (Mayo Boulevard)	20 feet
West (64 th Street)	20 feet
East (Not Adj. to Street)	250 feet
South (Not Adj. to Street)	70 feet
d. Maximum Building Height	88 feet to top of parapet
e. Maximum Lot Coverage	20% of total net lot area, excluding the first 6 feet of roof overhang, open carports, covered patios or covered walkways.

D2: Streetscape Standards

D2. Streetscape Standards ²	
a. Mayo Boulevard	<p><u>Detached Sidewalk Width:</u> Minimum 8 feet</p> <p><u>Landscape Strip:</u> Provide a minimum 10-foot landscape area between back of curb and detached sidewalk.</p> <p><u>Trees:</u> Minimum 50% 1.5-inch caliper, 25% 2-inch caliper, and 25% 3-inch caliper, single-trunk, large canopy, drought-tolerant, shade trees, planted 20 feet on center, or in equivalent groupings, on both sides of the sidewalk.</p> <p><u>Live Coverage:</u></p> <ul style="list-style-type: none"> • Minimum five, 5-gallon drought-tolerant shrubs per tree,

¹ Mechanical and electrical equipment enclosures, ground signage and artistic installations are permitted within minimum required building setbacks adjacent to a street.

² Per the approved master street plans and as approved/modified by the Street Transportation Department.

	<p>maintained to a maximum height of three feet (excluding accents).</p> <ul style="list-style-type: none"> • A mixture of drought-tolerant shrubs, accents, and vegetative groundcovers, maintained to a maximum height of three feet (excluding accents), evenly distributed throughout the landscape areas to achieve a minimum of 75% live coverage. <p><u>Sidewalk Tree Shade Coverage:</u> 75%; required shade coverage may be achieved via staggered tree plantings within the streetscape and landscape setback.</p> <p>Where utility conflicts exist, the developer shall work with the Planning and Development Department on an alternative design solution consistent with a pedestrian environment.</p>
<p>b. 64th Street</p>	<p><u>Detached Sidewalk Width:</u> Minimum 10 feet</p> <p><u>Landscape Strip:</u> Provide a minimum 10-foot landscape area between back of curb and detached sidewalk, consistent in width with the development to the south.</p> <p><u>Trees:</u> Minimum 50% 1.5-inch caliper, 25% 2-inch caliper, and 25% 3-inch caliper, single-trunk, large canopy, drought-tolerant, shade trees, planted 20 feet on center, or in equivalent groupings, on both sides of the sidewalk.</p> <p><u>Live Coverage:</u></p> <ul style="list-style-type: none"> • Minimum five, 5-gallon drought-tolerant shrubs per tree, maintained to a maximum height of three feet (excluding accents).



	<ul style="list-style-type: none"> • A mixture of drought-tolerant shrubs, accents, and vegetative groundcovers, maintained to a maximum height of three feet (excluding accents), evenly distributed throughout the landscape areas to achieve a minimum of 75% live coverage. <p><u>Sidewalk Tree Shade Coverage:</u> 75%; required shade coverage may be achieved via staggered tree plantings within the streetscape and landscape setback.</p> <p>Where utility conflicts exist, the developer shall work with the Planning and Development Department on an alternative design solution consistent with a pedestrian environment.</p>
<p>D3. Minimum Landscape Standards ³</p>	
<p>a. Minimum Landscape Setbacks (Perimeter)</p> <p style="text-align: center;">North (Mayo Boulevard) 20 feet West (64th Street) 20 feet East (Measured from the top of the west bank of the wash) 20 feet South (Perimeter) 5 feet</p>	
<p>b. North (Mayo Boulevard)</p>	<p><u>Trees:</u> Minimum 50% 1.5-inch caliper, 25% 2-inch caliper, and 25% 3-inch caliper, large canopy, drought-tolerant, shade trees, planted 20 feet on center, or in equivalent groupings.</p> <p><u>Live Coverage:</u></p> <ul style="list-style-type: none"> • Minimum five, 5-gallon drought-tolerant shrubs per tree,

³ Mechanical and electrical equipment enclosures, services areas, ground signage and artistic installations are permitted within minimum required landscape setbacks.

	<p>maintained to a maximum height of three feet (excluding accents).</p> <ul style="list-style-type: none"> • A mixture of drought-tolerant shrubs, accents, and vegetative groundcovers, maintained to a maximum height of three feet (excluding accents), evenly distributed throughout the landscape areas to achieve a minimum of 75% live coverage.
<p>c. West (64th Street)</p>	<p><u>Trees:</u> Minimum 50% 1.5-inch caliper, 25% 2-inch caliper, and 25% 3-inch caliper, large canopy, drought-tolerant, shade trees, planted 20 feet on center, or in equivalent groupings.</p> <p><u>Live Coverage:</u></p> <ul style="list-style-type: none"> • Minimum five, 5-gallon drought-tolerant shrubs per tree, maintained to a maximum height of three feet (excluding accents). • A mixture of drought-tolerant shrubs, accents, and vegetative groundcovers, maintained to a maximum height of three feet (excluding accents), evenly distributed throughout the landscape areas to achieve a minimum of 75% live coverage.
<p>d. East (Adjacent to Wash)</p>	<p><u>Trees:</u> Minimum 50% 1.5-inch caliper, 25% 2-inch caliper, and 25% 3-inch caliper, large canopy, drought-tolerant, shade trees, planted 20 feet on center, or in equivalent groupings, planted on both sides of the wash pathway to provide a minimum of 75% shade.</p> <p><u>Live Coverage:</u></p> <ul style="list-style-type: none"> • Minimum five, 5-gallon drought-tolerant shrubs per tree,

	<p>maintained to a maximum height of three feet (excluding accents).</p> <ul style="list-style-type: none"> • A mixture of drought-tolerant shrubs, accents, and vegetative groundcovers, maintained to a maximum height of three feet (excluding accents), evenly distributed throughout the landscape areas to achieve a minimum of 75% live coverage.
e. South (Perimeter)	<p><u>Trees:</u> Minimum 2-inch caliper, large canopy, drought-tolerant, shade trees, planted 20 feet on center, or in equivalent groupings.</p> <p><u>Live Coverage:</u> A mixture of drought-tolerant shrubs, accents, and vegetative groundcovers, evenly distributed throughout the landscape areas to achieve a minimum of 75% live coverage.</p>
f. Parking Lot Landscaping	<p>A minimum 10% of the interior surface parking area (exclusive of perimeter landscaping and all required setbacks) shall be landscaped. Parking lot landscape planters shall be planted with a minimum 2-inch caliper, single-trunk, large canopy, drought-tolerant, shade trees. A minimum of five (5) 5-gallon drought resistant shrubs per tree. A mixture of drought-tolerant shrubs, accents, and vegetative groundcovers, maintained to a maximum height of three feet (excluding accents), evenly distributed throughout the landscape areas to achieve a minimum of 75% live coverage.</p>
g. Parking Area Planters	<p>Landscape planters shall be located at the end of each row of parking and no more than 100 feet apart. Parking planters shall measure a minimum of 5 feet in width (internal dimension).</p>
h. Species to Support Monarch Butterfly Population	<p>A minimum of 10% of the required shrubs shall be a milkweed or other native nectar</p>

	species and shall be planted in groups of three (3) or more, as approved by the Planning and Development Department
D4. Parking Standards	
a. Minimum Parking Standards	1 space per hotel key
b. Minimum Parking Standards, Electric Vehicle	A minimum of 3% of required standard parking and 12.5% of required accessible parking spaces shall be EV installed.
c. Parking Location, Automotive	All parking areas shall be located within a surface parking lot, outside of required landscape setbacks. See Section D5 for parking screening requirements.
d. Minimum Parking Standards, Bicycle	10 bicycle parking spaces shall be provided.
e. Minimum Parking Standards, Electric Bicycle	1 electrical outlet for electric bicycle charging shall be provided at the bicycle parking stalls.
f. Parking Location, Bicycle	To be installed in conformance with Phoenix Zoning Ordinance Section 1307.H, except as follows: (i) Inverted-U style bicycle racks or artistic style racks consistent with the City of Phoenix preferred designs (see Comprehensive Bicycle Master Plan, Appendix K) shall be provided and (ii) located near the main lobby entrance.
g. Parking Aisle Dimensions	The combined depth of the parking space and aisle width shall equal 60 feet for a double loaded aisle and 42 feet for a single loaded aisle.
h. Loading Bay	A minimum of 2 off-street loading spaces shall be provided on the exterior of the west side of the building. The loading spaces shall be screened from the public right-of-way to a height of 40-inches.
i. Drop-Off/Pick-Up	A designated drop-off/pick-up area for hotel guests shall be provided near the main lobby entrance.

D5. Fences/Walls

To ensure a permeable condition between the Development, the adjacent drainage channel and adjacent residential developments, as well as to prevent creating inaccessible, nonvisible, and hazardous areas outside of the Development, a perimeter site fence or wall enclosing the development is not permitted (with exception for any wall

constructed on the south property line by the separate property owner, resulting in a shared wall condition, except along the shared-use path easement area along the east side of the site).

All parking areas shall be screened from public rights-of-way and adjacent developments. Screening may consist of decorative solid masonry walls a minimum of 40-inches in height, landscaping, other functionally integrated site features, such as screened service areas, or may be screened behind buildings. Breaks in screening may be permitted for no more than 10% of any individual parking frontage to provide visual interest, articulation, and enhance site permeability.

Six-foot-tall mural walls installed as public amenities adjacent to public sidewalks and the wash pathway shall be permitted within the building/landscape setback adjacent to streets and adjacent to the pathway. An architectural archway over 40 inches tall shall be permitted within the building/landscape setback when provided over a pedestrian pathway connecting from the public sidewalk to the development.

Fences and walls shall otherwise comply with all other standards as per Phoenix Zoning Ordinance Section 703.

D6. Shade

Shading may be achieved by structures, landscaping, or a combination of the two, unless otherwise noted herein. Shading shall be calculated a summer solstice at noon.

A shading study shall be submitted to the City with the preliminary site plan and final site plan submittals for review and approval.

Minimum Shading Requirements:

- a) Public Sidewalks and Shared-Use Paths: 75%, achieved by shade trees
- b) Private Sidewalks, Pedestrian Pathways, and Shared-Use Paths: 50%
- c) Corners of Traffic Signals: 75%, to allow pedestrians to wait comfortably for the signal to change, subject to sight visibility requirements
- d) Transit Stops: 75%
- e) Bicycle Parking and Bicycle Repair Stations: 75%
- f) Surface Parking Areas: 15%
- g) Gathering Areas and Seating Areas: 50%
- h) Improved Open Space and Usable Open Space: 50%

Where utility conflicts exist, the developer shall work with the Planning and Development Department on an alternative design solution consistent with a pedestrian environment.

D7. Lighting

All lighting will be consistent with the standards of Section 704, Section 507.Tab A.II.A.8 and Section 23-100 of the Phoenix Zoning Ordinance and City Code.

Pedestrian lighting shall be provided along the public sidewalks adjacent to 64th Street and Mayo Boulevard, along the wash pathway, and along private internal pedestrian pathways, as follows:

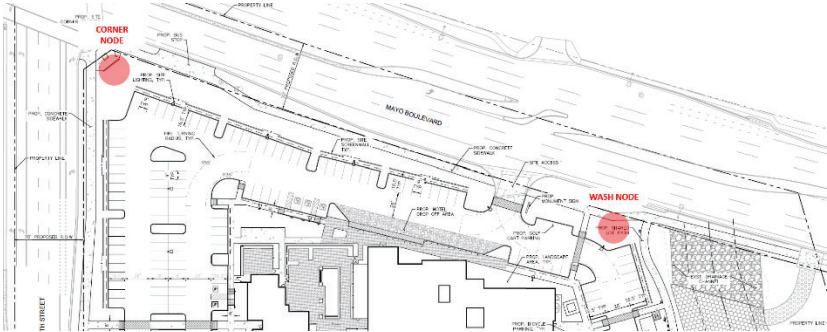
- a) 15-foot maximum height of lighting fixtures.
- b) A minimum of 1-foot candle illumination shall be maintained along the sidewalk or pathway.
- c) Uniform lighting shall be placed along the entire sidewalk or pathway to avoid bright high glare areas and low visibility dark areas.
- d) Illuminated bollards shall be installed 60 feet on center along the length of the Wash Corridor Shared Use Pathway.

E. DESIGN GUIDELINES

All development shall comply with the design guidelines of Section 507 Tab A of the Phoenix Zoning Ordinance, in addition to the following:

E1: Design Guidelines

E1. Design Guidelines	
a. Exterior Materials	<p>All building elevations shall include:</p> <ul style="list-style-type: none"> • Maximum 70% EIFS finish • Minimum 20% glazing at the ground floor; minimum 17% glazing at the upper floors • Minimum 10% other materials (from the list below) <p>Other materials utilized (at least two):</p> <ul style="list-style-type: none"> • Masonry • Wood – painted, stained, or synthetic • Non-reflective coated metals • Aluminum Composite Material panels • Brick • Tile • Enhanced Decorative Concrete (e.g. stamped, stained, etc.)
b. Color Palette	<p>Warm, desert-inspired tones.</p> <p>The project’s EIFS materials shall be painted with a palette that shall include a minimum of four (4) distinct colors to provide visual interest and variation in building façade.</p>
c. Façade Restrictions	<p>Blank walls shall not exceed a 50-foot horizontal or vertical dimension without a variation in texture, color, articulation, or building fenestration.</p>
d. Mayo Boulevard Frontage Treatment	<p>An artistic or decorative wall feature shall be installed along the length of the Mayo Boulevard frontage. The wall feature shall average no more than 40-inches tall and provide an enhanced design through variation in colors, materials, patterns, textures, and height. Such wall features may be of an artistic, architectural and/or vegetative design and materials. Wall feature lengths exceeding 35 feet in length should be articulated</p>

	<p>through breaks or use of alternative colors, materials, patterns, textures or height. The wall feature, where provided, satisfies any required parking lot screening for that area.</p>
<p>e. Mayo Boulevard Enhanced Pedestrian Nodes</p>	<p>The Mayo Boulevard frontage shall be treated with no less than two (2) architecturally and/or vegetatively enhanced pedestrian nodes to create a strong anchor and sense of arrival. The pedestrian nodes shall be spaced roughly as shown below and incorporate similar architectural or artistic features to ensure a uniform pedestrian condition is achieved for the width of the frontage. Such nodes may be incorporated into frontage treatment features.</p> 
	<p>The pedestrian nodes shall be uniquely identified as the “Corner Node” and “Wash Node” and designed to the specifications below:</p> <p>Corner Node: The enhanced Corner Node shall be a dedicated area of no less than 500 square feet consisting of 75% live vegetative cover. Vegetation shall include species integrated with overall land scape design as well as a minimum of 3 unique accent species to provide heightened visual interest and distinctiveness. The enhanced area shall include an interactive art mural of no less than 50 square feet or an alternative artistic installation or feature a minimum of 5 feet tall. The required mural or artistic feature shall be permitted in the landscape setback and shall not relate to the commercial operation of the site. The Corner Node shall include 75% shade.</p> <p>Wash Node: The enhanced Wash Node shall be a dedicated area of no less than 200 square feet located between the Mayo pedestrian connection and the Mayo/wash pathway connection and consist of 75% live vegetative cover. Vegetation shall include species integrated with overall land scape design as well</p>

	as a minimum of 3 unique accent species to provide heightened visual interest and distinctiveness. The enhanced area shall include dedicated pedestrian seating. The area may also include an art mural of no less than 25 square feet or an alternative artistic installation or feature a minimum of 5 feet tall. Any permitted mural or artistic feature shall be permitted in the landscape setback and shall not relate to the commercial operation of the site. The Wash Node shall include 75% shade.
f. Screen Walls	Screen walls shall utilize architectural detailing consistent or complementary to the building facade.
g. Public Sidewalk and Wash Corridor Pathway Pedestrian Connections	<ul style="list-style-type: none"> • A minimum of one (1) pedestrian connection shall be made in a convenient location to provide easy access from the development to the public sidewalks on Mayo Boulevard and 64th Street and to the wash corridor shared use path located within the wash corridor located on the east side of the Site. • Pedestrian connections shall be 6' wide, be of a concrete surface and shall retain surfacing material or be otherwise distinguished from the drive aisle surface when crossing parking lot areas. • To support use of publicly available amenities by the community, a pedestrian connection to the property to the south is encouraged, but not required. If provided, such connection may include a locking gate to limit use to southern property residents/guests.
i. Traffic Calming Standards	Alternative paving materials such as colored/stained concrete shall be provided on site at each driveway entrance to help delineate the parking lot surface and act as a traffic calming measure.
j. Entry/Exit Enhancement	<p><u>Mayo Boulevard Driveway Entrance/Exit</u> shall incorporate enhanced landscaping on both sides within minimum 25-square-foot landscape areas planted with yucca pallida and yucca rostrate, creating a dynamic and distinctive entrance sequence.</p> <p><u>South Driveway Entrance/Exit</u> shall incorporate enhanced landscaping on both sides within minimum 10-square-foot landscape areas planted with yucca pallida and yucca rostrate, creating a dynamic and distinctive entrance sequence.</p>

k. Bicycle Repair Station	One public bicycle repair station (“fix it station”) shall be provided and maintained along the wash corridor adjacent to the Wash Pathway. The bicycle repair stations (“fix it stations”) shall be provided in an area of high visibility and separated from vehicular maneuvering areas, where applicable. The repair station shall include, but not be limited to, standard repair tools affixed to the station, a tire gauge and pump affixed to the base of the station or the ground, and a bicycle repair stand which allows pedals and wheels to spin freely while making adjustments to the bike.
l. Wash Corridor Shared Use Path	A minimum 25-foot-wide shared-use path easement (SUPE) shall be dedicated along the east side of the site, along the west side of the drainage channel, and a minimum 8-foot-wide shared-use path (SUP) shall be constructed within the easement, in accordance with the MAG supplemental detail and per City of Phoenix standard details, as approved or modified by the Planning and Development Department.
m. Wash Corridor Amenities	Additional pedestrian amenities (public amenities) shall include a minimum of three (3) of the following along the Wash Pathway to be located within the wash corridor: <ul style="list-style-type: none"> • Way finding signage • Bench and/or table with 90% vegetative shade • Fitness stations • Water fountains • Dog water stations
n. Water Conservation	<ul style="list-style-type: none"> • Only landscape materials listed in the Phoenix Active Management Area Low-Water-Use/Drought-Tolerant Plant List shall be utilized, as approved or modified by the Planning and Development Department. • Natural turf shall only be utilized for required retention areas (bottom of basin, and only allowed on slopes if required for slope stabilization) and functional turf areas, as approved by the Planning and Development Department. • Landscaping shall be maintained by permanent and automatic/water efficient WaterSense labeled irrigation controllers (or similar smart controller) to minimize

	<p>maintenance and irrigation water consumption for all on and offsite landscape irrigation.</p> <ul style="list-style-type: none">• Pressure regulating sprinkler heads and/or drip lines shall be utilized in any turf areas to reduce water waste.• A leak detection device shall be installed for the irrigation system of landscape areas larger than 10,000 square feet.• A minimum of two green stormwater infrastructure (GSI) elements for stormwater management shall be implemented, as approved or modified by the Planning and Development and/or Street Transportation departments. This includes but is not limited to stormwater harvesting basins, bioswales, permeable pavement, etc., per the Greater Phoenix Metro Green Infrastructure and Low Impact Development Details for Alternative Stormwater Management.• Prior to final site plan approval, documentation shall be provided that demonstrates a commitment to participate in the City of Phoenix Businesses Water Efficiency Program for a minimum of 20 years, or as approved by the Planning and Development Department.• A minimum of 10% of the gross area shall be preserved and dedicated as permanent undisturbed open space, as approved by the Planning and Development Department.
--	--

F. SIGNS

F1. Permitted Signs

F1: Permitted Signs

Signage shall comply with Section 705 of the Phoenix Zoning Ordinance.

G. SUSTAINABILITY

G1. City Enforced Standards

G1: City Enforced Standards

The following are standards that are measurable and enforceable by the City and will be provided:

- Dual Glaze Windows with High Performance Low-e Glazing.
- All primary site lighting will be LED lighting.
- Provide water efficient landscaping (drought tolerant plants).
- Utilize a drip irrigation system with a 'smart' controller to minimize water waste.
- Salvage and reuse of existing trees is strongly encouraged.
- Only landscape materials listed in the Phoenix Active Management Area Low-Water-Use/Drought-Tolerant Plant List shall be utilized, as approved or modified by the Planning and Development Department.
- Natural turf shall only be utilized for required retention areas (bottom of basin, and only allowed on slopes if required for slope stabilization) and functional turf areas, as approved by the Planning and Development Department.
- Landscaping shall be maintained by permanent and automatic/water efficient WaterSense labeled irrigation controllers (or similar smart controller) to minimize maintenance and irrigation water consumption for all on and offsite landscape irrigation.
- Pressure regulating sprinkler heads and/or drip lines shall be utilized in any turf areas to reduce water waste.
- A leak detection device shall be installed for the irrigation system of landscape areas larger than 10,000 square feet.
- A minimum of two green stormwater infrastructure (GSI) elements for stormwater management shall be implemented, as approved or modified by the Planning and Development and/or Street Transportation departments. This includes but is not limited to stormwater harvesting basins, bioswales, permeable pavement, etc., per the Greater Phoenix Metro Green Infrastructure and Low Impact Development Details for Alternative Stormwater Management.
- Prior to final site plan approval, documentation shall be provided that demonstrates a commitment to participate in the City of Phoenix Businesses Water Efficiency Program for a minimum of 20 years, or as approved by the Planning and Development Department.
- A minimum of 10% of the net site area shall be preserved and dedicated as open space. This area is encumbered by the drainage channel and associated channel improvements and shall be revegetated to mirror the surrounding desert landscape.

- On-site waste stations shall be provided in accordance with hotel operations and brand standards. Waste receptacles and recycling shall be provided for hotel guests and visitors internal to the building.

H. INFRASTRUCTURE

H1. Grading and Drainage

H1: Grading and Drainage

The site is currently undeveloped and features native desert vegetation. The site is surrounded by 64th Street to the west, Mayo Boulevard to the north, a future townhome development to the south and a single-family residential development to the east. A natural wash corridor runs along the site’s eastern side in the north-south direction. The existing wash carries storm water through the site, into culverts underneath Mayo Boulevard. The existing wash corridor will be enlarged to accommodate regional stormwater run-off.

H2. Water and Wastewater

H2: Water and Wastewater

Being that the site is currently undeveloped, there is no existing water or sewer services to the site. New water and sewer taps will be constructed to service the Development.

H3. Circulation Systems

H3: Circulation Systems

The site will be accessed from two driveways. The primary access is a three-quarter access driveway at Mayo Boulevard. The secondary driveway is located off of the 64th Street shared drive with the condominium property to the south. A circular drive aisle carries vehicular traffic through the site, around the hotel, and to surrounding surface parking spaces. The on-site pedestrian circulation system provides two direct pedestrian connection connections from the hotel to the 64th Street and Mayo Boulevard rights-of-way. Additionally, the wash corridor shared use pathway carries recreational users from Mayo Boulevard to the PUD’s southern perimeter line where it will be extended further south to Reach 11 with the construction of the townhome project located immediately south.

H4. Complete Streets

H4: Complete Streets

The City of Phoenix Complete Streets Design Guidelines include a number of suggestions for new development, some of which are applicable to this project:

- *Streets should be designed to promote safety for all users, particularly children, the elderly, those with disabilities, transit users, and more vulnerable modes (walking, bicycling, transit).*

New detached sidewalks will be constructed adjacent to Mayo Boulevard and 64th Street. Detached sidewalks will help increase perceived and real pedestrian safety, contributing to a sense of comfort for travelers on foot. The construction of detached sidewalks will be a major improvement for the area, which currently lacks such connectivity.

Additionally, the Project leverages shared driveway access at 64th Street with the future townhome project located to the immediate south. This shared driveway reduces the amount of curb cuts at 64th Street, thereby reducing potential pedestrian/vehicle conflicts.

- *Projects should be designed to connect neighborhoods via streets, sidewalks, and trails.*

New on-site sidewalks and walkways will meander throughout the project, providing an extensive pedestrian connection network. Additionally, the pedestrian trail adjacent to the wash corridor will serve as a major pedestrian thoroughfare, helping to activate the Development and promote a walkable environment in the surrounding area.

I. COMPARATIVE ZONING STANDARDS

I: Comparative Zoning Standards Table

Standards	CP/BP Standards	Proposed PUD Standards
a. Maximum Building Height	56 feet	88 feet
b. Lot Coverage	40% plus 10% for parking canopies or structure	20%
c. Building Setbacks		
Mayo Boulevard:	30 feet	60 feet
64th Street:	30 feet	140 feet
East Perimeter:	20 feet	250 feet
South Perimeter:	20 feet	70 feet
d. Landscape Setbacks		
Mayo Boulevard:	30 feet	20 feet
64th Street:	30 feet	20 feet
East:	20 feet	20 feet
South Perimeter:	20 feet	5 feet

J. LEGAL DESCRIPTION

Legal description per special warranty deed recorded by Maricopa County Recorder (MCR # 20250293566):

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:

A PORTION OF TRACT MF3 OF STATE PLAT NO. 55, PARADISE RIDGE SECOND AMENDED, RECORDED IN BOOK 949 OF MAPS, PAGE 50, RECORDS OF MARICOPA COUNTY, ARIZONA AND LOCATED IN A PORTION OF THE SOUTHWEST QUARTER OF SECTION 27, TOWNSHIP 4 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID SECTION 27, FROM WHICH THE SOUTH QUARTER CORNER OF SAID SECTION 27 BEARS SOUTH 89°58'09" EAST, A DISTANCE OF 2644.14 FEET;

THENCE ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 27, NORTH 00°02'25" EAST, A DISTANCE OF 564.10 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHEASTERLY WHOSE RADIUS BEARS NORTH 20°25'52" EAST, A DISTANCE OF 9000.00 FEET;

THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, TO THE LEFT, THROUGH A CENTRAL ANGLE OF 5°19'31", FOR AN ARC LENGTH OF 836.49 FEET;

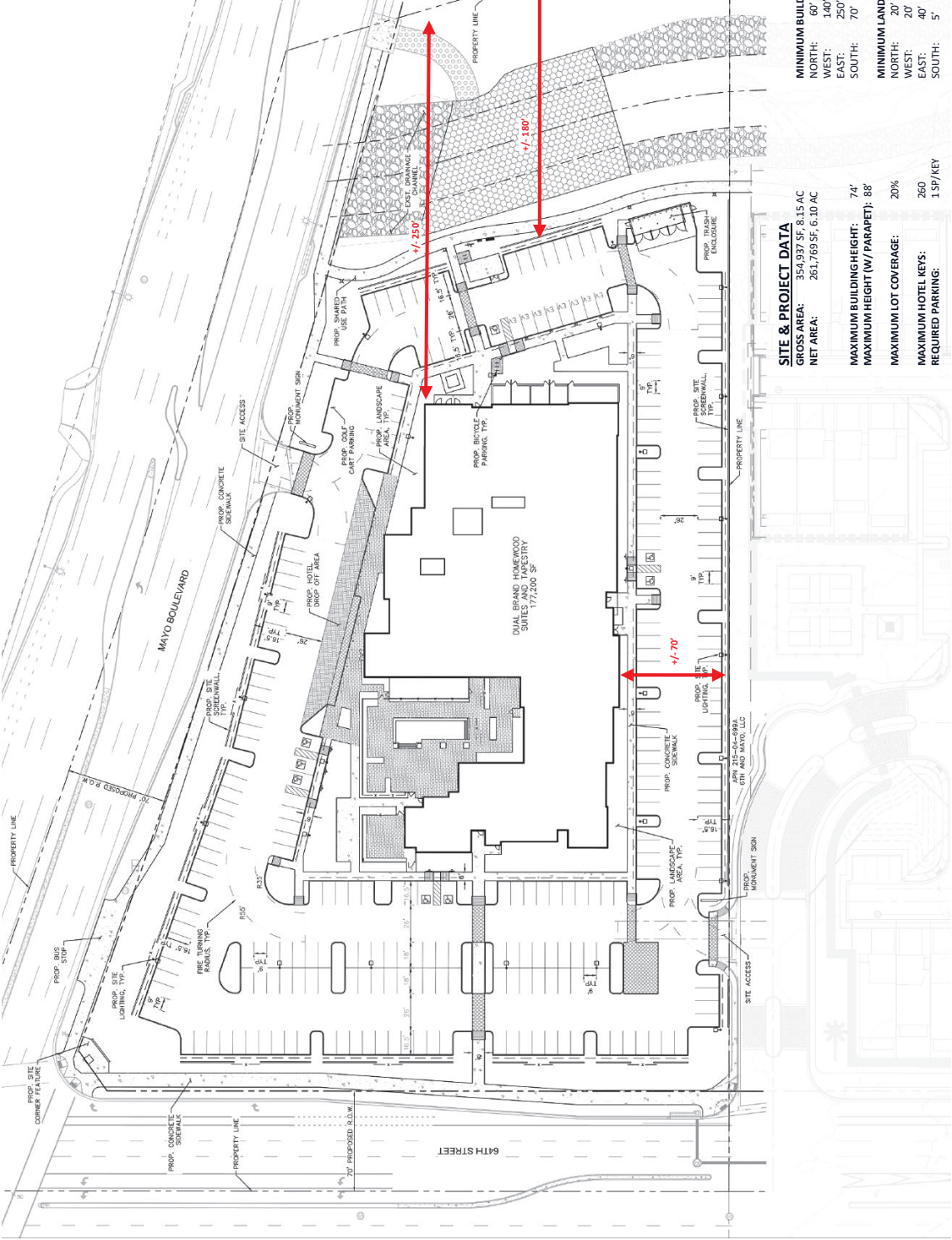
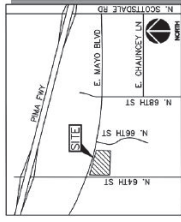
THENCE SOUTH 16°23'10" EAST, A DISTANCE OF 177.71 FEET TO THE BEGINNING OF A CURVE CONCAVE WESTERLY HAVING A RADIUS OF 290.00 FEET;

THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE, TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 27°45'50", FOR AN ARC LENGTH OF 140.53 FEET TO THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 27;

THENCE ALONG SAID SOUTH LINE, NORTH 89°58'09" WEST, A DISTANCE OF 852.94 FEET TO THE POINT OF BEGINNING;

LESS AND EXCEPTING ALL OIL, GAS OTHER HYDROCARBON SUBSTANCES, HELIUM OR OTHER SUBSTANCES OF A GASEOUS NATURE, GEOTHERMAL RESOURCES, COAL, METALS, MINERALS, FOSSILS, FERTILIZERS OF EVERY NAME AND DESCRIPTION, TOGETHER WITH ALL URANIUM, THORIUM OR ANY OTHER MATERIAL WHICH MAY BE DETERMINED BY THE LAWS OF THE UNITED STATES, OR OF THIS STATE AS RESERVED IN PATENT RECORDED DECEMBER 20, 2024 AS 2024-0676745 OF OFFICIAL RECORDS.

EXHIBIT 1



SITE & PROJECT DATA

GROSS AREA:	354,937 SF, 8.15 AC
NET AREA:	261,769 SF, 6.10 AC
MAXIMUM BUILDING HEIGHT:	74'
MAXIMUM HEIGHT (W/ PARAPET):	88'
MAXIMUM LOT COVERAGE:	20%
MAXIMUM HOTEL KEYS:	260
REQUIRED PARKING:	1 SP/KEY

MINIMUM BUILDING SETBACKS

NORTH:	60'
WEST:	140'
EAST:	250'
SOUTH:	70'

MINIMUM LANDSCAPE SETBACKS

NORTH:	20'
WEST:	20'
EAST:	40'
SOUTH:	5'

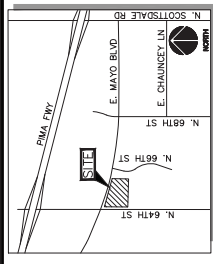
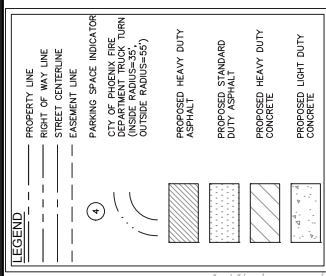
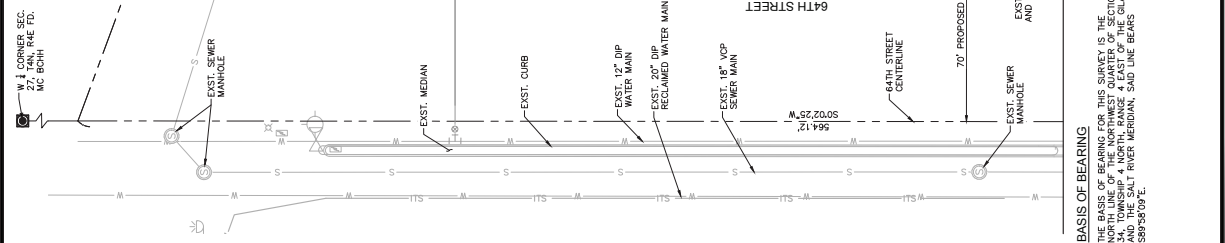
APP. 215 64-80A
PARADISE RIDGE PCD
MAYO PK. 32, WDR
ZONING: RT-B (P2)

64TH STREET

MAYO BOULEVARD

DUAL BRAND HOMEWOOD
SUITES AND TAPESTRY
177,200 SF

NO.	DATE	BY	APP.	DESCRIPTION

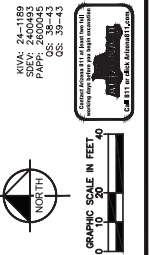


- SITE PLAN NOTES**
- PROP. 6" VERTICAL CURB PER MAG STD. DET 220.
 - PROP. ADA PARKING STALL.
 - PROP. ADA SIGNAGE.
 - PROP. FIRE TURNING RADIUS.
 - PROP. SIDEWALK RAMP.
 - PROP. CONCRETE SIDEWALK PER COP STD DET P.230, WIDTH PER PLAN.
 - PROP. GUEST DROP OFF/LOADING ZONE.
 - PROP. BUS STOP.
 - PROP. 3' TALL PARKING SCREENWALL.
 - PROP. SITE LIGHT.
 - PROP. FENCE. REF. LANDSCAPE PLANS FOR DETAILS.
 - 2.5' VEHICLE OVERHANG.
 - PROP. POOL/AMENITY AREA. REF. LANDSCAPE PLANS.
 - PROP. DECORATIVE PAVERS. REF. LANDSCAPE PLANS FOR DETAILS.
 - PROP. PEDESTRIAN GATE. REF. ARCH PLANS FOR DETAILS.
 - FUTURE ARTWORK OR SIGNAGE.
 - PROP. 33"x33" SITE VISIBILITY TRIANGLE PER COP CODE SECTION 31-13.
 - BUILDING OVERHEAD.
 - SITE BOLLARD.

Kimley-Horn
 SCOTTSDALE, ARIZONA 85254 (602) 944-0500
 1400 N. SCOTTSDALE ROAD, SUITE 300
 © 2028 KIMLEY-HORN AND ASSOCIATES, INC.

PHOENIX, ARIZONA
PRELIMINARY SITE PLAN
 N 64TH ST & MAYO BLVD

PROJECT No. 091277005
 SCALE (DS): 1"=20'
 SCALE (CS): NONE
 DRAWN BY: AMP
 DESIGN BY: WFK
 CHECK BY: CSF
 DATE: 2/27/26



CONSENT
 I, CONSENT TO THE REPRODUCTION OF THIS SITE PLAN PROVIDED THAT I ASSUME FULL RESPONSIBILITY AND LIABILITY FOR THE MODIFIED PORTIONS OF THE PLAN.
 SIGNATURE OF COPYRIGHT OWNER _____ PRINTED NAME OF COPYRIGHT OWNER _____ DATE _____

NOTES

- DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND REGULATIONS.
- ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND. EXCEPT RESIDENTIAL SERVICE, ALL UTILITIES WILL NOT EXCEED ONE FOOT CANDELE AT THE PROPERTY LINE. NO NOISE, VIBRATION OR SHOCK WILL BE EMITTED AT ANY LEVEL EXCEEDING THE GENERAL LEVEL OF THE SURROUNDING AREA.
- OWNERS OF PROPERTY ADJACENT TO PUBLIC RIGHT-OF-WAY WILL HAVE THE OBLIGATION TO MAINTAIN AND IMPROVE THE LANDSCAPING LOCATED WITHIN THE RIGHT-OF-WAY, IN ACCORDANCE WITH APPROVED PLANS AND SPECIFICATIONS.
- ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO SHEET SP2 FOR PROJECT CONTACTS.

BASES OF BEARING
 THE BASIS OF BEARING FOR THIS SURVEY IS THE MERIDIAN FOR THE TOWNSHIP AND RANGE 4 EAST OF THE CLAY AND THE SALT RIVER MERIDIAN, SAID LINE BEARS S89°38'09"E.



GRAPHIC SCALE IN FEET
 0 10 20 40

DATE: 2/27/26
 DRAWN BY: AMP
 DESIGN BY: WFK
 CHECK BY: CSF

MATCH LINE: SEE SHEET SP2

MATCH LINE: SEE SHEET SP3

EXHIBIT 2



09-05-14

This plan was prepared by the staff of the firm listed above. The information is based on the information provided to the firm. The firm does not warrant the accuracy of the information provided. The firm is not responsible for any errors or omissions. The firm is not responsible for any damages or liabilities. The firm is not responsible for any claims or lawsuits. The firm is not responsible for any claims or lawsuits.

PLANTING

N 64th ST & E MAYO BLVD
PHOENIX, AZ 85054



PLAZA COMPANIES, AMO
9401 W. THUNDERBOLT RD.
PEORIA, ARIZONA 85381

FAYTH HOSPITALITY GROUP, LLC
6442 BELMONT AVE.
DALLAS, TX 75206

Revisions

11/20/2014 - CONCEPT SET
08/26/2015 - P&ID
02/27/2016 - P&ID UPDATE

drawn by VHS

DATE 2/27/2026

JOB NO. 25024

SHEET NO. LANDSCAPE PLAN

SHEET NO.

L7.00

PLANT LEGEND

SYL.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	NOTES
	TREES				
	SALVAGED EXISTING TREE			1	
	AGAVE BLUE GLOW		2" CAL	17	
	AGAVE BLUE AGAVE		1.5" CAL	21	
	AGAVE BARBADENSIS YELLOW		1.5" CAL	6	
	AGAVE YERBA YERBA		3" CAL	14	
	AGAVE YERBA YERBA		1.5" CAL	32	
	AGAVE YERBA YERBA		20' TALL	4	
	AGAVE YERBA YERBA		5" CAL	20	
	AGAVE YERBA YERBA		1.5" CAL	15	
	AGAVE YERBA YERBA		1.5" CAL	1	
	AGAVE YERBA YERBA		8" HT MIN	32	
	AGAVE YERBA YERBA		SPEAR		

	ASCLEPIAS SUBULATA	MILKWEED	5 GAL	104	CAN FULL
	CHLOROPHYTUM COMOSUM	SPIDER PLANT	5 GAL	16	CAN FULL
	EXCELSIA FERMOSA	BRIDE'S BUSH	5 GAL	86	CAN FULL
	BRICKELLIA SP. 'RED YUCCA'	BREAKABOUTS RED YUCCA	5 GAL	428	CAN FULL
	HESPERANGE PARVIFLORA 'RED'		5 GAL	174	CAN FULL
	JUSTITIA CALIFORNICA	CHUPAROSA	5 GAL	157	CAN FULL
	LARREA TRIDENTATA	CREOSOTE BUSH	15 GAL	11	CAN FULL
	MULLENBERGIA RIGENS	DEER GRASS	5 GAL	365	CAN FULL
	RIUELLA BRITANNICA	MEXICAN PETUNIA	5 GAL	58	CAN FULL
	RUSSEIA EOUSIETIFORMIS	COMPACT JOUREA	5 GAL	117	CAN FULL
	SIMONDSIA CHINENSIS 'ISTA'		5 GAL	12	CAN FULL

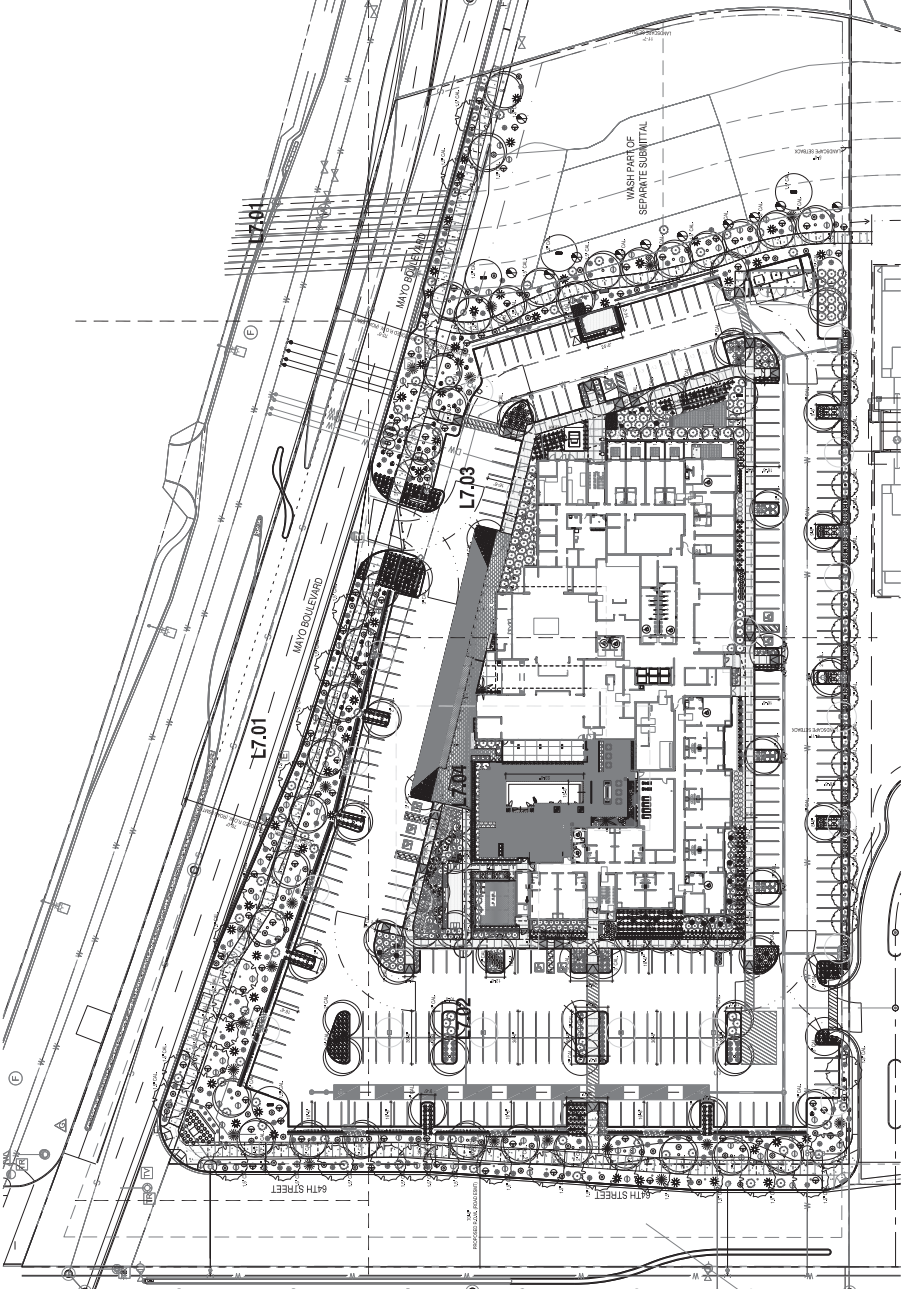
ACCENT

	AGAVE BLUE GLOW		5 GAL	134	CAN FULL
	AGAVE BLUE AGAVE		5 GAL	455	CAN FULL
	AGAVE BARBADENSIS YELLOW		8" HT MIN	2	CAN FULL
	AGAVE YERBA YERBA		11	3.5M MIN	
	AGAVE YERBA YERBA		2	5" HT MIN	
	AGAVE YERBA YERBA		9	5" HT MIN	
	AGAVE YERBA YERBA		5 GAL	5	CAN FULL

	DASILION WHEELERI		5 GAL	51	CAN FULL
	ESPOON		5 GAL	53	CAN FULL
	ESPOON		5 GAL	19	CAN FULL
	ESPOON		5 GAL	7	CAN FULL
	ESPOON		5 GAL	10	CAN FULL
	ESPOON		5 GAL	3	8" HT MIN
	ESPOON		5 GAL	51	CAN FULL
	ESPOON		5 GAL	104	CAN FULL
	ESPOON		5 GAL	17	CAN FULL
	ESPOON		5 GAL	25	CAN FULL
	ESPOON		5 GAL	283	CAN FULL

OVERALL LANDSCAPE PLAN 01
DETAIL

	YUCCA ROSTRATA	BEAKED YUCCA	5 GAL	56	CAN FULL
	FICUS FAMILIA	CREeping FIG	5 GAL	16	CAN FULL
	INERT MATERIALS				
	7% TOP DRESSING				
	2" DEPTH STOCKPILE REMAINING O.G. FOR REUSE				
	INERT MATERIAL 1				
	INERT MATERIAL 2				
	DESCRIPTION				



SCALE: 1"=40'



- PLANTING GENERAL NOTES:**
- PLANTING AREAS SHALL BE WATERED WITH AN AUTOMATIC DRIP IRRIGATION SYSTEM. SHALL CONFORM TO THE STANDARDS SET FORTH IN THE AMERICAN STANDARDS OF NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND BY THE AMERICAN ASSOCIATION OF RECOMMENDED TREE SPECIFICATIONS.
 - ALL PLANTINGS SHALL NOT EXCEED FEET IN ANY DIRECTION WITHOUT PLANT MATERIALS OR GROUND COVER, UNLESS NOTED OTHERWISE.
 - ALL AREAS TO BE DISTURBED BY CONSTRUCTION, INCLUDING ANY AREAS TO BE DREDGED, SHALL BE SHOWN ON THE PLANS. ALL PLANTING AREAS ARE TO MATCH THE SURROUNDING AREA IN DENSITY AND PLANT TYPE.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY GRANITE MULCH AND OTHER ITEMS SHOWN ON THE PLANS. UNLESS COMPOSED LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION OF MAJOR PLANTINGS INDICATED ON THE PLANS. THE DRAWINGS SHALL GOVERN OVER ANY PLANT SUBSTITUTIONS, TYPE OR QUANTITY DEVIATION FROM THE APPROVED LANDSCAPE OR IRRIGATION PLANS WITHOUT PERMISSION FROM THE LANDSCAPE ARCHITECT.
 - THE SURROUNDING AREAS SHALL BE MAINTAINED AND CONSERVED.



09-05-14

This drawing is the property of Mayse & Associates, Inc. It is to be used only for the project and location specified. Any other use without the written consent of Mayse & Associates, Inc. is strictly prohibited. The user assumes all liability for any errors or omissions. The user agrees to hold Mayse & Associates, Inc. harmless from any and all claims, damages, and expenses, including reasonable attorneys' fees, that may be incurred by Mayse & Associates, Inc. as a result of the user's use of this drawing.

PLANTING

N 64th ST & E MAYO BLVD
PHOENIX, AZ 85054

TAPESTRY COLLECTION
by HILBERT
HOMELAND SUITES



PLAZA COMPANIES, AMO
9401 W. THUNDERBOLT RD.
SCOTTSDALE, ARIZONA 85238

FAYTH HOSPITALITY GROUP, LLC
6442 BELMONT AVE.
DALLAS, TX 75206

Revisions

11/20/2024 - CONCEPT SET
08/29/2025 - PWD - ACCESS UPDATE
02/27/2026 - PWD UPDATE

drawn by VHS

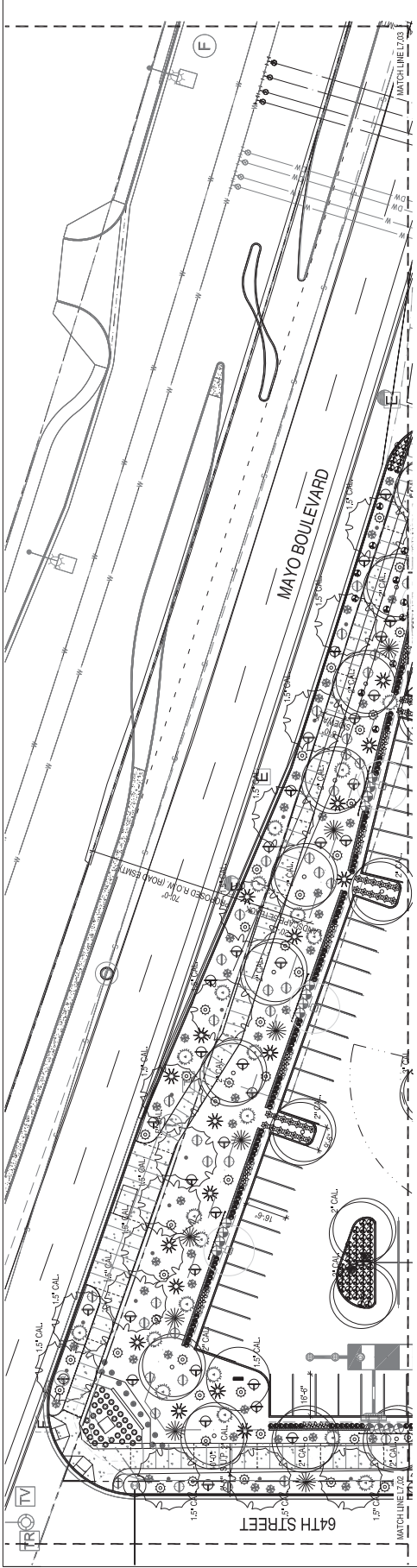
DATE 2/27/2026

JOB NO. 25024

SHEET/REV LANDSCAPE PLAN

SHEET NO.

L7.01



PARTIAL LANDSCAPE PLAN 01
DETAIL

PLANT LEGEND

SYL.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	NOTES
	SALVAGED EXISTING TREE			1	
	ACACIA NEGRA		2' CAL	17	
	ACACIA WILBURIANA		1.5' CAL	21	
	CHILOPSIS LINEARIS 'BUBBA'		1.5' CAL	6	
	DESERT WILLOW-BURBIA		2' CAL	14	
	IRONWOOD		1.5' CAL	32	
	PARHINSONIA MICROPHYLLUM		20' TALL	4	
	HYBRID-THORNLESS PALMVERDE		2' CAL	20	
	PROCESYTES HYBRID PATT		2' CAL	40	
	SEEDLESS THORNLESS HYBRID MESQUITE		1.5' CAL	15	
	VITIS AGRIUS CASTUS		2' CAL	1	
	CHASSEE TREE		6' FT MIN	32	SPEAR
	ECHINOCACTUS GRISONII				
	SAGUARO				

SYL.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	NOTES
	ASPLETIS SUBULATA		5 GAL	104	CAN FULL
	MILKWEED		5 GAL	18	CAN FULL
	MONARDELLA		5 GAL	86	CAN FULL
	ESKELLA FIBROSA		5 GAL	428	CAN FULL
	BRITTLE BUSH		5 GAL	174	CAN FULL
	HESPERALOE PARVIFLORA 'BRAKELIGHT'		5 GAL	157	CAN FULL
	BREAKLIGHTS RED YUCCA		5 GAL	11	CAN FULL
	HESPERALOE PARVIFLORA 'REED'		5 GAL	385	CAN FULL
	CHUPAROSA		5 GAL	58	CAN FULL
	JUSTICIA CALIFORNICA		5 GAL	117	CAN FULL
	LARREA TRIDENTATA		5 GAL	12	CAN FULL
	CREOSOTE BUSH		5 GAL	134	CAN FULL
	MULLEBERGIA RIGENS		5 GAL	455	CAN FULL
	BELETTA BRITANNICA		5 GAL	2	CAN FULL
	MEXICAN PETUNIA		5 GAL	11	3 HRM MIN
	RUSSESSIA EQUISSETIFORMIS		5 GAL	2	5' HT MIN
	SIMMONDSIA CHINENSIS VISTA		5 GAL	9	5' HT MIN
	COMPACT JOUBA		5 GAL	5	CAN FULL
	AGAVE BLUE GLOW		5 GAL	51	CAN FULL
	BLUE GLOW AGAVE		5 GAL	53	CAN FULL
	ALOE VERA 'YELLOW'		8 FT MIN	2	CAN FULL
	AGAVE SCAEVOLA				
	TRIE ALICE				
	CARIBBEA ORANGEA				
	SAGUARO				
	CERHALOCEREUS SENILIS				
	OLD MAN CACTUS				
	PERUVIAN APPLE CACTUS				
	CLESTOCTACTIS STRAUSSI				
	SILVER TORCH				
	DESERT SPOON				
	ANTISTYLLITICA				
	CANDELLA				
	FOQUILERA SPLENDENS				
	OCOTILLO				
	LOPHOCEREUS SOCHOTILMONSTROSE'				
	TOTEN CACTUS				
	OPUNTIA GOMEZ VOLD MEXICO'				
	OLD MEXICO PRICKLY PEAR				
	PACHYCEPHEUS MARGINATUS				
	MEXICAN FENCE POST				
	PACHYCEPHEUS PRINGLEI 'CARDON'				
	MEXICAN QUANT CARDON				

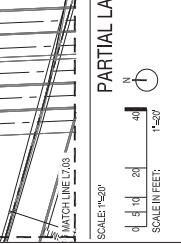
SYL.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	NOTES
	PELOLONIUS BRACKETIUS		5 GAL	51	CAN FULL
	PORTULACARIA APPA		5 GAL	104	CAN FULL
	ELEPHANT FOOT		5 GAL	17	CAN FULL
	SANSRERIA TRIFASCIATA 'WOODSHINE'		5 GAL	25	CAN FULL
	SILVER SNAKE PLANT		5 GAL	283	CAN FULL
	SNAKE PLANT		5 GAL	56	CAN FULL
	YUCCA PALMIDA		5 GAL	16	CAN FULL
	PALE LEAF YUCCA				
	BEAKED YUCCA				
	FEIGUS PINNATA				
	CREOSOTE FIG				

SYL.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	NOTES
	INERT MATERIAL 1				
	INERT MATERIAL 2				

- PLANTING GENERAL NOTES:**
- ALL PLANTINGS SHALL BE WATERED WITH AN AUTOMATIC DRIP IRRIGATION SYSTEM.
 - ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS SET FORTH IN THE AMERICAN STANDARDS OF NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN (A.A.N.S.). THE AMERICAN ASSOCIATION OF NURSERYMEN (A.A.N.S.) RECOMMENDED TREE SPECIFICATIONS.
 - AREAS OF DECOMPOSED GRANITE SHALL NOT EXCEED 7 FEET IN ANY DIRECTION WITHOUT PLANT MATERIALS OR GROUND COVER UNLESS NOTED OTHERWISE.
 - ALL AREAS TO BE DISTURBED BY CONSTRUCTION INCLUDING ANY AREAS DISTURBED BEYOND WHAT IS SHOWN ON PLANS, SHALL BE REPLANTED AS INDICATED ON THESE PLANS. AT ALL TIMES THE PLANTS INSTALLED IN ALL AREAS ARE TO MATCH THE SURROUNDING AREA IN DENSITY AND PLANT SPECIES.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY QUANTITIES INCLUDING TREES, SHRUBS, GROUND COVERS, DECOMPOSED GRANITE MULCH AND OTHER ITEMS SHOWN ON THE PLANS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION OF ALL PLANTINGS.
 - NO PLANT SUBSTITUTIONS, TYPE OR QUANTITY DEVIATION FROM THE PLANS, SHALL BE PERMITTED WITHOUT THE WRITTEN PERMISSION FROM THE LANDSCAPE ARCHITECT.
 - THE SUBCONTRACTOR SHALL MARK AND CONFIRM LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION. CONFLICTS SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT FOR RESOLUTION.

- ACCENT**
- AGAVE BLUE GLOW
 - BLUE GLOW AGAVE
 - ALOE VERA 'YELLOW'
 - AGAVE SCAEVOLA
 - TRIE ALICE
 - CARIBBEA ORANGEA
 - SAGUARO
 - CERHALOCEREUS SENILIS
 - OLD MAN CACTUS
 - PERUVIAN APPLE CACTUS
 - CLESTOCTACTIS STRAUSSI
 - SILVER TORCH
 - DESERT SPOON
 - ANTISTYLLITICA
 - CANDELLA
 - FOQUILERA SPLENDENS
 - OCOTILLO
 - LOPHOCEREUS SOCHOTILMONSTROSE'
 - TOTEN CACTUS
 - OPUNTIA GOMEZ VOLD MEXICO'
 - OLD MEXICO PRICKLY PEAR
 - PACHYCEPHEUS MARGINATUS
 - MEXICAN FENCE POST
 - PACHYCEPHEUS PRINGLEI 'CARDON'
 - MEXICAN QUANT CARDON

- INERT MATERIALS**
- INERT MATERIAL 1
 - INERT MATERIAL 2



PARTIAL LANDSCAPE PLAN 01
DETAIL

SCALE: 1"=20'

SCALE IN FEET: 0 10 20 40

DATE: 2/27/2026

BY: VHS

NO. 25024

LANDSCAPE PLAN

L7.01

© 2025 MAYSE & ASSOCIATES, INC.
WWW.MAYSEANDASSOCIATES.COM



09-05-14

This drawing is the property of Mayse & Associates, Inc. It is to be used only for the project and site identified herein. No part of this drawing may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Mayse & Associates, Inc.

09/05/14

N 64th ST & E MAYO BLVD
PHOENIX, AZ 85054

TAPESTRY COLLECTION
by HILBERT
HOMELAND SUITES



PLAZA COMPANIES, AMO
9401 W. THUNDERBOLT RD.
PEORIA, ARIZONA 85381

FAYTH HOSPITALITY GROUP, LLC
6442 BELMONT AVE.
DALLAS, TX 75206

Rev: 09/05/14

11/20/2014 - CONCEPT SET
09/02/2015 - P&ID
08/18/2016 - P&ID UPDATE
02/27/2026 - P&ID UPDATE

drawn by VHS

DATE 2/27/2026

JOB NO. 25024

SHEET NO. LANDSCAPE PLAN

SHEET NO.

L7.04

PLANT LEGEND

SYMB. BOTANICAL NAME
COMMON NAME

SIZE QTY. NOTES
(# IN V. CAL.)

SYMB.	BOTANICAL NAME COMMON NAME	SIZE	QTY.	NOTES (# IN V. CAL.)
(Tree)	SALVADORENSTIS TREE	2" CAL	17	
(Tree)	ACACIA ANEIRA	1.5" CAL	21	
(Tree)	ACACIA WILKINSIANA	1.5" CAL	6	
(Tree)	CHILIPES LINEARIS SUBBA	2" CAL	14	
(Tree)	DESERT WILLOW-SUBBA	1.5" CAL	32	
(Tree)	OLIVEA TESOTA	20" TALL	4	
(Tree)	IRONWOOD	1.5" CAL	20	
(Tree)	PARKINSONIA MICROPHYLLUM	1.5" CAL	15	
(Tree)	HYBRID THORNLESS PALMVERDE	20" TALL	4	
(Tree)	PHOENIX DACTYLIFERA	2" CAL	20	
(Tree)	DATE PALM	1.5" CAL	1	
(Tree)	PHOSOPHIS HYBRID AZT	2" CAL	20	
(Tree)	SESSILE THORNLESS HYBRID MESQUITE	1.5" CAL	15	
(Tree)	STYLOSANIS CASTUS	1.5" CAL	1	
(Tree)	CELESTINE	1.5" CAL	1	
(Tree)	ESCHOLACIUS GRISOVII		32	8 FT MIN SPEAR
(Tree)	SAGUARO		104	CAN FULL
(Shrub)	ASCLEPIAS SUBULATA	5 GAL	16	CAN FULL
(Shrub)	MILKWEEED	5 GAL	16	CAN FULL
(Shrub)	CHLOPHYLLUM COMOSUM	5 GAL	86	CAN FULL
(Shrub)	SPIDER PLANT	5 GAL	428	CAN FULL
(Shrub)	ENCINIA PARINOSA	5 GAL	174	CAN FULL
(Shrub)	BRITTLE BUSH	5 GAL	167	CAN FULL
(Shrub)	HESPERALOE PARVIFLORIFERA	5 GAL	11	CAN FULL
(Shrub)	BRICKLANTIS RED YUCCA	5 GAL	365	CAN FULL
(Shrub)	HESPERALOE PARVIFLORIFERA	5 GAL	58	CAN FULL
(Shrub)	JUSTICIA CALIFORNICA	5 GAL	117	CAN FULL
(Shrub)	CHUPAROSA	5 GAL	12	CAN FULL
(Shrub)	LARREA TRIDENTATA	14 GAL	104	CAN FULL
(Shrub)	CREOSOTE BUSH	5 GAL	455	CAN FULL
(Shrub)	MULLENBERGIA REGIS	5 GAL	2	CAN FULL
(Shrub)	DEER GRASS	5 GAL	11	3 FT MIN
(Shrub)	RUELLIA BRITANNIANA	5 GAL	2	9 FT MIN
(Shrub)	MEXICAN PETUNIA	5 GAL	9	5 FT MIN
(Shrub)	RUSSELLIA EQUISETIFORMIS	5 GAL	5	CAN FULL
(Shrub)	SUMMONSONIA CHINEENSIS NISTA	5 GAL	5	CAN FULL
(Shrub)	COMPACT LOOSE	5 GAL	12	CAN FULL
(Accent)	AGAVE BLUE GLOW	5 GAL	104	CAN FULL
(Accent)	BLUE GLOW AGAVE	5 GAL	455	CAN FULL
(Accent)	ALOPE BARBADENSIS YELLOW	5 GAL	2	CAN FULL
(Accent)	ALOPE VERA YELLOW	5 GAL	11	3 FT MIN
(Accent)	ALOPE HERCULES	5 GAL	2	9 FT MIN
(Accent)	ALOE	5 GAL	9	5 FT MIN
(Accent)	CAREXIA GIGANTEA	5 GAL	5	CAN FULL
(Accent)	SAGUARO	5 GAL	104	CAN FULL
(Accent)	CERATOPHYLLUM	5 GAL	2	9 FT MIN
(Accent)	CERES PERUVIANUS	5 GAL	9	5 FT MIN
(Accent)	PERUVIAN APPLE CACTUS	5 GAL	5	CAN FULL
(Accent)	CELESTOCACIUS STRAUSSII	5 GAL	5	CAN FULL
(Accent)	SILVER TORCH	5 GAL	5	CAN FULL

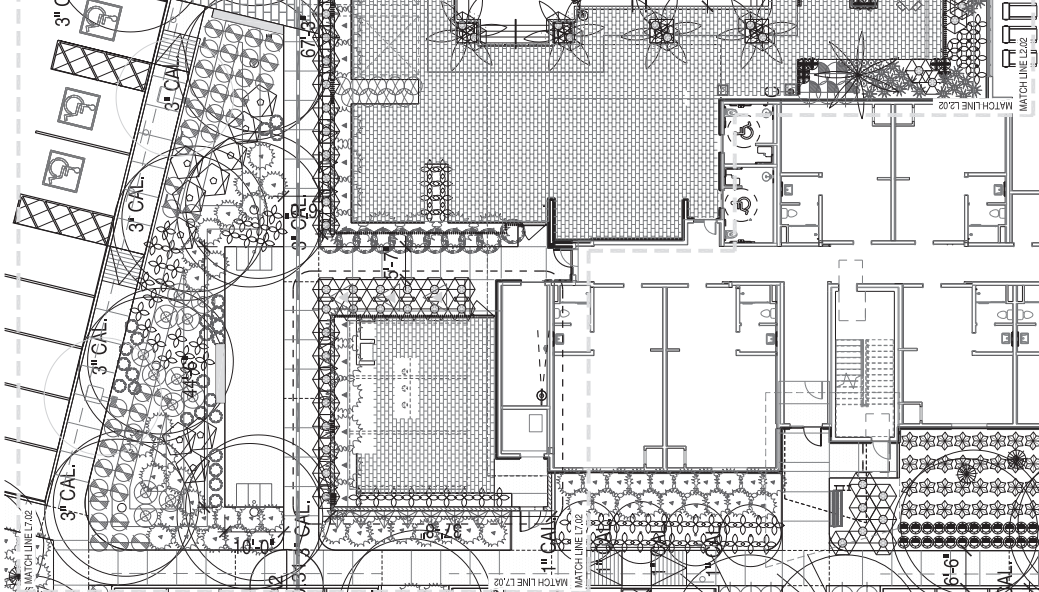
SYMB.	BOTANICAL NAME COMMON NAME	SIZE	QTY.	NOTES (# IN V. CAL.)
(Tree)	DISULIRION WHEELERI	5 GAL	51	CAN FULL
(Tree)	DESERT SPOON	5 GAL	53	CAN FULL
(Tree)	CANELELLA	5 GAL	19	CAN FULL
(Tree)	COQUERA SPHERENS	5 GAL	7	CAN FULL
(Tree)	TOPACERES SCOTTII MONROSE	5 GAL	10	CAN FULL
(Tree)	TOTEM CACTUS	5 GAL	18	CAN FULL
(Tree)	OPUNTIA GOMEZ-VELOZ MEMOY	5 GAL	3	8 FT MIN
(Tree)	OLD MEXICO PRICKLY PEAR	5 GAL	3	8 FT MIN
(Tree)	MEXICAN FENCE POST	5 GAL	3	8 FT MIN
(Tree)	PACHYCAERIS PRINGLEI CARDON	5 GAL	51	CAN FULL
(Tree)	MEXICAN GIANT CARDON	5 GAL	104	CAN FULL
(Tree)	FEDALANTHUS BRACTEATUS	5 GAL	17	CAN FULL
(Tree)	TALL SUPER PLANT	5 GAL	25	CAN FULL
(Tree)	PORTULACARIA AFRA	5 GAL	283	CAN FULL
(Tree)	SANSEBIA TRIFASCIATA	5 GAL	56	CAN FULL
(Tree)	SANSEBIA TRIFASCIATA	5 GAL	16	CAN FULL
(Tree)	SILVER SHAVE PLANT	5 GAL	16	CAN FULL
(Tree)	YUCCA PALLIDA	5 GAL	25	CAN FULL
(Tree)	PALE-LEAF YUCCA	5 GAL	283	CAN FULL
(Tree)	YUCCA ROSTRATA	5 GAL	56	CAN FULL
(Tree)	BEAKED YUCCA	5 GAL	16	CAN FULL
(Tree)	FICUS PUMILA	5 GAL	16	CAN FULL
(Tree)	CREeping FIG	5 GAL	16	CAN FULL

INERT MATERIALS

SYMB.	DESCRIPTION
(Box)	INERT MATERIAL 1
(Box)	INERT MATERIAL 2

PLANTING GENERAL NOTES:

- ALL PLANT MATERIALS SHALL BE WATERED WITH AN AUTOMATIC DRIP IRRIGATION SYSTEM.
- ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS SET FORTH IN THE AMERICAN STANDARDS OF NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND BY THE AMERICAN ASSOCIATION OF PLANT CULTIVATORS.
- AREAS OF DECOMPOSED GRANITE SHALL NOT EXCEED 7 FEET IN ANY DIRECTION WITHOUT PLANT MATERIALS OR GROUND COVER, UNLESS NOTED OTHERWISE.
- ALL PLANT MATERIALS TO BE DELIVERED BY CONSTRUCTION INCLUDING ANY AREAS DISTURBED BEYOND WHAT IS SHOWN ON PLANS, SHALL BE REPLACED AS INDICATED ON THESE PLANS. AT ALL TIMES THE PLANTS INSTALLED IN ALL AREAS ARE TO MATCH THE SURROUNDING AREA IN DENSITY AND PLANT QUANTITIES INCLUDING TREES, SHRUBS, GROUNDCOVERS, DECOMPOSED GRANITE, MULCH AND OTHER ITEMS SHOWN ON THE PLANS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE SUBCONTRACTOR OF ANY DISCREPANCY BETWEEN THE NUMBER OF PLANTS INDICATED ON THE PLANT LIST, THE DRAWINGS SHALL GOVERN. NO PLANT SUBSTITUTIONS, TYPE OR QUANTITY DEVIATION FROM THE PLANS SHALL BE PERMITTED WITHOUT WRITTEN PERMISSION FROM THE LANDSCAPE ARCHITECT.
- THE SUBCONTRACTOR SHALL MARK AND CONFIRM LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION. CONFLICTS SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT FOR RESOLUTION.
- ALL PLANT MATERIALS TO BE INSTALLED IN AREAS OF DECOMPOSED GRANITE AND MANHOLES IN AN EXPOSED CONDITION.



PARTIAL LANDSCAPE PLAN 01
DETAIL



EXHIBIT 3



09-05-14

This is a true and correct copy of the original drawing as submitted for record. It is not to be used for any other purpose without the written consent of the original author.

Engineer

N 64th ST & E MAYO BLVD
PHOENIX, AZ 85054

TAPESTRY COLLECTION
By HILBERT
HOMELAND SUITES



PLAZA COMPANIES, AMO
9401 W. THUNDERBOLT RD.
PEORIA, ARIZONA 85381

FAYTH HOSPITALITY GROUP, LLC
8442 BELMONT AVE.
DALLAS, TX 75206

Revisions
11/20/2014 - CONCEPT SET
08/26/2015 - PUD - PROCESS UPDATE
02/27/2016 - PUD UPDATE

drawn by VHS

DATE 2/27/2016

JOB NO. 25024

SHEET NO. SHADE PLAN

SHEET NO.

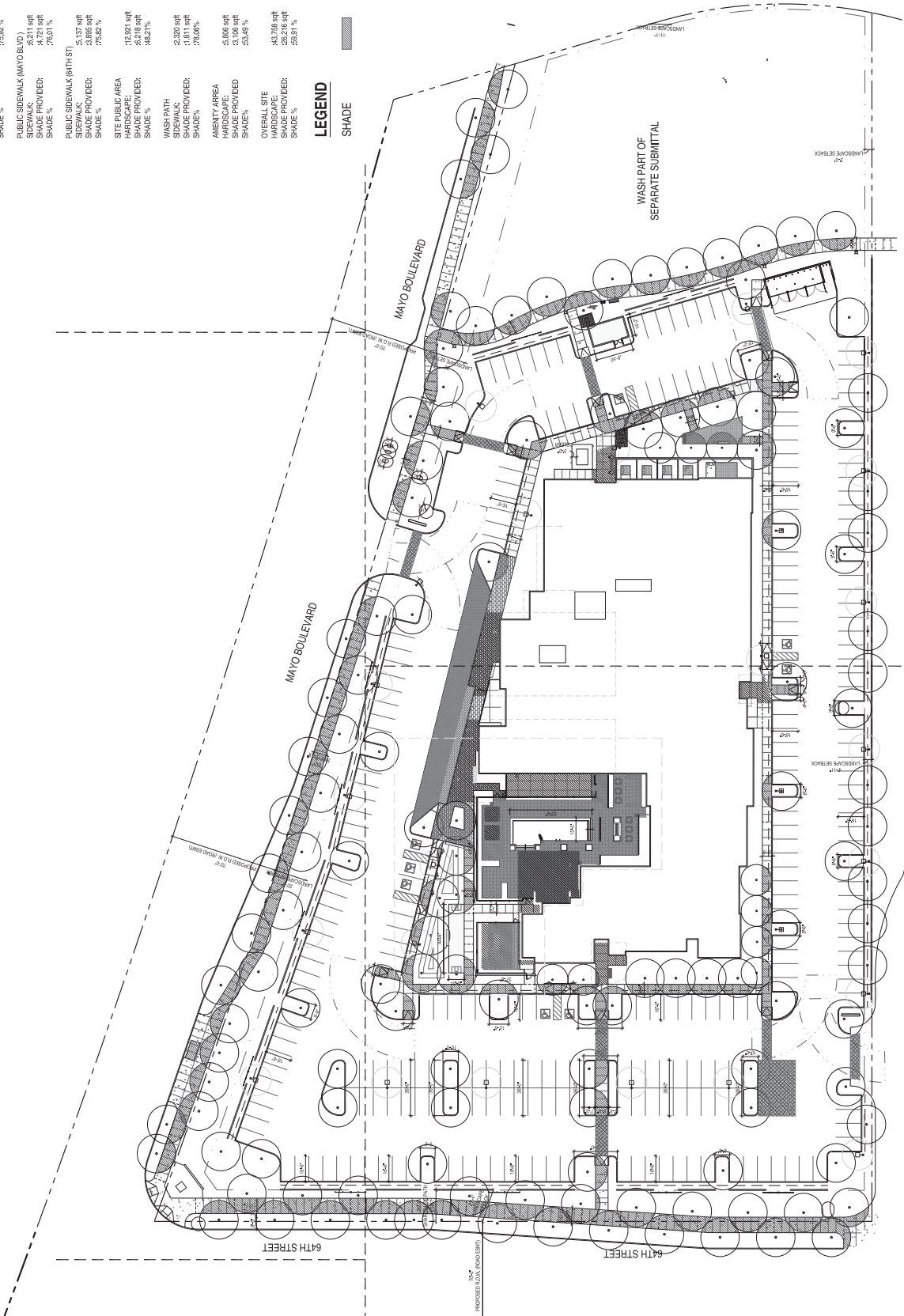
L0.00

SHADE PLAN

PUBLIC SIDEWALK (MAYO BLVD & 64TH ST)	
SIDEWALK PROVIDED:	11,548 sqft
SHADE:	67,522 sqft
SHADE %:	75.82 %
PUBLIC SIDEWALK (MAYO BLVD)	
SIDEWALK PROVIDED:	3,721 sqft
SHADE:	27,501 sqft
SHADE %:	73.91 %
PUBLIC SIDEWALK (64TH ST)	
SIDEWALK PROVIDED:	5,137 sqft
SHADE:	33,895 sqft
SHADE %:	75.82 %
SITE PUBLIC AREA	
HARDSCAPE:	12,821 sqft
SHADE PROVIDED:	9,218 sqft
SHADE %:	88.27%
WASH PATH	
SIDEWALK:	2,220 sqft
SHADE PROVIDED:	1,811 sqft
SHADE %:	79.26%
AMENITY AREA	
HARDSCAPE:	5,806 sqft
SHADE PROVIDED:	3,106 sqft
SHADE %:	53.49 %
OVERALL SITE	
HARDSCAPE:	43,758 sqft
SHADE PROVIDED:	28,216 sqft
SHADE %:	64.51 %

LEGEND

SHADE

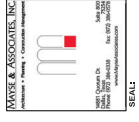


SHADE PLAN 01

SCALE: 1" = 30'

SCALE IN FEET 1"=30'

EXHIBIT 4



09-05-14

This seal shall be used only for the project and discipline indicated on the face hereof. It shall not be used for any other project or discipline. The holder of this seal shall be responsible for the accuracy of the information provided on the face hereof. The holder of this seal shall be responsible for the accuracy of the information provided on the face hereof.

Printed on: 09/05/14

N 64th ST & MAYO BLVD
PHOENIX, AZ 85054

TAPESTRY COLLECTION
by Hillier
HOMELWOOD SUITES



PLAZA COMPANIES, AMO
9401 W. THUNDERBIRD RD.
PEORIA, ARIZONA 85381

FAYTH HOSPITALITY GROUP, LLC
8442 BELMONT AVE.
DALLAS, TX 75206

Revisions
11/20/2014 - CONCEPT SET
08/26/2015 - PWD
02/27/2016 - PWD UPDATE
02/27/2016 - PWD UPDATE

drawn by VHS

DATE 2/27/2026

JOB NO. 25024

SHEET NO. OVERALL HARDSCAPE

SHEET NO.

L2.00

KEYNOTES:
EXISTING CONDITIONS:
1.1 PROPERTY LINE
1.2 PROJECT LIMIT OF CONSTRUCTION
1.3 EXISTING CURB & GUTTER

STEWORKE UTILITIES:
2.1 UNDERGROUND STORAGE TANKS
2.2 STORM DRAIN
2.3 9" UTILITY CLEAR
2.4 18" CONCRETE CORNER
2.5 REINFORCATION
2.6 REFUSE
2.7 FIRE HYDRANT
2.8 CROSS WALK

CONCRETE FINISHES / FINISHES:
3.1 4" THK. SALT FINISH CONC.
3.2 4" THK. SALT FINISH CONC.
3.3 4" THK. ACID ETCH CONC.
3.4 PEDESTRIAN PAVERS
3.5 TEXTURED PEDESTRIAN PAVERS
3.6 VEHICULAR PAVERS
3.7 ASPHALT DRIVE
3.8 ASPHALT DRIVE
3.9 6" H. CURB
3.10 18" H. C/P BENCH
3.11 8" H. SPLIT FACE BLOCK SCREEN WALL
3.12 PARKING STRIPING
3.13 12" H. CONCRETE CURB
3.14 ADA PARKING AND SIGN
3.15 8" H. DOUBLE SIDED FIRE PLACE
3.16 8" H. SPLIT FACE BLOCK WALL
3.17 8" H. CMU WALL PAINTED

METAL GLASS (INDOOR):
4.1 1/2" ALU. FINISHES SCREEN WALL
4.2 1/2" TH. STL. HEADER
4.3 1" X 1/2" STL. PICKET FENCE & GATE
4.4 1" X 1/2" STL. PICKET FENCE & GATE
4.5 6" H. STL. SCREEN FENCING
4.6 STL. SHARD STRUCTURE
4.7 3" H. STL. PLANTER
4.8 1" X 1/2" STL. PICKET FENCING

PLANTING & LANDSCAPE:
5.1 TURF
5.2 DESERT PLANTING
5.3 DESERT PAVEMENT
5.4 1/2" SCREENED TOP DRESSING
5.5 1/2" TOP DRESSING
5.6 FEATHERED RIP RAP

URBS. LOUVE FURNISHING:
6.1 CHAIR
6.2 CHAIR LOUNGE
6.3 MOVEABLE TABLE CHAIR
6.4 ROOF OVERHANG
6.5 CABANA STRUCTURE
6.6 BBQ GRILL
6.7 RESTROOM LIGHTING
6.8 CHAIR LIFT
6.9 PUBLIC ART
6.10 CORN HOLE

DETAIL / REFERENCE:

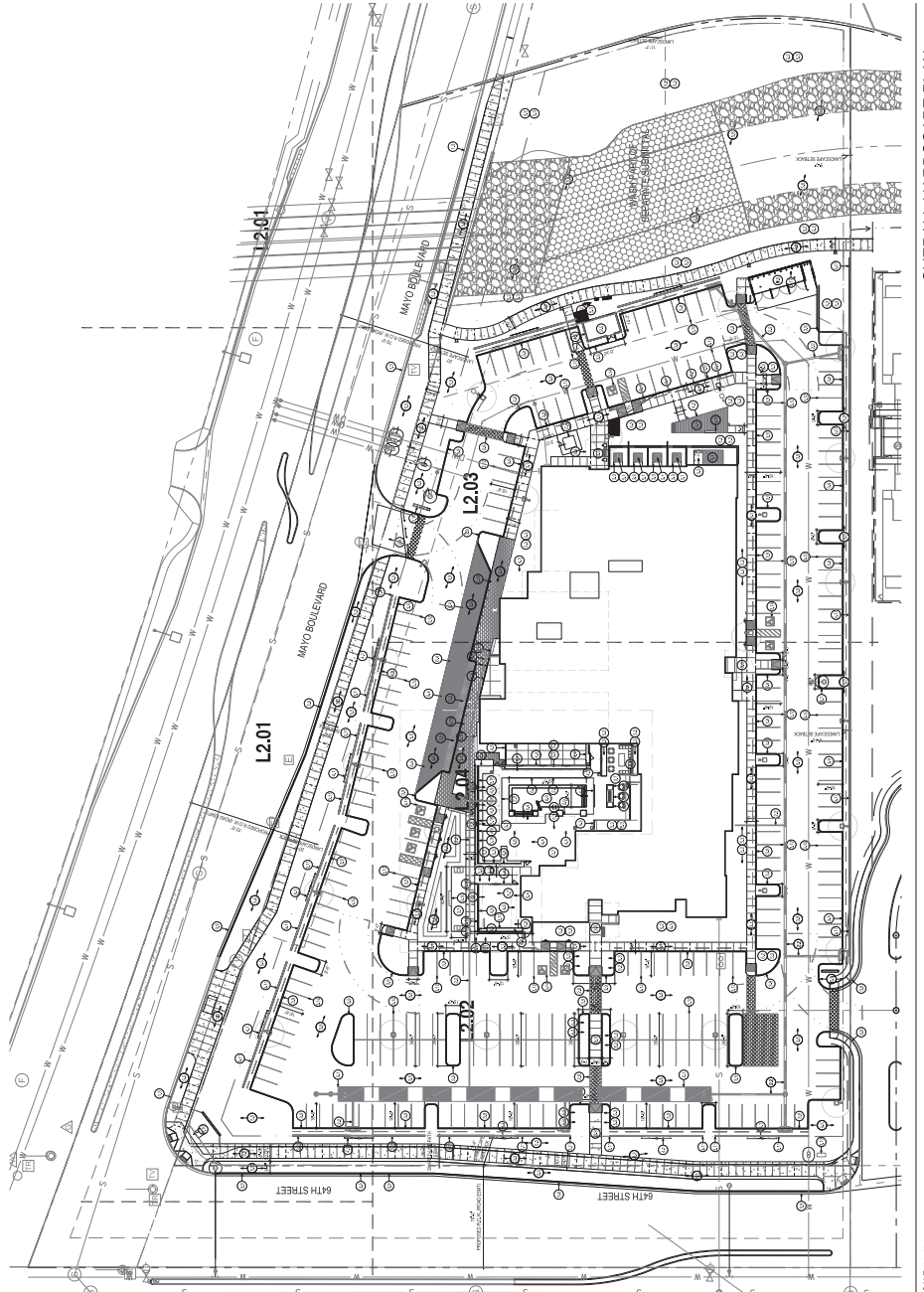
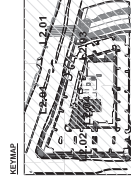
DETAIL / REFERENCE:

DETAIL / REFERENCE:

DETAIL / REFERENCE:

DETAIL / REFERENCE:

DETAIL / REFERENCE:



OVERALL HARDSCAPE PLAN 01
DETAIL



SCALE: 1"=40'

SCALE IN FEET:



09-05-14

THIS PLAN IS THE PROPERTY OF MAYSE & ASSOCIATES, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THIS PLAN WITHOUT THE WRITTEN CONSENT OF MAYSE & ASSOCIATES, INC. IS STRICTLY PROHIBITED. THE USER ASSUMES ALL LIABILITY FOR ANY ERRORS OR OMISSIONS.

Engineer

N 64th ST & E MAYO BLVD
PHOENIX, AZ 85054

TAPESTRY COLLECTION
by Hillier
HOMELWOOD SUITES



PLAZA COMPANIES, AMO
9401 W. THUNDERBIRD RD.
SUITE 100
PEORIA, ARIZONA 85381

FAYTH HOSPITALITY GROUP, LLC
6442 BELMONT AVE.
DALLAS, TX 75206

Revisions
11/20/2014 - CONCEPT SET
08/26/2015 - PUD
08/26/2015 - PUD UPDATE
02/27/2016 - PUD UPDATE

drawn by VHS

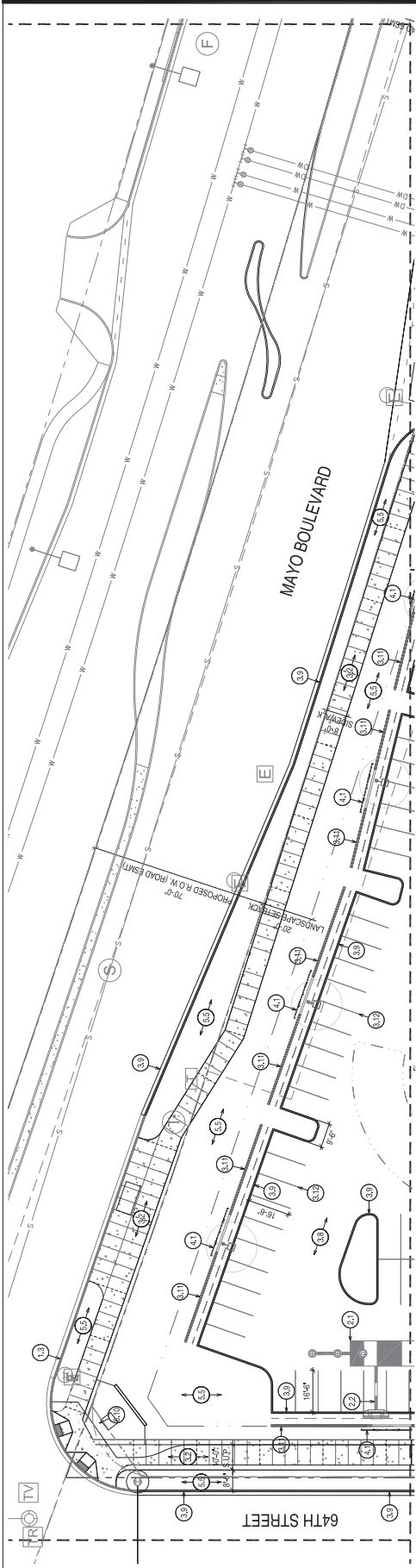
DATE 2/27/2026

JOB NO. 25024

SHEET/REV HARDSCAPE PLAN

SHEET NO.

L2.01



PARTIAL HARDSCAPE PLAN 01
DETAIL

KEYNOTES:

- EXISTING CONDITIONS:**
1.1 PROPERTY LINE
1.2 EXISTING CONSTRUCTION
1.3 EXISTING CURB & GUTTER

- SITEWORK/UTILITIES:**
2.1 UNDERGROUND STORAGE TANKS
2.2 STORM DRAIN
2.3 UTILITY CLEAR
2.4 TELESCOPE
2.5 GENERATOR
2.6 REFUSE
2.7 FIRE HYDRANT
2.8 CROSS WALK

- CONCRETE/PAVING/FINISHES:**
3.1 4" TH. BROOK FINISH CONC.
3.2 4" TH. SALT FINISH CONC.
3.3 4" TH. ADD ETCH CONC.
3.4 PEDESTRIAN PAVERS
3.5 TEXTURED PEDESTRIAN PAVERS
3.6 STONE PAVEMENT
3.7 STONE PAVEMENT & POOL DECK
3.8 ASPHALT DRIVE
3.9 6" TH. CURB
3.10 18" H. QIP BENCH
3.11 3" H. SPILT FACE BOOK SCREEN WALL
3.12 3" H. SPILT FACE BLOCK WALL
3.13 ENTRY MARKING SIGN
3.14 ADA PARKING AND SIGN
3.15 8" H. DOUBLE SIDED FIRE PLACE
3.16 8" H. SPILT FACE BLOCK WALL
3.17 8" H. CHU WALL PAINTED

- METAL/GLASS/WOOD:**
4.1 3" H. MET. PARKING SCREEN WALL
4.2 1/2" TH. STL. HEADER
4.3 1 1/2" X 3/8" H. STL. PICKET FENCE & GATE
4.4 1 1/2" X 3/8" H. STL. PICKET FENCE & GATE
4.5 6" H. STL. SCREEN FENCING
4.6 6" H. STL. SCREEN FENCING
4.7 FESTOON LIGHTING POST 3" X 3" STD.
4.8 30" H. STL. PLANTER
4.9 1 1/2" X 3/8" H. STL. PICKET FENCING

- PLANTING & LANDSCAPE:**
5.1 1" H. CURB PLANTING
5.2 AT GRADE PLANTING
5.3 DESERT PAVEMENT
5.4 1/2" SCREENED TOP DRESSING
5.5 1/2" TOP DRESSING
5.6 FEATHERED RIP RAP

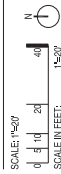
DETAIL / REFERENCE:

ANIS / SITE FURNISHING:

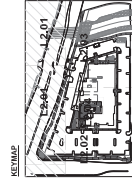
- 6.1 EV CHARGER
6.2 MOBILE PHONE CHARGING
6.3 MOBILE TABLE LOUVER
6.4 ROOF OVERHANG
6.5 CABANA STRUCTURE
6.6 BBQ CENTER
6.7 BBQ ISLAND
6.8 RESPIRATORY LIGHTING
6.9 CHAIR BENCH
6.10 PUBLIC ART
6.11 CORN HOLE

DETAIL / REFERENCE:

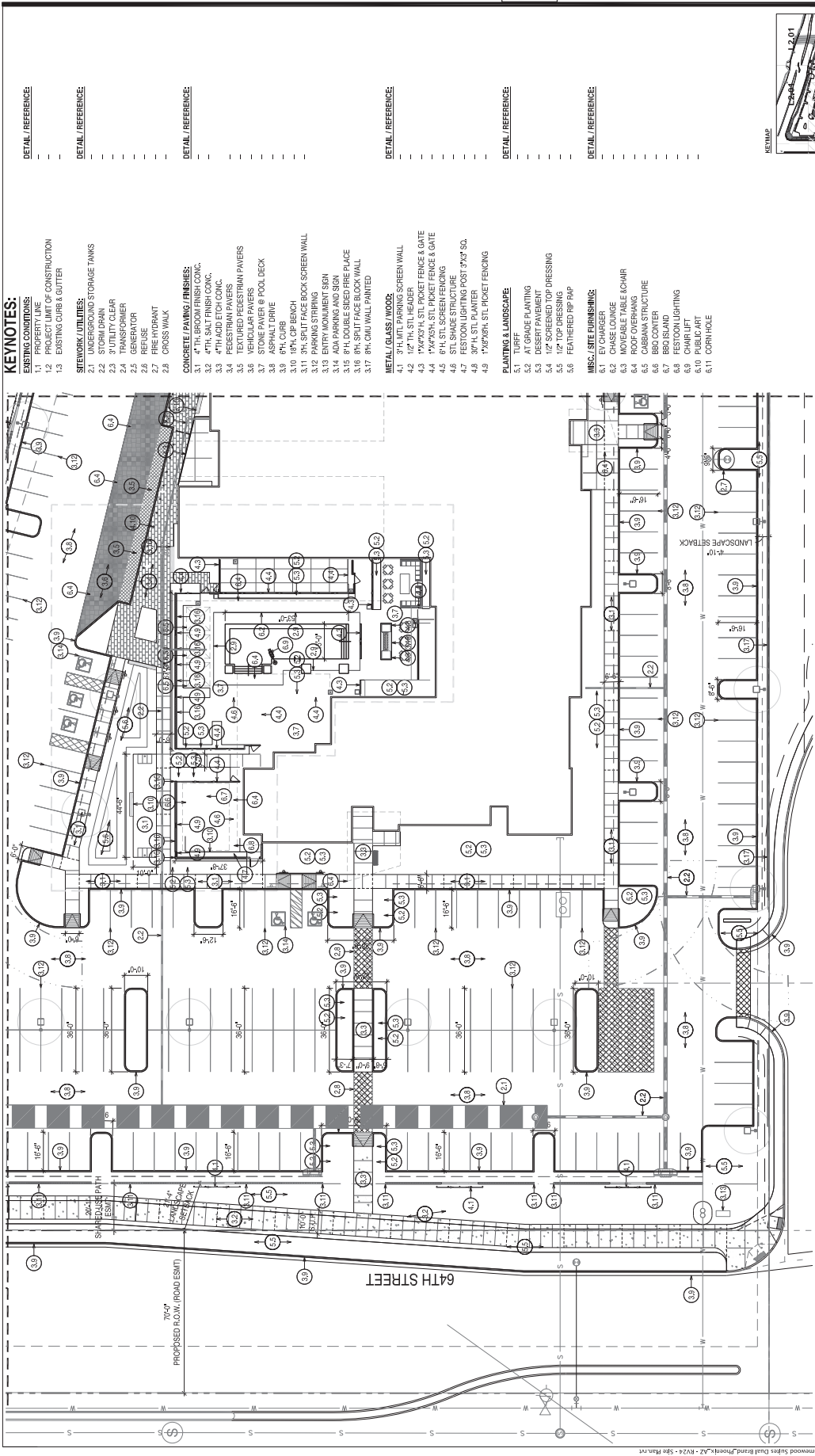
PARTIAL HARDSCAPE PLAN 01
DETAIL



SCALE IN FEET: 1"=20'



REF: L2.01



KEYNOTES:

- EXISTING CONDITIONS:**
 1.1 PROPERTY LINE
 1.2 PROJECT LIMIT OF CONSTRUCTION
 1.3 EXISTING CURB & GUTTER

- STRUCTURE UTILITIES:**
 2.1 UNDERGROUND STORAGE TANKS
 2.2 STORM DRAIN
 2.3 3" UTILITY CLEAR
 2.4 TRANSFORMER
 2.5 GENERATOR
 2.7 FRIE WDRANT
 2.8 CROSS WALK

- CONCRETE PAVING FINISHES:**
 3.1 4" TH. BROOK FINISH CONC.
 3.2 4" TH. POLISHED CONC.
 3.3 4" TH. AD. ECH. CONC.
 3.4 PEDESTRIAN PAVERS
 3.5 TEXTURED PEDESTRIAN PAVERS
 3.6 VEHICULAR PAVERS
 3.7 STONE PAVEN @ POOL DECK
 3.8 8" H. CURB
 3.9 8" H. CURB
 3.10 18" H. CP BENCH
 3.11 3" H. SPLIT FACE BOOK SCREEN WALL
 3.12 PARKING STRIPING
 3.13 ENTRY MONUMENT SIGN
 3.14 ADA PARKING SIGN
 3.15 8" H. SPLIT FACE BOOK SCREEN WALL
 3.16 8" H. SPLIT FACE BOOK SCREEN WALL
 3.17 8" H. OAU WALL PAINTED

- METAL/GLASS/WOOD:**
 4.1 3" TH. LITE PARKING SCREEN WALL
 4.2 1" X 1/2" X 1/2" STL PICKET FENCE & GATE
 4.3 1" X 1/2" X 1/2" STL PICKET FENCE & GATE
 4.4 1" X 1/2" X 1/2" STL PICKET FENCE & GATE
 4.5 6" H. STL SCREEN FENCING
 4.6 STL SHADE STRUCTURE
 4.7 FESTOON LIGHTING POST 3" X 3" SQ.
 4.8 1" X 1/2" X 1/2" STL PICKET FENCING

- PLANTING & LANDSCAPE:**
 5.1 TURF
 5.2 AT GRADE PLANTING
 5.3 12" SPACED TOP DRESSING
 5.4 12" SPACED TOP DRESSING
 5.5 12" TOP DRESSING
 5.6 FEATHERED RP RAP

- MSGS/ SITE FURNISHINGS:**
 6.1 EY CHARGER
 6.2 MOVABLE TABLE & CHAIR
 6.3 MOVABLE TABLE & CHAIR
 6.4 ROOF OVERHANG
 6.5 CABBANA STRUCTURE
 6.6 BBQ CENTER
 6.7 BBQ ISLAND
 6.8 CHAIR LIGHTING
 6.9 CHAIR LIFT
 6.10 PUBLIC ART
 6.11 CORN HOLE

DETAIL /REFERENCE:

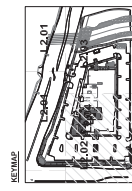
DETAIL /REFERENCE:

DETAIL /REFERENCE:

DETAIL /REFERENCE:

DETAIL /REFERENCE:

DETAIL /REFERENCE:



PARTIAL HARDSCAPE PLAN 01
DETAIL

SCALE: 1"=20'
 SCALE IN FEET: 1"=20'



This seal shall be used only for the design and preparation of professional engineering documents for which the engineer is licensed. It shall not be used for any other purpose. The seal shall be the property of the engineer and shall not be loaned, sold, or otherwise disposed of. The seal shall be used in accordance with the rules and regulations of the State Board of Professional Engineering Examiners.

N 64th ST & E MAYO BLVD
PHOENIX, AZ 85054

TAPESTRY COLLECTION
by Hillier
HOMELWOOD SUITES



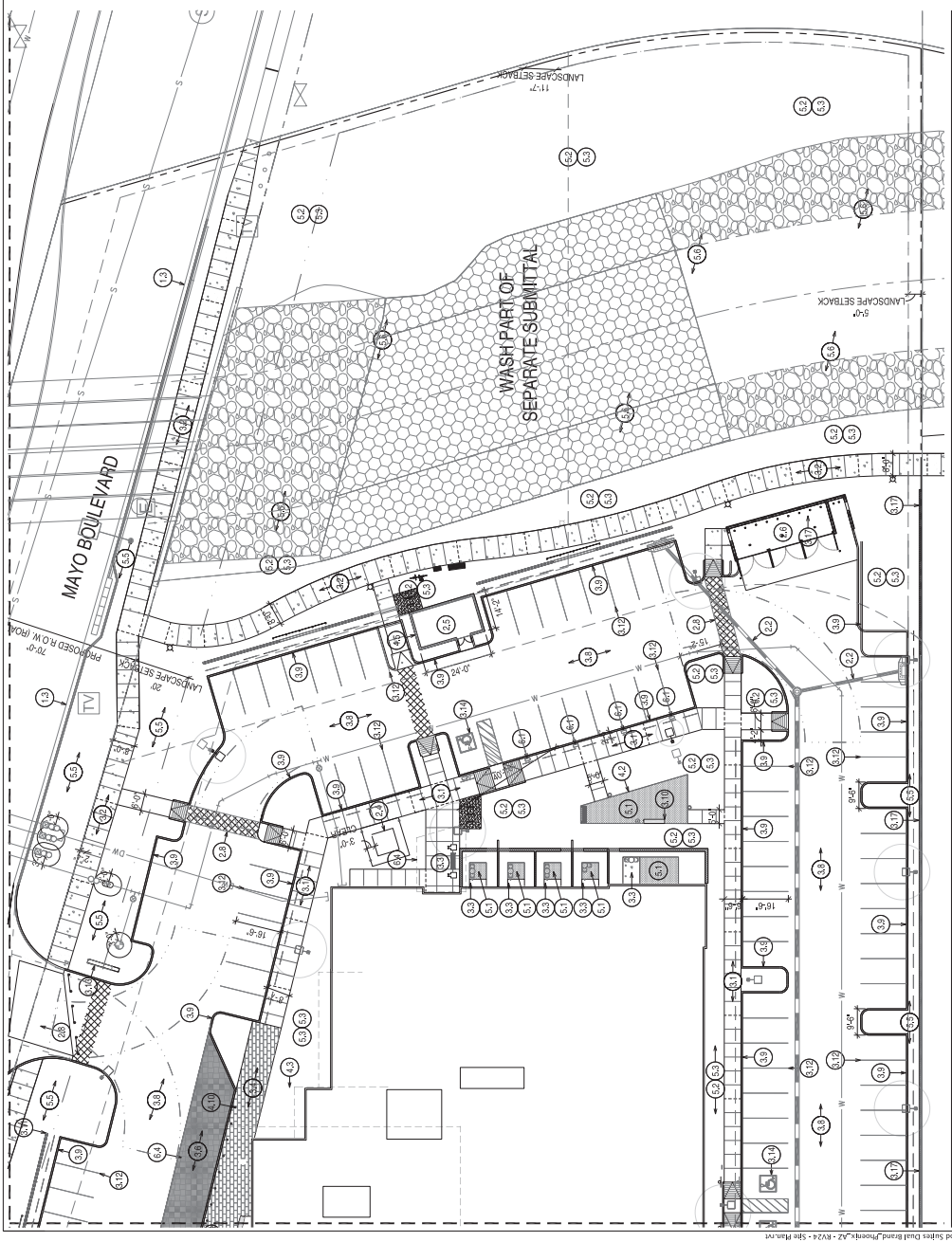
PLAZA COMPANIES, AMO
9401 W. THUNDERBOLT RD.
PEORIA, ARIZONA 85381

FAYTH HOSPITALITY GROUP, LLC
6442 BELMONT AVE.
DALLAS, TX 75206

Revised by
11/20/2024 - CONCEPT SET
08/29/2025 - PWD
08/29/2025 - PWD
02/27/2026 - PWD UPDATE

drawn by VHS
 DWG 2/27/2026
 JOB NO. 25024
 SHEET NO. HARDSCAPE PLAN
 SHEET NO.

L2.02



PARTIAL HARDSCAPE PLAN 01
DETAIL

SCALE: 1"=20'
SCALE IN FEET: 1"=20'

KEYNOTES:

- EXISTING CONDITIONS:**
 1.1 PROPERTY LINE
 1.2 PAVED LIMIT OF CONSTRUCTION
 1.3 EXISTING CURB & GUTTER

- NETWORK UTILITIES:**
 2.1 UNDERGROUND STORAGE TANKS
 2.2 STORM DRAIN
 2.3 UTILITY CLEAR
 2.4 WATER MAIN
 2.5 GENERATOR
 2.6 REFUSE
 2.7 FIRE HYDRANT
 2.8 CROSS WALK

- CONCRETE FINISHING / FINISHES:**
 3.1 4" TH. BROWN FINISH CONC.
 3.2 4" TH. SALT FINISH CONC.
 3.3 4" TH. ADD ETCH CONC.
 3.4 PEDESTRIAN PAVERS
 3.5 TEXTURED PEDESTRIAN PAVERS
 3.6 STONE PAVES
 3.7 STONE PAVES @ POOL DECK
 3.8 ASPHALT DRIVE
 3.9 6" H. CURB
 3.10 18" H. RIP BENCH
 3.11 9" H. SPILT FACE BOOK SCREEN WALL
 3.12 PARKING STRIPING
 3.13 ADA PARKING AND SIGN
 3.14 ADA PARKING AND SIGN
 3.15 8" H. DOUBLE SIDED FIRE PLACE
 3.16 8" H. SPILT FACE BLOCK WALL
 3.17 8" H. CMU WALL PAINTED

- METAL GLASS / WOOD:**
 4.1 3" H. METAL WALKING SCREEN WALL
 4.2 12" TH. STL. HEADER
 4.3 1" X 1/2" H. STL. PICKET FENCE & GATE
 4.4 1" X 1/2" H. STL. PICKET FENCE & GATE
 4.5 6" H. STL. SCREEN FENCING
 4.6 6" H. STL. SCREEN FENCING
 4.7 FESTOON LIGHTING POST 4" X 4" SQ.
 4.8 30" H. STL. PLANTER
 4.9 1" X 1/2" H. STL. PICKET FENCING

- PLANTING LANDSCAPE:**
 5.0 AT GRADE PLANTING
 5.1 DESERT PAVEMENT
 5.4 1/2" SCREENED TOP DRESSING
 5.5 1/2" TOP DRESSING
 5.6 FEATHERED RIP RAP

- ISSUE / SITE FINISHING:**
 6.1 EV CHARGER
 6.2 CHASE LOUNGE
 6.3 MOVEABLE TABLE & CHAIR
 6.4 ROOF OVERHANG
 6.5 CABANNA STRUCTURE
 6.6 STAIRS
 6.7 BED ISLAND
 6.8 FESTOON LIGHTING
 6.9 CHAIR LIFT
 6.10 PUBLIC ART
 6.11 CORNHOLE

DETAIL REFERENCE:

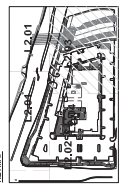
DETAIL REFERENCE:

DETAIL REFERENCE:

DETAIL REFERENCE:

DETAIL REFERENCE:

DETAIL REFERENCE:



09-05-14
 This seal is valid for the State of Arizona only. It is not valid for any other jurisdiction. The holder of this seal is responsible for maintaining the required continuing education. The holder of this seal is responsible for the accuracy of the work performed under the seal. The holder of this seal is responsible for the accuracy of the work performed under the seal.

N 64th ST & MAYO BLVD
 PHOENIX, AZ 85054



PLAZA COMPANIES, AMO
 9401 W. THUNDERBOLT RD.
 PEORIA, ARIZONA 85381

FAYTH HOSPITALITY GROUP, LLC
 6442 BELMONT AVE.
 DALLAS, TX 75206

Revision
 11/20/2024 - COMPLETE SET
 08/26/2025 - PWD
 08/26/2025 - PWD UPDATE
 02/27/2026 - PWD UPDATE

drawn by VHS
 DWG 2/27/2026
 JOB NO. 25024
 SHEET NO. HARDSCAPE PLAN
 SHEET NO.

L2.03



09-05-14

This is a true and correct copy of the original drawing as shown to the client. It is not to be used for any other project without the written consent of the original designer. The user of this drawing is responsible for obtaining all necessary permits and for complying with all applicable codes and regulations. The user of this drawing is also responsible for obtaining all necessary approvals from the appropriate authorities. The user of this drawing is also responsible for obtaining all necessary approvals from the appropriate authorities.

Printed on: 09/05/14

N 64th ST & E MAYO BLVD
PHOENIX, AZ 85054



PLAZA COMPANIES, AMO
9401 W. THUNDERBOLT RD.
SUITE 100
PEORIA, ARIZONA 85381

FAYTH HOSPITALITY GROUP, LLC
6442 BELMONT AVE.
DALLAS, TX 75206

Revisions
11/20/2014 - CONCEPT SET
08/26/2015 - PWD - REVISIONS UPDATE
02/27/2016 - PWD UPDATE

drawn by: VHS
DWG: 2/27/2016
JOB NO.: 25024
SHEET/BIB: PARTIAL HARDSCAPE
SHEET NO.:

L2.04

KEYNOTES:

- EXISTING CONDITIONS:**
1.1 PROPERTY LINE
1.2 PROJECT LIMIT OF CONSTRUCTION
1.3 EXISTING CURB & GUTTER

- NETWORK UTILITIES:**
2.1 UNDESIGNATED STORAGE TANKS
2.2 STORM DRAIN
2.3 3" UTILITY CLEAR
2.4 TRANSFORMER
2.5 GENERATOR
2.6 REFUSE
2.7 IRRIGATION
2.8 CROSS WALK

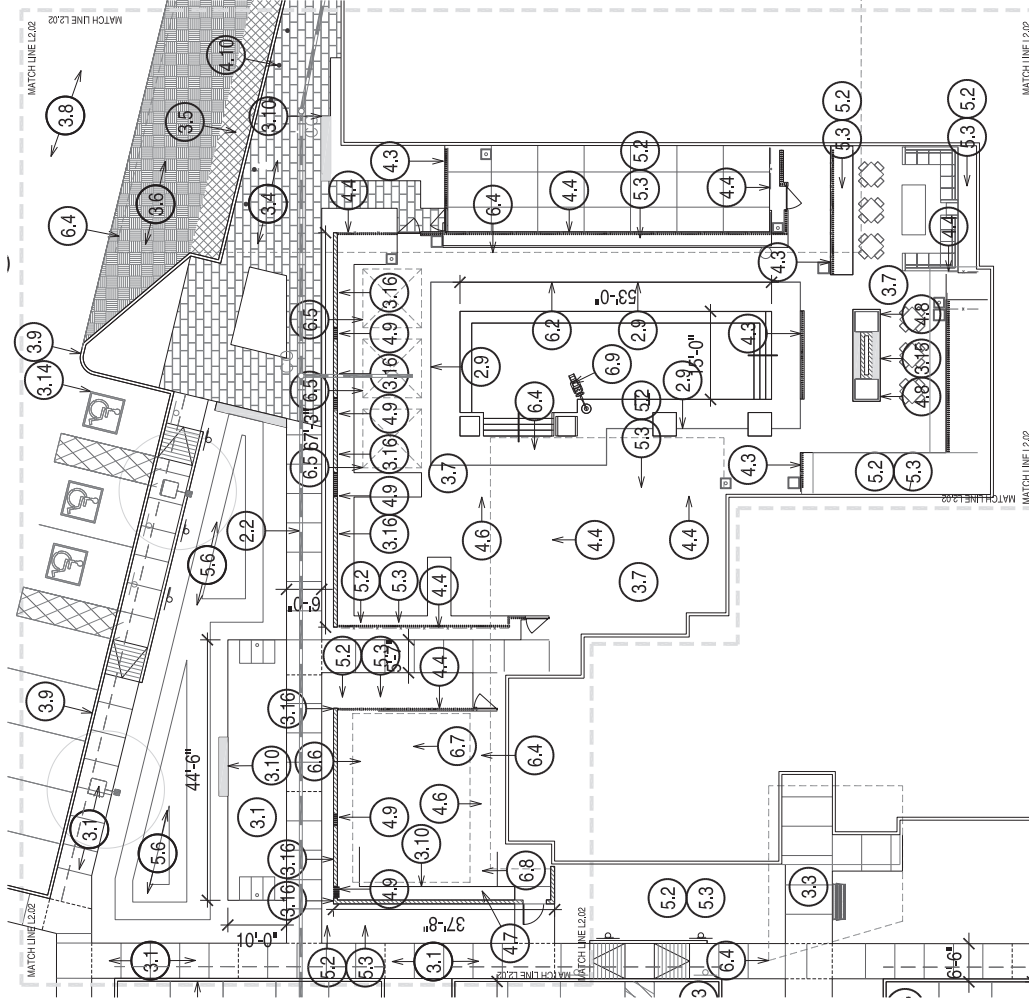
- CONCRETE PAVING FINISHES:**
3.1 4" TH. BROOM FINISH CONC.
3.2 4" TH. SALT FINISH CONC.
3.3 4" TH. POLISHED CONC.
3.4 PEDESTRIAN PAVERS
3.5 TEXTURED PEDESTRIAN PAVERS
3.6 VEHICULAR PAVERS
3.7 STONE PAVEN @ POOL DECK
3.8 ASPHALT DRIVE
3.9 8" H. CURB
3.10 8" H. CURB BENCH
3.11 3/4" SPLIT FACE BOOK SCREEN WALL

- 3.12 PARKING STRIPING
3.13 ENTRY MONUMENT SIGN
3.14 ADA PARKING AND SIGN
3.15 8" H. DOUBLE SIDED FIRE PLACE
3.16 8" H. DOUBLE SIDED FIRE PLACE
3.17 8" H. ONU WALL PAINTED

- METAL/GLASS/WOOD:**
4.1 3" H. METAL PARKING SCREEN WALL
4.2 1/2" TH. STL. HEADER
4.3 1/2" TH. STL. POST
4.4 1" X 1/2" STL. PICKET FENCE & GATE
4.5 6" H. STL. SCREEN FENCING
4.6 STL. SHADE STRUCTURE
4.7 FESTOON LIGHTING POST 3" W 3" SQ.
4.8 30" H. STL. PLANTER
4.9 1" X 3/8" STL. PICKET FENCING

- PLANTING & LANDSCAPE:**
5.1 TURF
5.2 AT GRADE PLANTING
5.3 DESERT PAVEMENT
5.4 1" X 1/2" STL. PICKET FENCING
5.5 1/2" TOP PRESSING
5.6 FEATHERED RIP RAP

- MISC. SITE FURNISHING:**
6.1 EV CHARGER
6.2 WISE LOUNGE
6.3 WISE LOUNGE E-CHAIR
6.4 ROOF OVERHANG
6.5 CABANA STRUCTURE
6.6 BBQ CENTER
6.7 BBQ ISLAND
6.8 FESTOON LIGHTING
6.9 PUBLIC ART
6.10 PUBLIC ART
6.11 CORN HOLE



PARTIAL HARDSCAPE PLAN 01
DETAIL

SCALE: 1"=10'
SCALE IN FEET: 1"=20'
N

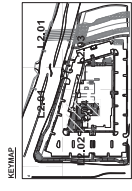
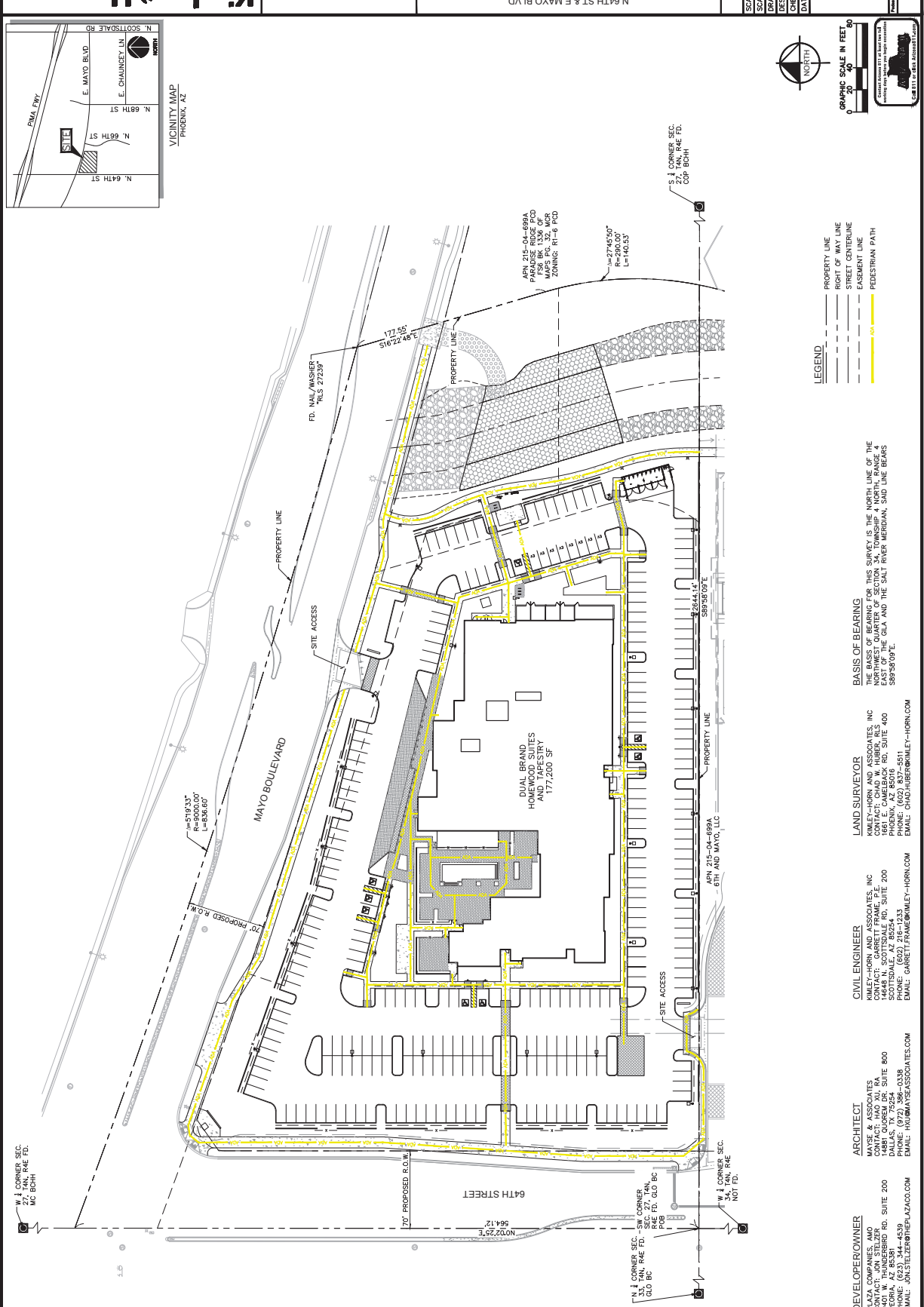


EXHIBIT 5

REV	DATE	DESCRIPTION



Kimley-Horn
 2023 KIMLEY-HORN AND ASSOCIATES, INC.
 1448 N SCOTTSDALE ROAD, SUITE 200
 SCOTTSDALE, ARIZONA 85254 (602) 944-0500

PHOENIX, ARIZONA
PLAN
 PEDESTRIAN CONNECTIVITY
 N 64TH ST & MAYO BLVD

PROJECT No. 091377005
 SCALE (D): 1"=40'
 SCALE (A): NONE
 DRAWN BY: MCH
 DESIGN BY: WFK
 CHECK BY: CDF
 DATE: 11/19/25

NOT FOR CONSTRUCTION
 PC1
 1 OF 1 SHEETS

DEVELOPER/OWNER
 PLAZA COMPANIES, AIO
 CONTACT: JON STELZER
 10000 W GARDEN RD., SUITE 200
 PEORIA, AZ 85361
 PHONE: (623) 344-4339
 EMAIL: JON.STELZER@PC2400.COM

ARCHITECT
 MAYSE & ASSOCIATES
 CONTACT: JAO XU, P.A.
 10000 W GARDEN RD., SUITE 800
 DALLAS, TX 75254
 PHONE: (972) 396-0339
 EMAIL: INFO@MAYSE.COM

CIVIL ENGINEER
 KIMLEY-HORN AND ASSOCIATES, INC
 CONTACT: GARRETT FRAME, P.E.
 200 SCOTTSDALE, AZ 85254
 PHONE: (602) 216-1231
 EMAIL: GARRETT.FRAME@KIMLEY-HORN.COM

LAND SURVEYOR
 KIMLEY-HORN AND ASSOCIATES, INC
 CONTACT: CHAD W. HUBER, RLS
 200 SCOTTSDALE, AZ 85254
 PHONE: (602) 837-5511
 EMAIL: CHAD.HUBER@KIMLEY-HORN.COM

BASIS OF BEARING
 THE BASIS OF BEARING FOR THIS SURVEY IS THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 4 NORTH, RANGE 4 NORTH, MERIDIAN 12E. SICK AND THE SALT RIVER MERIDIAN. SUD LINE BEARS S89°48'09"E.

LEGEND

- PROPERTY LINE
- - - RIGHT OF WAY LINE
- - - STREET CENTERLINE
- - - EASEMENT LINE
- - - PEDESTRIAN PATH
- 60' — PEDESTRIAN PATH

GRAPHIC SCALE IN FEET

0 20 40 60

VICINITY MAP
 PHOENIX, AZ

NOT FOR CONSTRUCTION
 PC1
 1 OF 1 SHEETS

EXHIBIT 6

REV	DATE	DESCRIPTION

DEVELOPER/OWNER
 PLAZA COMPANIES, AND
 CONTACT: JON STELZER
 1400 N. GILBERT RD., SUITE 200
 PEORIA, AZ 85361
 PHONE: (623) 344-4539
 EMAIL: JON@STELZERPEORIA.COM

ARCHITECT
 MAYSE & ASSOCIATES
 CONTACT: JAO XU, P.E.
 1000 W. GILBERT RD., SUITE 800
 DALLAS, TX 75254
 PHONE: (972) 396-0339
 EMAIL: JAO@MAYSEASSOCIATES.COM

CIVIL ENGINEER
 KIMLEY-HORN AND ASSOCIATES, INC
 CONTACT: GARRETT FRAME, P.E.
 1400 N. GILBERT RD., SUITE 200
 SCOTTSDALE, AZ 85254
 PHONE: (602) 216-1231
 EMAIL: GARRETT@KIMLEY-HORN.COM

LAND SURVEYOR
 KIMLEY-HORN AND ASSOCIATES, INC
 CONTACT: CHAD W. HUBER, RLS
 1400 N. GILBERT RD., SUITE 400
 PHOENIX, AZ 85016
 PHONE: (602) 837-5511
 EMAIL: CHAD@KIMLEY-HORN.COM

BASIS OF BEARING
 THE BASIS OF BEARING FOR THIS SURVEY IS THE NORTH LINE OF THE
 NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 4 NORTH, RANGE 4
 EAST, COUNTY OF MARICOPA, STATE OF ARIZONA. THE BEARING
 BETWEEN SAID QUARTER SECTION AND THE SAID RIVER MERIDIAN, SAID LINE BEARS
 S89°38'09"E.

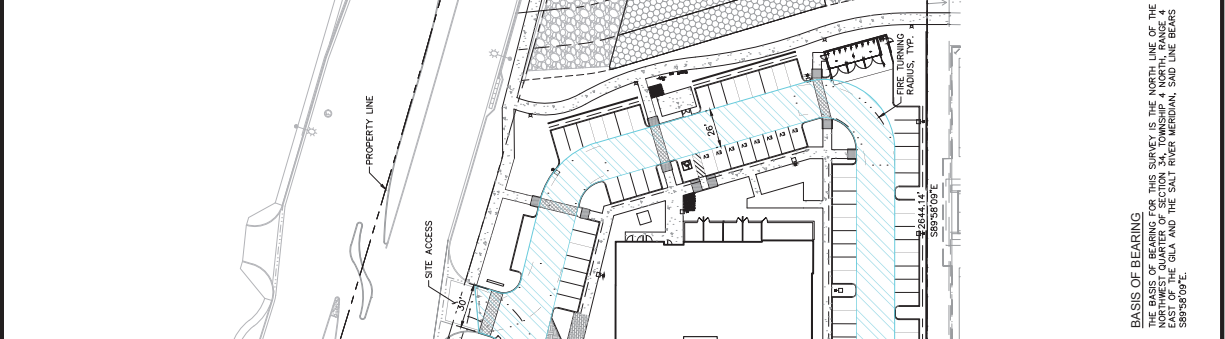
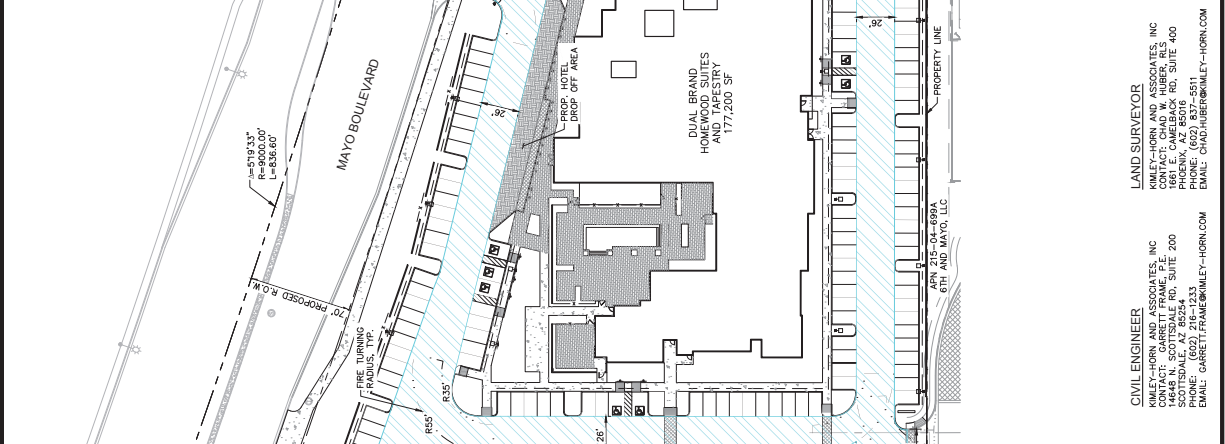
LEGEND

- PROPERTY LINE
- RIGHT OF WAY LINE
- STREET CENTERLINE
- EASEMENT LINE
- VEHICULAR ROUTE

GRAPHIC SCALE IN FEET
 0 20 40 60

NOT FOR CONSTRUCTION

PROJECT No. 091377005
SCALE (D): 1"=40'
SCALE (V): NONE
DRAWN BY: MCH
DESIGN BY: WFK
CHECK BY: CDF
DATE: 11/19/25



VEHICLE CIRCULATION PLAN
 N 64TH ST & MAYO BLVD
 PHOENIX, ARIZONA

Kimley-Horn
 1408 N SCOTTSDALE RD., SUITE 200
 SCOTTSDALE, ARIZONA 85254 (602) 944-0500
 © 2025 KIMLEY-HORN AND ASSOCIATES, INC.

1 OF 1 SHEETS
 VC1

EXHIBIT 7

The design and all other details are the property of MAVRE & ASSOCIATES, INC. and shall remain the property of MAVRE & ASSOCIATES, INC. No part of this design may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of MAVRE & ASSOCIATES, INC.

NORTH PHOENIX NEAR MAYO CLINIC
 N 64th ST & E MAYO BLVD
 PHOENIX, AZ 85064

TAPESTRY COLLECTOR
 HOMESWOOD SUITES by Hilton

1117/2025 5:10:24 PM
 25024



PLAZA COMPANIES, AIO
 9401 W. HUNTERBIRD RD.
 PEORIA, ARIZONA 85381

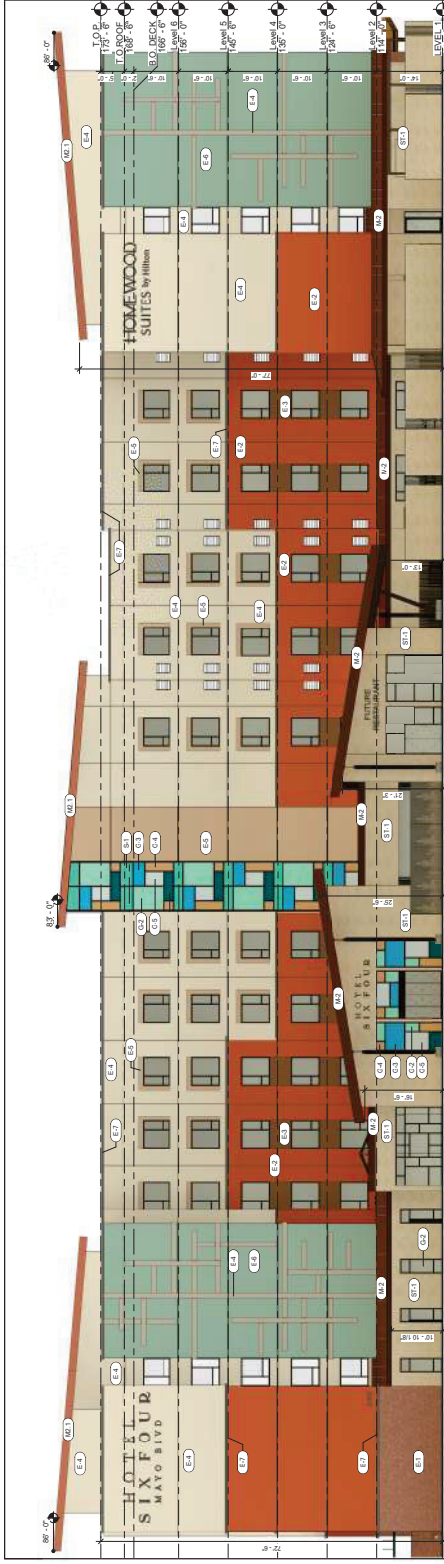
FAYTH HOSPITALITY GROUP, LLC
 5442 BELMONT AVE.
 DALLAS, TX 75206

Revisions: 11/20/24 - CONCEPT SET

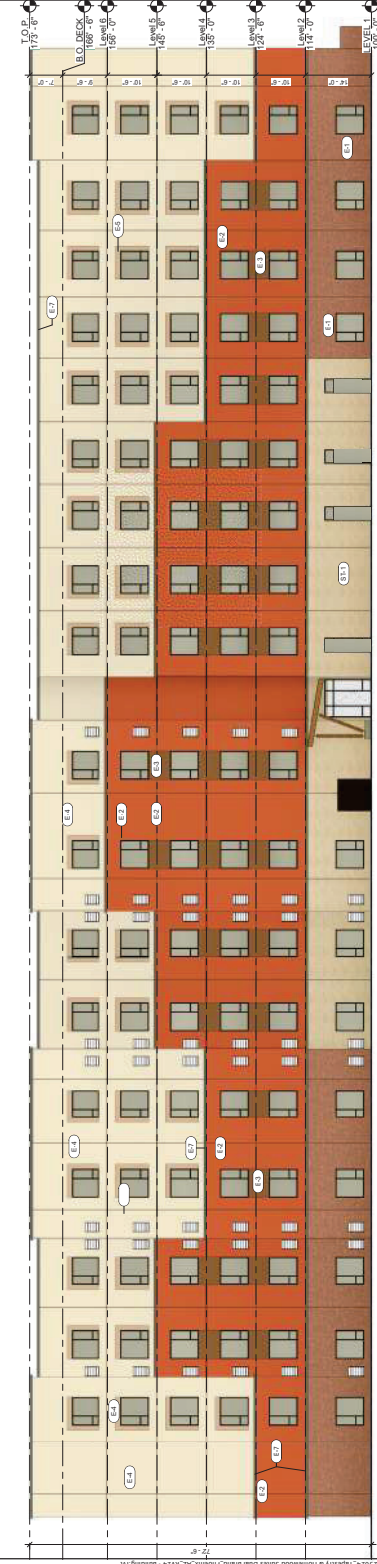
Drawn By: [Name]
 Date: 11/20/25 5:10:24 PM
 Project: 25024

EXTERIOR ELEVATIONS COLOR SCHEDULE

P3



C1 NORTH ELEVATION
 1/8" = 1'-0"



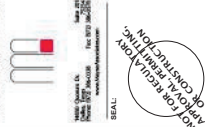
A1 SOUTH ELEVATION
 1/8" = 1'-0"

EXTERIOR FINISH LEGEND

- E-1 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-2 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-3 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-4 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-5 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-6 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-7 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-8 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-9 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-10 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-11 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-12 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-13 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-14 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-15 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-16 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-17 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-18 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-19 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-20 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-21 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-22 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-23 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-24 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-25 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-26 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-27 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-28 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-29 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-30 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-31 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-32 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-33 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-34 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-35 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-36 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-37 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-38 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-39 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-40 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-41 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-42 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-43 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-44 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-45 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-46 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-47 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-48 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-49 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-50 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-51 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-52 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-53 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-54 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-55 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-56 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-57 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-58 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-59 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-60 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-61 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-62 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-63 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-64 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-65 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-66 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-67 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-68 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-69 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-70 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-71 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-72 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-73 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-74 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-75 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-76 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-77 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-78 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-79 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-80 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-81 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-82 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-83 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-84 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-85 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-86 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-87 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-88 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-89 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-90 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-91 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-92 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-93 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-94 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-95 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-96 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-97 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-98 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-99 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE
- E-100 ALUMINUM CLADMENT SUBSTRATE WITH 1/4" WOODSTONE

GLAZING FINISH LEGEND

- G-1 CLEAR VITRO
- G-2 CLEAR VITRO
- G-3 CLEAR VITRO
- G-4 CLEAR VITRO
- G-5 CLEAR VITRO
- G-6 CLEAR VITRO
- G-7 CLEAR VITRO
- G-8 CLEAR VITRO
- G-9 CLEAR VITRO
- G-10 CLEAR VITRO
- G-11 CLEAR VITRO
- G-12 CLEAR VITRO
- G-13 CLEAR VITRO
- G-14 CLEAR VITRO
- G-15 CLEAR VITRO
- G-16 CLEAR VITRO
- G-17 CLEAR VITRO
- G-18 CLEAR VITRO
- G-19 CLEAR VITRO
- G-20 CLEAR VITRO
- G-21 CLEAR VITRO
- G-22 CLEAR VITRO
- G-23 CLEAR VITRO
- G-24 CLEAR VITRO
- G-25 CLEAR VITRO
- G-26 CLEAR VITRO
- G-27 CLEAR VITRO
- G-28 CLEAR VITRO
- G-29 CLEAR VITRO
- G-30 CLEAR VITRO
- G-31 CLEAR VITRO
- G-32 CLEAR VITRO
- G-33 CLEAR VITRO
- G-34 CLEAR VITRO
- G-35 CLEAR VITRO
- G-36 CLEAR VITRO
- G-37 CLEAR VITRO
- G-38 CLEAR VITRO
- G-39 CLEAR VITRO
- G-40 CLEAR VITRO
- G-41 CLEAR VITRO
- G-42 CLEAR VITRO
- G-43 CLEAR VITRO
- G-44 CLEAR VITRO
- G-45 CLEAR VITRO
- G-46 CLEAR VITRO
- G-47 CLEAR VITRO
- G-48 CLEAR VITRO
- G-49 CLEAR VITRO
- G-50 CLEAR VITRO
- G-51 CLEAR VITRO
- G-52 CLEAR VITRO
- G-53 CLEAR VITRO
- G-54 CLEAR VITRO
- G-55 CLEAR VITRO
- G-56 CLEAR VITRO
- G-57 CLEAR VITRO
- G-58 CLEAR VITRO
- G-59 CLEAR VITRO
- G-60 CLEAR VITRO
- G-61 CLEAR VITRO
- G-62 CLEAR VITRO
- G-63 CLEAR VITRO
- G-64 CLEAR VITRO
- G-65 CLEAR VITRO
- G-66 CLEAR VITRO
- G-67 CLEAR VITRO
- G-68 CLEAR VITRO
- G-69 CLEAR VITRO
- G-70 CLEAR VITRO
- G-71 CLEAR VITRO
- G-72 CLEAR VITRO
- G-73 CLEAR VITRO
- G-74 CLEAR VITRO
- G-75 CLEAR VITRO
- G-76 CLEAR VITRO
- G-77 CLEAR VITRO
- G-78 CLEAR VITRO
- G-79 CLEAR VITRO
- G-80 CLEAR VITRO
- G-81 CLEAR VITRO
- G-82 CLEAR VITRO
- G-83 CLEAR VITRO
- G-84 CLEAR VITRO
- G-85 CLEAR VITRO
- G-86 CLEAR VITRO
- G-87 CLEAR VITRO
- G-88 CLEAR VITRO
- G-89 CLEAR VITRO
- G-90 CLEAR VITRO
- G-91 CLEAR VITRO
- G-92 CLEAR VITRO
- G-93 CLEAR VITRO
- G-94 CLEAR VITRO
- G-95 CLEAR VITRO
- G-96 CLEAR VITRO
- G-97 CLEAR VITRO
- G-98 CLEAR VITRO
- G-99 CLEAR VITRO
- G-100 CLEAR VITRO



CONCEPT SET IN PROGRESS

The drawings are for general information only. They are not to be used for construction without the approval of the architect. No responsibility is assumed for any errors or omissions. The drawings are the property of MAVRE & ASSOCIATES, INC. and shall remain confidential.

Engineer

NORTH PHOENIX NEAR PHOENIX CLINIC MAYO CLINIC
 N 64th ST & E MAYO BLVD
 PHOENIX, AZ 85054

TAPESTRY COLLECTOR
 HOMewood SLITES by Hometap



PLAZA COMPANIES, AIO
 9401 W. HUNTERBIRD RD.
 PEORIA, ARIZONA 85381

FAYTH HOSPITALITY GROUP, LLC
 5442 BELMONT AVE.
 DALLAS, TX 75206

Revisions:
 11/02/2024 - CONCEPT SET

Drawn By
 Date: 11/17/2025 5:11:58 PM
 PLOT: 25024

EXTERIOR ELEVATIONS COLOR SHEETS

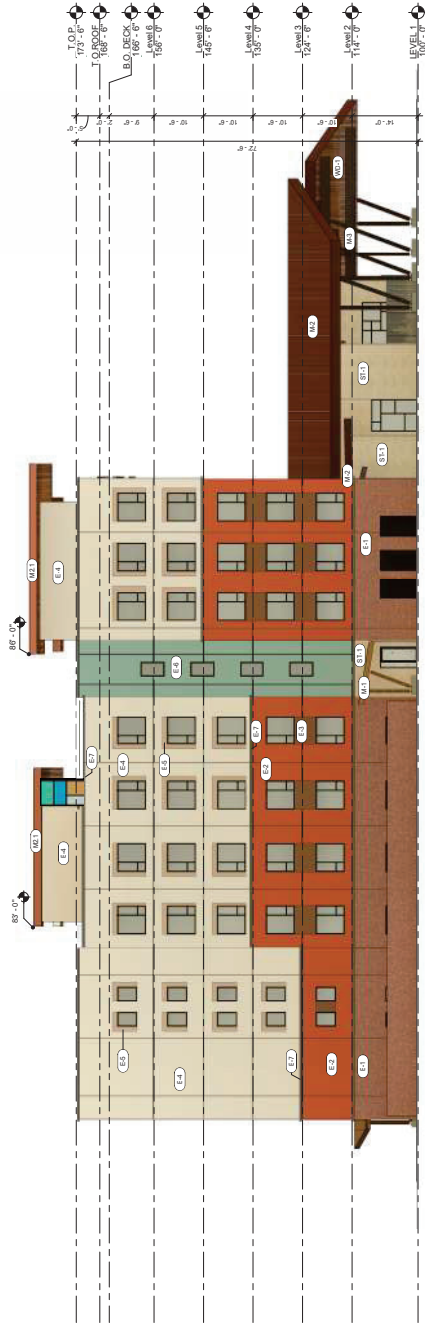
P3.1

GLAZING FINISH LEGEND

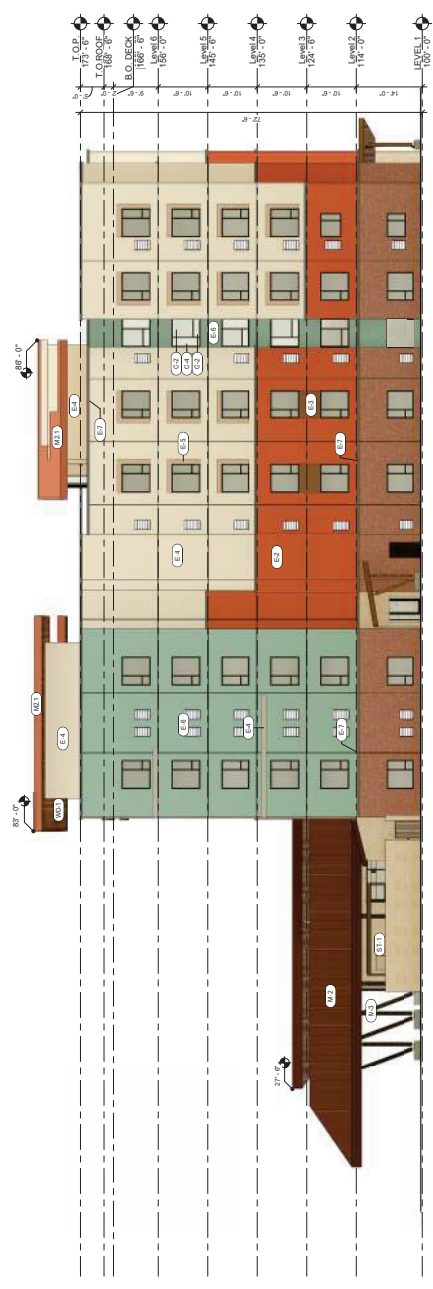
- G-1 SPANDEL FINISHES VERTIGO 100 CONTIGS
- G-2 GRAY BLUE VITRO
- G-3 ATLANTA VITRO
- G-4 PACIFICA VITRO
- G-5 HAVIZE VITRO
- G-6 OPTICRAY VITRO
- G-7 CLEAR VITRO

EXTERIOR FINISH LEGEND

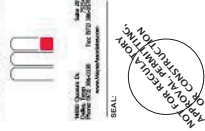
- E-1 TRIMSTONE, 1/2" X 1/2" PLAINSTONE, CHINA PLAINSTONE STONE
- E-2 ALUMINUM FIBERGLASS MAT, 1/4" THICK, 18" X 18" SQUARE, WEAR SURFACE, 1/4" THICK, 18" X 18" SQUARE, WEAR SURFACE
- E-3 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-4 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-5 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-6 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-7 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-8 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-9 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-10 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-11 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-12 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-13 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-14 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-15 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-16 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-17 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-18 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-19 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-20 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-21 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-22 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-23 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-24 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-25 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-26 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-27 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-28 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-29 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-30 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-31 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-32 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-33 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-34 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-35 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-36 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-37 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-38 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-39 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-40 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-41 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-42 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-43 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-44 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-45 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-46 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-47 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-48 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-49 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-50 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-51 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-52 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-53 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-54 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-55 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-56 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-57 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-58 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-59 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-60 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-61 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-62 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-63 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-64 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-65 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-66 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-67 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-68 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-69 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-70 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-71 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-72 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-73 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-74 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-75 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-76 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-77 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-78 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-79 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-80 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-81 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-82 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-83 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-84 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-85 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-86 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-87 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-88 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-89 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-90 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-91 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-92 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-93 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-94 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-95 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-96 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-97 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-98 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-99 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"
- E-100 BRICK, RED, 2 1/4" X 3 1/2" X 7 1/2"



C1 EAST BUILDING ELEVATION
 11.17.2025 5:11:58 PM



A1 WEST BUILDING ELEVATION
 11.17.2025 5:11:58 PM



CONCEPT SET IN PROGRESS

This drawing is not for construction. It is a conceptual drawing only. It is not to be used for construction purposes. It is for informational purposes only. It is not to be used for construction purposes. It is for informational purposes only.

Project No. 25024

NORTH PHOENIX NEAR MAYO CLINIC
 N 64th ST & E MAYO BLVD
 PHOENIX, AZ 85064

TAPESTRY COLLECTION
 HOMESWOOD SLUITES by Miller
 NORTH PHOENIX NEAR MAYO CLINIC



PLAZA COMPANIES, AIO
 9401 W. HUNTERBERRY RD.
 PEORIA, ARIZONA 85381

FAYTH HOSPITALITY GROUP, LLC
 5442 BELMONT AVE.
 DALLAS, TX 75206

Revisions:
 11/20/23 - CONCEPT SET

Drawn By: [Name]
 Date: 11/17/2023 5:13:00 PM
 Project: 25024
 Sheet No: 25024

EXTERIOR ELEVATIONS COLOR SHEETS

P3.2



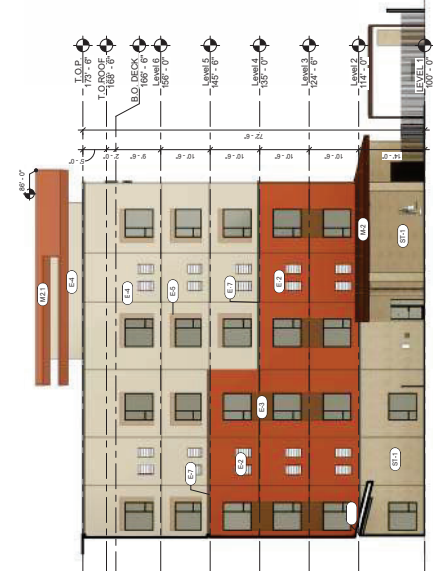
D3 POOL COURTYARD ELEVATION
 P3.2 316' x 12'

EXTERIOR FINISH LEGEND

S-1.1	TRIP STONE, 4" x 8" x 12" CLADDING
W-1	ALUPLATE CERAMIC TILE
E-1	ALUPLATE CERAMIC TILE
E-2	ALUPLATE CERAMIC TILE
E-3	ALUPLATE CERAMIC TILE
E-4	ALUPLATE CERAMIC TILE
E-5	ALUPLATE CERAMIC TILE
E-6	ALUPLATE CERAMIC TILE
E-7	ALUPLATE CERAMIC TILE
E-8	ALUPLATE CERAMIC TILE
E-9	ALUPLATE CERAMIC TILE
E-10	ALUPLATE CERAMIC TILE
E-11	ALUPLATE CERAMIC TILE
E-12	ALUPLATE CERAMIC TILE
E-13	ALUPLATE CERAMIC TILE
E-14	ALUPLATE CERAMIC TILE
E-15	ALUPLATE CERAMIC TILE
E-16	ALUPLATE CERAMIC TILE
E-17	ALUPLATE CERAMIC TILE
E-18	ALUPLATE CERAMIC TILE
E-19	ALUPLATE CERAMIC TILE
E-20	ALUPLATE CERAMIC TILE
E-21	ALUPLATE CERAMIC TILE
E-22	ALUPLATE CERAMIC TILE
E-23	ALUPLATE CERAMIC TILE
E-24	ALUPLATE CERAMIC TILE
E-25	ALUPLATE CERAMIC TILE
E-26	ALUPLATE CERAMIC TILE
E-27	ALUPLATE CERAMIC TILE
E-28	ALUPLATE CERAMIC TILE
E-29	ALUPLATE CERAMIC TILE
E-30	ALUPLATE CERAMIC TILE
E-31	ALUPLATE CERAMIC TILE
E-32	ALUPLATE CERAMIC TILE
E-33	ALUPLATE CERAMIC TILE
E-34	ALUPLATE CERAMIC TILE
E-35	ALUPLATE CERAMIC TILE
E-36	ALUPLATE CERAMIC TILE
E-37	ALUPLATE CERAMIC TILE
E-38	ALUPLATE CERAMIC TILE
E-39	ALUPLATE CERAMIC TILE
E-40	ALUPLATE CERAMIC TILE
E-41	ALUPLATE CERAMIC TILE
E-42	ALUPLATE CERAMIC TILE
E-43	ALUPLATE CERAMIC TILE
E-44	ALUPLATE CERAMIC TILE
E-45	ALUPLATE CERAMIC TILE
E-46	ALUPLATE CERAMIC TILE
E-47	ALUPLATE CERAMIC TILE
E-48	ALUPLATE CERAMIC TILE
E-49	ALUPLATE CERAMIC TILE
E-50	ALUPLATE CERAMIC TILE
E-51	ALUPLATE CERAMIC TILE
E-52	ALUPLATE CERAMIC TILE
E-53	ALUPLATE CERAMIC TILE
E-54	ALUPLATE CERAMIC TILE
E-55	ALUPLATE CERAMIC TILE
E-56	ALUPLATE CERAMIC TILE
E-57	ALUPLATE CERAMIC TILE
E-58	ALUPLATE CERAMIC TILE
E-59	ALUPLATE CERAMIC TILE
E-60	ALUPLATE CERAMIC TILE
E-61	ALUPLATE CERAMIC TILE
E-62	ALUPLATE CERAMIC TILE
E-63	ALUPLATE CERAMIC TILE
E-64	ALUPLATE CERAMIC TILE
E-65	ALUPLATE CERAMIC TILE
E-66	ALUPLATE CERAMIC TILE
E-67	ALUPLATE CERAMIC TILE
E-68	ALUPLATE CERAMIC TILE
E-69	ALUPLATE CERAMIC TILE
E-70	ALUPLATE CERAMIC TILE
E-71	ALUPLATE CERAMIC TILE
E-72	ALUPLATE CERAMIC TILE
E-73	ALUPLATE CERAMIC TILE
E-74	ALUPLATE CERAMIC TILE
E-75	ALUPLATE CERAMIC TILE
E-76	ALUPLATE CERAMIC TILE
E-77	ALUPLATE CERAMIC TILE
E-78	ALUPLATE CERAMIC TILE
E-79	ALUPLATE CERAMIC TILE
E-80	ALUPLATE CERAMIC TILE
E-81	ALUPLATE CERAMIC TILE
E-82	ALUPLATE CERAMIC TILE
E-83	ALUPLATE CERAMIC TILE
E-84	ALUPLATE CERAMIC TILE
E-85	ALUPLATE CERAMIC TILE
E-86	ALUPLATE CERAMIC TILE
E-87	ALUPLATE CERAMIC TILE
E-88	ALUPLATE CERAMIC TILE
E-89	ALUPLATE CERAMIC TILE
E-90	ALUPLATE CERAMIC TILE
E-91	ALUPLATE CERAMIC TILE
E-92	ALUPLATE CERAMIC TILE
E-93	ALUPLATE CERAMIC TILE
E-94	ALUPLATE CERAMIC TILE
E-95	ALUPLATE CERAMIC TILE
E-96	ALUPLATE CERAMIC TILE
E-97	ALUPLATE CERAMIC TILE
E-98	ALUPLATE CERAMIC TILE
E-99	ALUPLATE CERAMIC TILE
E-100	ALUPLATE CERAMIC TILE

GLAZING FINISH LEGEND

G-1	ALUMINUM CLADDING
G-2	ALUMINUM CLADDING
G-3	ALUMINUM CLADDING
G-4	ALUMINUM CLADDING
G-5	ALUMINUM CLADDING
G-6	ALUMINUM CLADDING
G-7	ALUMINUM CLADDING
G-8	ALUMINUM CLADDING
G-9	ALUMINUM CLADDING
G-10	ALUMINUM CLADDING
G-11	ALUMINUM CLADDING
G-12	ALUMINUM CLADDING
G-13	ALUMINUM CLADDING
G-14	ALUMINUM CLADDING
G-15	ALUMINUM CLADDING
G-16	ALUMINUM CLADDING
G-17	ALUMINUM CLADDING
G-18	ALUMINUM CLADDING
G-19	ALUMINUM CLADDING
G-20	ALUMINUM CLADDING
G-21	ALUMINUM CLADDING
G-22	ALUMINUM CLADDING
G-23	ALUMINUM CLADDING
G-24	ALUMINUM CLADDING
G-25	ALUMINUM CLADDING
G-26	ALUMINUM CLADDING
G-27	ALUMINUM CLADDING
G-28	ALUMINUM CLADDING
G-29	ALUMINUM CLADDING
G-30	ALUMINUM CLADDING
G-31	ALUMINUM CLADDING
G-32	ALUMINUM CLADDING
G-33	ALUMINUM CLADDING
G-34	ALUMINUM CLADDING
G-35	ALUMINUM CLADDING
G-36	ALUMINUM CLADDING
G-37	ALUMINUM CLADDING
G-38	ALUMINUM CLADDING
G-39	ALUMINUM CLADDING
G-40	ALUMINUM CLADDING
G-41	ALUMINUM CLADDING
G-42	ALUMINUM CLADDING
G-43	ALUMINUM CLADDING
G-44	ALUMINUM CLADDING
G-45	ALUMINUM CLADDING
G-46	ALUMINUM CLADDING
G-47	ALUMINUM CLADDING
G-48	ALUMINUM CLADDING
G-49	ALUMINUM CLADDING
G-50	ALUMINUM CLADDING
G-51	ALUMINUM CLADDING
G-52	ALUMINUM CLADDING
G-53	ALUMINUM CLADDING
G-54	ALUMINUM CLADDING
G-55	ALUMINUM CLADDING
G-56	ALUMINUM CLADDING
G-57	ALUMINUM CLADDING
G-58	ALUMINUM CLADDING
G-59	ALUMINUM CLADDING
G-60	ALUMINUM CLADDING
G-61	ALUMINUM CLADDING
G-62	ALUMINUM CLADDING
G-63	ALUMINUM CLADDING
G-64	ALUMINUM CLADDING
G-65	ALUMINUM CLADDING
G-66	ALUMINUM CLADDING
G-67	ALUMINUM CLADDING
G-68	ALUMINUM CLADDING
G-69	ALUMINUM CLADDING
G-70	ALUMINUM CLADDING
G-71	ALUMINUM CLADDING
G-72	ALUMINUM CLADDING
G-73	ALUMINUM CLADDING
G-74	ALUMINUM CLADDING
G-75	ALUMINUM CLADDING
G-76	ALUMINUM CLADDING
G-77	ALUMINUM CLADDING
G-78	ALUMINUM CLADDING
G-79	ALUMINUM CLADDING
G-80	ALUMINUM CLADDING
G-81	ALUMINUM CLADDING
G-82	ALUMINUM CLADDING
G-83	ALUMINUM CLADDING
G-84	ALUMINUM CLADDING
G-85	ALUMINUM CLADDING
G-86	ALUMINUM CLADDING
G-87	ALUMINUM CLADDING
G-88	ALUMINUM CLADDING
G-89	ALUMINUM CLADDING
G-90	ALUMINUM CLADDING
G-91	ALUMINUM CLADDING
G-92	ALUMINUM CLADDING
G-93	ALUMINUM CLADDING
G-94	ALUMINUM CLADDING
G-95	ALUMINUM CLADDING
G-96	ALUMINUM CLADDING
G-97	ALUMINUM CLADDING
G-98	ALUMINUM CLADDING
G-99	ALUMINUM CLADDING
G-100	ALUMINUM CLADDING



A2 WEST WING ELEVATION
 P3.2 352' x 12'



A4 EAST WING ELEVATION
 P3.2 352' x 12'

EXHIBIT 8



DESIGN



10000 W. CENTRAL EXPRESSWAY
SUITE 1000
DALLAS, TEXAS 75243
TEL: 214.424.1000
WWW.KOFERREALTY.COM

ENGINEER

11400 ST. & E. MAYO BLVD
PHOENIX, AZ 85044

TAPESTRY COLLECTION
HOVING SUITES
DESIGN CENTER



PLAZA COMPANIES, LMO
1501 W. CENTRAL EXPRESSWAY
SUITE 200
PEORIA, ARIZONA 85081

FAYTH HOSPITALITY GROUP, LLC
842 BELMONT AVE.
DALLAS, TX 75208

REVISIONS:
12/20/2018 - 01/01/2019

DESIGNED BY

DATE: 11/20/2018 FILE # 174

A: 10/1/2018 2018

PROJECT: EXTERIOR MATERIALS

SCALE: 1/8" = 1'-0"

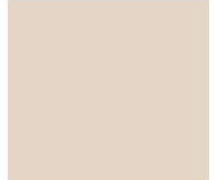
GATEHOUSE - HIGH ROOF SOFT FINISH
T-8 FLANKWALL
WESTERN STATES
WESTERN STATES



EIFS COLOR (WINDOW ACCENT)
376 COPPERTONE
DRYVIT



EIFS COLOR (ACCENT BAND)
715 LICORICE
DRYVIT



EIFS COLOR
442 COTTON
DRYVIT



EIFS COLOR (METALLIC SHINE)
HAMMERED COPPER SMOOTH
DRYVIT



MULLIONS



EIFS COLOR
SEDONA RED AMERISTONE
DRYVIT



STONE
SAND CANYON FLAGSTONE - CREAM
CORONADO



GATEHOUSE COLUMNS



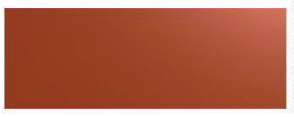
EIFS COLOR
516 SEASCAPE
DRYVIT



STANDING SEAM ROOF



EIFS COLOR
SW 6622 HEARTY ORANGE
SHERWIN WILLIAMS



STANDING SEAM ROOF

E

D

C

B

A

EXHIBIT 9

RENDERING SHALL BE BROWN ON THE SHEET
AND NOT TO BE USED FOR CONSTRUCTION
OR FOR ANY OTHER PURPOSES.



SEAL:



THE STATE BOARD OF ENGINEERING AND SURVEYING
1900 WEST WASHINGTON AVENUE, SUITE 1000
PHOENIX, ARIZONA 85001-4000
PH: 602.964.3100 FAX: 602.964.3101
WWW.AZSTATEBOARDS.COM

Engineer:

N 64th ST & MAYO BLVD
PHOENIX, AZ 85064

TAPESTRY COLLECTION
MILITATION
HOMELAND SECURITY

PLAZA COMPANIES, A MO
9801 W. WILLOW CREEK RD.,
SUITE 200,
PEORIA, ARIZONA 85381



FAYTH HOSPITALITY GROUP, LLC
5442 BELMONT AVE.
DALLAS, TX 75205

PROJECT NO.
10100000000000000000

drawn by

DATE: 11/20/2025 5:18:45 PM

A PROJECT NO. 250254

SHEET TITLE: EXTERIOR RENDER

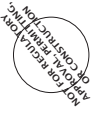
PRINT TITLE:

A3.20

REFLECTIVE IMAGE SHOWN ON THIS SHEET
 ARE FOR INFORMATION ONLY AND
 DO NOT CONSTITUTE A CONTRACT DOCUMENT



SEAL:



THE STATE BOARD OF ARCHITECTS IN NORTH CAROLINA HAS DETERMINED THAT THIS SEAL MEETS THE REQUIREMENTS OF SECTION 18A-107 OF THE GENERAL STATUTES OF THIS STATE.

Engineer:

N 6241 ST E MAYO BLVD
 PHOENIX, AZ 85064

TAPESTRY
 CONSTRUCTION
 SOLUTIONS
 NORTH PHOENIX INDUSTRIAL DISTRICT



PLAZA COMPANIES, INC
 9801 W. WASHINGTON BLVD. SUITE 200
 PEORIA, ARIZONA 85381

FAYTH HOSPITALITY GROUP, LLC
 5442 BELMONT AVE.
 DALLAS, TX 75206

PROJECT NO. 1020000001_001_001

drawn by

DATE: 11/20/2025 5:18:45 PM

PROJECT NO. 250254

SHEET TITLE: EXTERIOR RENDER

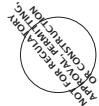
PRINT FILE:

A3.21

© 2025 MAYSE & ASSOCIATES, INC.
 ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED WITHOUT PERMISSION.



SEAL:



THE STATE BOARD OF ARCHITECTURE, THE ARCHITECTS' BOARD OF PROFESSIONAL RESPONSIBILITY, THE ARCHITECTS' BOARD OF ETHICS & STANDARDS, THE ARCHITECTS' BOARD OF CONTRACT ADMINISTRATION, THE ARCHITECTS' BOARD OF PRACTICE MANAGEMENT

Engineer:

N 19th ST & MAYS BLVD
PHOENIX, AZ 85064

TAPESTRY COLLECTION
HOMELAND
SUITES
NORTH PHOENIX, ARIZONA



PLAZA COMPANIES, AIO
9801 W. WASHINGTON BLVD. RD.,
SUITE 200
PEORIA, ARIZONA 85381

FAYTH HOSPITALITY GROUP, LLC
5442 BELMONT AVE.
DALLAS, TX 75206

PROJECT NO.
10-00000000-000-001

drawn by

DATE: 11/20/2025 5:18:40 PM

A PROJECT NO. 250224

SHEET TITLE: EXTERIOR RENDER

PRINT FILE

A3.23

THIS DOCUMENT IS THE PROPERTY OF MAYSE & ASSOCIATES ARCHITECTS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MAYSE & ASSOCIATES ARCHITECTS.



RENDERING SUBJECT TO CHANGE WITHOUT NOTICE. THIS RENDERING IS NOT A CONTRACT. FOR MORE INFORMATION, CONTACT THE ARCHITECT.



SEAL:



1100 North Central Expressway, Suite 1000
Phoenix, AZ 85004
Tel: 602.441.1111
Fax: 602.441.1112
www.mayse.com

Engineer:

N 4TH ST & MAYS BLVD
PHOENIX, AZ 85004

TAPESTRY HOMESWOOD
CONSTRUCTION SERVICES

1015 PHEONIX AVENUE SUITE 100
PHOENIX, AZ 85004



PLAZA COMPANIES, AIO
9801 W. WILSON AVENUE, SUITE 200
PEORIA, ARIZONA 85381

FAYTH HOSPITALITY GROUP, LLC
5442 BELMONT AVE.
DALLAS, TX 75206

PROJECTIONS
10/13/2025 2:56:27

drawn by

DATE: 11/20/2025 5:18:51 PM

JOB NO. 24924

SHEET TITLE EXTERIOR RENDER

PRINT NO.

A3.32