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LEE &
ASSOCIATES

COMMERCIAL REAL ESTATE SERVICES

Andrew Cheney, CRE, CCIM, SIOR

Principal

Direct: (602).954.3769

April 24, 2025

Byron Easton, Hearing Officer
City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 01 2025

Planning & Development
Department

Dear Mr. Easton,

I am a commercial real estate broker in Phoenix with 22 years of experience in the Biltmore area and Camelback Corridor. I have been a principal at Lee & Associates since 2009. I was Brett Slavicek's agent when he purchased the property at 5500 N. 24th Street in 2013. I am also the Past Chairman of the Board of NAIOP Arizona, the largest commercial real estate trade organization in our state.

Brett shared with me his plans for upgrades and modernization of the second level. The plans include converting the second-floor mezzanine (which was a law library when he bought it) to regular office and meeting space, while adding approximately 1,000 square feet. The plans do not alter the site plan or building height. The plans include luxurious finishes, including extensive interior wood paneling and marble, plus exterior copper clad turrets and a natural slate roof.

When the building was built in the early 1980s, this area was vastly different from what it is today. Now, mid-rise buildings dominate just a few blocks away. The immediate area is abundantly populated with two story homes, including directly across both 24th Street and Missouri Avenue from Brett's property. The Arizona Biltmore itself has also undergone major updates.

While the initial zoning goal was to mitigate having a commercial property in what was then a residential area, this area has long changed in those 45 years.

With that said, it is important to know that the changes Brett proposes still keep the building's appearance as much residential as commercial. Since Brett has owned the building, he's removed all visible signage to the building, which has made it even more residential appearing than when he purchased it.

It should also be noted that this property would be significantly improved with Brett's proposed improvements, which make it more architecturally interesting, and provide better finishes. The property has always been a great transition as one heads south down 24th Street into the Camelback Corridor. It has always been a signature property with its unique architecture and landscape, to include full frontage of annual flowers on both 24th St. and Missouri

The current use of the property is a low volume law practice which is perhaps the best commercial use the neighborhood could expect. Brett tells me that he needs to expand, and if he can't expand, then he must move. That would be regrettable for the neighborhood. The

building likely would not have the same low volume or as good of a steward of this important corner as Brett has been and intends to be.

In conclusion, the Biltmore area, the transition to the Camelback corner off of 24th St., and immediate neighborhood will benefit from Brett's upgrades and very minor expansion. The law firm has proven to be an exceptional neighbor and only wants to make the property better, not just for the occupants and employees, but for the entire neighborhood, and city itself. With these changes, this building will remain an iconic building on an iconic corner, for decades to come.

Sincerely,

A handwritten signature in blue ink, appearing to read 'ACS', is positioned below the word 'Sincerely,'.

Andrew Cheney, CCIM, CRE, SIOR
Principal
602.954.3769

MAY 01 2025

Planning & Development
Department

Mr. Byron Easton
Planning Hearing Officer
City of Phoenix
200 W. Washington Street, 3rd Floor
Phoenix, Arizona 85003

Dear Mr. Easton:

I am the owner of 44 Biltmore Estates and use the 24th/Missouri entrance to Biltmore daily to come in and out of the Biltmore neighborhood. Additionally, my home shares the wall with the parking lot of the Adobe Restaurant & Grill so I am intimately familiar with expansion, construction, and the compromises associated with development in our neighborhood.

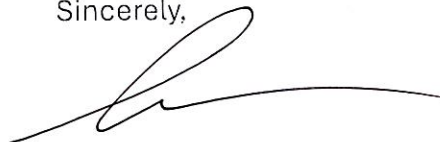
It is with that context that I write this letter in support of Slavicek Holdings' application for improvements at 5500 N. 24th Street to allow the expansion of the second-floor mezzanine to a second story, which would include the addition of two turrets and a West side pop-out.

I have visited the current building and appreciate not only the architecture and the owner's goal of maintaining the building's current look, but I also appreciate how the building has no signage, beautiful landscaping, and generates very little traffic.

A law firm office is a great use for this iconic Phoenix building and to support the owner by allowing for a minor expansion that does not change its character, overall use, or aesthetic but allows for the business to grow and be sustained is certainly something to support.

Thank you for allowing me to provide my input.

Sincerely,



Donald Levin
44 Biltmore Estates
Phoenix, Arizona 85016

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 13 2025

Planning & Development
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Victoria Granbury
5201 N. 24th Street
Phoenix, Az 85016

CITY OF PHOENIX

Byron Easton, Hearing Officer
City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

MAY 15 2025

Planning & Development
Department

Dear Officer Easton:

I live at 2 Biltmore Estates, Unit 311, which is in the immediate area of The Slavicek Law Firm, which is located prominently on the corner of Missouri and 24th Street. I drive or walk by the corner almost every day as I come and go from the Biltmore Circle.

I am very familiar with the building; this area has been my home for many years. I reviewed the plan and renderings for Mr. Slavicek's proposed 1,035 square foot addition, to include two new copper turrets, plus expansion of the existing mezzanine out the southwest side.

I write in full support the project and urge the Planning Committee to approve it. The architecture and design are well thought out and grand. The proposed changes and updates will significantly improve the property itself but equally the neighborhood. The building will still have a residential feel and continue as an iconic building on this important corner. In fact, if the changes are allowed, the building will become even more iconic and of greater interest. A perfect transition to the Biltmore and Camelback Corridor.

I understand the Biltmore Area Master Association (ABEVA) is spending over \$1 Million on redoing both entrances to the Biltmore off of 24th Street, kitty-corner from the subject property, and off of Colter and 32nd Street. I am certain the upgrades and enhanced new addition proposed by Mr. Slavicek would perfectly compliment the ABEVA project.

With only 1,035 square feet added, I see no increased burden to the neighborhood. The existing law firm has been a model, low volume commercial occupant.

As a resident vested in the community of the Biltmore Circle (where we all drive out of our community with the building in full site) I see nothing but good coming from this project, and nothing but good in keeping the current occupant in place.

Sincerely,


Dennis Clifford

Greg & Aaron Nadeau
2226 East Montebello
Phoenix, AZ 85016

CITY OF PHOENIX

April 20, 2025

MAY 15 2025

**Planning & Development
Department**

Byron Easton, Hearing Officer
City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

Dear Mr. Easton,

We live approximately two blocks from 5500 N. 24th Street. This building is well known to everyone in the neighborhood due to its age, unique and distinctive architectural features, and the fact that the owner plants large areas of annual flowers twice a year, and due to its prominent location across from the entrance to the Biltmore.

We were surprised to learn that there are restrictions on this property, preventing it from having a second story. This is especially true since many of the properties around it, including the property right across Missouri, have second stories.

We reviewed the architectural renderings. We believe the intended design is beautiful and will add to the neighborhood, not take anything from it. The building will become even more iconic.

Again, we urge the City to please modify the stipulations on this property, such that it can be like its neighbors, a two-story property. The building will look fantastic, if the owners plans can come to fruition.

Thank you!



Greg Nadeau



Aaron Nadeau

April 21, 2025

CITY OF PHOENIX

MAY 15 2025

Byron Easton
City of Phoenix Planning Department

**Planning & Development
Department**

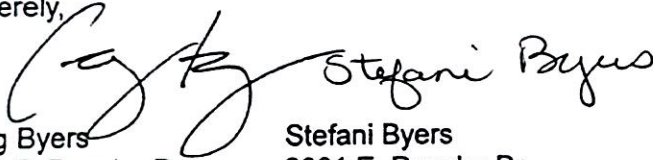
Dear Mr. Easton:

We live in the immediate neighborhood to the property at 5500 N. 24th St., a law firm which has been there for more than a dozen years.

We support the proposed project. The changes will improve the stature of the building, and will make the corner be of more visual interest. The building is unique and these changes, while consistent with the original nature of the building, will only serve to make it more architecturally interesting.

We also want to point out that the owners of the property have been good neighbors. There is no commercial signage on the building. There is very little traffic (and only during regular work hours). The building is always well-maintained to include expansive annual flowers to rival those at the entrance to the Biltmore. We respectfully encourage Phoenix to allow the occupants to expand in the minor way they wish to expand so they can stay and continue to benefit our neighborhood.

Sincerely,



Craig Byers
2301 E. Rancho Dr.
Phoenix, AZ 85016

Stefani Byers
2301 E. Rancho Dr.
Phoenix, AZ 85016

Marco and Laura Louis
2029 E San Juan Ave,
Phoenix AZ 85016

CITY OF PHOENIX

MAY 15 2025

**Planning & Development
Department**

April 20, 2025

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

Dear Mr. Easton,

We live close to 5500 N. 24th Street. We have reviewed the images of the plans. We are in support of the plans. The improvements will be of benefit to the law firm but also the entire neighborhood. The property will continue to present with a residential aura and the design is pleasing, luxurious and consistent with the building's history.

This property has always been a well known and admired property in our neighborhood. These changes will only make it better and cause nothing harmful to our neighborhood.

We hope the owners are allowed to make the changes, so they will continue to remain. It is highly unlikely any new occupants will be as good to this neighborhood as the present owners. Indeed, the business use of this property has been as minimal as we could expect.

Thank you,



Marco and Laura Louis



FROM THE DESK OF
KELLEN W. BRADLEY

May 13, 2025

Byron Easton
City of Phoenix Planning Department

Re: 5500 N. 24th Street

Dear Mr. Easton,

I am writing to express my strong support for the planned updates to the office building at 5500 N. 24th Street in Phoenix, Arizona. I have lived in Phoenix for 40 years. As a native and resident of Phoenix for four decades, I've consistently observed this property being maintained with exceptional care by its owners. Based on my long-term experience, any proposed expansion appears to be quite modest and in keeping with the building's longstanding standards.

Modernizing this property aligns with the City of Phoenix's 2025 General Plan, which prioritizes sustainable growth, enhanced infrastructure, and the creation of vibrant business environments. Upgrading office spaces in this area will not only improve the functionality and appeal of the building itself but also contribute to the broader revitalization of the 24th Street corridor.

Furthermore, updated office spaces are essential for meeting the evolving needs of today's workforce, offering safer, more efficient, and more attractive environments for employees and clients. I fully support these efforts and encourage all stakeholders to continue investing in the future of 5500 N. 24th Street and the surrounding neighborhood.

CITY OF PHOENIX

MAY 15 2025

**Planning & Development
Department**

Sincerely,



Kellen Bradley
5616 N. 21st Place
Phoenix, AZ 85016

April 22, 2025

CITY OF PHOENIX

Santino Ori
2137 E. Rancho Drive
Phoenix, AZ 85016

MAY 15 2025

**Planning & Development
Department**

Byron Easton
Planning Hearing Officer
City of Phoenix

Re: Support for Project at 5500 N. 24th Street

Dear Hearing Officer Easton,

I live in the neighborhood of the property at 5500 N. 24th Street. I drive or walk by it nearly every day.

I am aware of the changes desired. I reviewed the renderings and have spoken with the owner. I see no impact to any neighbors (of which there are only a couple due to the property's location at the corner of 24th and Missouri).

I fully support the project and respectfully request the project be allowed to go forward to keep The Slavicek Law Firm in our neighborhood. There is no signage on the building. It is a very low traffic property. It feels residential. I can't imagine any other commercial occupants to be a better neighbor than this existing business.

I also support the aesthetics of the project and very modest expansion, which I understand is a less than 10 percent increase in square footage.

As well, the design and finishes proposed are top notch and will make the building and the neighborhood even better. The project fits in nicely with and will improve the neighborhood.

For me, and other neighbors I've spoken with, we would like this business to continue in our neighborhood because we can't think of a better commercial occupant or a better aesthetic building than what is proposed.

Sincerely,



Santino Ori
Supportive Neighbor

CITY OF PHOENIX

Byron Easton, Planning Hearing Officer
City of Phoenix
200 W. Washington Street, 3rd Floor
Phoenix, Arizona 85003

MAY 15 2024

Planning & Development
Department

Dear Mr. Easton,

As a homeowner and neighbor, I have long-admired the property located at 24th Street and Missouri and write this letter today in support of Slavicek Holdings' application to further enhance the building at 5500 N. 24th Street to allow expansion of the second floor mezzanine to a second story, which would include the addition of two turrets and a West side pop-out.

Our family has lived at the Arizona Biltmore since 2011 and have enjoyed the greenery, traditional design, and businesses located in the area. My family's home is 1300 feet from the law firm office and we drive by it multiple times daily. My husband is now an attorney at this law office and the addition of the mezzanine and turrets will enhance the building even further. We could not be more pleased with the plans, which will not only beautify the property, but the neighborhood as well.

For our first decade living in the Biltmore we did not even know it was a law office. It's the best commercial use of that corner with low traffic volume, a beautifully maintained property, with annual flowers, tidy landscaping, and very low traffic. Never any street parking. No weekends. No evenings.

Should you have any questions please feel free to reach out but in my opinion as a neighbor and Biltmore resident these additions will be a wonderful, long term improvement to our community.

Sincerely,

A handwritten signature in black ink, appearing to read 'Sasha Glassman', with a long horizontal flourish extending to the right.

Sasha Glassman
39 Biltmore Estates
Phoenix, Arizona 85016



CITY OF PHOENIX

MAY 15 2025

**Planning & Development
Department**

Byron Easton, Planning Hearing Officer
City of Phoenix
200 W. Washington Street, 3rd Floor
Phoenix, Arizona 85003

Mr. Easton,

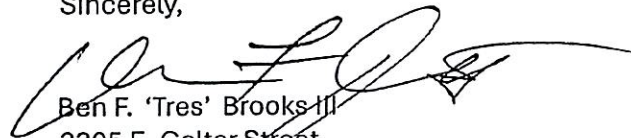
I am a longtime Phoenician, developer, and homeowner in Bartlett Estates which is the neighborhood located just South of the Slavicek Law Firm. I am writing this letter in support of Slavicek Holdings application for improvements at 5500 N. 24th Street to allow expansion of the second floor mezzanine to a second story, which would include the addition of two turrets and a West side pop-out.

I think it is great for the owner to slightly expand the upstairs to make more space for attorneys in a way that protects the beautiful aesthetics of the building and will ensure that it stays a quiet, law office, for years to come.

Unlike most retail establishments, law offices are usually quiet by nature, and I was extremely impressed when the current owner took down the sign and instead doubled up on planting beautiful flowers. I like the way the building currently looks, am excited to see the improvements, and am thrilled that the use won't be changing.

As a neighbor, I appreciate you taking my thoughts into consideration and helping us protect this neighborhood treasurer by supporting the improvements.

Sincerely,



Ben F. 'Tres' Brooks III
2205 E. Colter Street
Phoenix, Arizona 85016

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CITY OF PHOENIX

MAY 15 2025

Planning & Development
Department

Byron Easton, Hearing Officer
City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

Dear Officer Easton:

We live at 8 Biltmore Estates, Unit 316, which is in the immediate area of The Slavicek Law Firm, which is located prominently on the corner of Missouri and 24th Street. We drive by the corner almost every day as we come and go from home.

We are very familiar with the building; this area has been our home for almost ten years. We have reviewed the plan and renderings for Mr. Slavicek's proposed 1,035 square foot addition, to include two new copper turrets, plus expansion of the existing mezzanine out the southwest side.

We write in full support of the project and urge the Planning Committee to approve it. The architecture and design are well thought out. The proposed changes and updates will significantly improve the property and the neighborhood. The building will still have a residential feel and continue as an iconic building on this important corner. In fact, if the changes are allowed, the building will become even more iconic and of greater interest. A perfect transition to the Biltmore and Camelback Corridor.

We understand the Biltmore Area Master Association (ABEVA) is spending over \$1 Million on redoing both entrances to the Biltmore off of 24th Street, kitty-corner from the subject property, and off of Colter and 32nd Street. We are certain the upgrades and enhanced new addition proposed by Mr. Slavicek would perfectly compliment the ABEVA project. With only 1,035 square feet added, We see no increased burden to the neighborhood. The existing law firm has been a model, low volume commercial occupant.

As residents vested in the community of the Biltmore Circle (where we all drive out of our community with the building in full site) we see nothing but good coming from this project, and nothing but good in keeping the current occupant in place.

Sincerely,


Rob Helgesen & Mary Benek
8 Biltmore Est Unit 318
Phoenix, AZ 85016



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April 21, 2025

VIA US MAIL

Byron Easton, Hearing Officer
City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 15 2025

Planning & Development
Department

Dear Mr. Easton,

I am writing to you regarding the changes Brett Slavicek proposes to his building at 5500 N. 24th Street. I greatly support the changes and respectfully urge the City of Phoenix to allow them. I believe that the proposed changes enhance the longstanding superior architecture while not deviating from its beauty, charm, and size (since the height and roofline will be unchanged). In fact, the revisions Brett intends are now needed to keep the building current and at its iconic status.

By way of introduction, my father Charles M. Brewer owned the property, which he used as his law office (Charles M. Brewer, Ltd.) from 1989 until Brett took over in 2013. I began practicing law in that building and practiced with my father for the first 13.5 years of my career.

Our entire family has always been proud of the building, my father most especially. He wanted to have the best legal workspace in Arizona. I believe he succeeded. My father loved the building and went to great effort to make it the benchmark office of our legal community. The building has always been well known in Phoenix due to its location, unique architecture, and the annual flowers that line 24th street. Nearly all of the attorneys in town knew of the building and held it in great esteem.

As my father's career wound down, Brett took over ownership of the building and kept my father's tradition alive – Brett too desires to have the best law firm space in town. Consistent with maintaining my father's old building and in great repair, Brett has also honored the legacy of my father by hanging his picture in the main hall. He has kept much of the office the same. The elaborate woodworking my father loved remained. He has continued with the annual flowers everyone admires and recognizes when driving down 24th Street.

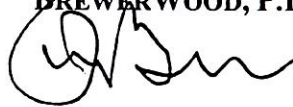
Byron Easton, Hearing Officer
April 21, 2025
Page 2 of 2

The changes Brett proposes improve the building are consistent with the original character and design of the building – all of which, my father nurtured when he was the owner for all those years.

I ask that the changes Brett proposes be approved and allow the property to retain its iconic stature. The building is on an important corner of our city; it should continue as a prominent piece of Phoenix architecture. I hope this building remains a treasured property in Phoenix for decades to come, as it has been since the 1980s.

Should you have any questions or comments, please feel free to call me at the above reference telephone number. Thank you.

Very truly yours,
BREWERWOOD, P.L.L.C.



John B. Brewer, Esq.

JBB:nc
#55460

CITY OF PHOENIX

MAY 15 2025

**Planning & Development
Department**

Christina Jaime
4612 West Bethany Home Road
Glendale, AZ 85301

April 21, 2025

CITY OF PHOENIX

Byron Easton, Hearing Officer
City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

MAY 15 2025

**Planning & Development
Department**

Regarding: 5500 N. 24th Street

Dear Hearing Officer Easton,

I have been a resident of Phoenix nearly my entire life. My husband is a Phoenix firefighter. More germane to this, I have been Brett Slavicek's Legal Assistant since 2001. I was the first person he ever hired.

I write in support of the proposed changes to our building. I want to say that Brett loves this building and wants to make it absolutely as fantastic as he can. He also loves the neighbors and the neighborhood and wants his building to fit in with and compliment both.

Whenever neighbors ask to park their cars in our parking lot (when they're having a party for example), or whenever they ask us any favors, Brett is always quick to say yes, and he's told all of us here in the building to do the same, every time.

He intentionally does not have signage visible on our building because he's always wanted to be subtle and fit in with the neighborhood. He says he wants to be as opposite to a strip mall property as we can.

He wants the building to be iconic, he wants the building to be a beloved part of the neighborhood. And, he wants to make our property better for all, including most especially our neighborhood. He knows the entry point to the Biltmore should be grand and he wants to do his part on our corner.

We need to expand. We have no extra space at all. All of our offices are full. All of the employees love and cherish the building, for its history, style and its purpose. Everyone here wishes we can expand it so we can stay, rather than have to find somewhere else to go.

I cannot imagine there could be a better occupant than what we have been since Brett purchased the building early in 2013. He is meticulous about the flowers on both 24th Street and Missouri, about the landscaping and the building itself. The building is his pride and joy, and I hope we are able to stay, on behalf of myself and every single person here.

Also, Brett has done all he can to mitigate the effects of the proposed windows on the west side neighbor. As soon as he heard there was concern, he instantly bought the largest trees he could buy and blocked our view of that property. We cannot see into the property behind us from the proposed windows.

Thank you, very much, for reading my note and considering our project.

Sincerely,

A handwritten signature in cursive script that reads "Christina Jaime". The signature is written in dark ink and is positioned above the printed name.

Christina Jaime

David J. Damron
2543 E. Denton Lane
Phoenix, AZ 85016

April 21, 2025

CITY OF PHOENIX

MAY 15 2025

Planning & Development
Department

Byron Easton, Hearing Officer
City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

Dear Mr. Easton:

I write supporting the proposed changes to The Slavicek Law Firm building, located at 5500 N. 24th St. I am a long time resident of the Biltmore area and live right across 24th Street. I am very familiar with this building.

I understand the plan is to add approximately 1000 ft.² to include two additional copper turrets (complementing the existing turret), plus a small second level pop out on the southwest side of the building. Renderings show the roof is intended to be slate, which is an upgrade over the existing and fading green roof tiles.

The law firm has been a good neighbor for well over a decade and is probably the least intrusive commercial occupant I could imagine.

I urge the city to allow the law firm to proceed with its plans so it can stay put as a good neighbor at such a prominent corner in our area. Furthermore, the changes themselves are appealing and will add to the interest of neighborhood.

Sincerely,


David J. Damron



CPAs & BUSINESS ADVISORS

CITY OF PHOENIX

MAY 15 2025

Planning & Development
Department

April 21, 2025

Byron Easton
Hearing Officer
Phoenix Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

Re: Proposed plans for 5500 N. 24th Street

Dear Mr. Easton,

I write in full support of the proposed plans for 5500 N. 24th Street. I have lived and worked in the Camelback Corridor/Biltmore area for 30 years. My first house was at 32nd and Camelback. My first job was in the Esplanade, and I currently work at Eide Bailly LLP at 2355 E. Camelback Road, Suite 900.

The improvements depicted in the renderings will have a beneficial impact on this important corner, which is a prominent entry point to the Camelback Corridor. The changes will improve the property yet stay true to its residential feel and remain consistent with its Biltmore neighborhood. For decades, this property has been well known and well cared for. These changes will only make it better and since only an additional 1,000 square feet is being added, will place no burden on the neighborhood. Many of the surrounding homes are two stories and just a few blocks down transition to multiple stories.

I hope the proposal is allowed, for the benefit not just of this property, but the entire Biltmore area.

Yours truly,

Matt Everroad, CPA
Partner

What inspires you, inspires us. Let's talk. eidebailly.com

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April 21, 2025

CITY OF PHOENIX

MAY 15 2025

**Planning & Development
Department**

Byron Easton, Hearing Officer
City of Phoenix
Planning & Development Department
200 West Washington Street, 2nd Floor
Phoenix, Arizona 85003

Dear Mr. Easton,

I write in support the proposed architectural changes to 5500 North 24th Street. I write not only as a business owner in the immediate area, but also as someone who spent 11 years working in the building. I worked with the prior law firm, then owned by renowned attorney Charles M. Brewer, from 1994-1998 & 2003-2010.

The 5500 building has always been a prominent and well-known feature in a very visible part of the Biltmore area. For decades, it has been revered for its unique and pleasing architecture, but also for its tremendous quality.

I have reviewed the plans and renderings of the proposed changes. The expansion is modest, with the building only being expanded approximately 10%, or 1000 ft. The changes stay within the original footprint.

The proposed changes are aesthetically pleasing and consistent with the original architecture. It is a seamless upgrade. Expanding the building with two new turrets to match the existing turrets, is the perfect addition and improves the building, making it even more interesting, and prominent. As well, using real copper on the three turrets, and replacing the fading concrete tile roof with a real slate roof, will add luxurious elements that will benefit the building, and neighborhood.

In particular, I studied the plans with respect to the expansion of the mezzanine. I spent much of my early legal career in Charlie Brewer's law library, which was in the mezzanine. The new plans convert that mezzanine library into prime attorney and meeting spaces, which will be a substantial upgrade and provide a more modern use (attorneys do not use books anymore).

In summary, this building has a long, well known and valued history as an iconic law firm building. The proposed changes will be of benefit to all in the Biltmore and Camelback Corridor. I urge the planning commission to approve the proposed changes, which will allow this property to remain a beneficial landmark for our area.

Very truly yours,
BREWERWOOD, P.L.L.C.

Dane L. Wood, Esq.

DLW:nc
#55461

Byron Easton, Hearing Officer
City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 15 2025

Planning & Development
Department

April 21, 2025

Dear Mr. Easton,

We write to express our support for the expansion of the existing mezzanine to a second story at 5500 N. 24th St.

We have reviewed the proposed design and believe it will be a wonderful addition to our neighborhood. It will also be a wonderful improvement to this iconic corner in the Biltmore area. The building will remain in character with the residential two-story houses in the area, and also very much in character with itself. The proposed changes only complement the existing architecture, and the finishes will improve the appearance of the building.

We don't see any burden to the neighborhood or neighbors. This property has very few direct neighbors due to its placement on Missouri and 24th St., plus the fact there is a vacant lot to its north.

More importantly, the current occupant is an ideal occupant for the neighborhood. This commercial property has as little use as we can imagine any other commercial use would have. The property requires no street parking, does not work hours beyond 8 to 5, Monday through Friday. They have been an ideal neighbor, and we hope they stay.

In summary, we believe the design will cause this corner to look better, fit in with the neighborhood, and we would like the occupants to be allowed to continue their business here in our neighborhood.

Sincerely,



Mike and Joanne Liston
5620 N. 21st Street
Phoenix, AZ 85016

Mike and Shannon Gagnon
2202 East Montebello Avenue
Phoenix, Arizona 85016

April 21, 2025

Byron Easton
City of Phoenix
Planning & Development
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

Dear Mr. Easton:

We ask that the city approve the stipulation modifications proposed for 5500 N. 24th St., thereby allowing it to become a two-story property.

Many of the homes near this building are two story homes, including the house directly across Missouri and the house directly across 24th Street. The house closest to the north is also a two-story property.

With the proposed plans, this building will be no different than very many others around and adjacent to the property.

Moreover, the occupants of the building have been great neighbors for very many years and we would like to see them stay. The business use almost seems residential. There is very little traffic, no evening or weekend traffic and we would love to see the present occupants be allowed to improve the building so they can remain. It is unlikely we will find better neighbors than this law firm in terms of how they use the property and also how they maintain the property.

Furthermore, the proposed rendering shows that the additions will be high-end changes that will be of benefit to the aesthetic of the neighborhood.

Thank you.

Mike Gagnon



Shannon Gagnon



CITY OF PHOENIX

MAY 15 2025

Planning & Development
Department

CITY OF PHOENIX

MAY 15 2025

Planning & Development
Department

TJ & Ashley Ryan
5821 North 23rd Place
Phoenix, Arizona

Byron Easton, Hearing Officer
City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

April 21, 2025

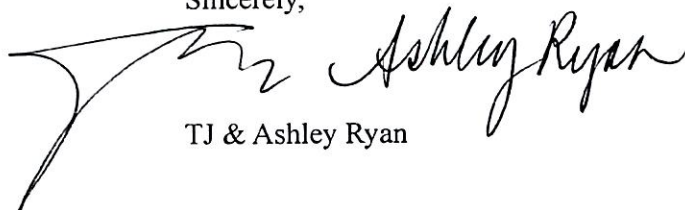
Regarding the building at 5500 N. 24th, we support the requested changes to the stipulation restrictions on this property.

This building is one of the most unique and iconic in our neighborhood. The owner has always maintained it beautifully—better than most homes—and it doesn't feel like a commercial property. There's no signage, barely any traffic, and it's quiet at night and on weekends.

We support the request to expand and improve the building, because the changes are not only distinctive and upscale but also because they won't increase traffic or noise, and it helps ensure a low-impact occupant remains. That's far better than turning the building over to a high-volume medical office or something more intrusive.

We know the owner needs to expand to stay and we hope Phoenix allows that to happen by allowing the second story zoning. We can't imagine anyone else would put the level of elegance into the property beyond what the current owners have planned. We look forward to seeing it completed. It will only bring more appeal and interest to the Biltmore area.

Sincerely,

A handwritten signature in black ink, appearing to read "Ashley Ryan". The signature is fluid and cursive, with a large, sweeping initial "A" that extends to the left.

TJ & Ashley Ryan

May 13, 2025

Byron Easton, Planning Hearing Officer
City of Phoenix
Planning & Development Department
200 W. Washington, 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 15 2025

Planning & Development
Department

Dear Hearing Officer Easton:

As a nearby resident to Brett Slavicek's property at 5500 N. 24th Street, we just wanted to write to express our complete support for the proposed improvements and stipulation modifications to his office building (PHO-1-25 - Z-323-79-6).

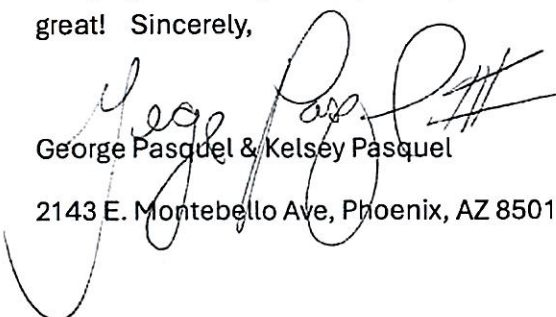
Mr. Slavicek's law office has long been a valued part of our community. The building's unique architecture and scale resembles that of an old stone home and the scale blends seamlessly into the character of our neighborhood. The property is also incredibly well-kept with attractive landscaping, mature trees and continuous building maintenance. We often comment on how much we appreciate the effort Brett puts into planting an amazing array of seasonal flowers. The Property always looks great (which can't always be said for the other 3 corners at this intersection!).

Having reviewed the renderings and floor plans for the proposed updates, we support the modest increase to the mezzanine floor to add three offices and meeting space. The two new east-facing copper turrets are great additions! These changes reflect a thoughtful and well-executed design, that minimally increases the building size. The improvements elevate the structure's visual appeal and functionality while preserving its existing charm.

Additionally, the property always appears to have ample parking. I can't recall a single time I've seen parking overflow from this site.

In summary, we believe the proposed changes will enhance an already beautiful property and pose no negative impact to the neighborhood. We fully support the modified stipulations as proposed.

Now, if you could just help us improve the northeast corner of this intersection, that would be great! Sincerely,


George Pasquel & Kelsey Pasquel

2143 E. Montebello Ave, Phoenix, AZ 85016

CITY OF PHOENIX

MAY 15 2025

Planning & Development
Department

Emily Palumbo
2213 E Montebello Ave
Phoenix, AZ 85016

Dear City of Phoenix:

I am writing to express my strong support for the proposed remodel of the second level at 5500 N 24th Street in Phoenix. This property, with its rich history and prime location, has long served as a cornerstone for the local business and legal community, and a thoughtful renovation will ensure it continues to meet the evolving needs of its occupants. By updating the second level, we can modernize the space while preserving the building's unique character, allowing it to remain a functional and attractive destination for professionals and clients alike.

Furthermore, investing in the second level's renovation will increase the overall value of the property and maximize its usable space. By optimizing the layout and incorporating contemporary amenities, we can better accommodate the needs of current tenants and appeal to prospective businesses seeking high-quality office environments. This project represents a forward-thinking commitment to both the legacy and future of 5500 N 24th Street, ensuring its continued success as a premier professional address in Phoenix.



Emily Palumbo



CITY OF PHOENIX

MAY 15 2025

Planning & Development
Department

Byron Easton, Hearing Officer
City of Phoenix
Planning & Development Dept.
200 W. Washington Street, 2nd floor
Phoenix, Arizona 85003

LETTER IN SUPPORT OF EXPANSION

The Slavicek Law Firm Building
April 22, 2025

Dear Mr. Easton,

I support the proposed expansion to The Slavicek Law Firm building, located at 5500 N. 24th Street in Phoenix, Arizona. I have lived and officed in the neighborhood for the last several years, most recently at 2325 E Camelback Road, Suite 400, which is just a couple of blocks from The Slavicek Law Firm building. I am very familiar with this building and would like to see the area maintain its refined charm.

The proposed Slavicek Law Firm expansion adds only approximately 1,000 square feet to the current structure. I find the plans to be modest and beautiful. The copper turrets and natural slate roofing tile planned to replace the presently worn, green tiles have been well-designed to align with the current appeal of the building. The proposed changes are consistent with the building's non-invasive, residential look but now with a more appealing architecture. The proposed expansion is the perfect improvement for the neighborhood – classy, inconspicuously commercial and contained. In fact, the firm has no visible signage, uses no street parking and the firm's hours are limited to regular business hours. The property is exquisitely maintained and continues to be one of my personal favorites in the area. These changes will only further its attractiveness while keeping the property updated.

I sincerely encourage the City to allow The Slavicek Law Firm to proceed with the improved building plans so that it can remain in this iconic corner. The intended improvements are appealing, luxurious and will add to the interest of this fantastically classic neighborhood, while only increase the building size by 10 percent.

Sincerely,

Kari Ramos, Esq.
Askena Law

775. 233. 5096

Kari@AskenaLaw.com

Askena Law .com



April 25, 2025

Byron Easton, Hearing Officer
City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 15 2025

**Planning & Development
Department**

Dear Mr. Easton,

I am a commercial real estate broker in Phoenix with 22 years of experience in the Biltmore area and Camelback Corridor. I have been a principal at Lee & Associates since 2009. I was Brett Slavicek's agent when he purchased the property at 5500 N. 24th Street in 2013. I am also the Past Chairman of the Board of NAIOP Arizona, the largest commercial real estate trade organization in our state.

Brett shared with me his plans for upgrades and modernization of the second level. The plans include converting the second-floor mezzanine (which was a law library when he bought it) to regular office and meeting space, while adding approximately 1,000 square feet. The plans do not alter the site plan or building height. The plans include luxurious finishes, including extensive interior wood paneling and marble, plus exterior copper clad turrets and a natural slate roof.

When the building was built in the early 1980s, this area was vastly different from what it is today. Now, mid-rise buildings dominate just a few blocks away. The immediate area is abundantly populated with two story homes, including directly across both 24th Street and Missouri Avenue from Brett's property. The Arizona Biltmore itself has also undergone major updates.

While the initial zoning goal was to mitigate having a commercial property in what was then a residential area, this area has long changed in those 45 years.

With that said, it is important to know that the changes Brett proposes still keep the building's appearance as much residential as commercial. Since Brett has owned the building, he's removed all visible signage to the building, which has made it even more residential appearing than when he purchased it.

It should also be noted that this property would be significantly improved with Brett's proposed improvements, which make it more architecturally interesting, and provide better finishes. The property has always been a great transition as one heads south down 24th Street into the Camelback Corridor. It has always been a signature property with its unique architecture and landscape, to include full frontage of annual flowers on both 24th St. and Missouri

The current use of the property is a low volume law practice which is perhaps the best commercial use the neighborhood could expect. Brett tells me that he needs to expand, and if he can't expand, then he must move. That would be regrettable for the neighborhood. The

building likely would not have the same low volume or as good of a steward of this important corner as Brett has been and intends to be.

In conclusion, the Biltmore area, the transition to the Camelback corner off of 24th St., and immediate neighborhood will benefit from Brett's upgrades and very minor expansion. The law firm has proven to be an exceptional neighbor and only wants to make the property better, not just for the occupants and employees, but for the entire neighborhood, and city itself. With these changes, this building will remain an iconic building on an iconic corner, for decades to come.

Sincerely,

A handwritten signature in black ink, appearing to read 'Andrew Cheney', with a stylized, cursive script.

Andrew Cheney, CCIM, CRE, SIOR
Principal
602.954.3769

CITY OF PHOENIX

MAY 15 2025

Planning & Development
Department

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Cole Jackson
2108 E 5th Ave
Phoenix, AZ
85016



Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 15 2025

Planning & Development
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Nolan Fisher

1952 E San Miguel Ave

A stylized handwritten signature in black ink, appearing to be 'Nolan Fisher'.

May 9, 2025

CITY OF PHOENIX

MAY 19 2025

**Planning & Development
Department**

Mr. Byron Easton
Hearing Officer City of Phoenix
200 West Washington St., Second Floor
Phoenix, Arizona 85003

Dear Mr. Easton,

We live just to the west of the law firm building, which is on the corner of 24th Street and Missouri. We are very familiar with the building and that important corner of our city.

We have reviewed Mr. Slavicek's proposed renderings and plans. He is asking to expand the existing upper level by approximately 1000 ft.². He is also asking the city to allow him to conform to current parking space ratios.

We write in support of the desired improvements. The changes will improve this important corner. Indeed, we understand quality materials have been chosen, such as a real slate roof and actual copper turrets.

We are also pleased that the owner is keeping the building of the same look and that it will, therefore, remain as residential in appearance as a commercial property could appear.

Sincerely,



Laura Jordan



Michael Jordan

2017 E. Marshall Ave.
Phoenix, AZ 85016

CITY OF PHOENIX

MAY 19 2025

**Planning & Development
Department**

Mr. Byron Easton
Hearing Officer, City of Phoenix
Planning & Development
200 W. Washington St.
2nd Floor
Phoenix, Arizona. 85003

Dear Mr. Easton,

I live in the Biltmore Circle. My address is 2 Biltmore Estates, Unit 209. I drive by Mr. Slavicek's property on the corner of Missouri and 24th Street frequently. It is a beautiful property and well known and appreciated by all in the Biltmore Circle Neighborhood.

I have reviewed Mr. Slavicek's proposed renderings and plans. I understand he is asking to expand his upper level by 1,035 square feet and asking the City to allow him to conform to current parking standards.

I support the desired changes. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

The proposed changes will improve the corner while still keeping it as residential in appearance as one could expect from a commercial property.

Sincerely,
Mark R. Ryan
612-366-3800

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

**Planning & Development
Department**

Dear Mr. Easton,

I live in the Biltmore Circle. My address is 2 Biltmore Estates #211. I drive by Mr. Slavicek's property on the corner of Missouri and 24th Street nearly every day. It is a well-liked property known to all in the Biltmore Circle.


I have reviewed Mr. Slavicek's proposed renderings and plans. I understand he is asking to expand his upper level by 1,035 square feet and asking the City to allow him to conform to current parking standards.

I support the desired changes. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

The proposed changes will improve the corner while still keeping it as residential in appearance as one could expect from a commercial property.

Thank you

Steven Itzcovitch



Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

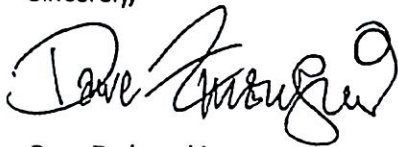
I live in the Biltmore Circle. My address is 2 *Biltmore Estates Drive Unit 113*. I drive or walk past Mr. Slavicek's property on the corner of Missouri and 24th Street nearly every day. It is a well-liked property known to all in the Biltmore Circle.

I have reviewed Mr. Slavicek's proposed renderings and plans. I understand he is asking to expand his upper level by 1,035 square feet and asking the City to allow him to conform to current parking standards.

I support the desired changes. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

The proposed changes will improve the corner while keeping it as residential in appearance as one could expect from a commercial property.

Sincerely,

A handwritten signature in black ink, appearing to read "Dave Zurkowski". The signature is stylized with a large, looped "D" and a cursive "Zurkowski".

Dave Zurkowski



CITY OF PHOENIX

MAY 19 2025

TO:

**Planning & Development
Department**

Mr. Byron Easton
Planning Hearing Officer
City of Phoenix

Dear Officer Easton:

My business, Deltech Computer Solutions, operated within a few blocks of The Slavicek Law Firm (located at 5500 N. 24th Street) for approximately 11 years. Now, my new business, Delgado Technology Group, has operated in the same neighborhood for approximately one year.

I am very familiar with the building and area. I reviewed renderings of the roughly 1000 square foot addition.

I fully support the project. The architecture, design, and finishes are pleasing. The design both modernizes and improves the property significantly. The proposed project would complement the neighborhood. It would also remain residential in appearance.

The design and finishes are of top quality, and I see no increased burden to the neighborhood. Any increase in traffic with a 10 percent size increase will be negligible, and many of the properties in the immediate area are two stories - transitioning quickly to high rises just a few blocks south.

I respectfully encourage the City to approve the project.

Luis Delgado Ramirez
President

telephone: +1 602-855-9389

email: Luis@deltech.net

**2325 E Camelback Road Suite 400.
Phoenix, AZ 85016**

Byron Easton, Planning Hearing Officer
City of Phoenix
200 W. Washington Street, 3rd Floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

April 24, 2025

Dear Planning Hearing Officer,

As a resident of the Taliverde Neighborhood, I am writing this letter in support of Slavicek Holdings' application to allow certain improvements to an existing office building located at 5500 N. 24th Street, which would include the expansion of the second-floor mezzanine to a second story and the addition of two turrets and a west side pop-out.

I am a neighbor who has admired this building for several years due to its distinct character and quiet attributes as a law firm. From 2005 through 2017, I officed at 2198 E. Camelback Road and would consistently drive by this building in the evening on my way home from work. Now that I live in the Taliverde Neighborhood, I continue to travel past this property several times a day as I drive through the 24th Street and Missouri Avenue Intersection to and from my residence.

In my professional career, I practice land use law, and while not representing this applicant, I am in support of the owner working to improve the property while maintaining its character and current use. The building is attractive and well-maintained with Victorian and Tudor-style attributes that are consistent with the office buildings on the north side of Missouri Avenue between 7th Street and 24th Street. The expansion of the second-floor mezzanine, addition of two turrets, and the proposed west side pop-out will enhance architectural interest and the traditional aesthetic of this office building in keeping with the homes and offices along Missouri Avenue and in the Biltmore area.

I appreciate you taking my thoughts into consideration and helping us to protect and enhance this neighborhood treasure by supporting the improvements.

Sincerely,



Heather Dukes
5527 N. 25th Street
Phoenix, Arizona 85016

Byron Easton, Planning Hearing Officer
City of Phoenix
200 W. Washington Street, 3rd Floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Mr. Easton,

As a resident of the Arizona Biltmore I live just a few houses East of the Slavicek Law Firm office at the corner of 24th Street and Missouri. I am writing this letter in support of Slavicek Holdings application for improvements at 5500 N. 24th Street to allow expansion of the second floor mezzanine to a second story, which would include the addition of two turrets and a West side pop-out.

Driving in and out of the Biltmore, I enjoy admiring the beautiful flowers and unique architecture of the law office building. I commend its ownership for proposing improvements that will both allow the building to keep its charming and tasteful design while still allowing for a minor increase in square footage to expand the capacity of the business without changing its traffic flow to the neighborhood.

As a businessman, someone who has been involved in real estate, and a neighbor I think this is a sensible proposal that is a win-win for our community.

I appreciate you taking my thoughts into consideration.

Sincerely,



Philip Damiano
41 Biltmore Estates
Phoenix, Arizona 85016



HEALTHY EYE CARE

4525 North 24th Street #120 | Phoenix, AZ 85016 | 480-887-8778 | 480-887-8779 | myfiteyes@gmail.com

Byron Easton
Hearing Officer
Phoenix Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

**Planning & Development
Department**

Dear Mr. Easton,

I support the proposed building improvements for 5500 N. 24th St. I have had my own business, Healthy Eye Care Fit Optical for 10 years. My business is just a couple blocks south of the Slavicek Law Firm on 24th Street. I have been familiar with this property and area since I was a little girl. After careful evaluation of the renderings and second level plans, I can confirm that these improvements will have a positive impact on this important corner. The proposed changes are relatively small, since the building retains its footprint and roofline. More importantly, the changes improve the property yet conform to the residential feel as it exists now.

This property is well known and appreciated in our neighborhood because it is well cared for. These changes will only make it better and they do not make the building appear more commercial. They also conform to the area, where many of the homes are two stories, including right across 24th Street. I hope the law firm is allowed to build its design, for the benefit not just of this property, but the entire Biltmore and Camelback Corridor. It will add to the luxurious nature of this area and update the building itself.

Sincerely,

Dr. Zahra Lalwani Lasee O.D

April 24, 2025

Byron Easton, Hearing Officer
City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Hearing Officer Easton,

I own the property to the immediate north of Brett Slavicek's property at 5500 N. 24th Street. My property is 5516 N. 24th Street and owned through my LLC, AZ Bell Rd. LLC. I've owned my property before Brett bought his property early in 2013. I have no plans to sell my property.

Brett shared with me the renderings and floor plan of his proposed improvements. I see that he wishes to increase his existing second level by approximately 1,000 ft.² I see he intends two new turrets with windows on the east side, and a new pop out on the southwest side of the building for 3 additional offices.

I have no objection to Brett's plans. Instead, I fully support his plans. The aesthetic of the building will be improved and made more interesting. The building will be a showpiece on this important corner with real copper turrets and a new slate roof. The building's already distinctive design and high-end finishes will both be significantly improved.

Brett is only increasing the building size by 10 percent. I see no negative impact or increased use to the neighborhood.

For these reasons, I fully support Brett's intended and modest expansion of his second level.

Sincerely,


David Haaslo DDS

Byron Easton, Planning Hearing Officer
City of Phoenix
200 W. Washington Street, 3rd Floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Mr. Easton,

My husband and I live on the Biltmore Circle and have been connected to the Arizona Biltmore neighborhood for over 50 years. I also serve as co-chair of the Biltmore Community Neighborhood Association (BCNA) which is a community group, comprised of neighbors on the circle, dedicated to the public safety of our neighborhood. I am writing today in support of Slavicek Holdings application for improvements at 5500 N. 24th Street to allow expansion of the second floor mezzanine to a second story, which would include the addition of two turrets and a West side pop-out.

5500 N. 24th Street is an iconic building with a known history and has always been a favorite of our neighborhood. My husband, who is a retired physician in the community, often shares how he remembers when the building was first built by the old "Good Samaritan" hospital network as a corporate office and was thoughtfully designed to blend seamlessly into the residential neighborhood.

The proposed improvements of two turrets and a tasteful pop-out will allow the current building owner to expand their capacity while also maintaining the character, tastefulness, and aesthetic of the building. This is far better than a medical practice or other high-traffic retail business. I wholeheartedly support this request.

Thank you for your consideration.

Sincerely,



Becky Stein
81 Biltmore Estates
Phoenix, Arizona 85016

April 21, 2025

Cameron Karber
2122 E. Palo Verde Drive
Phoenix AZ 85016

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Hearing Officer Byron Easton
Phoenix Planning Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

Dear Mr. Easton:

I recommend the owners of the property at 5500 N. 24th St. be allowed to change the stipulations on their property, such that they be allowed to pursue a second story. The plan is to add approximately 1000 feet of new space to the second level, and without changing the building foot print.

The renderings show the building will be updated and continue to be a unique and high-end property, a property very fitting to be on the corner across from the entrance to the Biltmore.

It will be a two story building, but so are the houses to its north, east and south. The rear of the property is screened with trees and the rest is bounded by a vacant lot and then by two busy streets. The impact to neighborhood is positive.

Thank you,

A handwritten signature in black ink, appearing to be 'Cameron Karber', with a long horizontal line extending to the right.

Cameron Karber

April 21, 2025

CITY OF PHOENIX

MAY 19 2025

Byron Easton
City of Phoenix Planning Department

Planning & Development
Department

Dear Mr. Easton:

We live in the immediate neighborhood to the property at 5500 N. 24th St., a law firm which has been there for more than a dozen years.

We support the proposed project. The changes will improve the stature of the building, and will make the corner be of more visual interest. The building is unique and these changes, while consistent with the original nature of the building, will only serve to make it more architecturally interesting.

We also want to point out that the owners of the property have been good neighbors. There is no commercial signage on the building. There is very little traffic (and only during regular work hours). The building is always well-maintained to include expansive annual flowers to rival those at the entrance to the Biltmore. We respectfully encourage Phoenix to allow the occupants to expand in the minor way they wish to expand so they can stay and continue to benefit our neighborhood.

Sincerely,


Craig Byers
2301 E. Rancho Dr.
Phoenix, AZ 85016

Stefani Byers
2301 E. Rancho Dr.
Phoenix, AZ 85016

Byron Easton, Hearing Officer
City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

April 20, 2025

Dear Mr. Easton,

We fully support the proposed updates to the building at 5500 N. 24th Street.

It's long been a landmark in our neighborhood and one of the more attractive and distinguished properties in the area. It should be allowed to modernize and improve.

The changes being requested are minimal—just around 1,000 square feet—and are exactly in character with the original design of the building. The only difference is that the materials, such as slate roof and copper domes, will be of even better quality.

We don't see that the project or the second story would have any negative impact on the neighborhood. Many of the immediate neighbors to this property have two stories themselves, and this property only has one close neighbor, which is screened in by trees and already exposed to two other neighbors with two story houses.

It's hard to imagine a better-plan for this property or better ways to improve it beyond what the owner is requesting.

Sincerely,

Handwritten signatures of Colby and Rachel Fincham in black ink.

Colby and Rachel Fincham
2235 E Rancho Dr
Phoenix AZ 85016

Marco and Laura Louis
2029 E San Juan Ave,
Phoenix AZ 85016

April 20, 2025

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

Dear Mr. Easton,

We live close to 5500 N. 24th Street. We have reviewed the images of the plans. We are in support of the plans. The improvements will be of benefit to the law firm but also the entire neighborhood. The property will continue to present with a residential aura and the design is pleasing, luxurious and consistent with the building's history.

This property has always been a well known and admired property in our neighborhood. These changes will only make it better and cause nothing harmful to our neighborhood.

We hope the owners are allowed to make the changes, so they will continue to remain. It is highly unlikely any new occupants will be as good to this neighborhood as the present owners. Indeed, the business use of this property has been as minimal as we could expect.

Thank you,



Marco and Laura Louis

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Frank and Kristin Lesselyong
2009 E. San Juan Ave
Phoenix, AZ 85016

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

April 21, 2025

Byron Easton, Hearing Officer
City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

Dear Mr. Easton & the Planning Department:

We write to express our support for The Slavicek Law Firm's proposed revisions to their property at 5500 N. 24th St.

We live in the neighborhood and often drive, walk and jog by the property.

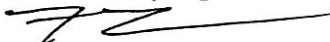
The changes of adding two additional turrets and extending the mezzanine out the west side are in good taste and will improve the building's appearance. The extent of the proposed remodel is small in nature and the building will not increase its foot print.

The law firm has been a good neighbor and its building will maintain a residential presentation. The building and how the law firm uses it are good for this corner. We have always been very happy with the property as a well-known building across from the Biltmore entrance. The proposed changes are architectural improvements but yet consistent with its original style. And, the new slate and copper roof will add distinguished touches, fitting for a building of its caliber.

Thank you for your consideration.

Sincerely,

Frank Lesselyong



Kristin Lesselyong



Meredith Vivona

4822 N. 29th Place
Phoenix, Arizona 85016
meredith2242@gmail.com

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

April 22, 2025

Byron Easton, Hearing Officer
City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd Fl.
Phoenix, Arizona 85003

Dear Mr. Easton,

I write regarding the proposed plans for 5500 N. 24th St. I have lived in the neighborhood since 2011 and I am very familiar with this property.

I have reviewed the renderings of the proposed minor additions. I fully support the project. The improvements will beautify the property and the neighborhood. The property will continue its residential feel.

This property has always been a beneficial asset to our neighborhood. These changes will only make it better and create no negative impact on the neighborhood.

The commercial use of this property is the least invasive commercial use I could expect. I hope the owners are allowed to make the changes, so they will continue to be our neighbors.

Sincerely yours,



Meredith Vivona

Mr. Byron Easton
Planning Hearing Officer
City of Phoenix
200 W. Washington Street, 3rd Floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton:

I am the owner of 44 Biltmore Estates and use the 24th/Missouri entrance to Biltmore daily to come in and out of the Biltmore neighborhood. Additionally, my home shares the wall with the parking lot of the Adobe Restaurant & Grill so I am intimately familiar with expansion, construction, and the compromises associated with development in our neighborhood.

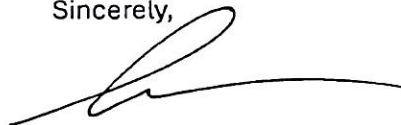
It is with that context that I write this letter in support of Slavicek Holdings' application for improvements at 5500 N. 24th Street to allow the expansion of the second-floor mezzanine to a second story, which would include the addition of two turrets and a West side pop-out.

I have visited the current building and appreciate not only the architecture and the owner's goal of maintaining the building's current look, but I also appreciate how the building has no signage, beautiful landscaping, and generates very little traffic.

A law firm office is a great use for this iconic Phoenix building and to support the owner by allowing for a minor expansion that does not change its character, overall use, or aesthetic but allows for the business to grow and be sustained is certainly something to support.

Thank you for allowing me to provide my input.

Sincerely,



Donald Levin
44 Biltmore Estates
Phoenix, Arizona 85016

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Byron Easton, Planning Hearing Officer
City of Phoenix
200 W. Washington Street, 3rd Floor
Phoenix, Arizona 85003

Mr. Easton,

I am a Phoenix native, businessman, and Arizona Biltmore Country Club golfer. I am also the owner of 2402 E. Montebello Ave, a home in the Taliverde neighborhood located across 24th Street from the Slavicek Law Firm at 5500 N. 24th Street.

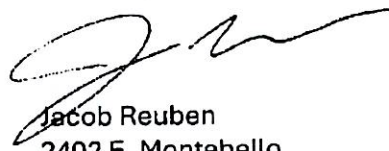
I write this letter in support of Slavicek Holdings application for improvements at 5500 N. 24th Street to allow expansion of the second floor mezzanine to a second story, which would include the addition of two turrets and a West side pop-out.

Having grown up in Phoenix and golfed for years at the Arizona Biltmore, the building at 5500 N. 24th Street is a mainstay not only because of it's beautiful architecture but also because of the attention to detail and investment the owners have made into keeping the property beautiful and the landscaping well maintained.

Given the tremendous development taking place across the Valley the proposal to add minimal square footage while maintaining the building's aesthetics is commendable and something that I certainly support.

Please reach out if I can be of any further assistance.

Sincerely,



Jacob Reuben
2402 E. Montebello
Phoenix, Arizona 85016

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

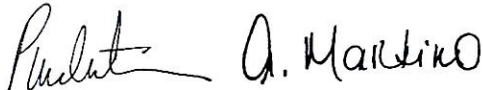
I live in the Biltmore Circle. My address is 45 Biltmore Estates Drive. I drive by Mr. Slavicek's property on the corner of Missouri and 24th Street nearly every day. It is a well-liked property known to all in the Biltmore Circle.

I have reviewed Mr. Slavicek's proposed renderings and plans. I understand he is asking to expand his upper level by 1,035 square feet and asking the City to allow him to conform to current parking standards.

I support the desired changes. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

The proposed changes will improve the corner while still keeping it as residential in appearance as one could expect from a commercial property.

Sincerely,



Paul & Angela Martino

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Jerome Deutsch



May 9, 2025

51 Biltmore Estates

Phoenix, Arizona 85016

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

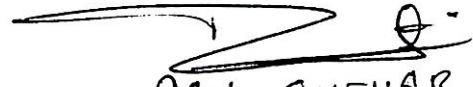
CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

We live close to 5500 N. 24th Street. We have reviewed the renderings and plans. We have no objections and are in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.


RAUL GUEVAR
5136 N. 31st PL
85016
5/7/25

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

We live close to 5500 N. 24th Street. We have reviewed the renderings and plans. We have no objections and are in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

[Handwritten signature]
TAD GARY

3561 E. Vinton NW

PHX 8306

3561 Denton Lane

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

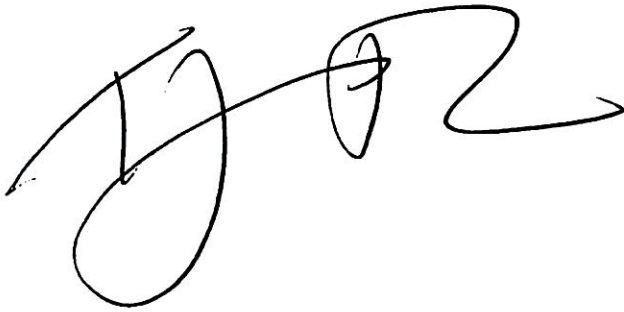
Planning & Development
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

TJ ROE

2109 E. SAN JUAN AVE
PHOENIX, AZ 85016

A large, stylized handwritten signature in black ink, likely belonging to TJ Roe, written over the address.

CITY OF PHOENIX

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

S JILL HASTINGS
2043 E SAN JUAN AVE

S. Hastings 5/6/25

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Handwritten:
Husband
5500 N 24th St
Thank you

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Maureen Casovich

*2608 E ELIN ST
PHOENIX, AZ 85016*

5/6/25

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

We live close to 5500 N. 24th Street. We have reviewed the renderings and plans. We have no objections and are in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.



Rob Bassett

2201 E Georgia Ave

Phoenix Az 85016

602-309-3997

5/6/25

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003


CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

We live close to 5500 N. 24th Street. We have reviewed the renderings and plans. We have no objections and are in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Chas. Granberry
X 

2240 E. Solano
Phoenix, AZ 85016
5-6-2025

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.



D. BUSH

2213 E. SOLANO DR.

5/6/25

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Dear Mr. Easton,

Planning & Development
Department

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Angela Hallenstein
5721 N. 21st St
Phoenix 85016

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

We live close to 5500 N. 24th Street. We have reviewed the renderings and plans. We have no objections and are in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

JAMES (JAVILAND)
1917 E MONTEBELLO AVE
PLAZA AL ESOL
JENNA HAVILAND
SARA ADAM

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

We live close to 5500 N. 24th Street. We have reviewed the renderings and plans. We have no objections and are in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Alyssa Spackeen 5150 N 20th St Unit 101 *plus*
Nathan Steel 5150 N 20th St Unit 101 *N Steel*

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

We live close to 5500 N. 24th Street. We have reviewed the renderings and plans. We have no objections and are in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

David Cains

4808 N 24th Street
Phoenix, AZ 85016

CITY OF PHOENIX

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

We live close to 5500 N. 24th Street. We have reviewed the renderings and plans. We have no objections and are in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Kitty Lichtenstein

2025 E Marshall Ave



CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

Dear Mr. Easton,

We live close to 5500 N. 24th Street. We have reviewed the renderings and plans. We have no objections and are in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Clifford Running 
2020 E MARSHALL AVE

CITY OF PHOENIX


Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

 - 1440 E. SOLARDO DR
MATT BAUSTRO PHOENIX AZ

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Dee Jay & Sylvia Pike

5350 N. 20th St

Phx Az 85016

4/28/25

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Shes Clark 2001 E. Marshall AV 85016 4/28/25

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Gern Holzman

Ms M 10c

2144 E San Juan Ave

Phoenix AZ 85016

4/29/25

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Molly Aronsson
District at Biltmore



Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Handwritten:
C. Martinez
2727 e Camelback
Phx, AZ
05/10/16

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Brendan Wheeler

5181 N 16th Street



Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Linda Cramer
2201 E Solano

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

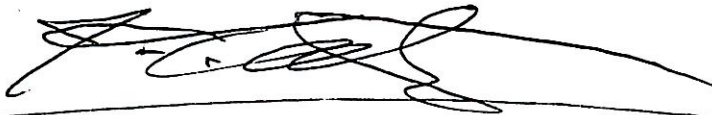
MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

J. BENTLEY 2054 E RANCHO DR.



04.26.2025

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

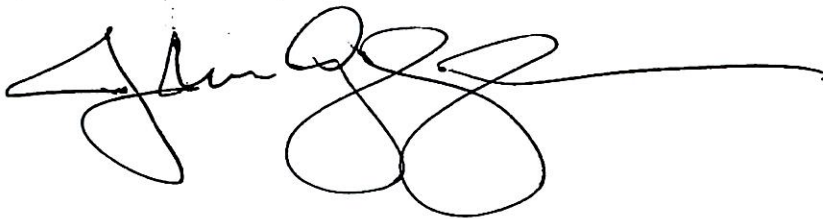
MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

ANAGNORULOS HOUSEHOLD
2136 E. MISSOURI
PHOENIX, AZ 85016

A handwritten signature in black ink, consisting of a stylized first name followed by a large, circular, looping surname.

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Debra A. Levin
5738 N. 24th St
Phx, Az. 85016
4/28/25

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025


Planning & Development
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

David Lyric

5301 N 23rd St

 4-25-25

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Stephanie Mart

Stephanie Martensen

2301 E. Colter St.

Phoenix, AZ 85016

4.25.25

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Jared Peral 4-25-25



5229 N 23rd st

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Leslie Campbell
2538 E. Missouri
PHX.

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections.

Kathi Rowley



2014 E. Marshall Ave
Phoenix Az 85026

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

We live close to 5500 N. 24th Street. We have reviewed the renderings and plans. We have no objections and are in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Loni Romley & Joe Romley
2232 E Montebello Ave
Phoenix, 85016

Toni Romley April 24, 2025
Joe Romley 4/24/2025

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003


CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

We live close to 5500 N. 24th Street. We have reviewed the renderings and plans. We have no objections and are in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.


DEBORAH A. KENDRICK
1726 E Camelback Rd
Phoenix, AZ 85016

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

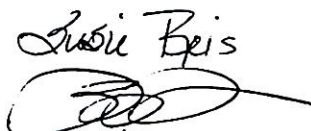
CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.


Julie Reis
2341 E Montebello
PHOENIX AZ 85016

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Beverly Burch
5245 N. 21st St
Pho 85016

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Rata Sun

5205 N 24th St, 85016

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Rim D. Shaw
5814 N. 25th St.
Phx, AZ 85016

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

We live close to 5500 N. 24th Street. We have reviewed the renderings and plans. We have no objections and are in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Angelina Babakitis -
2330 E. Colter St
Phoenix, AZ 85016
Angelina Babakitis
4/24/2025

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

We live close to 5500 N. 24th Street. We have reviewed the renderings and plans. We have no objections and are in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

LORGO ALMORA



2240 E GEORGIA Ave 85016

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Dear Mr. Easton,

Planning & Development
Department

We live close to 5500 N. 24th Street. We have reviewed the images of the plans. We have no objections.

Ali Ardebili

2320 E Georgia Ave
Phoenix AZ 85016



9/22/25

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003


CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.


Timothy Martens
2226 E. San Juan Ave
Phoenix, AZ 85016
4-23-25

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

We live close to 5500 N. 24th Street. We have reviewed the images of the plans. We have no objections and are in support of the plans. The improvements will be of benefit the office and neighborhood and cause nothing harmful to our neighborhood.

JANE EURLICH

JJ EURLICH

2247 E. Marshall Ave.

85016

4/22/25

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

4/23/25

A handwritten signature in dark ink, appearing to be a stylized name, possibly "Byron Easton".

2220 E MARSHALL AVE
PHOENIX AZ 85016

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Dear Mr. Easton,

Planning & Development
Department

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

JAMES SKINNER
James E. Skinner

4/23/25

2208 E. MISSOURI

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Andrew Langmade
4/23/25

4/23/25



2218 E. MISSOURI

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

We live close to 5500 N. 24th Street. We have reviewed the renderings and plans. We have no objections and are in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Derek Wolters, 2225 E San Juan Ave, 4-23-25
Derek Wolters

Byron Easton
Hearing Officer City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.



4/23/25

MAURA GOLDSBERRY
2302 E. SAN JUAN AVENUE
Phoenix AZ 85016
(480) 318-2002

Matt and Lori Macleod
5735 N 23rd Pl
Phoenix AZ 85016

CITY OF PHOENIX

Byron Easton, Hearing Officer
City Of Phoenix
Planning & Development Dept
200 W Washington St, 2nd Floor
Phoenix AZ 85003

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton-

As neighbors of the 5500 N 24th Street office building, we give our full support for the proposed changes to the building. The building has always been a beautiful landmark in the neighborhood and the relatively minimal updates are going to make it even better. We see no reason for anyone to object to modernizing this property. It will not only enhance its aesthetic appeal but also contribute to the continued growth and vitality of the area.

A handwritten signature in black ink, appearing to read 'M-Macleod', with a large, stylized flourish extending to the right.

Matt and Lori Macleod

April 21, 2025

Byron Easton, Hearing Officer
City of Phoenix
Planning & Development Dept.
200 W. Washington St., 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Mr. Easton,

I own the property on the southwest corner of 24th Street and Missouri Avenue, which is directly across Missouri from the Slavicek Law Firm.

I have reviewed the renderings of the proposed project, to include the two new copper turrets (matching the existing turret) and the west side second level pop out. These were provided to me by Mr. Brett Slavicek electronically. I understand the intention is for the property to expand approximately 1000 square feet, which I am told is approximately 10% of the current square footage.

I have no objection to the project.

Sincerely,

A handwritten signature in black ink, appearing to read 'Ali Baaj', with a stylized flourish at the end.

Ali Baaj, MD
2333 E Missouri Ave
Phoenix, AZ 85016

May 19, 2025

Byron Easton, Planning Hearing Officer
City of Phoenix
Planning and Development Department
200 W. Washington, 2nd floor
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development
Department

Dear Hearing Officer Easton:

I live in the neighborhood just north of Brett Slavicek's property at 5500 N. 24th Street, and I wanted to share my strong support for the proposed updates to his office building.

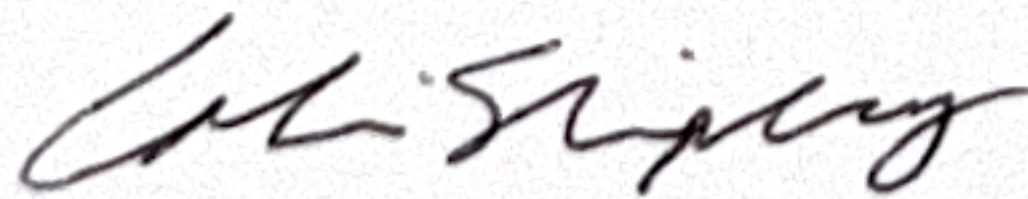
Mr. Slavicek's law office has been a great part of our community for years. The building itself—designed to look like a stone house—is not only unique, but it also fits in beautifully with the look and feel of our neighborhood. It's always well taken care of, with nice landscaping, mature trees, and flowers that change with the seasons. It really adds to the overall appeal of the area.

After looking over the plans and renderings for the proposed updates, I think the changes are tasteful. The slight expansion to the existing mezzanine to create three new offices and meetings rooms seem well thought-out and the additions of the copper turrets add to the design. From what I can tell, they'll make it even more attractive and functional without losing its original charm.

There's also plenty of on-site parking, which means it continues to meet the needs of staff and clients without affecting our streets.

All in all, I think these updates will make a beautiful property even better—and they won't negatively impact the neighborhood. That's why I fully support the proposed stipulation modifications under PHO case PHO-1-25—Z-323-79-6.

Sincerely,



Colin Shipley

2114 E Montebello Ave, Phoenix, AZ 85016

5/19/2025

Byron Easton

Hearing Officer City of Phoenix

Planning & Development Dept.

200 W. Washing St., 2nd floor

Phoenix, AZ 85003

CITY OF PHOENIX

MAY 19 2025

**Planning & Development
Department**

Dear Mr. Easton,

I live close to 5500 N. 24th St, Pheonix, Arizona. I have reviewed the renderings and plans. I have no objections and am in support of the plan. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.



2323 E. Highland Ave
Phoenix, AZ
85016

5/19/2025

Byron Easton

Hearing Officer City of Phoenix

Planning & Development Dept.

200 W. Washing St., 2nd floor

Phoenix, AZ 85003

CITY OF PHOENIX

MAY 19 2025

**Planning & Development
Department**

Dear Mr. Easton,

I live close to 5500 N. 24th St, Pheonix, Arizona. I have reviewed the renderings and plans. I have no objections and am in support of the plan. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Elisabeth Qi
2137 E. Rancho St.
Phoenix, AZ 85016

Racelle Escolar

Subject: FW: Support for PHO-1-25—Z-323-79, 24th St & Missouri Ave

From: Matt Everroad <meverroad@eidebailly.com>
Sent: Wednesday, September 24, 2025 8:24 AM
To: Joshua Bednarek <joshua.bednarek@phoenix.gov>
Subject: Support for PHO-1-25—Z-323-79, 24th St & Missouri Ave

CAUTION: This email originated outside of the City of Phoenix.

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[Report Suspicious](#)

I write in full support of the proposed plans for 5500 N. 24th Street. I have lived and worked in the Camelback Corridor/Biltmore area for 30 years. My first house was at 32nd and Camelback. My first job was in the Esplanade, and I currently work at Eide Bailly LLP at 2355 E. Camelback Road, Suite 900.

The improvements depicted in the renderings will have a beneficial impact on this important corner, which is a prominent entry point to the Camelback Corridor. The changes will improve the property yet stay true to its residential feel and remain consistent with its Biltmore neighborhood. For decades, this property has been well known and well cared for. These changes will only make it better and since only an additional 1,000 square feet is being added, will place no burden on the neighborhood. Many of the surrounding homes are two stories and just a few blocks down transition to multiple stories.

I hope the proposal is allowed, for the benefit not just of this property, but the entire Biltmore area.

Yours truly,

Matt Everroad
Partner
Eide Bailly LLP
2355 E. Camelback Road, Ste. 900
Phoenix, AZ 85016

T 480.305.8072

CITY OF PHOENIX

SEP 24 2025

Planning & Development
Department



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CITY OF PHOENIX

SEP 24 2025

Planning & Development
Department

From: gregnadeaumail@gmail.com <gregnadeaumail@gmail.com>

Sent: Wednesday, September 24, 2025 5:25 PM

To: Council District 6 PCC <District6@phoenix.gov>; Mayor Gallego <mayor.gallego@phoenix.gov>; Joshua Bednarek <joshua.bednarek@phoenix.gov>; Tricia Gomes <tricia.gomes@phoenix.gov>

Cc: Hannah@wmbattorneys.com

Subject: Support for PHO-1-25-Z-323-79, 24th St & Missouri Ave.

Dear Mayor, Members of the Council and City Staff:

I am in full support for the proposed improvements to the property located at 5500 North 24th Street. As a neighbor of the building for more than 10 years, we appreciate how Ownership has maintained the building and are encouraged by additional investment in the building to keep the offices relevant. I feel the planned renovations will only enhance its role as an iconic neighborhood asset.

The proposed reinvestments into the property will modernize the building's exterior and interior features, ensuring that it remains both functional and aesthetically consistent with the surrounding Biltmore area. Such upgrades will not only improve the property's curb appeal but will ensure that it continues to be an icon for decades to come.

I respectfully urge the Council to approve and support these improvements, as did the hearing officer and Committee.

Thank you for your consideration and your continued service to our community.

Greg Nadeau
2226 E Montebello Ave Dr.
Phoenix, AZ 85016

CITY OF PHOENIX

SEP 24 2025

Planning & Development
Department

From: Laura Louis <lauralouis36@yahoo.com>
Sent: Wednesday, September 24, 2025 2:12 PM
To: Joshua Bednarek <joshua.bednarek@phoenix.gov>
Subject: 5500 N 24th St.

Do not click links or open attachments unless you know the sender and were expecting this email.

[Report Suspicious](#)

Dear Mayor and Members of the Council:

I am writing to express my full support for the proposed improvements to the property located at 5500 North 24th Street. As a neighbor of the building for more than 12 years, the planned renovations will only enhance its role as an iconic neighborhood asset.

The proposed reinvestments into the property will modernize the building's exterior and interior features, ensuring that it remains both functional and aesthetically consistent with the surrounding Biltmore area. Such upgrades will not only improve the property's curb appeal - which is already stunning - but will ensure that it continues to be an icon for decades to come.

I respectfully urge the Council to approve and support these improvements, as did the hearing officer and Committee.

Thank you for your consideration and your continued service to our community.

Laura Louis -2029 E San Juan Ave
Phoenix, AZ 85016

CITY OF PHOENIX

SEP 24 2025

Planning & Development
Department

From: Mike Gagnon <mtgags@gmail.com>

Sent: Wednesday, September 24, 2025 4:55 PM

To: Council District 6 PCC <District6@phoenix.gov>; Mayor Gallego <mayor.gallego@phoenix.gov>; Joshua Bednarek <joshua.bednarek@phoenix.gov>; Tricia Gomes <tricia.gomes@phoenix.gov>; Hannah@wmbattorneys.com

Subject: Support for PHO-1-25—Z-323-79, 24th St & Missouri Ave

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[Report Suspicious](#)

Dear Mayor and Members of the Council:

As a neighbor of the building for more than 7 years, the planned renovations will only enhance its role as an iconic neighborhood asset.

remains both functional and aesthetically consistent with the surrounding Biltmore area. Such upgrades will not only improve the property's curb appeal but will ensure that it continues to be a neighborhood asset for decades to come. This property has always been an asset to our neighborhood, planting new annual flowers and landscaping with the seasons.

I respectfully urge the Council to approve and support these improvements, as did the hearing officer and Committee.

Thank you for your consideration and your continued service to our community.

Mike Gagnon
2202 E. Montebello Ave
Phoenix, AZ 85016

Heather Klotz

From: Joshua Bednarek
Sent: Sunday, September 28, 2025 7:11 AM
To: Heather Klotz
Subject: FW: SUPPORT for PHO 1-25-Z 323-79, 24th Street & Missouri Ave

FYI



Joshua Bednarek
Director, Planning and Development Department
Office: 602-262-6656
E-mail: joshua.bednarek@phoenix.gov

City of Phoenix
Planning & Development Department
200 West Washington Street
Phoenix, AZ 85003

CITY OF PHOENIX

SEP 29 2025

Planning & Development
Department

From: Stefani Byers <stefsandoval@yahoo.com>
Sent: Friday, September 26, 2025 11:35 AM
To: Council District 6 PCC <District6@phoenix.gov>; Mayor Gallego <mayor.gallego@phoenix.gov>; Joshua Bednarek <joshua.bednarek@phoenix.gov>; Tricia Gomes <tricia.gomes@phoenix.gov>; hannah@wmbattorneys.com
Subject: SUPPORT for PHO 1-25-Z 323-79, 24th Street & Missouri Ave

CAUTION: This email originated outside of the City of Phoenix.

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[Report Suspicious](#)

Dear Mayor and Members of the Council:

I am writing to express my full support for the proposed improvements to the property located at 5500 North 24th Street. As a neighbor of the building for more than 12 years, the planned renovations will only enhance its role as an iconic neighborhood asset.

The proposed reinvestments into the property will modernize the building's exterior and interior features, ensuring that it remains both functional and aesthetically consistent with the surrounding Biltmore area. Such upgrades will not only improve the property's curb appeal - which is already stunning - but will ensure that it continues to be an icon for decades to come.

I respectfully urge the Council to approve and support these improvements, as did the hearing officer and Committee. Thank you for your consideration and your continued service to our community.

Respectfully,

Stefani Byers
2301 E Rancho Drive 85016

Heather Klotz

From: Joshua Bednarek
Sent: Monday, September 29, 2025 4:17 AM
To: Jacob Reuben
Cc: Heather Klotz; Tricia Gomes
Subject: RE: Support for PHO-1-25-Z-323-79, 24th St. & Missouri Ave

Thank you for your e-mail. We will add it to the case file.



Joshua Bednarek
Director, Planning and Development Department
Office: 602-262-6656
E-mail: joshua.bednarek@phoenix.gov

City of Phoenix
Planning & Development Department
200 West Washington Street
Phoenix, AZ 85003

CITY OF PHOENIX

SEP 29 2025

**Planning & Development
Department**

From: Jacob Reuben <jjreuben@gmail.com>
Sent: Thursday, September 25, 2025 8:58 AM
To: Joshua Bednarek <joshua.bednarek@phoenix.gov>
Subject: Support for PHO-1-25-Z-323-79, 24th St. & Missouri Ave

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[Report Suspicious](#)

I am a Phoenix native, businessman, and Arizona Biltmore Country Club golfer. I am also the owner of 2402 E. Montebello Ave, a home in the Taliverde neighborhood located across 24th Street from the Slavicek Law Firm at 5500 N. 24th Street.

I write this letter in support of Slavicek Holdings' application for improvements at 5500 N. 24th Street to allow expansion of the second floor mezzanine to a second story, which would include the addition of two turrets and a West side pop-out.

Having grown up in Phoenix and golfed for years at the Arizona Biltmore, the building at 5500 N. 24th Street is a mainstay not only because of it's beautiful architecture but also because of the attention to detail and investment the owners have made into keeping the property beautiful and the landscaping well maintained.

Given the tremendous development taking place across the Valley the proposal to add minimal square footage while maintaining the building's aesthetics is commendable and something that I certainly support.

Please reach out if I can be of any further assistance.

Sincerely,
Jacob Reuben

Heather Klotz

From: Joshua Bednarek
Sent: Tuesday, September 30, 2025 6:36 AM
To: Heather Klotz
Subject: FW: Support for PHO-1-25—Z-323-79, 24th St & Missouri Ave



Joshua Bednarek
Director, Planning and Development Department
Office: 602-262-6656
E-mail: joshua.bednarek@phoenix.gov

City of Phoenix
Planning & Development Department
200 West Washington Street
Phoenix, AZ 85003

CITY OF PHOENIX

SEP 30 2025

Planning & Development
Department

From: Lexie Sorrentino <lexie.sorrentino15@gmail.com>
Sent: Thursday, September 25, 2025 11:49 AM
To: Council District 6 PCC <District6@phoenix.gov>; Mayor Gallego <mayor.gallego@phoenix.gov>; Joshua Bednarek <joshua.bednarek@phoenix.gov>; Tricia Gomes <tricia.gomes@phoenix.gov>; Hannah@wmbattorneys.com
Subject: Support for PHO-1-25—Z-323-79, 24th St & Missouri Ave

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[Report Suspicious](#)

Dear Mayor Gallego, Councilman Robinson, Mr. Bednarek, and Ms. Gomez,

I live in District 6 and am familiar with the property located at 5500 N. 24th Street. I pass it frequently and am aware of the proposed project for two new turrets and a pop out on the west side.

After looking at the renderings and discussing the plans with the owner, I believe the changes will have no negative impact on nearby homes and it will not increase traffic.

The law firm has been a considerate occupant, operating without signage and with extremely light traffic. This use of the property fits seamlessly into the neighborhood and will continue to look like a residential home and not a commercial office.

The renovation and modest expansion (less than 10%) will improve the property. The proposed finishes and design are of high quality and will enhance the overall look of the Biltmore community.

I respectfully urge you to approve this project. It represents the type of thoughtful development that makes our neighborhood attractive and unique.

Sincerely,

Lexie Sorrentino

4950 E Red Rock Dr

Phoenix, AZ 85018

Heather Klotz

From: Joshua Bednarek
Sent: Tuesday, September 30, 2025 6:34 AM
To: Heather Klotz
Subject: FW: Support for PHO-1-25—Z-323-79, 24th St & Missouri Ave.



Joshua Bednarek
Director, Planning and Development Department
Office: 602-262-6656
E-mail: joshua.bednarek@phoenix.gov

City of Phoenix
Planning & Development Department
200 West Washington Street
Phoenix, AZ 85003

CITY OF PHOENIX

SEP 30 2025

Planning & Development
Department

From: Emily Palumbo <emily.a.palumbo@gmail.com>
Sent: Wednesday, September 24, 2025 7:00 PM
To: Council District 6 PCC <District6@phoenix.gov>; Mayor Gallego <mayor.gallego@phoenix.gov>; Joshua Bednarek <joshua.bednarek@phoenix.gov>; Tricia Gomes <tricia.gomes@phoenix.gov>; Hannah@wmbattorneys.com
Subject: Support for PHO-1-25—Z-323-79, 24th St & Missouri Ave.

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[Report Suspicious](#)

Dear Mayor and Members of the Council:

I am writing to express my full support for the proposed improvements to the property located at 5500 North 24th Street. As a neighbor of the building for more than 17 years, the planned renovations will only enhance its role as an iconic neighborhood asset.

The proposed reinvestments into the property will modernize the building's exterior and interior features, ensuring that it remains both functional and aesthetically consistent with the surrounding Biltmore area. Such upgrades will not only improve the property's curb appeal - which is already stunning - but will ensure that it continues to be an icon for decades to come.

I respectfully urge the Council to approve and support these improvements, as did the hearing officer and Committee.

Thank you for your consideration and your continued service to our community.

Emily Palumbo - 2213 E Montebello Ave, Phoenix, AZ 85016

Heather Klotz

From: Joshua Bednarek
Sent: Tuesday, September 30, 2025 6:34 AM
To: Heather Klotz
Subject: FW: PHO-1-25-Z-323-79



Joshua Bednarek
Director, Planning and Development Department
Office: 602-262-6656
E-mail: joshua.bednarek@phoenix.gov

City of Phoenix
Planning & Development Department
200 West Washington Street
Phoenix, AZ 85003

CITY OF PHOENIX

SEP 30 2025

Planning & Development
Department

From: Santino Ori <santinoori51@gmail.com>
Sent: Wednesday, September 24, 2025 8:41 PM
To: Council District 6 PCC <District6@phoenix.gov>; Mayor Gallego <mayor.gallego@phoenix.gov>; Joshua Bednarek <joshua.bednarek@phoenix.gov>; Tricia Gomes <tricia.gomes@phoenix.gov>; hannah@wmbattorneys.com
Subject: PHO-1-25-Z-323-79

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[Report Suspicious](#)

Dear Mayor Gallego, Councilman Robinson, Mr. Generic, and Ms. Gomes,

I live in the neighborhood of the property at 5500 N. 24th Street. I drive or walk by it nearly every day.

I am aware of the changes desired. I reviewed the renderings and have spoken with the owner. I see no impact on any neighbors, of which there are only a couple, due to the property's location at the corner of 24th and Missouri.

I fully support the project and respectfully request that the project be allowed to go forward to keep the Slavicek law firm in our neighborhood. There is no signage on the building. It is a very low-traffic property. It feels residential. I can't imagine any other commercial occupants to be a better neighbor than this existing business.

I also support the aesthetics of the project and very modest expansion, which I understand is a less than 10% increase in square footage.

As well, the design and finishes proposed are top-notch and will make the building in the neighborhood even better. The project fits in nicely and will improve the neighborhood.

For me, and the other neighbors I spoke with, we would like to continue in our neighborhood because we can't think of a commercial occupant or a better aesthetic building than what is proposed.

Sincerely,

Santino Ori
2137 E. Rancho Drive
Phoenix, AZ 85016

Heather Klotz

From: Joshua Bednarek
Sent: Tuesday, September 30, 2025 6:32 AM
To: Heather Klotz
Subject: FW: Support for PHO-1-25—Z-323-79, 24th St & Missouri Ave

Heather:

My apologies if Tricia is already sending you these. Just want to make sure we compile in the file and position ourselves to summarize this new set of letters as we engage City Council. Thanks so much for your help.



Joshua Bednarek
Director, Planning and Development Department
Office: 602-262-6656
E-mail: joshua.bednarek@phoenix.gov

City of Phoenix
Planning & Development Department
200 West Washington Street
Phoenix, AZ 85003

CITY OF PHOENIX

SEP 30 2025

Planning & Development
Department

From: Shannon Gagnon <smgagnon17@gmail.com>
Sent: Wednesday, September 24, 2025 1:54 PM
To: Council District 6 PCC <District6@phoenix.gov>; Mayor Gallego <mayor.gallego@phoenix.gov>; Joshua Bednarek <joshua.bednarek@phoenix.gov>; Tricia Gomes <tricia.gomes@phoenix.gov>; Hannah@wmbattorneys.com
Cc: Mike Gagnon <mtgags@gmail.com>
Subject: Support for PHO-1-25—Z-323-79, 24th St & Missouri Ave

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Dear Mayor and Members of the Council:

I am writing to express my full support for the proposed improvements to the property located at 5500 North 24th Street. As a neighbor of the building for more than 7 years, the planned renovations will only enhance its role as an iconic neighborhood asset.

The proposed reinvestments into the property will modernize the building's exterior and interior features, ensuring that it remains both functional and aesthetically consistent with the surrounding Biltmore area. Such upgrades will not only improve the property's curb appeal but will ensure that it continues to be neighborhood asset for decades to come. This property has

always been an asset to our neighborhood, planting new annual flowers and landscaping with the seasons.

I respectfully urge the Council to approve and support these improvements, as did the hearing officer and Committee.

Thank you for your consideration and your continued service to our community.

Shannon Gagnon
2202 E Montebello Ave
Phoenix, AZ 85016

Racelle Escolar

Subject: FW: Support for PHO-1-25-Z-323-79, 24th St & Missouri Ave

From: jordanpr@cox.net <jordanpr@cox.net>
Sent: Friday, October 17, 2025 9:12 AM
To: Joshua Bednarek <joshua.bednarek@phoenix.gov>
Subject: Support for PHO-1-25-Z-323-79, 24th St & Missouri Ave

Dear Mayor Gallego, Councilman Robinson, Mr. Bednarek and Ms. Gomes:

Good morning.

My family lives to the west of the Slavicek law firm building, which is on the northwest corner of 24th Street and Missouri; our address is 2017 E. Marshall Ave. I am very familiar with the building, the care and attention its owners provide, and how important that corner is in our city.

I have met with and reviewed Mr. Slavicek's proposed renderings: he is asking to expand the existing upper level by approximately 1000 ft.² and to conform to current parking space ratios. I understand his intention to update and expand this building and the plans – which include quality materials such as a slate roof and actual copper turrets – and an architectural design that will keep the building remaining as residential in appearance as a commercial property could appear. These changes will improve this important corner while maintaining the aesthetic we have come to admire.

Today I **write in support** of the desired improvements. Thank you for your time.

Sincerely,

Laura Jordan

Please let me know if you need anything further related to this email by calling my cell phone number: 602-329-1386. Thank you.

Laura L. Jordan, APR/CRM
The Jordan Group, Inc.
2017 E. Marshall Avenue
Phoenix, AZ 85016

CITY OF PHOENIX

OCT 17 2025

**Planning & Development
Department**