



City of Phoenix

PLANNING AND DEVELOPMENT DEPARTMENT

Staff Report: Z-10-18-8

May 1, 2018

South Mountain [Village Planning Committee](#) Hearing Date May 8, 2018

[Planning Commission](#) Hearing Date June 7, 2018

Request From

[R1-14 BAOD](#) (5.51 acres)
[R1-14 BAOD](#) (Approved [C-1 BAOD](#)) (2.16 acres)
[R1-14 BAOD](#) (Approved [R1-10 BAOD](#)) (2.88 acres)

Request To

[C-1 BAOD](#) (10.55 acres)

Proposed Use

Commercial and medical uses

Location

Northwest corner of 27th Street and Baseline Road

Owner

Baseline 25, LLC, etc.

Applicant/Representative

Randall Raskin, Partner Investments 7

Staff Recommendation

Approval, subject to stipulations

[General Plan Conformity](#)

[General Plan Land Use Designation](#)

Residential 1 to 2 dwelling units per acre (10.95 acres)
 Residential 5 to 10 dwelling units per acre (4.60 acres)
 Pending: Commercial (GPA-SM-2-18-8) (15.55 acres)

[Street Map Classification](#)

Baseline Road	Major Arterial Scenic Drive	60 foot north half street
Ellis Street	Local	Approximately 50 feet
25th Street	Local	Varies: 0 to 30-foot east half street
27th Street	Local	Varies: 0 to 25-foot west half street

CONNECT PEOPLE AND PLACES; CORES, CENTERS, & CORRIDORS; LAND USE PRINCIPLE: Locate land uses with the greatest height and most intense uses within village cores, centers and corridors based on village character, land use needs, and transportation system capacity.

The request is consistent with the land use pattern in the surrounding area given the subject site's location in an emerging Village center identified in the General Plan.

Additionally, the site is in close proximity to a major commercial shopping center, park and ride facility, major educational institution, public library, and is located along a major arterial street containing a proposed bus rapid transit line.

CONNECT PEOPLE AND PLACES; CORES, CENTERS, & CORRIDORS; DESIGN PRINCIPLE: *Encourage centers to provide a pedestrian environment with plazas, common open space, shaded walkways, separation of pedestrian and vehicular traffic, bicycle parking, and vehicle parking in architecturally disguised structures or underground where feasible.*

As stipulated, the subject site will be developed with a multi-use trail along Baseline Road and enhanced pedestrian connections from the site to the Western Canal. The site is also subject to the regulations of the Baseline Area Overlay District which contains design guidelines regarding shaded pedestrian walkways and parking areas.

CONNECT PEOPLE AND PLACES; CANALS & TRAILS; DESIGN PRINCIPLE: *Plan, design, and develop pedestrian linkages between parks, open spaces, village cores, neighborhood shopping centers, neighborhood schools, and neighboring municipalities.*

As stipulated, the proposal includes enhanced pedestrian connections between the neighborhood shopping center and the Western Canal.

CONNECT PEOPLE AND PLACES; CANALS & TRAILS; DESIGN PRINCIPLE: *Provide multi-use trail connections where appropriate.*

As stipulated, the proposal includes a 10-foot multi-use trail located within a multi-use trail easement that will promote connectivity with existing pedestrian trails along Baseline Road in the surrounding area.

STRENGTHEN OUR LOCAL ECONOMY; JOB CREATION (EMPLOYERS); LAND USE PRINCIPLE: *Support General Plan Land Use Map and zoning changes that will facilitate the location of employment generating uses in each of the designated employment centers.*

The subject site is located within the Maricopa Association of Governments (MAG) designated South Mountain major employment center and will support development of employment generating uses.

STRENGTHEN OUR LOCAL ECONOMY; ENTREPRENEURS/EMERGING ENTERPRISES; LAND USE PRINCIPLE: *Encourage land uses that promote the*

growth of entrepreneurs or new businesses in Phoenix in appropriate locations.

The request will support opportunities for new businesses to develop in an emerging commercial center in close proximity to many community amenities and transportation infrastructure.

CELEBRATE OUR DIVERSE COMMUNITIES & NEIGHBORHOODS; CERTAINTY & CHARACTER; LAND USE PRINCIPLE: New development and expansion or redevelopment of existing development in or near residential areas should be compatible with existing uses and consistent with adopted plans.

The subject site is adjacent to an existing single-family subdivision to the east and will provide neighborhood retail options for the surrounding area. As stipulated, the request is consistent with the land use pattern in the surrounding area and provides a transition between intermediate commercial land uses at the intersection of 24th Street and Baseline and residential uses to the east.

CELEBRATE OUR DIVERSE COMMUNITIES & NEIGHBORHOODS; HEALTHY NEIGHBORHOODS; DESIGN PRINCIPLE: Plan and design communities and neighborhoods to be pedestrian friendly and walkable.

As stipulated, the subject site will be developed with a multi-use trail along Baseline Road and enhanced pedestrian connections from the site to the Western Canal.

CELEBRATE OUR DIVERSE COMMUNITIES & NEIGHBORHOODS; CLEAN NEIGHBORHOODS; DESIGN PRINCIPLE: Facilitate the acquisition of vacant, underutilized and blighted parcels for appropriate redevelopment, compatible with the adjacent neighborhood character and adopted area plans.

The request will allow the redevelopment of an underutilized parcel located in an emerging center identified in the 2015 General Plan and in close proximity to a major commercial shopping center, park and ride facility, major educational institution, public library, and proposed bus rapid transit line.

Area Plans

Baseline Area Overlay District

The property is located within the boundaries of the Baseline Area Overlay District (BAOD). The BAOD is designed to encourage and protect the rural and agricultural character of the area while allowing development consistent with the Baseline Area Master Plan. This rezoning request does not eliminate requirements for conformance

with this overlay district. The proposal shall comply with all regulations in the BAOD.

Tree & Shade Master Plan

See Background Item #9.

Complete Streets Guiding Principles

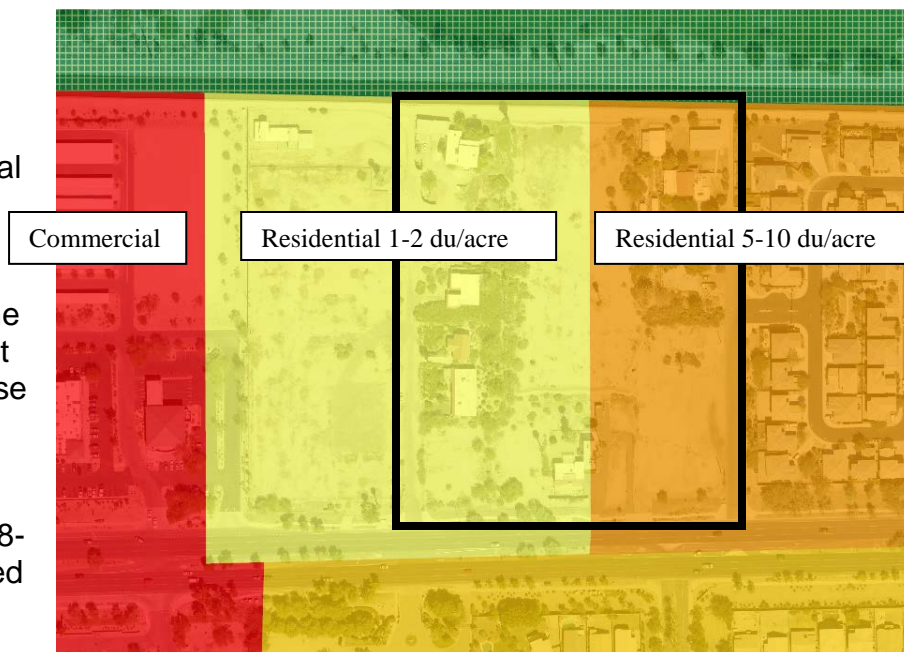
See Background Item #9.

Surrounding Land Uses/Zoning		
	<u>Zoning</u>	<u>Land Use</u>
On Site	R1-14 BAOD, R1-14 BAOD (Approved C-1 BAOD), R1-14 BAOD (Approved R1-10 BAOD)	Single-family detached, vacant
North	R1-8 SP BAOD	Golf course
South	MUA HP BAOD, R1-8 BAOD	Event Center, single-family detached
East	R-2 BAOD	Single-family detached
West	R1-14 BAOD, C-1 BAOD	Single-family detached, vacant

Background/Issues/Analysis

1. This request is to rezone approximately 10.55 acres located at the northwest corner of 27th Street and Baseline Road from R1-14 BAOD (One-Family Residence, Baseline Area Overlay District), R1-14 BAOD (Approved C-1 BAOD) (One-Family Residence, Baseline Area Overlay District, Approved Neighborhood Retail, Baseline Area Overlay District), and R1-14 BAOD (Approved R1-10 BAOD) (One-Family Residence, Baseline Area Overlay District, Approved Single-Family Residence District, Baseline Area Overlay District) to C-1 BAOD (Neighborhood Retail, Baseline Area Overlay District) to allow commercial and medical uses.

2. The subject site is designated Residential 1 to 2 dwelling units per acre and Residential 5-10 dwelling units per acre on the General Plan Land Use Map. The proposed use is not consistent with these designations, however General Plan Amendment Case GPA-SM-2-18-8 is being processed concurrently as a companion case. This request is to amend the General Plan Land Use map designation for 15.55 acres at the



Site is designated for Residential 1 to 2 units per acre and Residential 5 to 10 units per acre (Request for Commercial pending).

Source: Planning & Development Department

northwest corner of 27th Street and Baseline Road from Residential 1 to 2 (10.95 acres) and Residential 5-10 (4.60 acres) dwelling units per acre to Commercial (15.55 acres). Staff has recommended approval of this General Plan Amendment request.

The gross acreage (15.55 acres) of GPA-SM-2-18-8 reflects an area larger than the subject site of this rezoning case because a portion of adjacent property to the east is also not in conformance with its underlying General Plan Land Use Map designation. This condition triggers an exception to the 10 gross acre rule in the General Plan regarding sites whose size exceeds 10 gross acres when combined with the acreage of all abutting zoning on the same side of the street, within no more than 150 feet from the subject site which is also not in conformance with the General Plan.

3. The subject site is composed of eight parcels. The site has street frontage along Baseline Road to the south, 25th Street to the west, and 27th Street to the east. However, the conceptual site plan proposes abandonment of 25th Street. See Background Item #5 for further discussion regarding 27th Street. The subject site is also adjacent to the Western Canal along its entire north perimeter.
4. The subject site contains seven single-family residences located around the periphery of the site. The remainder of the site is vacant. There are no existing

improvements along 25th Street, the west half-street of 27th Street, or the Western Canal. The site is zoned a combination of R1-14 BAOD, R1-14 BAOD (Approved C-1 BAOD), and R1-14 BAOD (Approved R1-10 BAOD).

- North of the subject site, across the Western Canal, is the Legacy Golf Resort which is zoned R1-8 SP BAOD.
- Adjacent to the subject site to the east is a single-family residential subdivision zoned R-2 BAOD.
- Southeast of the subject site, across Baseline Road, are single-family homes zoned R1-8 BAOD. Southwest of the subject site, across Baseline Road, is the Secret Garden Event Center which is zoned MUA HP BAOD.
- Adjacent to the subject site to the west is one single-family home zoned R1-14 BAOD and a large vacant parcel zoned C-1 BAOD.



Source: Planning and Development Department

PROPOSAL

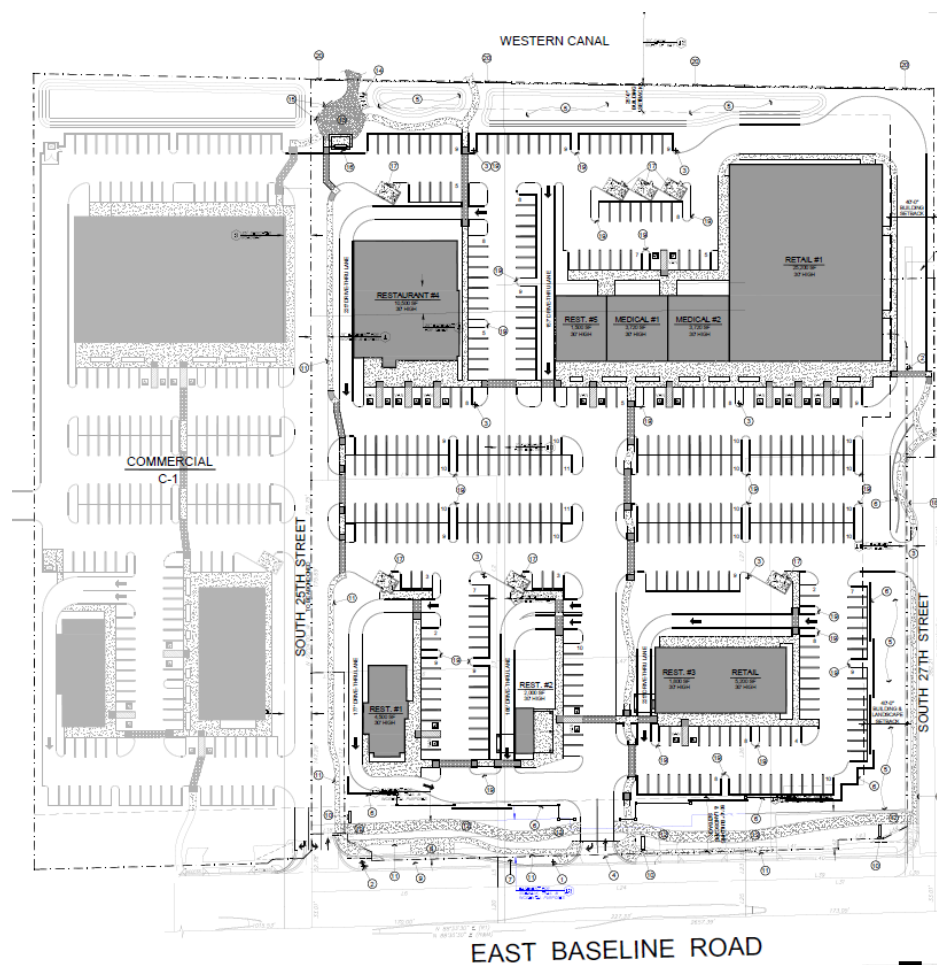
5. **SITE PLAN**

The conceptual site plan proposes 58,140 square feet of retail and medical uses on the site, for a combined total of approximately 15% lot coverage. Building height is limited to 30 feet, in compliance with the Baseline Area Overlay District which restricts maximum building height to two stories not to exceed thirty feet. Commercial uses are distributed on five pads around the perimeter of the site, with the majority of required parking to be provided in the center of the site.

The site plan proposes the abandonment of 25th Street allowing connectivity between the subject site and future commercial development on adjacent parcels to the west.

Along Baseline Road, the site plan includes an enhanced 50-foot building and landscape setback in compliance with the Baseline Area Overlay District. Stipulation #6 requires a minimum 10-foot wide multi-use trail within a 30-foot wide multi-use trail easement along the north side of Baseline Road in this location.

The site plan proposes west half-street improvements for 27th Street and vehicular access to the site from 27th Street at a driveway approximately 300 feet north of Baseline Road. This proposed configuration of 27th Street would maintain the existing misalignment of 27th Street across Baseline Road. However, the alignment of 27th Street would allow future consideration of a traffic signal at this intersection which would not be possible if the misalignment were to remain. Existing conditions at the intersection of 28th Street and Baseline Road are not conducive to installation of a traffic signal. Discussions between the Street Transportation Department and the applicant are ongoing to determine the feasibility of aligning 27th Street, a potential design concept for the subject site, and potential street infrastructure improvements.



EAST BASELINE ROAD

Conceptual Site Plan

Source: Planning & Development Department

The site plan also proposes relocating an existing bus stop along Baseline Road to a new location inside a deceleration lane near the southwest corner of the site. Staff does not support this proposed location as it would require that buses exit and re-enter traffic along Baseline Road. Staff recommends that this bus stop

remain in place or be relocated within the existing westbound traffic lane along Baseline Road, which would prioritize the efficient movement of public transit vehicles. Stipulation #7 requires that the final location of this bus stop be approved by the Public Transit Department.

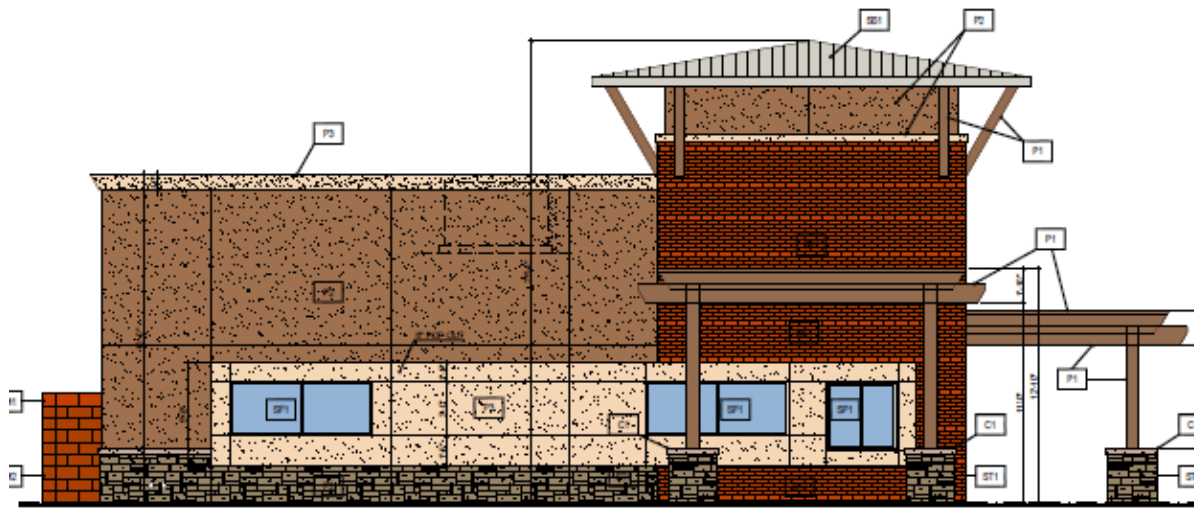
The site plan also depicts a number of amenities along the north property line, adjacent to the Western Canal, intended to promote active uses and access to the Canal. Stipulation #2 addresses provision of and access to the amenities. Amenities include a multi-use trail or shared-use path providing connectivity to Baseline Road, a corral area with hitching posts for equestrian users, shaded benches, and bicycle parking.

6. **ELEVATIONS**

The conceptual building elevations depict a commercial drive-through restaurant at one-story and 30 feet in height. The building elevations contain a variety of building materials including cultured stone, brick, and colored concrete. Roof materials are varied and consist of wooden awnings, metal, and a variety of parapet materials and architectural features. Building colors are varied with at least four exterior colors.

- Stipulation #1 requires general conformance to these elevations.
- Stipulation #1.a. requires that pitched roof elements shall be incorporated in all buildings.
- Stipulation #1.b. requires that all building elevations, including those facing or visible from the Western Canal, contain architectural embellishments and detailing. This stipulation is intended to ensure that equal attention is paid to the elevations facing the Western Canal and visible from adjacent properties. These features may include textural changes, pilasters, offsets, recesses, variation in window size and location, and/or other overhang canopies.

All stipulations are intended to provide visual interest to the site and to support architectural diversity and distinctiveness in conformance with goals of the Baseline Area Master Plan.



*Conceptual Elevations – North Elevation
Source: Planning and Development Department*

7. **WALLS**

Stipulation #3 addresses perimeter walls along the north property line adjacent to the Western Canal. The stipulation requires that any solid portion of a wall adjacent to the Western Canal shall not exceed a maximum height of three feet. This stipulation is intended to promote active uses and visibility to and from the Western Canal.

8. **DRIVE-THROUGHS**

The conceptual site plan depicts four drive-through restaurants on the subject site. Stipulation #4 restricts any drive-through facility from locating its drive-through window facing a residential use or Baseline Road. There are existing residential land uses to the east and south across Baseline Road. Stipulation #5 requires that drive-throughs be screened from view of residential uses and public rights-of-way with a landscaped berm or a combination of a wall and landscaped berm at least four feet in height. Both stipulations are intended to mitigate the visual impact of drive-throughs on the surrounding area.

9. The Tree & Shade Master Plan has a goal of treating the urban forest as infrastructure to ensure that trees are an integral part of the City's planning and development process. The property is located within the Baseline Area Overlay District and will be required to provide a minimum 50 foot landscaped building setback, detached sidewalks with five foot landscape strips, enhanced street landscaping, undulating berms within the landscape setback, and a multi-use trail along Baseline Road in compliance with overlay regulations. This design is consistent with the City Council adopted Guiding Principles for Complete Streets, one tenet of which is to make Phoenix more walkable. Stipulation #6 addresses the specific development standards for the multi-use trail.

COMMUNITY INPUT

10. At the time this staff report was written, staff had not received any public correspondence regarding the request.

DEPARTMENT COMMENTS

11. The Phoenix Fire Department indicated that they do not anticipate problems with this case and that the site and/or buildings shall comply with the Phoenix Fire Code.
12. Floodplain Management indicated that the parcel is not in a Special Flood Hazard Area (SFHA), but is located in a Shaded Zone X, on panel 2220 L of the Flood Insurance Rate Maps (FIRM) dated February 10, 2017.
13. The Parks and Recreation Department requires the developer to dedicate a 30-foot wide multi-use trail easement (MUTE) along the north side of Baseline Road and construct a minimum 10-foot wide multi-use trail (MUT) within the easement as indicated in section 429 of the City of Phoenix MAG Supplement. This is addressed in Stipulation #6.
14. The Public Transit Department requires approval of the final location of the bus stop along Baseline Road in the event that this stop is relocated. The proposed site plan, which is not stipulated, proposes that the bus stop be relocated to a location within a deceleration lane. Staff recommends a location outside of a deceleration lane to maximize transit service efficiency. This is addressed in Stipulation #7.
15. The Street Transportation Department requires the developer to construct all streets adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, landscaping and other incidentals, as per plans approved by the City and comply with all ADA accessibility standards. This is addressed in Stipulation #8.
16. The Water Services Department indicated that the site is surrounded with existing water and sewer mains that can potentially serve the development.

MISCELLANEOUS

17. The site has not been identified as being archaeologically sensitive. However, in the event archaeological materials are encountered during construction, all ground disturbing activities must cease within 33-feet of the discovery and the City of Phoenix Archaeology Office must be notified immediately and allowed time to properly assess the materials. This is addressed in Stipulation #9.
18. Development and use of the site is subject to all applicable codes and ordinances. Zoning approval does not negate other ordinance requirements. Other formal actions such as, but not limited to, zoning adjustments and abandonment may be

required.

Findings

1. The proposal is not consistent with the General Land Use Map designation of Residential 1 to 2 dwelling units per acre and Residential 5 to 10 dwelling units per acre. However, a companion General Plan amendment request (GPA-SM-2-18-8) for a designation of Commercial is being processed concurrently.
2. As stipulated, the proposal is consistent with the desired character and goals of the Baseline Area Master Plan.
3. As stipulated, the proposal is consistent with the character of existing development in the surrounding area.

Stipulations

1. The development shall be in general conformance with the elevations date stamped February 12, 2018, as modified by the following stipulations and approved by the Planning and Development Department:
 - a. Pitched roof elements shall be incorporated in all buildings.
 - b. All building elevations, including those facing or visible from the Western Canal, shall contain architectural embellishments and detailing such as textural changes, pilasters, offsets, recesses, variation in window size and location, and/or other overhang canopies.
2. The developer shall provide the following amenities and open public access to the amenities, as approved by the Planning and Development Department:
 - a. A multi-use trail or shared-use path which provides connectivity between Baseline Road and the Western Canal, in accordance with the MAG supplemental details.
 - b. Equestrian corral area containing hitching posts for horses, along the northern property align adjacent to the Western Canal.
 - c. Minimum of two shaded benches, along the northern property align adjacent to the Western Canal.

- d. Bicycle parking area containing a minimum of eight spaces. The bicycle parking area shall utilize inverted-U bicycle racks or a similar design that accommodates lock placement on both wheels and the frame.
3. Any solid portion of a perimeter wall adjacent to the Western Canal shall not exceed a maximum height of three feet, as approved by the Planning and Development Department.
4. No drive-through facility shall locate its drive-through window facing a residential use or Baseline Road, as approved by the Planning and Development Department.
5. Drive-throughs shall be screened from view of public rights-of-way and residential uses with a landscaped berm or a combination of a wall and landscaped berm at least four feet in height, as approved by the Planning and Development Department.
6. The developer shall dedicate a 30-foot wide multi-use trail easement (MUTE) along the north side of Baseline Road and construct a minimum 10 foot wide multi-use trail (MUT) within the easement, in accordance with the MAG supplemental detail and as approved by the Parks and Recreation and Planning and Development Departments.
7. The location of the bus stop along Baseline Road shall be approved by the Public Transit Department.
8. The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals, as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.
9. In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground-disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.

Writer

Adam Stranieri

May 1, 2018

Team Leader

Staff Report: Z-10-18-8

May 1, 2018

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Samantha Keating

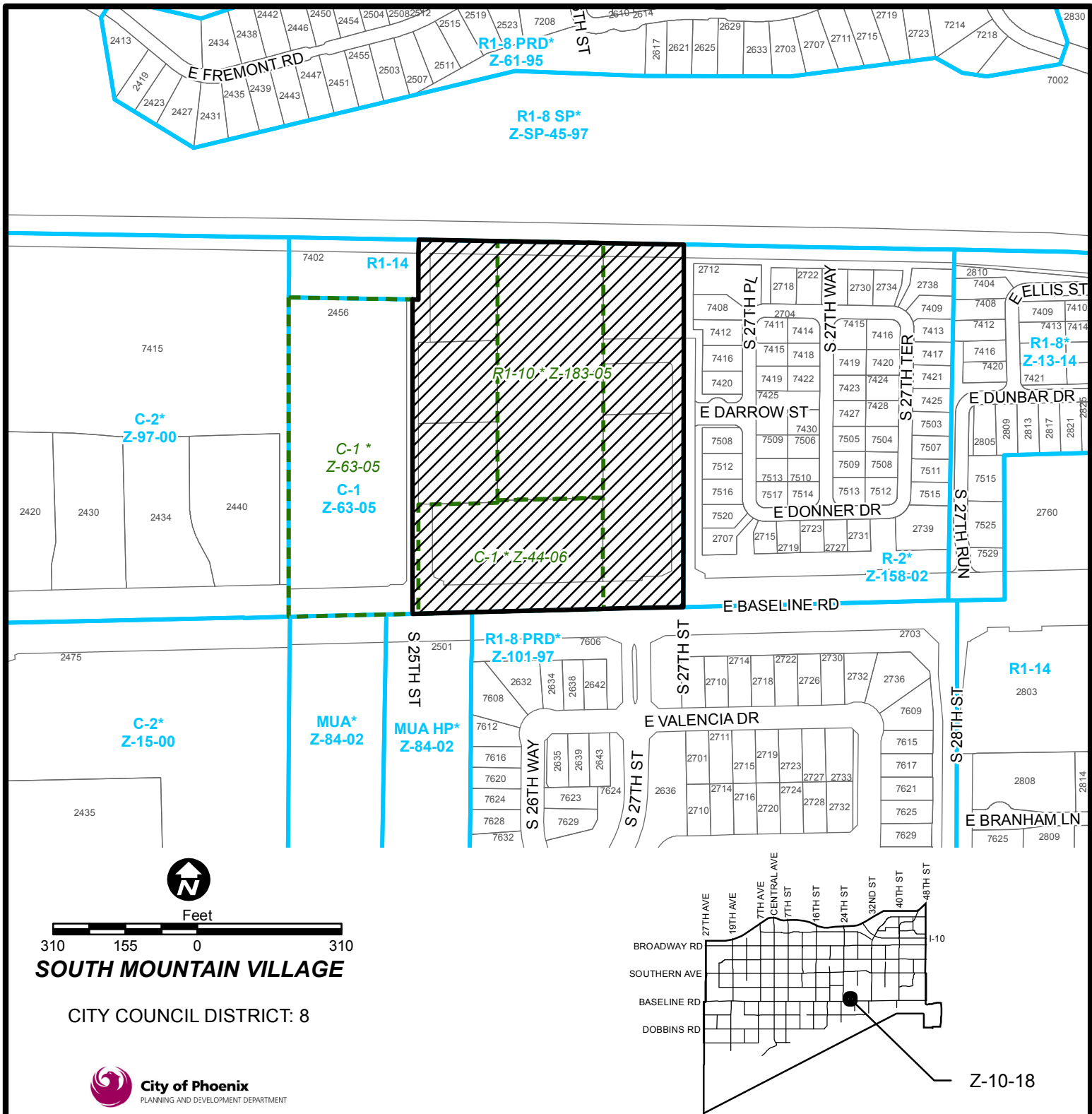
Exhibits

Sketch Map

Aerial

Site Plan – Date Stamped February 12, 2018

Elevations – Date Stamped February 12, 2018

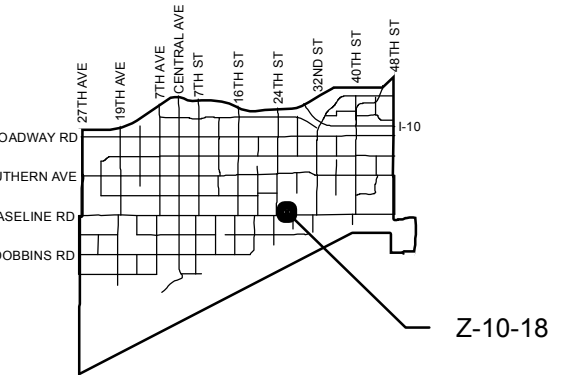


SOUTH MOUNTAIN VILLAGE

CITY COUNCIL DISTRICT: 8



City of Phoenix
PLANNING AND DEVELOPMENT DEPARTMENT



APPLICANT'S NAME: Randall Raskin, Partner Investments 7

APPLICATION NO. Z-10-18

DATE: 03/09/2018
REVISION DATES:

GROSS AREA INCLUDING 1/2 STREET
AND ALLEY DEDICATION IS APPROX.

10.55 Acres

AERIAL PHOTO &
QUARTER SEC. NO.

QS 1-33

ZONING MAP

D-9

REQUESTED CHANGE:

FROM:

R1-14 BAOD (5.51 a.c.)
R1-14 BAOD (Approved C-1 BAOD) (2.16 a.c.)
R1-14 BAOD (Approved R1-10 BAOD) (2.88 a.c.)

TO: C-1 BAOD (10.55 a.c.)

MULTIPLES PERMITTED

R1-14 BAOD, R1-14 BAOD (Approved C-1 BAOD),
R1-14 BAOD (Approved R1-10 BAOD)

C-1 BAOD

CONVENTIONAL OPTION

12, 4 (31), 6 (10)

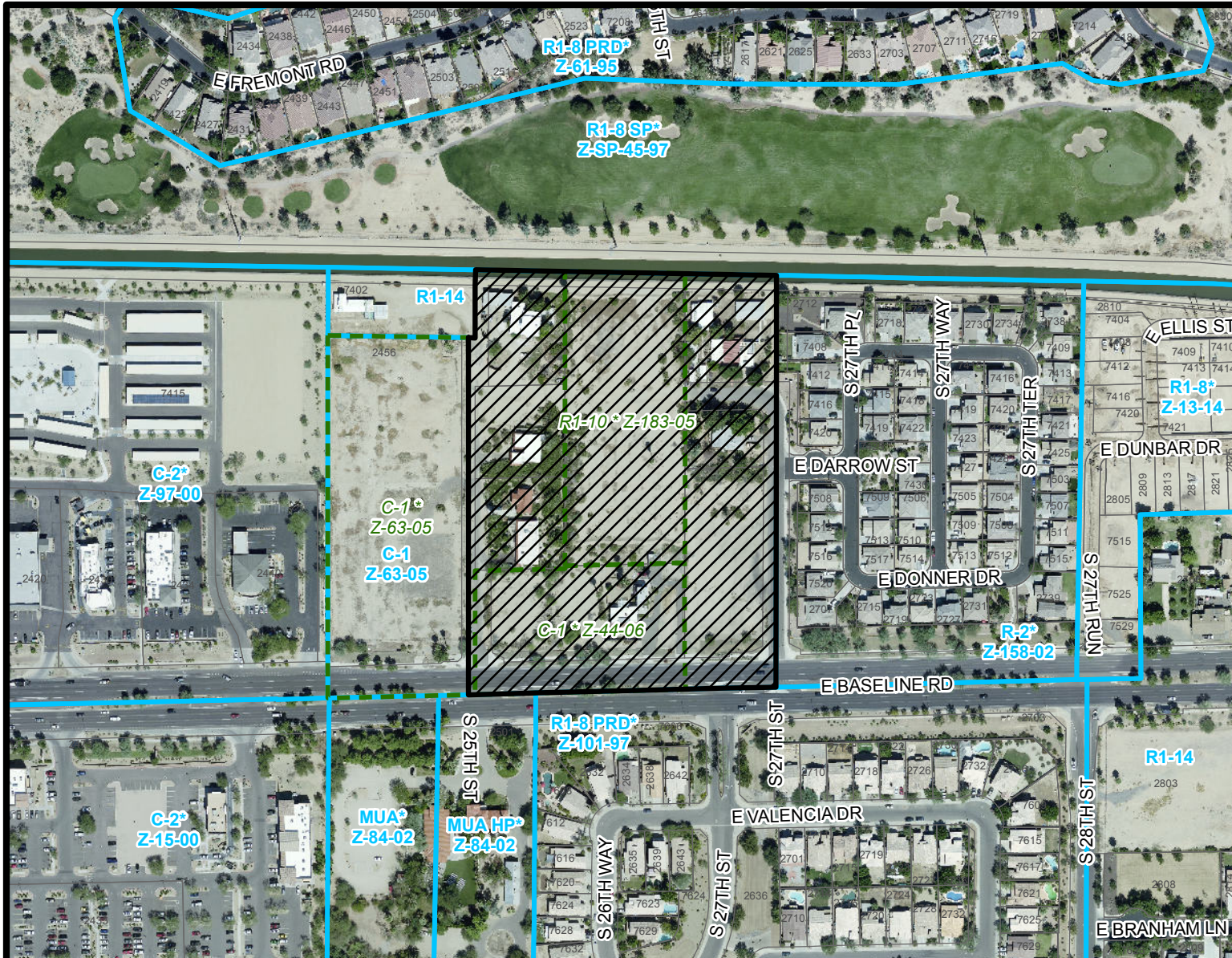
153

* UNITS P.R.D. OPTION

N/A, N/A (37), N/A (13)

183

* Maximum Units Allowed with P.R.D. Bonus



Feet

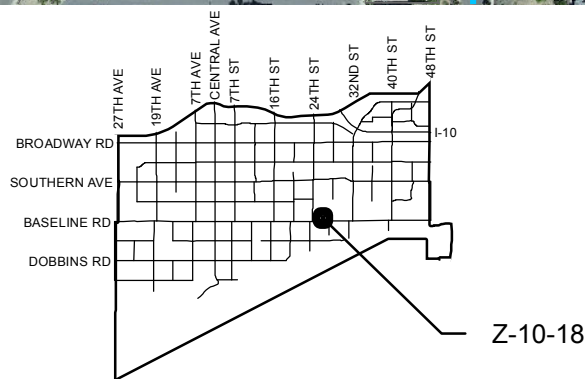
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SOUTH MOUNTAIN VILLAGE

CITY COUNCIL DISTRICT: 8



City of Phoenix
PLANNING AND DEVELOPMENT DEPARTMENT



Z-10-18

APPLICANT'S NAME:

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153

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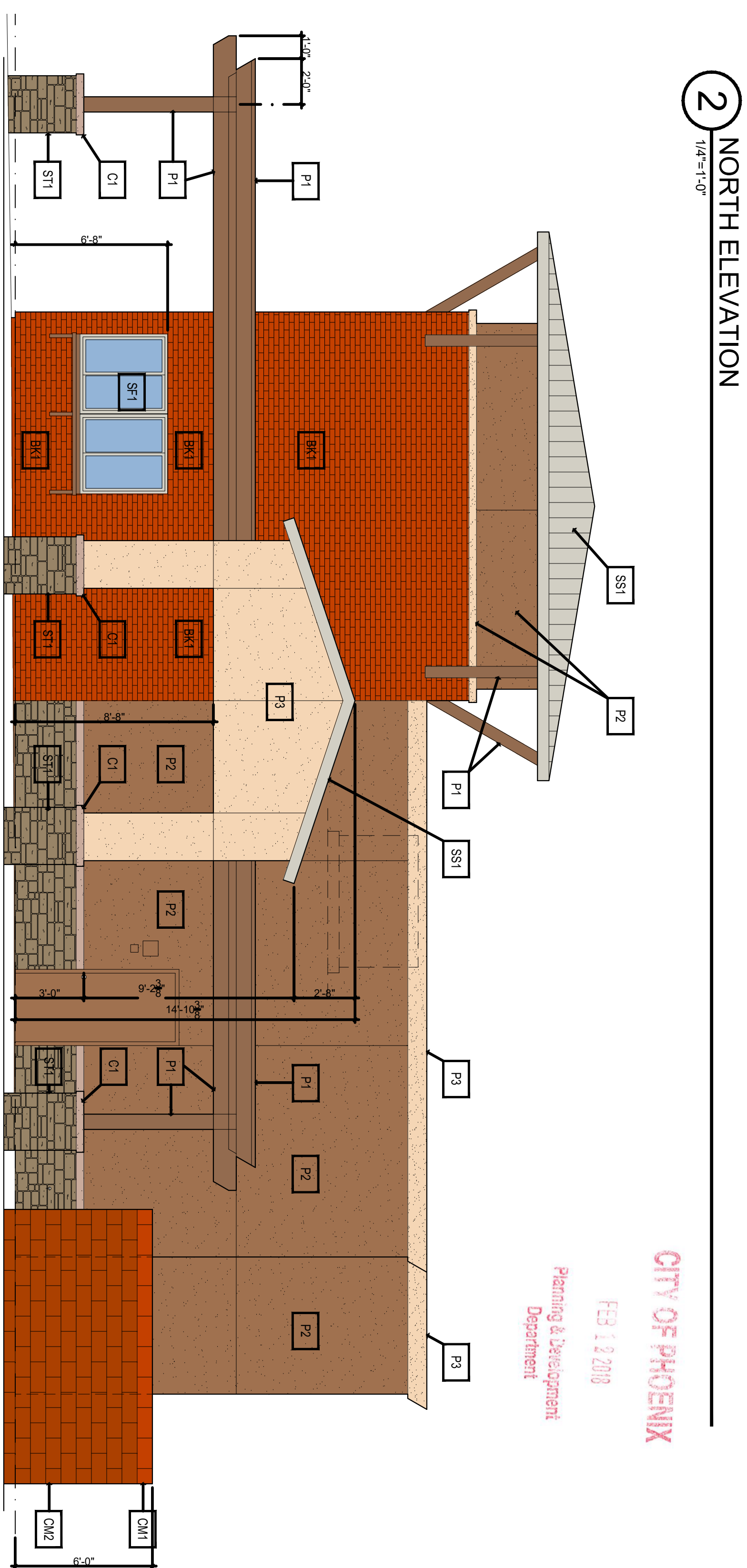
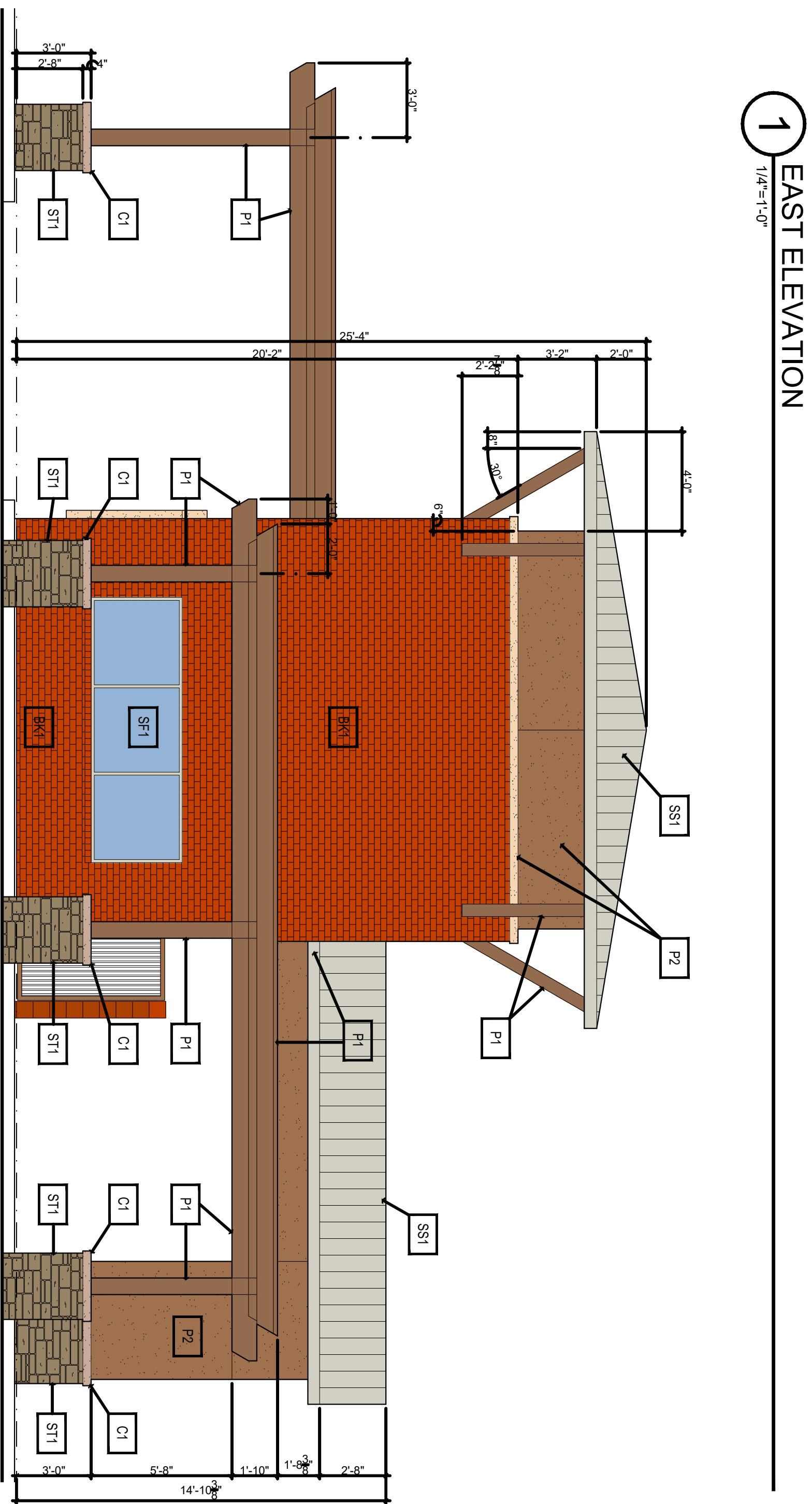
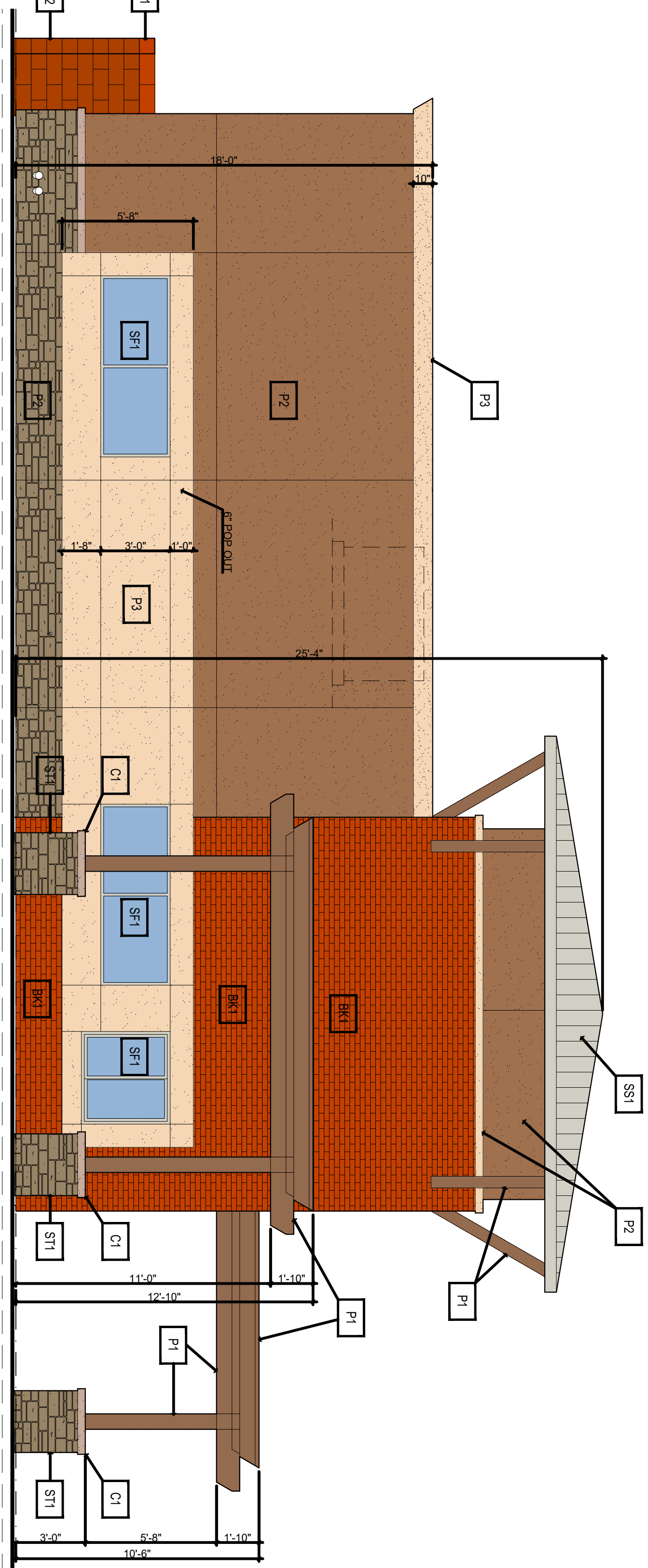
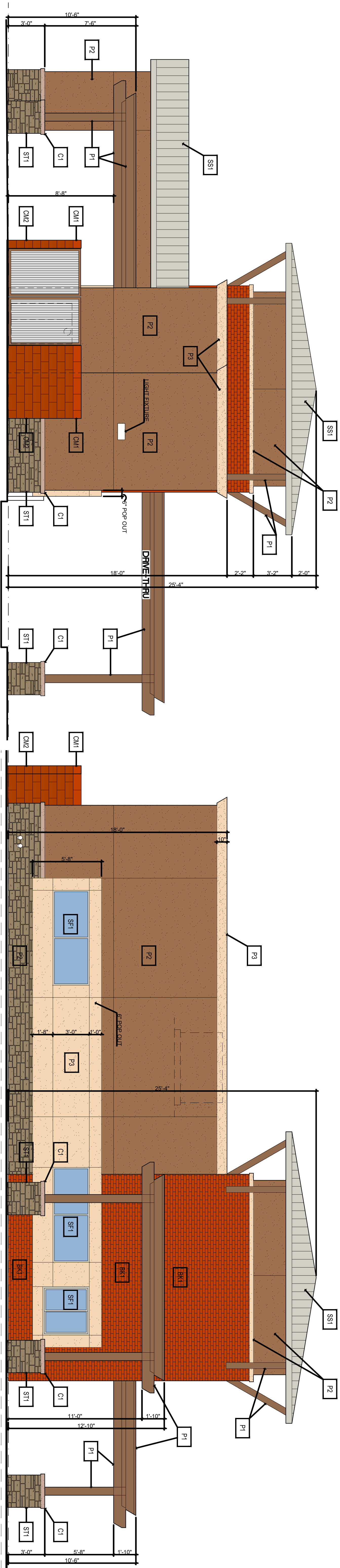
N/A, N/A (37), N/A (13)

183

* Maximum Units Allowed with P.R.D. Bonus

COLOR SCHEDULE

P1	WOOD PAINTED SHERWIN WILLIAMS "PORTABELLO" SW6102, LFV 21	S31	STANDING SEAM METAL ROOF GALVANIZED FINISH ATAS INC. OR SIM.
P2	EI'S PAINTED SHERWIN WILLIAMS "PORTABELLO" SW6102, LFV 21	S11	CULTURED STONE COUNTRY EQUESTRIANE COLOR: ASPEN
P3	EI'S PAINTED SHERWIN WILLIAMS "INTERACTIVE CREAM" SW6121, LFV 68	SF1	STONE/ROOF SYSTEM W/ GLAZING CLEAR AND MODIFIED ALUM. FINISH CANTON GLAZING OR SIM.
C1	INTERGALY COLOR COLORED CONCRETE COLOR: CANYON	CM1	CAL. BLOCK FOUNDER'S FINISH "HIGHLAND RED"
BK1	THIN BRICK MCKENZIE BRICK & BLOCK COMMERCIAL SERIES "RED RUG"	CM2	CAL. BLOCK SUPERFINE BLOCK "CANYON RED"

























FEB 12 2018

Planning & Development
Department



**BRISSETTE
ARCHITECTS**

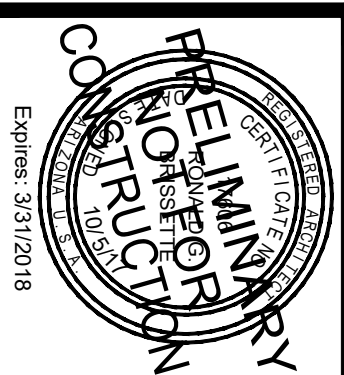
10222 N. SCOTTSDALE RD., STE. F
SCOTTSDALE, ARIZONA 85263
OFF: 602.BRISSETTEARCHITECTS.COM
T: (480) 566-3882
WWW.BRISSETTEARCHITECTS.COM

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SCOTTSDALE, ARIZONA 85253
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T: (480) 596-3882
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SOUTH MOUNTAIN PROMINADE
25TH - 27TH STREET & EAST BASELINE ROAD,
PHOENIX, AZ 85042



DATE: 10/5/2017
DRAWN: jk
REVISIONS

EXTERIOR ELEVATIONS

SCALE: 1/4"=1'-0"

A-201