

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property

Continuation sheets may be attached if necessary.

Send completed form to : State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No: 1040272 Survey Area: Cuatro Milpas

Historic Name (s) House

(Enter the name(s), if any, that best reflects the property's historic importance.)

Address: 1109 S. 13th Place

City or Town Phoenix vicinity County: Maricopa Tax Parcel No: 11-54-2061

Township: Range: Section: Quarter Section: Acreage <1

Block: 0 Lot(s): 0 Plat (Addition) Year of Plat (addition) 0

UTM reference: Zone: 12 Easting: 402103 Northing: 3700093

USGS 7.5' Quadrangle Map: Phoenix

ARCHITECT not determined known Source:

BUILDER: not determined known Source:

CONSTRUCTION DATE: 1928 known estimated Source: County Assessor

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent)

Describe: General deterioration; poor repair methods

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTION

Describe how the property has been used over time, beginning with the original use.

DOMESTIC: residence

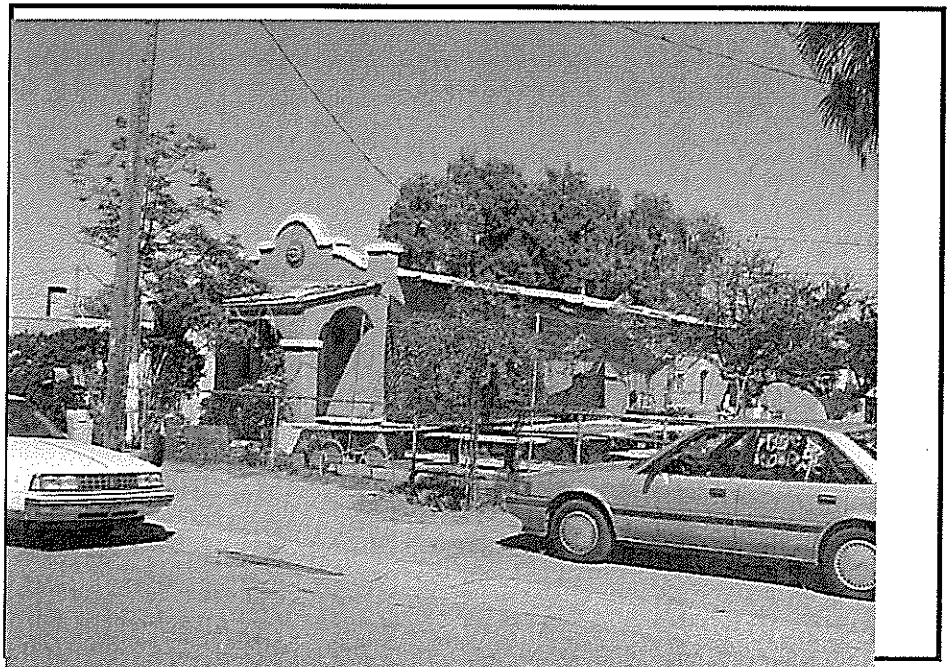
Sources

PHOTO INFORMATION

Date of Photo: 3/26/2005

View Direction: W

Negative No: 2-13



SIGNIFICANCE

Site No.: 1040272

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history which a property occurred or gain importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Addl. sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS

Mexican-American Community (A). Upgrade of façade is significant aspect of cultural pride and personal success.

Describe any historic event/trends associated with the property.

B. PERSON List and describe persons with an important association with the building.

See Continuation Sheet

C. ARCHITECTURE. Style: Good example of Vernacular in Adobe (C)

no style

Stories: 1 Basement Roof form: Low-pitch gable

Describe other character-defining features of its massing, size, and scale.

Shotgun plan: row of single rooms; low-pitched gable roof; gable toward front; Mission Revival porch addition: curvilinear parapets with corbels and piers and arches.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION Original Site Moved: date: 0 original site:

DESIGN Describe alterations from the original design, including dates.

Rear and side additions; windows replaced; high style Mission Revival front porch

MATERIALS Describe the materials used in the following elements of the property.

Walls (structure): Adobe Walls (sheathing): Stucco

Windows: Aluminum sliding

Roof: Corrugated metal Foundation: Unknown

SETTING Describe the natural and/or built environment around the property.

Dirt lot w/mature landscaping surrounded by 3' chainlink fence.

How has the environment changed since the property was constructed?

Modern park constructed across the street. "Lewis Park".

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction.:

Unusual Mission Revival porch addition for the barrio; likely an owner-built adobe.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually listed Contributor Noncontributor to Historic District

Date listed: Determined eligible by Keeper of National Register (date):

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district. More info is needed to evaluate.

If not considered eligible, state reason:

Reversible

FORM COMPLETED BY

Name and Affiliation: Ryden Architects

Date: 4/5/2005

Mailing Address: 902 W. McDowell Rd. Phoenix AZ 85007

Phone#: (602)253-5381

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM
CONTINUATION SHEET

Property Address: 1109 S. 13th Place

Sheet No. 1

SIGNIFICANCE

B. PERSONS:

This 1928 shotgun adobe residence is on an oversized lot. It is currently owned by Mary Ann Guevara. This property is across from the Lewis Park which has always been a gathering place for the community. City Directory research indicates that it was first listed in 1950 and was owned by Ernesto and Inocensia Guevara. Ernesto was a carpenter while Inocensia worked for the S.P. Company. Mary Ann is most likely a descendent of Ernesto and Inocensia. Several attempts were made to interview the owners of this residence however, no one was home.

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property

Continuation sheets may be attached if necessary.

Send completed form to : State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No: 1040277 Survey Area: Cuatro Milpas

Historic Name (s) House

(Enter the name(s), if any, that best reflects the property's historic importance.)

Address: 1131 S. 13th Place

City or Town Phoenix vicinity County: Maricopa Tax Parcel No: 11-54-2067

Township: Range: Section: Quarter Section: Acreage <1

Block: 0 Lot(s): 0 Plat (Addition) Year of Plat (addition) 0

UTM reference: Zone: 12 Easting: 402097 Northing: 3700030

USGS 7.5' Quadrangle Map:

ARCHITECT not determined known Source:

BUILDER: not determined known Source:

CONSTRUCTION DATE: 1930 known estimated Source: County Assessor

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent)

Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTION

Describe how the property has been used over time, beginning with the original use.

DOMESTIC: residence

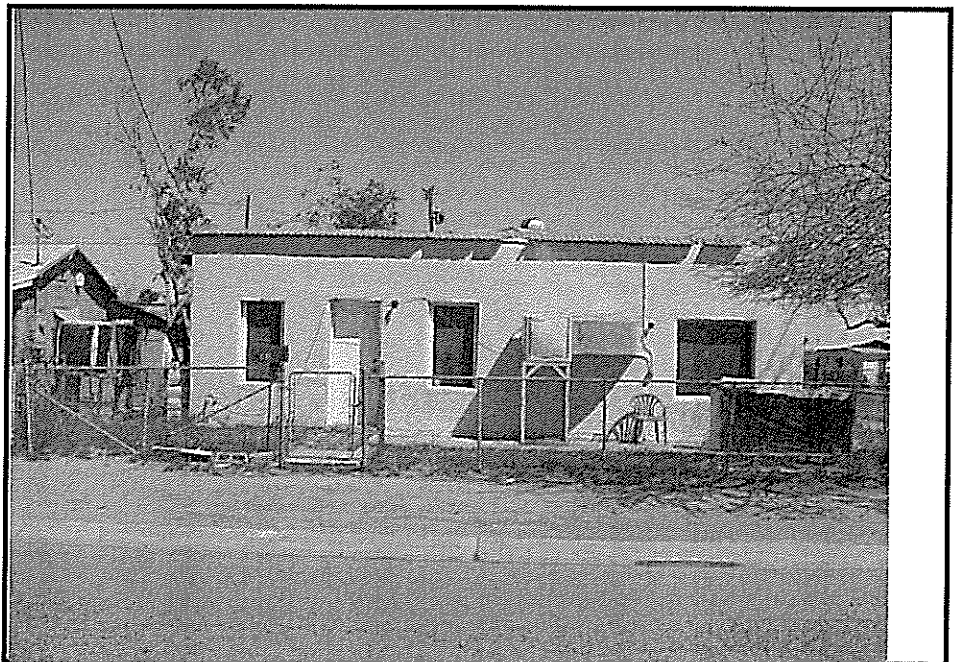
Sources

PHOTO INFORMATION

Date of Photo: 3/26/2005

View Direction: E

Negative No: 2-7



SIGNIFICANCE

Site No.: 1040277

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history which a property occurred or gain important. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Addl. sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS

Describe any historic event/trends associated with the property.

This building is associated with the context of Community Planning and Development. It falls under the theme of housing: single-family residence (A).

B. PERSON List and describe persons with an important association with the building.

See Continuation Sheet

C. ARCHITECTURE. Style: Rare example of Vernacular in Adobe (C)

no style

Stories 1 Basement Roof form: Flat w/parapets

Describe other character-defining features of its massing, size, and scale.:

Vernacular flat-top: simple box-like massing, no ornamentation other than added parapet tiles.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION Original Site Moved: date: 0 original site:

DESIGN Describe alterations from the original design, including dates.

Rear addition; windows replaced; evap cooler thru front facade wall, parapet tiles

MATERIALS Describe the materials used in the following elements of the property.

Walls (structure): Adobe Walls (sheathing): Stucco

Windows: Alum. Sliding

Roof: Corrugated metal Foundation: Unknown

SETTING Describe the natural and/or built environment around the property.

Dirt and grass yard with mature landscaping surrounded by 4' chainlink fence.

How has the environment changed since the property was constructed?

Unknown

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction.:

Rare Vernacular flat top; likely owner-built adobe.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually listed Contributor Noncontributor to Historic District

Date listed: Determined eligible by Keeper of National Register (date):

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district. More info is needed to evaluate.

If not considered eligible, state reason:

Reversible

FORM COMPLETED BY

Name and Affiliation: Ryden Architects

Date: 4/5/2005

Mailing Address: 902 W. McDowell Rd. Phoenix AZ 85007

Phone#: (602)253-5381

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM
CONTINUATION SHEET

Property Address: 1131 S. 13th Place

Sheet No. 1

SIGNIFICANCE

B. PERSONS:

This 1930 Adobe house first appeared in the City Directory in 1950. J.V. and Maria Rodriguez were the homeowners and Fermin Rodriguez lived in an apartment in the rear. J. V. Rodriguez was a laborer. The Rodriguez's lived at this address until 1965. No one was listed at this address in 1970 and Miquel Nigrete was listed in 1975. No one was listed in 1980 or 1985. The current owners are Angel and Sara Moreno. The property was deeded to them in 1981.

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No: 1040325 Survey Area: Cuatro Milpas

Historic Name (s) House

(Enter the name(s), if any, that best reflects the property's historic importance.)

Address: 1427 S. 13th Place

City or Town Phoenix vicinity County: Maricopa Tax Parcel No: 11-54-2077

Township: Range: Section: Quarter Section: Acreage <1

Block: 0 Lot(s): 0 Plat (Addition) Year of Plat (addition) 0

UTM reference: Zone: 12 Easting: 402095 Northing: 3699904

USGS 7.5' Quadrangle Map: Phoenix

ARCHITECT Un-named original owner not determined known Source: Oral interview

BUILDER: Un-named not determined known Source: Oral interview

CONSTRUCTION DATE: 1940 known estimated Source: County Assessor; oral interview

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent)

Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTION

Describe how the property has been used over time, beginning with the original use.

DOMESTIC: residence

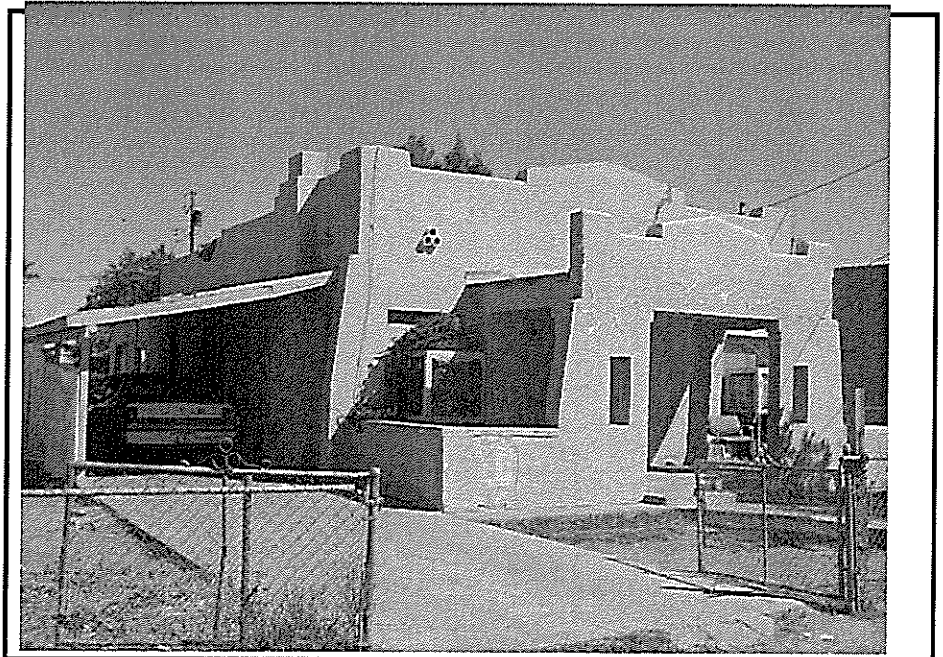
Sources

PHOTO INFORMATION

Date of Photo: 3/26/2005

View Direction: SE

Negative No: 2-16



SIGNIFICANCE

Site No.: 1040325

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history which a property occurred or gain importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Addl. sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS

Describe any historic event/trends associated with the property.

This building is associated with the context of Community Planning and Development. It falls under the theme of housing: single-family residence (A).

B. PERSON List and describe persons with an important association with the building.

See Continuation Sheet

C. ARCHITECTURE. Style:

Rare example of Southwest in Adobe

no style

Stories

1 Basement

Roof form:

Flat w/parapets

Describe other character-defining features of its massing, size, and scale.:

Southwest style characteristics: battered buttress wing walls, symmetrical facade, stepped parapets, clay tile attic vents, low walled terraces flank central porch, box-like massing.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION Original Site Moved: date:

0

original site:

DESIGN Describe alterations from the original design, including dates.

Rear addition; carport addition; evap cooler through window

MATERIALS Describe the materials used in the following elements of the property.

Walls (structure): Adobe

Walls (sheathing): Stucco

Windows: Wood fixed sash

Roof: Rolled asphalt

Foundation: Unknown

SETTING Describe the natural and/or built environment around the property.

The yard is composed of dirt and lawn with trees surrounded by 3' chainlink fence. An old metal sign post w/a chicken on top is located at the corner.

How has the environment changed since the property was constructed?

Unknown

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction.:

Very good example of Southwest Style in Adobe (owner-built)

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually listed

Contributor

Noncontributor to

Historic District

Date listed:

Determined eligible by Keeper of National Register

(date):

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district. More info is needed to evaluate.

If not considered eligible, state reason:

Reversible

FORM COMPLETED BY

Name and Affiliation: Ryden Architects

Date: 4/5/2005

Mailing Address: 902 W. McDowell Rd. Phoenix AZ 85007

Phone#: (602)253-5381

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM
CONTINUATION SHEET

Property Address: 1427 S. 13th Place

Sheet No. 1

SIGNIFICANCE

B. PERSONS:

This adobe house was built by the original owners in 1940 when they decided to copy the architectural style of the neighboring house at 1429 S. 13th Place. This property first appeared in the City Directory in 1970 and was owned by Luis Galaviz through at least 1985. This property was deeded to Austin Alfonso in 2001.

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property

Continuation sheets may be attached if necessary.

Send completed form to : State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No: 1040298 Survey Area: Cuatro Milpas

Historic Name (s) House

(Enter the name(s), if any, that best reflects the property's historic importance.)

Address: 1439 S. 13th Street

City or Town Phoenix vicinity County: Maricopa Tax Parcel No: 11-54-2028

Township: Range: Section: Quarter Section: Acreage <1

Block: 0 Lot(s): 0 Plat (Addition) Year of Plat (addition) 0

UTM reference: Zone: 12 Easting: 401992 Northing: 3699847

USGS 7.5' Quadrangle Map: Phoenix

ARCHITECT not determined known Source:

BUILDER: not determined known Source:

CONSTRUCTION DATE: 1941 known estimated Source: County Assessor

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent)

Describe: General deterioration

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTION

Describe how the property has been used over time, beginning with the original use.

DOMESTIC: residence

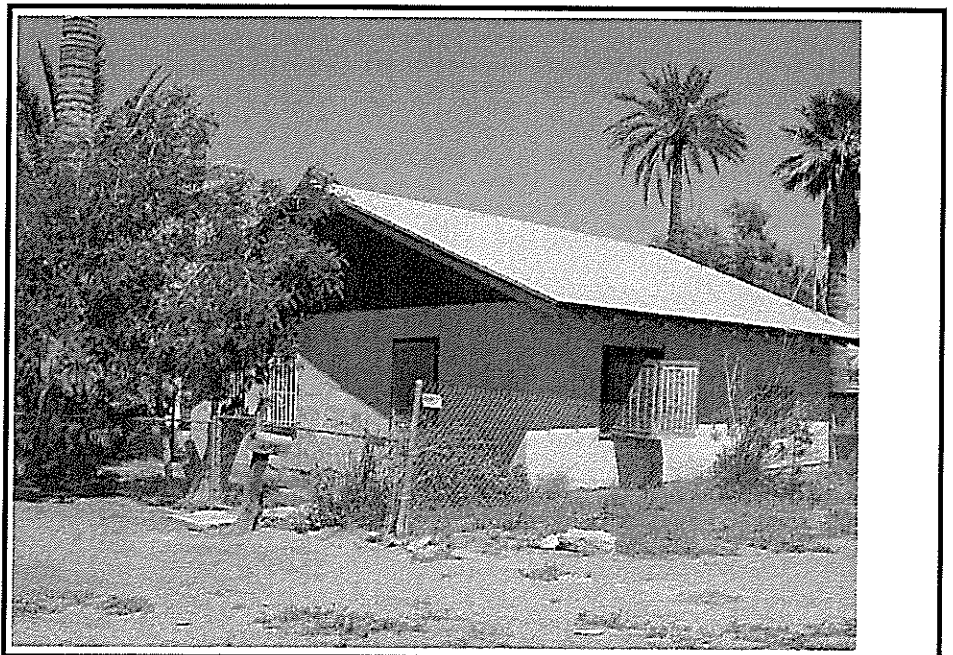
Sources

PHOTO INFORMATION

Date of Photo: 3/26/2005

View Direction: NE

Negative No: 1-22



SIGNIFICANCE

Site No.: 1040298

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history which a property occurred or gain importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Addl. sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS Mexican-American Community (A).
Describe any historic event/trends associated with the property.

B. PERSON List and describe persons with an important association with the building. See Continuation Sheet.

C. ARCHITECTURE. Style: Good example of Vernacular in Adobe (C) no style

Stories: 1 Basement Roof form: Med-pitch gable

Describe other character-defining features of its massing, size, and scale.:

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION Original Site Moved: date: 0 original site:

DESIGN Describe alterations from the original design, including dates.

Windows replaced.

MATERIALS Describe the materials used in the following elements of the property.

Walls (structure): Unknown Walls (sheathing): Stucco

Windows: Alum. Sliding

Roof: Asphalt shingles Foundation: Unknown

SETTING Describe the natural and/or built environment around the property.

Dirt and grass yard with mature landscaping surrounded by 3' chainlink fence.

How has the environment changed since the property was constructed?

Unknown

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction.:

Good example of a front-gable vernacular; likely owner-built adobe.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually listed Contributor Noncontributor to Historic District

Date listed: Determined eligible by Keeper of National Register (date):

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district. More info is needed to evaluate.

If not considered eligible, state reason:

Reversible

FORM COMPLETED BY

Name and Affiliation: Ryden Architects Date: 4/5/2005

Mailing Address: 902 W. McDowell Rd. Phoenix AZ 85007 Phone#: (602)253-5381

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM
CONTINUATION SHEET

Property Address: 1439 S. 13th Street

Sheet No. 1

SIGNIFICANCE

B. PERSONS:

This adobe house was constructed in 1940. Josephine Contreras is the current owner. The house was deeded to her in 1969. This house is not listed in the City Directory which suggests that there has never been a telephone. A title search and/or further attempts to interview the owners would be necessary to establish the building date for this structure.

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property

Continuation sheets may be attached if necessary.

Send completed form to : State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No: 1020530 Survey Area: Eastlake Park

Historic Name (s) House

(Enter the name(s), if any, that best reflects the property's historic importance.)

Address: 1949 E. Madison Street

City or Town Phoenix vicinity County: Maricopa Tax Parcel No: 11-50-6084

Township: Range: Section: Quarter Section: Acreage <1

Block: 0 Lot(s): 0 Plat (Addition) Year of Plat (addition) 0

UTM reference: Zone: 12 Easting: 403423 Northing: 3701226

USGS 7.5' Quadrangle Map: Phoenix

ARCHITECT Unknown not determined known Source:

BUILDER: Unknown not determined known Source:

CONSTRUCTION DATE: 1936 known estimated Source: County Assessor

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent)

Describe: General deterioration

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTION

Describe how the property has been used over time, beginning with the original use.

DOMESTIC: Residence

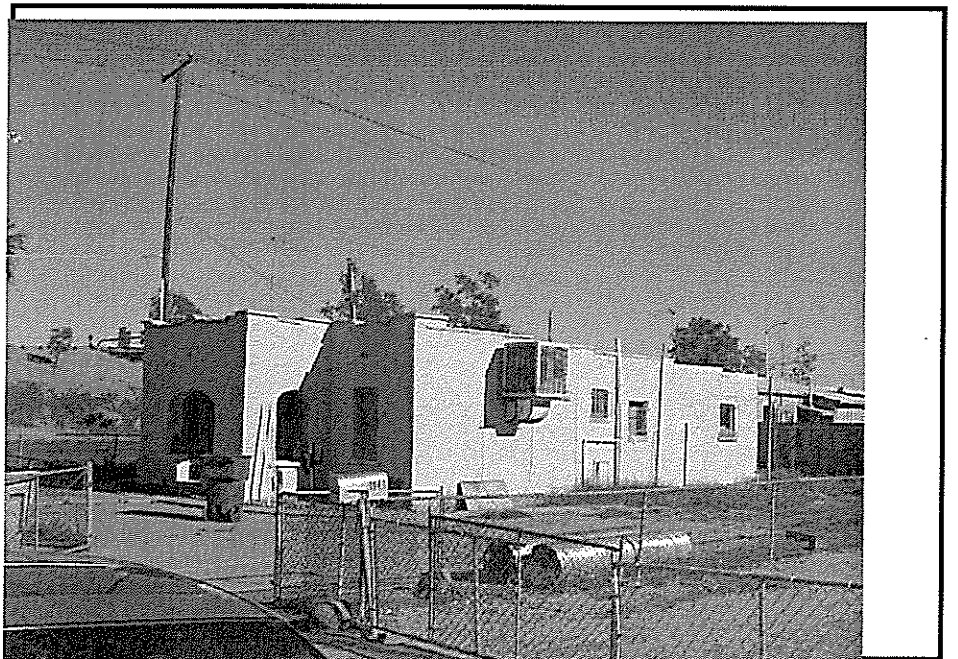
Sources

PHOTO INFORMATION

Date of Photo: 3/26/2005

View Direction: SE

Negative No: 3-18a



SIGNIFICANCE

Site No.: 1020530

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history which a property occurred or gain importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Addl. sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS

Describe any historic event/trends associated with the property.

This building is associated with the context of Community Planning and Development. It falls under the theme of housing: single-family residence (A).

B. PERSON List and describe persons with an important association with the building.

See Continuation Sheet

C. ARCHITECTURE. Style:

Rare example of Southwest style in Adobe (C)

no style

Stories

1

Basement

Roof form:

Flat w/corbeled parapets

Describe other character-defining features of its massing, size, and scale.:

Southwest style characteristics: stepped parapets, symmetrical facade, central porch, box-like massing, clay tile attic vents.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION Original Site

Moved:

date:

0

original site:

DESIGN Describe alterations from the original design, including dates.

Rear addition; sheathed with stucco

MATERIALS Describe the materials used in the following elements of the property.

Walls (structure): Adobe

Walls (sheathing): Stucco

Windows: Wood DH 1/1

Roof: Rolled asphalt

Foundation: Unknown

SETTING Describe the natural and/or built environment around the property.

The site is surrounded by a 3' chainlink fence with dirt yard and no vegetation.

How has the environment changed since the property was constructed?

Highway 51 is directly east of the house.

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction.:

Rare example of Southwest Style in adobe

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually listed

Contributor

Noncontributor to

Historic District

Date listed:

Determined eligible by Keeper of National Register

(date):

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district. More info is needed to evaluate.

If not considered eligible, state reason:

Reversible

FORM COMPLETED BY

Name and Affiliation: Ryden Architects

Date: 4/5/2005

Mailing Address: 902 W. McDowell Rd. Phoenix AZ 85007

Phone#: (602)253-5381

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM
CONTINUATION SHEET

Property Address: 1949 E. Madison Street

Sheet No. 1

SIGNIFICANCE

B. PERSONS:

This 1936 adobe house is currently owned by Jessie and Encaracion Hernandez who put it into a family trust in 2002. This property first appeared in the City Directory in 1940 with Severiano M. and Antonia Martinez as homeowners and Salvador Francis residing in the rear of the same address. They lived at this address through 1970. Two subsequent individuals lived at this address in 1975 through 1985.

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property

Continuation sheets may be attached if necessary.

Send completed form to : State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No: 1040251 Survey Area: Cuatro Milpas

Historic Name (s) House

(Enter the name(s), if any, that best reflects the property's historic importance.)

Address: 1127 S. 13th Street

City or Town Phoenix vicinity County: Maricopa Tax Parcel No: 11-54-2012

Township: Range: Section: Quarter Section: Acreage <1

Block: 0 Lot(s): 0 Plat (Addition) Year of Plat (addition) 0

UTM reference: Zone: 12 Easting: 401997 Northing: 3700076

USGS 7.5' Quadrangle Map: Phoenix

ARCHITECT not determined known Source:

BUILDER: not determined known Source:

CONSTRUCTION DATE: 1931 known estimated Source: County Assessor

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent)

Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTION

Describe how the property has been used over time, beginning with the original use.

DOMESTIC: residence

Sources

PHOTO INFORMATION

Date of Photo: 3/26/2005

View Direction: E

Negative No: 2-2



SIGNIFICANCE

Site No.: 1040251

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history which a property occurred or gain importan Describe the historic and architectural contexts of the property that may make it worthy of preservation. Addl. sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS Mexican-American Community (A).

Describe any historic event/trends associated with the property.

B. PERSON List and describe persons with an important association with the building.

See Continuation Sheet.

C. ARCHITECTURE. Style: Good example of Vernacular gable-front type. no style

Stories 1 Basement Roof form: Low-pitch gable

Describe other character-defining features of its massing, size, and scale.:

Gable-front type: simple rectangular plan; gable toward front; gable porch tucked beneath main roof overhang.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION Original Site Moved: date: 0 original site:

DESIGN Describe alterations from the original design, including dates.

carport addition; side addition; porch addition complementary to vernacular type.

MATERIALS Describe the materials used in the following elements of the property.

Walls (structure): Adobe Walls (sheathing): Stucco

Windows: Alum. Sliding

Roof: Corrugated metal Foundation: Unknown

SETTING Describe the natural and/or built environment around the property.

Dirt yard and grass with mature landscaping surrounded by 3' chainlink fence.

How has the environment changed since the property was constructed?

Unknown

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction.:

Typical example of a gable-front vernacular with gable porch; likely owner-built adobe.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually listed Contributor Noncontributor to Historic District

Date listed: Determined eligible by Keeper of National Register (date):

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district. More info is needed to evaluate.

If not considered eligible, state reason:

Reversible

FORM COMPLETED BY

Name and Affiliation: Ryden Architects

Date: 4/5/2005

Mailing Address: 902 W. McDowell Rd. Phoenix AZ 85007

Phone#: (602)253-5381

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM
CONTINUATION SHEET

Property Address: 1127 S. 13th Street

Sheet No. 1

SIGNIFICANCE

B. PERSONS:

This adobe house (as confirmed by a long time friend and neighbor). The homeowners were not available for an oral interview. The Maricopa County Assessor records do not have a date of construction recorded. The house is currently owned by Leo and Concepcion Joya. The property was deeded to them in 1977. This address first appears in the City Directory in 1970 under Leo Joya. A title search or further attempts to obtain an interview is necessary to obtain a building date for this structure.

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property

Continuation sheets may be attached if necessary.

Send completed form to : State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No: 1040252 Survey Area: Cuatro Milpas

Historic Name (s) House

(Enter the name(s), if any, that best reflects the property's historic importance.)

Address: 1131 S. 13th Street

City or Town Phoenix vicinity County: Maricopa Tax Parcel No: 11-54-2013

Township: Range: Section: Quarter Section: Acreage <1

Block: 0 Lot(s): 0 Plat (Addition) Year of Plat (addition) 0

UTM reference: Zone: 12 Easting: 401995 Northing: 3700051

USGS 7.5' Quadrangle Map: Phoenix

ARCHITECT not determined known Source:

BUILDER: not determined known Source:

CONSTRUCTION DATE: 1931 known estimated Source: County Assessor

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent)

Describe: General deterioration; poor repair methods; roof framing fatigue

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTION

Describe how the property has been used over time, beginning with the original use.

DOMESTIC: residence

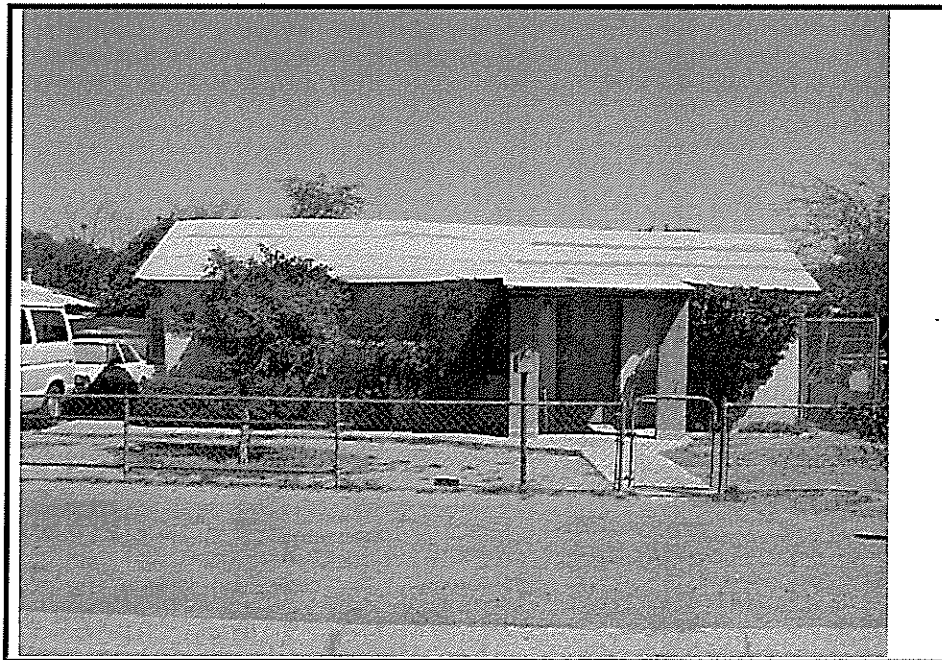
Sources

PHOTO INFORMATION

Date of Photo: 3/26/2005

View Direction: E

Negative No: 2-4



SIGNIFICANCE

Site No.: 1040252

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history which a property occurred or gain importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Addl. sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS Mexican-American Community (A). Describe any historic event/trends associated with the property.

B. PERSON List and describe persons with an important association with the building. See Continuation Sheet

C. ARCHITECTURE. Style: Good example of Vernacular in Adobe (C) no style

Stories 1 Basement Roof form: Low-pitch gable

Describe other character-defining features of its massing, size, and scale.:

Side-gable type: simple rectangular plan with gables toward sides; simple shed porch integrated with main roof.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION Original Site Moved: date: 0 original site:

DESIGN Describe alterations from the original design, including dates.

Rear addition sheathed with stucco and wood panels; windows replaced.

MATERIALS Describe the materials used in the following elements of the property.

Walls (structure): Adobe Walls (sheathing): Stucco; wood siding

Windows: Alum. Sliding

Roof: Rolled asphalt Foundation: Unknown

SETTING Describe the natural and/or built environment around the property.

Dirt and grass yard with mature landscaping surrounded by 3' chainlink fence.

How has the environment changed since the property was constructed?

Unknown

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction.:

Typical example of a side-gable vernacular house; likely an owner-built adobe.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually listed Contributor Noncontributor to Historic District

Date listed: Determined eligible by Keeper of National Register (date):

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district. More info is needed to evaluate.

If not considered eligible, state reason:

Reversible

FORM COMPLETED BY

Name and Affiliation: Ryden Architects Date: 4/5/2005

Mailing Address: 902 W. McDowell Rd. Phoenix AZ 85007 Phone#: (602)253-5381

HISTORIC PROPERTY INVENTORY FORM
CONTINUATION SHEET

Property Address: 1131 S. 13th Street

Sheet No. 1

SIGNIFICANCE

B. PERSONS:

This 1931 adobe house is erroneously listed in the County Assessor Records as being a frame house. Although the owners were not available for an interview the neighbor and long time friend confirmed that this house is constructed of adobe. The house is currently owned by Mary Soto and Alfredo Botello. The house was deeded to them in 1980. This house is not listed in the City Directory which suggests that there has never been a telephone. A title search and/or further attempts to interview the owners would be necessary to establish the building date for this structure.

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to : State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No: 1040346 Survey Area: Cuatro Milpas

Historic Name (s) House

(Enter the name(s), if any, that best reflects the property's historic importance.)

Address: 1402 S. 14th Street

City or Town Phoenix vicinity County: Maricopa Tax Parcel No: 11-54-2095

Township: Range: Section: Quarter Section: Acreage <1

Block: 0 Lot(s): 0 Plat (Addition) Year of Plat (addition) 0

UTM reference: Zone: 12 Easting: 402187 Northing: 3699998

USGS 7.5' Quadrangle Map: Phoenix

ARCHITECT not determined known Source:

BUILDER: not determined known Source:

CONSTRUCTION DATE: 1936 known estimated Source: County Assessor

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent)

Describe: General deterioration; poor repair methods

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTION

Describe how the property has been used over time, beginning with the original use.

DOMESTIC: residence

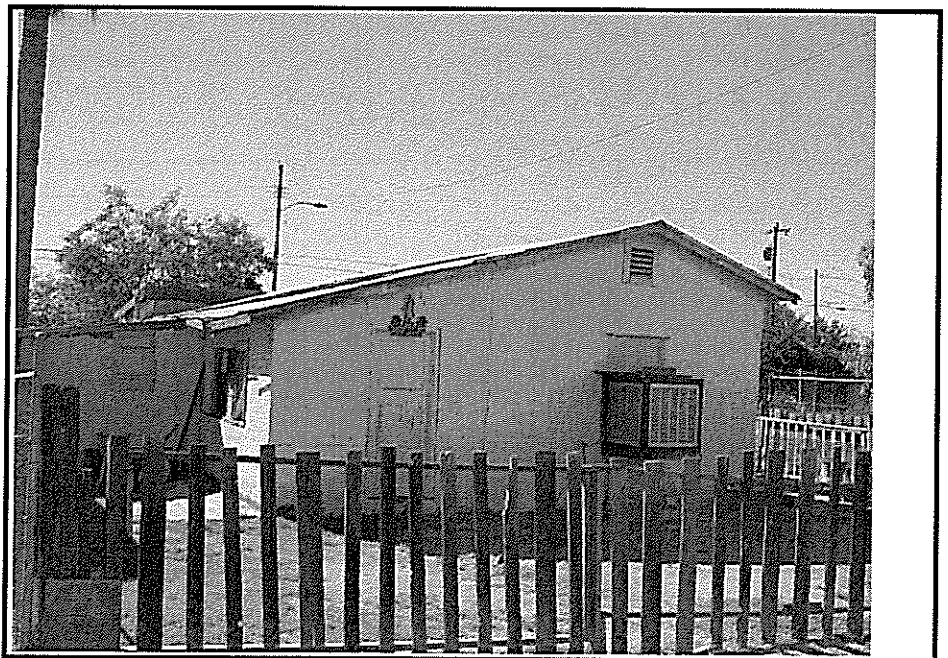
Sources

PHOTO INFORMATION

Date of Photo: 3/26/2005

View Direction: NW

Negative No: 2-21



SIGNIFICANCE

Site No.: 1040346

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history which a property occurred or gain important Describe the historic and architectural contexts of the property that may make it worthy of preservation. Addl. sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS Mexican-American Community (A). Describe any historic event/trends associated with the property.

B. PERSON List and describe persons with an important association with the building. See Continuation Sheet.

C. ARCHITECTURE. Style: Good example of Vernacular in Adobe (C) no style

Stories 1 Basement Roof form: Low-pitch gable

Describe other character-defining features of its massing, size, and scale.: Vernacular I-plan characteristics: single row of rooms; gable roof; shed-roofed additions.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION Original Site Moved: date: 0 original site:

DESIGN Describe alterations from the original design, including dates. Frame rear addition; side addition sheathed in stucco; in-filled window; evap cooler through window

MATERIALS Describe the materials used in the following elements of the property.

Walls (structure): Adobe Walls (sheathing): Stucco

Windows: Wood DH: Steel CMT

Roof: Rolled asphalt Foundation: Unknown

SETTING Describe the natural and/or built environment around the property.

Dirt yard with potted plants and small vegetation surrounded by low wood picket fence.

How has the environment changed since the property was constructed?

Unknown

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction.:

Rare example of a vernacular shotgun plan or I-plan adobe.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually listed Contributor Noncontributor to Historic District

Date listed: Determined eligible by Keeper of National Register (date):

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district. More info is needed to evaluate.

If not considered eligible, state reason:

Reversible

FORM COMPLETED BY

Name and Affiliation: Ryden Architects Date: 4/5/2005

Mailing Address: 902 W. McDowell Rd. Phoenix AZ 85007 Phone#: (602)253-5381

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM
CONTINUATION SHEET

Property Address: 1402 S. 14th Street

Sheet No. 1

SIGNIFICANCE

B. PERSONS:

This adobe house was constructed in 1936. The current occupants have rented the house ever since they were forced to move from the Golden Gate Neighborhood in 1970. The City Directory did not have any entries for this property until 1960. In 1960 the City Directory said that this property may be part of the Sanchez Junk Yard which was located across the street. In 1965 John Daly was listed in the City Directory. Subsequent years through 1985 had no entries for this property in the City Directory. The Maricopa County Assessor's Records show that Emilio and Helen Quinones have owned this property since 1958.

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to : State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No: 1040326 Survey Area: Cuatro Milpas

Historic Name (s) House

(Enter the name(s), if any, that best reflects the property's historic importance.)

Address: 1429 S. 13th Place

City or Town Phoenix vicinity County: Maricopa Tax Parcel No: 11-54-2078

Township: Range: Section: Quarter Section: Acreage <1

Block: 0 Lot(s): 0 Plat (Addition) Year of Plat (addition) 0

UTM reference: Zone: 12 Easting: 402095 Northing: 3699885

USGS 7.5' Quadrangle Map: Phoenix

ARCHITECT not determined known Source:

BUILDER: Philipe de Guttierrez not determined known Source: Interview w/Nora Thurman

CONSTRUCTION DATE: 1936 known estimated Source: County Assessor; interview

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent)

Describe:

Poor (major problems; imminent threat)

Describe:

Ruin/Uninhabitable

USES/FUNCTION

Describe how the property has been used over time, beginning with the original use.

DOMESTIC: residence

Sources

PHOTO INFORMATION

Date of Photo: 3/26/2005

View Direction: SE

Negative No: 2-17



SIGNIFICANCE

Site No.: 1040326

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history which a property occurred or gain importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Addl. sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS Mex-Am Community (A).

Describe any historic event/trends associated with the property.

B. PERSON List and describe persons with an important association with the building.

See Continuation Sheet

C. ARCHITECTURE. Style: Rare example of Southwest style in Adobe © no style

Stories 1 Basement Roof form: Flat w/parapets

Describe other character-defining features of its massing, size, and scale.:

Southwest style characteristics: stepped parapets, symmetry of features on portions of façade, cast concrete ornaments, attic vents, wing wall gateway, mexican tile porch roof, wrought iron grille.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION Original Site Moved: date: 0 original site:

DESIGN Describe alterations from the original design, including dates.

None.

MATERIALS Describe the materials used in the following elements of the property.

Walls (structure): Adobe Walls (sheathing): Stucco

Windows: Wood fixed sash

Roof: Rolled asphalt Foundation: Unknown

SETTING Describe the natural and/or built environment around the property.

Grass and various shrubs surrounded by wrought iron fence.

How has the environment changed since the property was constructed?

Unknown

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction.:

Very good example of Southwest Style in Adobe (owner-built)

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually listed Contributor Noncontributor to Historic District

Date listed: Determined eligible by Keeper of National Register (date):

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district. More info is needed to evaluate.

If not considered eligible, state reason:

Reversible

FORM COMPLETED BY

Name and Affiliation: Ryden Architects

Date: 4/5/2005

Mailing Address: 902 W. McDowell Rd. Phoenix AZ 85007

Phone#: (602)253-5381

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM
CONTINUATION SHEET

Property Address: 1429 S. 13th Place

Sheet No. 1

SIGNIFICANCE

B. PERSONS:

Nora Thurman currently owns this property. Her mother and father, Philipe and Rosa de Guttierrez were the original owners. They moved up from Mexico and built this adobe house themselves in 1936. When they passed away they quit deeded the house to their daughter Nora and Granddaughter Dora Rodarte. Dora in turn quit deeded the property back to her mother. Nora stated that the adobe house next door to her, 1427 S. 13th Place, which is very similar in style, was built by that neighbor four years after her house was constructed. The neighbor came over, told her father that he liked his house and asked if he could copy it. He proceeded to build his own house.

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No: 30.3428 Survey Area: Light Rail System Survey

Historic Name (s) Levi A. Allen House

(Enter the name(s), if any, that best reflects the property's historic importance.)

Address: 1430 E. Jefferson St.

City or Town Phoenix vicinity County: Maricopa Tax Parcel No 116-48-020

Township: Range: Section: Quarter Section: Acreage: <1

Block: 0 Lot(s): 0 Plat (Addition): Year of Plat (Addition) 0

UTM reference: Zone: 12 Easting: 0 Northing: 0

USGS 7.5' Quadrangle Map:

ARCHITECT not determined known Source:

BUILDE not determined known Source:

CONSTRUCTION DATE: 1930 known estimated Source: Maricopa County Assessor

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTION

Describe how the property has been used over time, beginning with the original use.

Residence; vacant

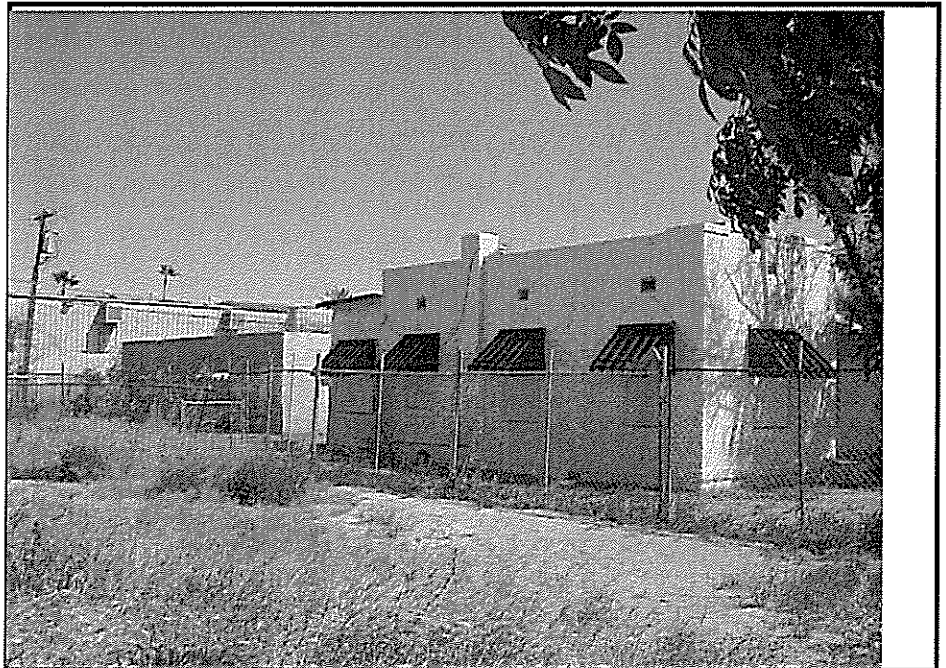
Sources

PHOTO INFORMATION

Date of Photo: 5/13/2003

View Direction: NW

Negative No: A17



SIGNIFICANCE

Site No: 30.3428

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history in which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Add'l. sheets should be attached as necessary.

A. HISTORIC EVENTS/TRENDS

Describe any historic event/trends associated with the property.

This building is associated with the context of Community Planning and Development. It falls under the theme of housing - single-family residence (A).

B. PERSON List and describe persons with an important association with the building.

See Attached.

C. ARCHITECTURE. Style:

Rare example of Southwest style in Adobe. (C)

no style

Stories

1

Basement

Roof form:

Flat w/parapets

Describe other character-defining features of its massing, size, and scale.:

The boxlike massing of this building is typical for this style of home. The front wood frame awning would have originally had red clay tile roofing, typical for the Southwest style. The scale of the building is typical for many homes along Jefferson.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION Original Site

Moved:

date:

0

original site:

DESIGN Describe alterations from the original design, including dates.

Windows boarded up; alum. awnings added above windows; rear addition of red brick with stucco

MATERIALS Describe the materials used in the following elements of the property.

Walls (structure): Adobe

Walls (sheathing):

Stucco

Windows: Unknown

Roof: Rolled asphalt

Foundation:

Concrete

SETTING Describe the natural and/or built environment around the property.

The building is surrounded by a dirt yard with a few mature trees

How has the environment changed since the property was constructed?

Unknown

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction.:

This building is a modest example of the Southwest style of architecture. Character-defining elements include light colored walls; a combination of red clay tile roofing set against parapet walls. It is one of few residences remaining along Jefferson Street.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually listed Contributor Noncontributor to

Historic District

Date listed:

Determined eligible by Keeper of National Register

(date):

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district. More info is needed to evaluate.

If not considered eligible, state reason:

Reversible

FORM COMPLETED BY

Name and Affiliation: Ryden Architects

Date: 5/15/2003

Mailing Address: 902 W. McDowell Rd. Phoenix AZ 85007

Phone#: (602)253-5381

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM
CONTINUATION SHEET

Property Address: 1430 E. Jefferson Street

Sheet No. 1

SIGNIFICANCE

B. PERSONS:

The main house at this address is constructed in 1930 of adobe masonry. A later addition of red brick, as is evidenced in several locations where the stucco has been compromised, was constructed at the rear. A cement block one story triplex was constructed at a later date at the rear of the property. This property is currently vacant, boarded up, and fenced off. No one was available to interview. In 1988 Arblee and Mary Bishop left this property to Carol and Virgil Berry. The first time this property was listed in the City Directory was in 1930 under the name of Levi and Hattie Allen. Hattie was a janitor at Kenilworth School. The Allen's lived at this address through 1970. In 1960, the City Directory shows three additional persons living in three apartments suggesting an approximate date of 1960 for the construction of the triplex. In 1975 Grace Towns was listed in the City Directory at this address. No one was listed in 1980 and 1985.

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property

Continuation sheets may be attached if necessary.

Send completed form to : State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No: 1030087 Survey Area: Campito

Historic Name (s) House

(Enter the name(s), if any, that best reflects the property's historic importance.)

Address: 800 S. 10th Place

City or Town Phoenix vicinity County: Maricopa Tax Parcel No: 116-39-059a

Township: Range: Section: Quarter Section: Acreage <1

Block: 0 Lot(s): 0 Plat (Addition) Year of Plat (addition) 0

UTM reference: Zone: 12 Easting: 401400 Northing: 3700538

USGS 7.5' Quadrangle Map: Phoenix

ARCHITECT not determined known Source:

BUILDER: not determined known Source:

CONSTRUCTION DATE: 1950 known estimated Source: County Assessor

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent)

Describe: General deterioration.

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTION

Describe how the property has been used over time, beginning with the original use.

DOMESTIC: residence

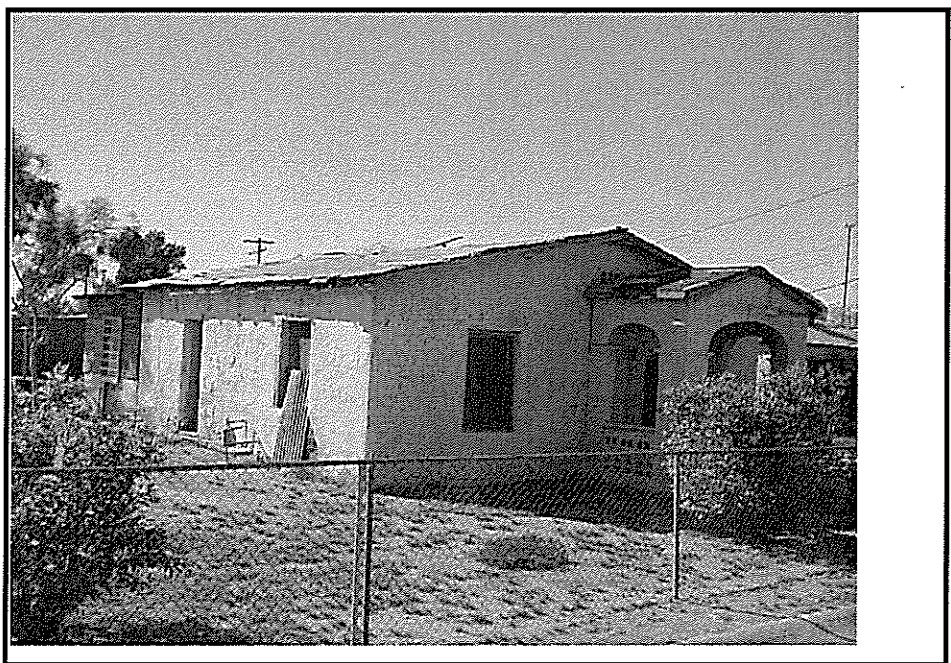
Sources

PHOTO INFORMATION

Date of Photo: 3/26/2005

View Direction: NW

Negative No: 3-1a



SIGNIFICANCE

Site No.: 1030087

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history which a property occurred or gain importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Addl. sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS Mexican-American Community (A).

Describe any historic event/trends associated with the property.

B. PERSON List and describe persons with an important association with the building.

See Attachment.

C. ARCHITECTURE. Style: Good example of Vernacular in Adobe (C) no style

Stories 1 Basement Roof form: Low-pitch gable

Describe other character-defining features of its massing, size, and scale.:

Simple rectangular plan with gable toward front; simple gabled porch with high style piers and arched openings, balustered railings at porch.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION Original Site Moved: date: 0 original site:

DESIGN Describe alterations from the original design, including dates.

Rear shed addition in keeping with scale and character; front porch added to up-grade vernacular facade.

MATERIALS Describe the materials used in the following elements of the property.

Walls (structure): Adobe Walls (sheathing): Stucco

Windows: Wood DH

Roof: Rolled asphalt Foundation: Unknown

SETTING Describe the natural and/or built environment around the property.

Dirt lot with various trees surrounded by 3' chainlink fence.

How has the environment changed since the property was constructed?

Unknown

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction.:

Good example of an adobe gable-front vernacular house, low-pitch gable-front, arched porch addition.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually listed Contributor Noncontributor to Historic District

Date listed: Determined eligible by Keeper of National Register (date):

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district. More info is needed to evaluate.

If not considered eligible, state reason:

Reversible

FORM COMPLETED BY

Name and Affiliation: Ryden Architects Date: 4/5/2005

Mailing Address: 902 W. McDowell Rd. Phoenix AZ 85007 Phone#: (602)253-5381

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property

Continuation sheets may be attached if necessary.

Send completed form to : State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No: 1040286 Survey Area: Cuatro Milpas

Historic Name (s) House
(Enter the name(s), if any, that best reflects the property's historic importance.)

Address: 1401 S. 13th Street

City or Town Phoenix vicinity County: Maricopa Tax Parcel No: 11-54-2016

Township: Range: Section: Quarter Section: Acreage <1

Block: 0 Lot(s): 0 Plat (Addition) Year of Plat (addition) 0

UTM reference: Zone: 12 Easting: 402006 Northing: 3699999

USGS 7.5' Quadrangle Map: Phoenix

ARCHITECT not determined known Source:

BUILDER: not determined known Source:

CONSTRUCTION DATE: 1956 known estimated Source: County Assessor

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent) Describe: General deterioration and non-aesthetic repairs.

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTION

Describe how the property has been used over time, beginning with the original use.

DOMESTIC: residence

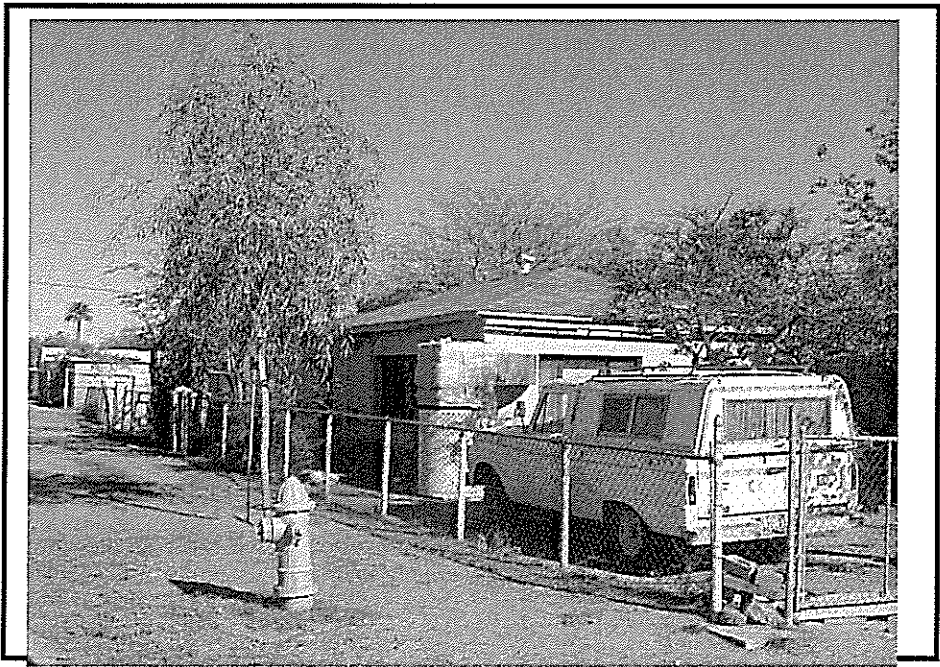
Sources

PHOTO INFORMATION

Date of Photo: 3/26/2005

View Direction: E

Negative No: 3-8a



SIGNIFICANCE

Site No.: 1040286

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history which a property occurred or gain importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Addl. sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS Mexican-American Community (A).
Describe any historic event/trends associated with the property.

B. PERSON List and describe persons with an important association with the building. See Attachment.

C. ARCHITECTURE. Style: Good example of Vernacular in Adobe no style

Stories 1 Basement Roof form: Med-pitch hip

Describe other character-defining features of its massing, size, and scale.:

No ornamentation.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION Original Site Moved: date: 0 original site:

DESIGN Describe alterations from the original design, including dates.

Rear and carport additions; aluminum windows as replacements

MATERIALS Describe the materials used in the following elements of the property.

Walls (structure): Adobe Walls (sheathing): Stucco

Windows: Aluminum sliding

Roof: Asphalt shingles Foundation: Unknown

SETTING Describe the natural and/or built environment around the property.

Dirt yard with mature landscaping surrounded by 4' chainlink fence.

How has the environment changed since the property was constructed?

Unknown

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction.:

Rare example of a hipped-roof vernacular house. Unusual roof type for vernacular; gable roofs most common. Also a late adobe to be built in the vernacular tradition

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually listed Contributor Noncontributor to Historic District

Date listed: Determined eligible by Keeper of National Register (date):

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district. More info is needed to evaluate.

If not considered eligible, state reason: Reversible

FORM COMPLETED BY

Name and Affiliation: Ryden Architects Date: 4/5/2005

Mailing Address: 902 W. McDowell Rd. Phoenix AZ 85007 Phone#: (602)253-5381

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property

Continuation sheets may be attached if necessary.

Send completed form to : State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007.

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No: Survey Area: 32nd Street

Historic Name (s) House
(Enter the name(s), if any, that best reflects the property's historic importance.)

Address: 3249 E. Madison Street

City or Town Phoenix vicinity County: Maricopa Tax Parcel No: 12-12-1069

Township: Range: Section: Quarter Section: Acreage <1

Block: 0 Lot(s): 0 Plat (Addition) Year of Plat (addition) 0

UTM reference: Zone: 12 Easting: 406060 Northing: 3701205

USGS 7.5' Quadrangle Map: Phoenix

ARCHITECT not determined known Source:

BUILDER: not determined known Source:

CONSTRUCTION DATE: 1933 known estimated Source: County Assessor

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent)

Describe:

Poor (major problems; imminent threat)

Describe:

Ruin/Uninhabitable

USES/FUNCTION

Describe how the property has been used over time, beginning with the original use.

DOMESTIC: residence

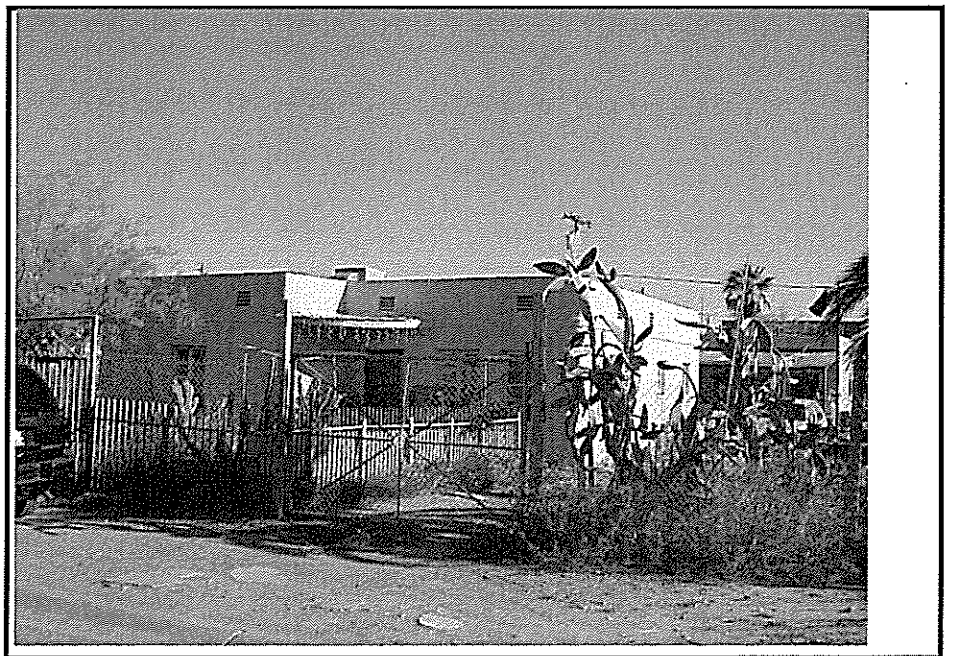
Sources

PHOTO INFORMATION

Date of Photo: 3/26/2005

View Direction: SE

Negative No: 3-19a



SIGNIFICANCE

Site No.: _____

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history which a property occurred or gain importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Addl. sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS Mexican-American Community (A).
Describe any historic event/trends associated with the property.

B. PERSON List and describe persons with an important association with the building. See attachment.

C. ARCHITECTURE. Style: Rare (perhaps unique) Art Moderne in Adobe (C) no style

Stories: 1 Basement Roof form: Flat w/parapets

Describe other character-defining features of its massing, size, and scale.:

Art Moderne Characteristics: continuous belt course at ceiling level, rounded corners, quarter-round cantilevered front porch roof, steel casement windows, symmetrically placed attic ventilators, box-like massing, parapets

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION Original Site Moved: date: 0 original site: _____

DESIGN Describe alterations from the original design, including dates.

Sheathed w/stucco

MATERIALS Describe the materials used in the following elements of the property.

Walls (structure): Adobe Walls (sheathing): Stucco

Windows: Steel CMT

Roof: Rolled asphalt Foundation: Unknown

SETTING Describe the natural and/or built environment around the property.

Various cacti, dirt and mature landscaping surrounded by 3' wood picket fence.

How has the environment changed since the property was constructed?

Unknown

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction.:

Rare (if not unique) example of Art Moderne in adobe

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually listed Contributor Noncontributor to _____ Historic District

Date listed: _____ Determined eligible by Keeper of National Register (date): _____

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district. More info is needed to evaluate.

If not considered eligible, state reason:

Reversible

FORM COMPLETED BY

Name and Affiliation: Ryden Architects Date: 4/5/2005

Mailing Address: 902 W. McDowell Rd. Phoenix AZ 85007 Phone#: (602)253-5381

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No: 30.3423 Survey Area: Light Rail System Survey

Historic Name (s) Zoe E. Hayes House

(Enter the name(s), if any, that best reflects the property's historic importance.)

Address: 1412 E. Jefferson St.

City or Town Phoenix vicinity County: Maricopa Tax Parcel No 116-48-015

Township: Range: Section: Quarter Section: Acreage: <1

Block: 0 Lot(s): 0 Plat (Addition): Year of Plat (Addition) 0

UTM reference: Zone: 12 Easting: 0 Northing: 0

USGS 7.5' Quadrangle Map:

ARCHITECT not determined known Source:

BUILDER: not determined known Source:

CONSTRUCTION DATE: 1929 known estimated Source: Telephone Directories

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent)

Describe: General deterioration of exterior finishes.

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTION

Describe how the property has been used over time, beginning with the original use.

Residence

Sources

PHOTO INFORMATION

Date of Photo: 5/13/2003

View Direction: NE

Negative No: A19



SIGNIFICANCE

Site No: 30.3423

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history in which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Add'l. sheets should be attached as necessary.

A. HISTORIC EVENTS/TRENDS

Describe any historic event/trends associated with the property.

This building is associated with the context of Community Planning and Development. It falls under the theme of housing - single-family residence (A).

B. PERSON List and describe persons with an important association with the building.

See Attachment

C. ARCHITECTURE. Style:

Rare example of Vernacular, two-story house no style

Stories: 2 Basement Roof form: Med-ditch intersecting gable

Describe other character-defining features of its massing, size, and scale.:

The two-story massing of this building is not typical for the homes along this stretch of Jefferson Street. It is one of the larger homes remaining in this area.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION Original Site Moved: date: 0 original site:

DESIGN Describe alterations from the original design, including dates.

Some windows infilled to accommodate smaller windows; second floor porch infilled as a room.

MATERIALS Describe the materials used in the following elements of the property.

Walls (structure): Wood Frame Walls (sheathing): Wood siding

Windows: Wood DH

Roof: Asphalt shingles Foundation: Unknown

SETTING Describe the natural and/or built environment around the property.

The building is surrounded by dirt yard with 3' chainlink fence.

How has the environment changed since the property was constructed?

Unknown

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction.:

This building is a good example of early 20th Century vernacular architecture. The simplistic massing and detailing of this residence characterize its Vernacular style. The infill of some of the windows slightly detracts from the original character, but the wood trim remains to give the impression of the original window size.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually listed Contributor Noncontributor to Historic District

Date listed: Determined eligible by Keeper of National Register (date):

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a listed or potential historic district. More info is needed to evaluate.

If not considered eligible, state reason:

Reversible

FORM COMPLETED BY

Name and Affiliation: Ryden Architects

Date: 5/15/2003

Mailing Address: 902 W. McDowell Rd. Phoenix AZ 85007

Phone#: (602)253-5381

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM
CONTINUATION SHEET

Property Address: 1412 E. Jefferson Street

Sheet No. 1

SIGNIFICANCE

B. PERSONS:

This two story 1930 wood framed house is architecturally unique to the neighborhood. No one was home to interview. The City Directory states that in 1930 Zoe Hayes owned the house and Cora Jones, a teacher at Dunbar School resided there. Cora was listed as the owner and sole occupant in 1935. By 1940, Cora M. Jones(Homeowner) was still a teacher at Dunbar School; along with Elena M Knox, a teacher at Booker T Washington School; and Palmerston Landry, the Principal of Booker T. Washington School all resided at this location. These three lived in the house until 1960. In 1965, Lester B. and Quintella Jacksons owned the house. There were no more entries in the City Directory through 1985. Patrick Brown has owned the house since 1986 according to the Maricopa County Assessor Records.

CITY OF PHOENIX / STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Use continuation sheets where necessary. Send completed forms to City of Phoenix Historic Preservation Office, 200 W. Washington, 17th Floor, Phoenix, AZ 85003 for listing on Phoenix Historic Property Register, or Arizona State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007 for listing on Arizona/National Register of Historic Places.

PROPERTY IDENTIFICATION

For properties identified through survey: Site No: AAHPS-001 Survey Area: African American Historic Property Survey

Historic Name(s): Aubrey & Winstona Aldridge House

(Enter the name(s), if any, that best reflects the property's historic importance.)

Address: 1326 E. Jefferson

City or Town: Phoenix vicinity County: Maricopa Tax Parcel No.: 116-47-040

Township: IN Range: 3E Section: 9 Quarter Section: 10-30 Acreage: 7000 sq.ft.

Block: Lot(s): 19 Plat (Addition): Collins Phoenix Year of Plat: 1887

UTM reference: Zone: Easting: Northing: USGS 7.5' quad map: Phoenix

Architect: not determined known source:

Builder: not determined known source:

Construction Date: 1951 estimated known source: City Directories, 1951-1970

STRUCTURAL CONDITION:

Good (Well-maintained; no serious problems apparent)

Fair (Some problems apparent) Describe:

Poor (Major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use:

Historic Use: Domestic

Single Dwelling

Building Type: Individual Residence

Present Use:

Sources:

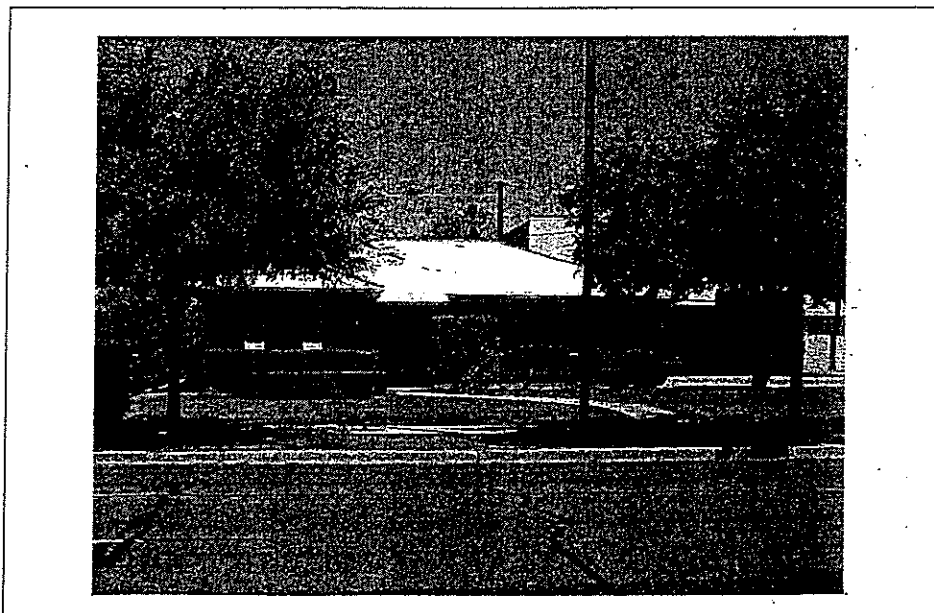
PHOTO INFORMATION

Date of photo: 08/15/04

View Direction (looking towards):

North

Negative No.:



SIGNIFICANCE

To be eligible for the Phoenix/Arizona/National Register, a property must represent an important part of the history or architecture of an area.
 Note: a property need only be significant under one of the areas below to be eligible.

- A. HISTORIC EVENTS/TRENDS (On a continuation sheet describe how the property is associated either with a significant historic event or with a trend or pattern of events important to the history of the nation, the state, or the local community.)
- B. PERSONS (On a continuation sheet describe how the property is associated with the life of a person significant in the past.)
- C. ARCHITECTURE (On a continuation sheet describe how the property embodies the distinctive characteristics of a type, period, or method of construction, or represents the work of a master, or possesses high artistic values.)

Outbuildings: (Describe any other buildings or structures on the property and whether they may be considered historic.)

INTEGRITY

To be eligible for the Phoenix/Arizona/National Register, a property must have integrity, that is, it must be able to visually convey its importance. Provide detailed information below about the property's integrity. Use continuation sheets if necessary.

1. LOCATION Original Site Moved date: _____ Original Site: _____
2. DESIGN (Describe alterations from the original design, including dates—known or estimated—when alterations were made)
 Transitional / Early French Provincial Ranch style house with hip roof, steel casement windows and red brick walls.
3. SETTING (Describe the natural and/or built environment around the property)
 Located along major street.

Describe how the setting has changed since the property's period of significance:

Many adjacent residential properties have been replaced by vacant lots and commercial encroachment.

4. MATERIALS (Describe the materials used in the following elements of the property)
 Walls (structure): Red brick Foundation: Concrete slab Roof: Asphalt shingles/tile ridges
 Windows: Steel casement
 If the windows have been altered, what were they originally? _____
 Wall Sheathing: Unpainted brick, running bond pattern
 If the sheathing has been altered, what was it originally? _____
5. WORKMANSHIP (Describe the distinctive elements, if any, of craftsmanship or method of construction)

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually listed Contributor Non-contributor to _____ Historic District
 Date Listed: _____ Determined eligible by keeper of National Register date: _____

RECOMMENDATIONS OF ELIGIBILITY (opinion of HPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a potential historic district.

More information needed to evaluate

If not considered eligible, state reason: _____

FORM COMPLETED BY

Name and Affiliation: David Dean / Athenaeum Public History Group

Date: 09/30/04

Mailing Address: 628 W. Portobello Ave, Mesa AZ 85210

Phone No.: (480)251-7177

CITY OF PHOENIX / STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM
CONTINUATION SHEET

AAHPS-001

name of property Aubrey & Winstona Aldridge House

Continuation Sheet No. 1

SIGNIFICANCE

B. PERSONS:

Associated with Historic Context African American History in Phoenix, 1868-1970.

Aubrey Aldridge was an important African American educator in Phoenix. He served as the first principal of Paul Laurence Dunbar Elementary and later Mary McLeod Bethune Elementary School. Winstona Hackett Aldridge was an important teacher first at Dunbar School and then at Booker T. Washington School. Aubrey Aldridge was also one of the first members of the Desert Mashie Golf Club, the first African American Golf Club in Phoenix.

CITY OF PHOENIX / STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Use continuation sheets where necessary. Send completed forms to City of Phoenix Historic Preservation Office, 200 W. Washington, 17th Floor, Phoenix, AZ 85003 for listing on Phoenix Historic Property Register, or Arizona State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007 for listing on Arizona/National Register of Historic Places.

PROPERTY IDENTIFICATION

For properties identified through survey: Site No: AAHPS-037 Survey Area: African American Historic Property Survey

Historic Name(s): W. A. Robinson House

(Enter the name(s), if any, that best reflects the property's historic importance.)

Address: 1314 E. Jefferson

City or Town: Phoenix vicinity County: Maricopa Tax Parcel No.: 116-47-037

Township: 1N Range: 3E Section: 9 Quarter Section: 10-30 Acreage:

Block: Lot(s): 16 Plat (Addition): Collins Phoenix Year of Plat:

UTM reference: Zone: Easting: Northing: USGS 7.5' quad map: Phoenix

Architect: not determined known source:

Builder: not determined known source:

Construction Date: 1935 estimated known source: Maricopa County Assessor

STRUCTURAL CONDITION:

Good (Well-maintained; no serious problems apparent)

Fair (Some problems apparent) Describe:

Poor (Major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use:

Historic Use: Domestic

Single dwelling

Building Type: Individual Residence

Present Use:

Sources:

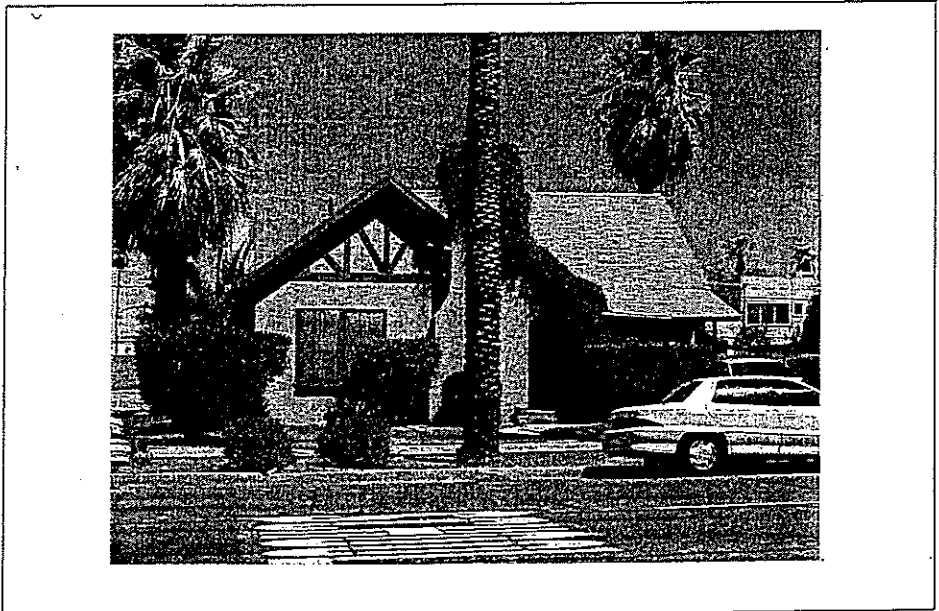
PHOTO INFORMATION

Date of photo: 08/15/04

View Direction (looking towards):

North

Negative No.:



SIGNIFICANCE

To be eligible for the Phoenix/Arizona/National Register, a property must represent an important part of the history or architecture of an area. Note: a property need only be significant under one of the areas below to be eligible.

- A. HISTORIC EVENTS/TRENDS (On a continuation sheet describe how the property is associated either with a significant historic event or with a trend or pattern of events important to the history of the nation, the state, or the local community.)
- B. PERSONS (On a continuation sheet describe how the property is associated with the life of a person significant in the past.)
- C. ARCHITECTURE (On a continuation sheet describe how the property embodies the distinctive characteristics of a type, period, or method of construction, or represents the work of a master, or possesses high artistic values.)

Outbuildings: (Describe any other buildings or structures on the property and whether they may be considered historic.)

INTEGRITY

To be eligible for the Phoenix/Arizona/National Register, a property must have integrity, that is, it must be able to visually convey its importance. Provide detailed information below about the property's integrity. Use continuation sheets if necessary.

- 1. LOCATION Original Site Moved date: _____ Original Site: _____
- 2. DESIGN (Describe alterations from the original design, including dates—known or estimated—when alterations were made)
1 Story; Recessed entry, off-center, late door; Cross-gable roof w/ asphalt shingles; Eaves: exposed rafters; Half-timber detailing at gable wall; Canopy porch
- 3. SETTING (Describe the natural and/or built environment around the property)

Describe how the setting has changed since the property's period of significance:

- 4. MATERIALS (Describe the materials used in the following elements of the property)
Walls (structure): Wood frame Foundation: Concrete Roof: Asphalt shingle
Windows: Unknown, screened, wood-double hung-multi lite, some boarded
If the windows have been altered, what were they originally? _____
Wall Sheathing: Stucco
If the sheathing has been altered, what was it originally? _____
- 5. WORKMANSHIP (Describe the distinctive elements, if any, of craftsmanship or method of construction)

NATIONAL REGISTER STATUS (if listed: check the appropriate box)

Individually listed Contributor Non-contributor to _____ Historic District
Date Listed: _____ Determined eligible by keeper of National Register date: _____

RECOMMENDATIONS OF ELIGIBILITY (opinion of HPO staff or survey consultant)

Property is is not eligible individually.
Property is is not eligible as a contributor to a potential historic district.
 More information needed to evaluate
If not considered eligible, state reason: _____

FORM COMPLETED BY

Name and Affiliation: David Dean / Athenaeum Public History Group Date: 09/30/04
Mailing Address: 628 W. Portobello Ave, Mesa AZ 85210 Phone No.: (480)251-7177

CITY OF PHOENIX / STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM
CONTINUATION SHEET

AAHPS-037

name of property W.A. Robinson House

Continuation Sheet No. 1

SIGNIFICANCE

B. PERSONS:

Associated with Historic Context African American History in Phoenix, 1868-1970.

W.A. Robinson was an important educator and civil rights activist in Phoenix. In 1945, Robinson became principal of George Washington Carver High School until it closed in 1954. He reorganized the school and heightened its educational standards. Robinson recruited African American teachers from throughout the nation. Some of these outstanding teachers, who all held Master's degrees, included Arlena Seneca, Gussie Wilson, Mattie Hackett Moore, Alice Marriot, Bettye Fairfax, Deloris Adkins, Thelma Shaw, and Estelle Burnette. Robinson held a B.A. from Atlanta University, and a B.S. and M.S. from Columbia University. He wrote education-related articles in journals, and was active in the community. Robinson was one of the first members of the Phoenix Urban League, organized in 1943. He was a "go-getter" who refused to accept cast-off equipment, books and supplies from the Phoenix Union High School District. In a diplomatic, but persistent way, he pushed to improve the facility and supplies at Carver High, in order to build the best possible school. When Carver closed, Robinson took on a new job in administration for the Phoenix Union High School district. W. A. Robinson lived in this house for over thirty years and throughout his career as an educator and community leader. With Carver High School associated with so many important individuals, this property is best associated with Robinson in recognition of his achievements and contributions to the African American community through out his professional and personal life.

CITY OF PHOENIX / STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Use continuation sheets where necessary. Send completed forms to City of Phoenix Historic Preservation Office, 200 W. Washington, 17th Floor, Phoenix, AZ 85003 for listing on Phoenix Historic Property Register, or Arizona State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007 for listing on Arizona/National Register of Historic Places.

PROPERTY IDENTIFICATION

For properties identified through survey: Site No: AAHPS-014 Survey Area: African American Historic Property Survey

Historic Name(s): Calvin and Georgie Goode House

(Enter the name(s), if any, that best reflects the property's historic importance.)

Address: 1508 - 1510 E. Jefferson

City or Town: Phoenix vicinity County: Maricopa Tax Parcel No.: 116-48-039

Township: 1N Range: 3E Section: 9 Quarter Section: 10-29 Acreage: 7000 sq. ft.

Block: Lot(s): 15 Plat (Addition): Collins Phoenix Year of Plat:

UTM reference: Zone: Easting: Northing: USGS 7.5' quad map: Phoenix

Architect: not determined known source:

Builder: not determined known source:

Construction Date: 1951 estimated known source: City Directories, Calvin Goode records

STRUCTURAL CONDITION:

Good (Well-maintained; no serious problems apparent)

Fair (Some problems apparent) Describe:

Poor (Major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use:

Historic Use: Domestic

Duplex

Building Type: Individual Residence

Present Use:

Sources: City Directories, 1956-1970

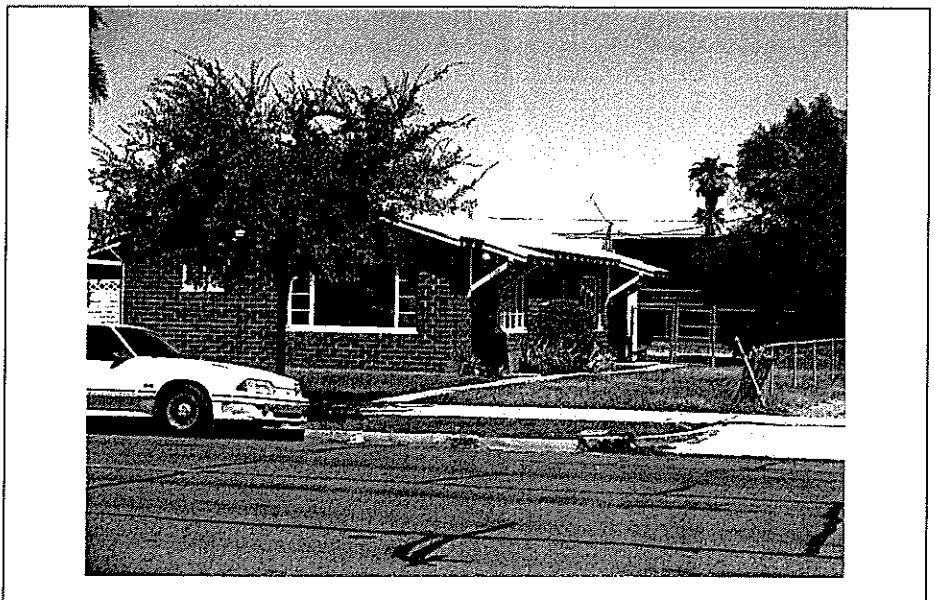
PHOTO INFORMATION

Date of photo: 08/15/04

View Direction (looking towards):

Northwest

Negative No.:



SIGNIFICANCE

To be eligible for the Phoenix/Arizona/National Register, a property must represent an important part of the history or architecture of an area.
 Note: a property need only be significant under one of the areas below to be eligible.

- A. HISTORIC EVENTS/TRENDS (On a continuation sheet describe how the property is associated either with a significant historic event or with a trend or pattern of events important to the history of the nation, the state, or the local community.)
- B. PERSONS (On a continuation sheet describe how the property is associated with the life of a person significant in the past.)
- C. ARCHITECTURE (On a continuation sheet describe how the property embodies the distinctive characteristics of a type, period, or method of construction, or represents the work of a master, or possesses high artistic values.)

Outbuildings: (Describe any other buildings or structures on the property and whether they may be considered historic.)

INTEGRITY

To be eligible for the Phoenix/Arizona/National Register, a property must have integrity, that is, it must be able to visually convey its importance. Provide detailed information below about the property's integrity. Use continuation sheets if necessary.

1. LOCATION Original Site Moved date: _____ Original Site: _____
2. DESIGN (Describe alterations from the original design, including dates—known or estimated—when alterations were made)
 Duplex in the Early / Transitional Ranch style; 1 building L-shape plan, the other rectangular.
 Business side includes "storefront" window and business entrance with off-set projecting porch
3. SETTING (Describe the natural and/or built environment around the property)
 Major street across from Eastlake Park

Describe how the setting has changed since the property's period of significance:

4. MATERIALS (Describe the materials used in the following elements of the property)
 Walls (structure): concrete block / brick Foundation: concrete slab Roof: low-pitch, gable
 Windows: steel casement
 If the windows have been altered, what were they originally? _____
 Wall Sheathing: painted concrete block one half of duplex / natural brick the other half of duplex
 If the sheathing has been altered, what was it originally? _____
5. WORKMANSHIP (Describe the distinctive elements, if any, of craftsmanship or method of construction)
-

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually listed Contributor Non-contributor to _____ Historic District
 Date Listed: _____ Determined eligible by keeper of National Register date: _____

RECOMMENDATIONS OF ELIGIBILITY (opinion of HPO staff or survey consultant)

Property is is not eligible individually.
 Property is is not eligible as a contributor to a potential historic district.
 More information needed to evaluate
 If not considered eligible, state reason: _____

FORM COMPLETED BY

Name and Affiliation: David Dean / Athenaeum Public History Group Date: 09/30/04
 Mailing Address: 628 W. Portobello Ave, Mesa AZ 85210 Phone No.: (480)251-7177

CITY OF PHOENIX / STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM
CONTINUATION SHEET

AAHPS-014

name of property Calvin and Georgie Goode House

Continuation Sheet No. 1

SIGNIFICANCE

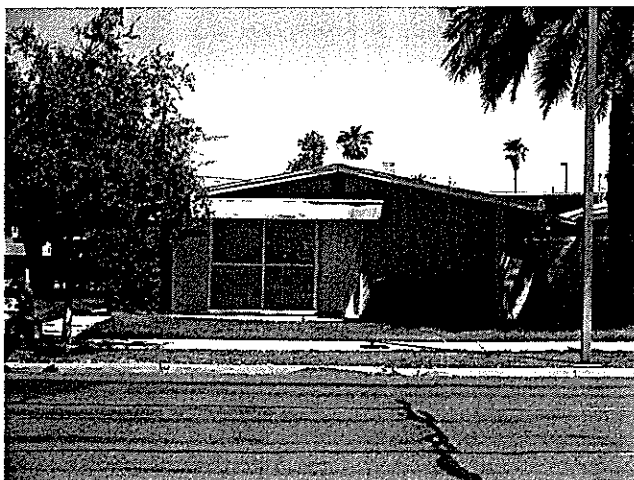
B. PERSONS:

Associated with Historic Context African American History in Phoenix, 1868-1970.

Calvin Goode is a well-known City Councilman, businessman, community activist and neighborhood stalwart. Goode obtained a business degree from Arizona State College and established his own accounting business after 1955. In 1972, Goode ran and was elected to the Phoenix City Council, where he served for over 20 years. He secured many improvements for the Black community, such as the bridge over the Salt River at 16th Street. For years, he ably advocated for jobs and job training, improved programs for youth and a program to ensure that small businesses owned by women and minorities receive a proportionate share of city business. He was the longest-tenured councilman in Phoenix's history, and also served twice as Vice-Mayor.

ELIGIBLE

Although the house was constructed before 1955, Mr. Goode's period of significance is associated with his accomplishments as Councilman and activist in Phoenix after 1970. It is recommended as not eligible for designation until the associated achievements from the period of significance has achieved fifty years



West side of duplex facing North

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION PHOENIX CITY-WIDE SURVEY
 OF HISTORIC AGRICULTURAL
 SURVEY AREA NAME: AND RURAL BUILDINGS

COUNTY: MARICOPA SURVEY SITE: 644
 USGS QUAD: PHOENIX
 T1N R 3E S 9 / SW 1/4 OF THE SW 1/4
 UTM

HISTORIC NAME: W.W. JONES HOUSE

ADDRESS/LOCATION: 1008 E. BUCKEYE

CITY/TOWN: PHOENIX, ARIZONA

TAX PARCEL NUMBER: _____

OWNER: _____

OWNER ADDRESS: _____

Description (contd.)

ROOF TYPE: HIP W/ DORMER

ROOF SHEATHING: WOOD SHINGLES

EAVES TREATMENT: WD DH 1/1

EXPOSED RAFTERS

WINDOWS: WD DH 1/1

HISTORIC USE: RESIDENCE

PRESENT USE: RESIDENCE

BUILDING TYPE: HOUSE

STYLE: VERNACULAR

CONSTRUCTION DATE: 1879

ARCHITECT/BUILDER: UNKNOWN

INTEGRITY: ALTERED: MINOR

CONDITION: FAIR

ENTRY: CENTRAL

WOOD

PORCHES: WRAPAROUND VERANDA

STOREFRONTS: N/A

DESCRIPTION

STORIES: 1 DIMENSIONS: (1) (w)

STRUCTURAL MATERIAL: ADOBE

FOUNDATION MATERIAL: STONE

WALL SHEATHING: STUCCO

APPLIED ORNAMENT: _____

NOTABLE INTERIOR: UNKNOWN

OUTBUILDINGS: _____

ALTERATIONS: _____

PHOTOGRAPH _____

PHOTOGRAPHER: WOODWARD/OSMON

SKETCH MAP:



RECOMMENDED ELIGIBLE FOR NATIONAL REGISTER

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE ___ COMMUNITY PLANNING ___ ECONOMICS ___
EXPLORATION/SETTLEMENT ___ GOVERNMENTAL ___ MILITARY ___ RELIGION ___ SCIENCE ___
THEATRE ___ TRANSPORTATION ___ TOURISM ___ OTHER (specify) AGRICULTURE

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S)

RELATIONSHIP TO LOCAL DEVELOPMENT Representative of Pre-1911 farming/agricultural development.

CULTURAL AFFILIATIONS Illustrates vernacular design of traditional farmstead architecture.

ARCHITECTURAL STYLE

MAJOR ARCH. FORM/MATERIAL

ENGINEERING/STRUCTURAL

DISTRICT/STREETScape CONTRIBUTION

DISCUSSION AS REQUIRED:

CONTEXT: ISOLATED/RURAL ___ RESIDENTIAL STREET ___ COMMERCIAL xxx CENTRAL SQUARE ___
CBD: ___ OTHER: ___

BIBLIOGRAPHY/SOURCES:

LISTING IN OTHER SURVEYS:

NATIONAL REGISTER STATUS:

LISTED ___ DETERMINED ELIGIBLE ___ DETERMINED NOT ELIGIBLE ___ NOT EVALUATED ___

COMMENTS/DEVELOPMENT PLANS/THREATS:

SYOR _____ SURVEY DATE SEPT 1990 DATE FORM COMPLETED OCT 1990