

CITY OF PHOENIX

JAN 20 2022

**Planning & Development
Department**



Scottsdale & Bell

Case No. Z-12-21-2

LOCATED AT THE SOUTHWEST CORNER OF
SCOTTSDALE ROAD AND BELL ROAD

INITIAL SUBMITTAL: FEBRUARY 19, 2021
SECOND SUBMITTAL: MAY 4, 2021
THIRD SUBMITTAL: AUGUST 23, 2021
HEARING DRAFT: SEPTEMBER 14, 2021
CITY COUNCIL ADOPTED: DECEMBER 1, 2021

A Planned Unit Development (“PUD”) is intended to be a stand-alone document of zoning regulations for a particular project. Provisions not specifically regulated by the PUD are governed by the Zoning Ordinance. A PUD may include substantial background information to help illustrate the intent of the development. The purpose and intent statements are not requirements that will be enforced by the City. The PUD only modifies Zoning Ordinance regulations and does not modify other City Codes or requirements. Additional public hearings may be necessary, such as, but not limited to, right-of way abandonments.

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A. PURPOSE AND INTENT

A1: Project Overview and Goals

Scottsdale & Bell is a proposed luxury multifamily residential building located at the southwest corner of the intersection of Bell Road/Frank Lloyd Wright Boulevard and Scottsdale Road, on the south side of the Central Arizona Project (“CAP”) Canal, the gateway to the Kierland area. Currently developed with a typical 90’s era single-story retail building, this key gateway into the Kierland area is fairly non-descript and could be found anywhere in the city.



According to data provided by the U.S. Census Bureau, Phoenix has attracted more new residents than any other city in the United States for the fourth year in a row.¹ Specifically, from April 1, 2010 to July 1, 2019, the Phoenix area grew by approximately 755,074 people, which is an estimated 207 people per day during that decade.² This rapid population growth drives a need for new housing in the larger Phoenix metropolitan region.

The Kierland area is a highly desirable part of Phoenix due to its proximity to a number of high-end urban amenities including retail, dining as well as proximity to major employers supporting an estimated 55,000 jobs with an expectation to achieve 75,000 jobs spread across 4,000 employers by 2030³. Specifically, the property is located south of the Desert Ridge Village Secondary Core, which has been developed as a major employment center comprised of entities such as the Mayo Clinic Hospital and American Express, as well as other supporting retail and residential uses. The property is also located within the boundaries of the Maricopa Association of Governments (“MAG”) designated Desert Ridge and Kierland major employment center, as well as within a City of Phoenix designated employment center, each of which provides access to some of the region’s most highly educated and skilled workers, as well as a large inventory of Class A office space and retail services.⁴

¹ <https://ktar.com/story/3176532/phoenix-leads-nation-in-population-growth-for-4th-consecutive-year/>

² <https://www.bizjournals.com/phoenix/news/2020/03/26/phoenix-metros-population-growth-edges-out-boston.html>

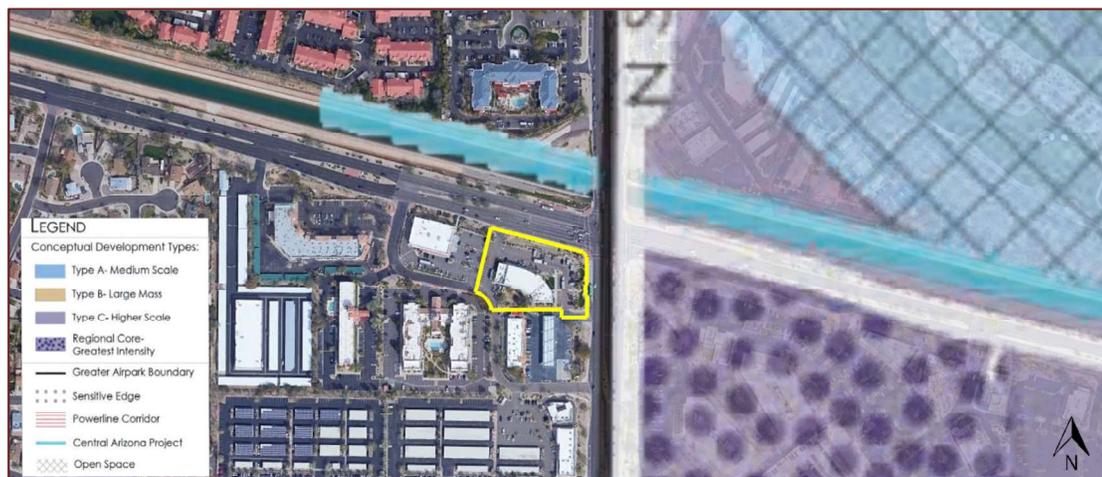
³ <https://www.azcentral.com/story/news/local/scottsdale/2015/05/15/report-record-job-numbers-scottsdale-airpark/27371845/>

⁴ <https://www.phoenix.gov/econdevsite/Documents/Desert%20Ridge%20Kierland%20Employment%20Center.pdf>

It is important to maintain a job/housing balance that ensure that housing will be available at prices, sizes and locations suited to workers who wish to live in the area. By making an area more attractive to residents, it is, by extension, more attractive to those that wish to employ them. Many employers recognize that housing is an employee hiring and retention issue and will seek locations for establishing or expanding that address this concern. This proposal will support the development intensity adjacent to the City-identified core, as well as the Desert Ridge and Kierland major employment centers by providing additional housing opportunities in close proximity to a large number of employers, as well as attracting residents with disposable income to spend at nearby retail/restaurant businesses, thus encouraging the long-term viability of the existing office and commercial uses in the surrounding area.

Given the property's proximity to retail, office, and industrial employment opportunities, as discussed above, the project will support the redevelopment of the property with a multi-family residential use that will improve connectivity for those residents who desire to live near jobs and services within the Kierland area. Despite the increased demand for housing in the Kierland area, there is limited area for new development. The requested height and density are needed to support the increased demand for housing in the Kierland area.

Such development intensity is further supported by policies of the City of Scottsdale identified in the Greater Airpark Character Area Plan,⁵ which designates the properties on the Scottsdale side of the intersection, south of the CAP Canal, as an "Airpark Mixed Use-Residential (AMU-R)" land use designation and "Regional Core (RC)" conceptual development type (*see below*). For instance, the RC conceptual development designation "denotes areas appropriate for the greatest development intensity in the Greater Airpark to support major regional land uses" (Page 16).



⁵ https://www.scottsdaleaz.gov/Assets/ScottsdaleAZ/Planning/character-area/airpark/Greater_Airpark_Character_Area_Adopted.pdf

The property is an appropriate location for the height and density proposed herein due to its adjacency to employment and retail uses, as well as the approximately 900-foot minimum separation between the property and any single-family residential uses. This location is also the intersection of two (2) major regional arterials providing excellent vehicular access to and from the development.

In addition to supporting employers, retails, and restaurateurs with additional customers/employees, this project will provide modern living in a building of both high-quality quality and form that frames the “entry” to the Kierland area, building off of the architectural statement made on the Scottsdale side of the intersection by the 125 foot tall “spire” designed by Frank Lloyd Wright and the 1,000,000 square foot Class-A office and retail mixed use Promenade Shopping Center.



The City of Scottsdale has prioritized the Scottsdale Road and Bell Road intersection as a “Landmark Intersection,” which, according to the Greater Airpark Character Area Plan, denotes a key junction that should be framed by prominent landmarks intended to provide visual interest and identity to the area.

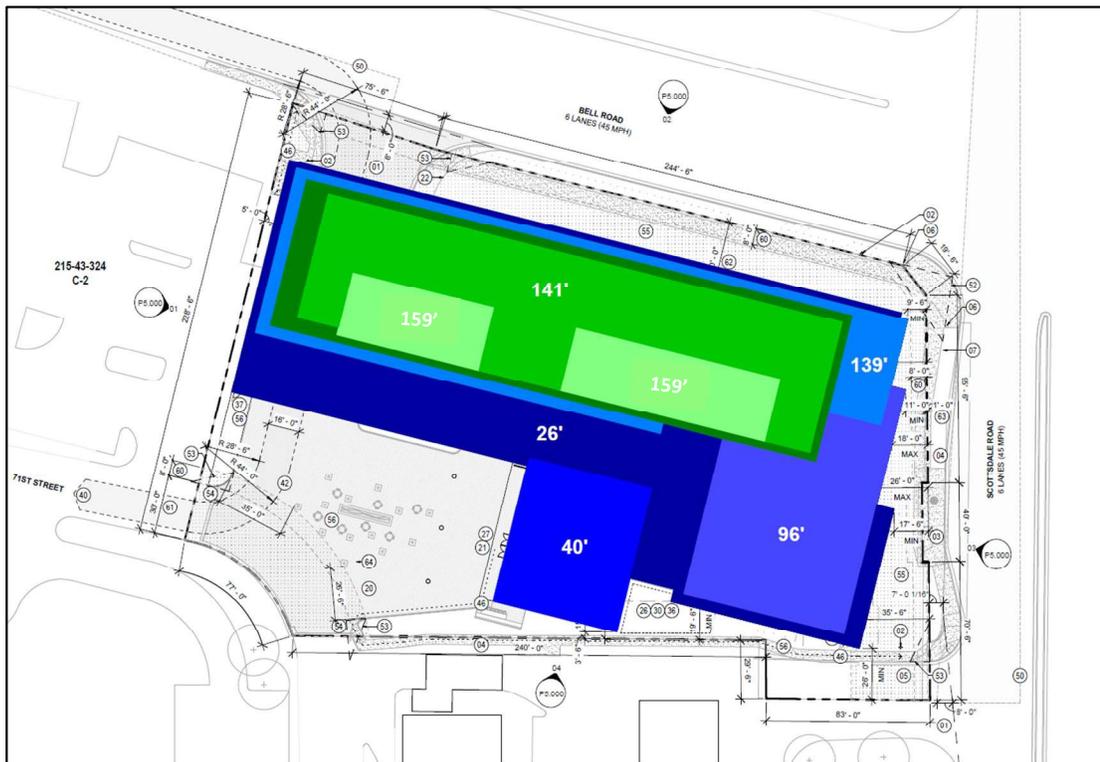
The project provides an opportunity to redevelop a simple 1-story nondescript retail building located at this significant intersection with a high quality residential development that will add an architectural statement on the Phoenix side of Scottsdale Road, with an overall goal of framing this signature corridor and enhancing the neighborhood.

A2: Overall Design Concept

The overall design concept for the project is focused around its unique architecture style paired with lush landscaping treatments along the Scottsdale Road and Bell Road frontages in order to reinvent the property as part of a prominent “gateway” to Kierland, balancing the existing development on the east side of the intersection. The design and architecture style are focused on a modern design, complementing the Frank Lloyd Wright spire and its surrounding office development. Design elements include staggered components in the upper stories of the building and quality materials complementing the surrounding built environment of those recent development projects south of the subject property. The project will feature quality pedestrian edges, will result in the elimination of surface parking areas, and will provide an emphasis on quality design that has visual interest within the pedestrian realm and to the broader community.

In order to support this design concept, the project utilizes specific screening elements along the ground level to minimize the visibility of the parking garage from the adjacent rights-of-way and properties. The project provides visual interest for those entering the Kierland area through the use of varying building materials and colors that is carried throughout the project, with particular emphasis on landscaping and movement in the façade of the upper stories of the building.

In addition, the building design steps down from the intensity of the intersection to create visual and physical transition in the elevation, as illustrated conceptually below:



In summary, the project results in a building that (i) reinvents the entrance experience for those traveling southbound into the Kierland area (ii) reinforces a strong pedestrian environment by providing ample shade and landscaping adjacent to the public rights-of-way, as well as concealing vehicle parking for the project, and (iii) preserves the high-quality design and architecture styles that have been established within the Kierland area through the use of a rich blend of materials and colors combined with a contemporary design.

B. LAND USE PLAN

B1: Proposed Land Use Categories

Scottsdale & Bell is a luxury multifamily building comprised of up to 255 dwelling units (a maximum of 99.61 du/ac) with associated private residential amenities located on an approximately 2.56-acre site.

B2: Conceptual Site Plan Summary

The following provides an overview of the conceptual site plan provided with this PUD:

Basement Levels include a below grade parking garage with approximately 305 parking spaces and ancillary storage, including equipment rooms.

Grade Level is the location of the primary building entrance to the management/leasing office, as well as to the elevator access to the upper floors of the building. Grade level is also the location of additional vehicle parking spaces (approximately 81 parking stalls), which are carefully screened from public view by a faux façade to replicate the world-class architecture of the project. The primary entrance to the parking garage is accessed via a private accessway that features an entry court and water feature grove to function as a staging area for rideshare services, such as Uber and Lyft, and smaller delivery vehicles on-site, while also providing flexible outdoor event space for residents. A secondary vehicular access to the parking garage will be provided on the north side of the property, accessed from Bell Road. All formal loading activities, such as trash and move-ins, also occur within the parking garage.

The architecture and landscape along the adjacent rights-of-way support the strong pedestrian connection to the adjacent Scottsdale Promenade and other supporting retail and office uses in the area, as well as the CAP Canal to the north of the subject property, which serves as a recreational amenity for residents and visitors of the area. The project features articulation in the building façade through the use of various colors and materials, as well as by

providing shade and interesting vegetation along the street frontages.

Level 2 is the location of the remainder of the vehicular parking for the project (totaling 476 parking spaces), which incorporates screening that is consistent with the faux façade of the ground level, described above.

Level 3 is planned as the main amenity level with the residential clubhouse, which opens to a lushly landscaped podium deck with outdoor courtyard and seating areas. Level 3 will also include approximately 25 residential dwelling units.

Levels 4-13 are a typical representation of the upper levels of the building, where residential dwelling units continue above grade level. The typical residential building floor will have between approximately 10 to 26 dwelling units depending on final bedroom count and unit sizing.

Penthouse Level is the location of approximately 10 residential dwelling units. This is the highest residential living floor, which is up to 141 feet in height.

Roof Level will feature an indoor/outdoor event space with a full kitchen and cooking facilities (up to a maximum of 159 feet in height), and swimming pool and spa for resident use, along with lushly landscaped gathering and seating areas with opportunities to view the McDowell Mountains to the east of the subject property. To maintain the quality appearance of the project, the necessary rooftop equipment/mechanicals will be organized and screened from view.

C. LIST OF USES⁶

C1: Permitted Uses

- Multifamily residential dwelling units
- C-2 uses as permitted by Section 623 of the City of Phoenix Zoning Ordinance

C2: Temporary Uses

- All temporary uses shall comply with Section 708 of the City of Phoenix Zoning Ordinance

C3: Prohibited Uses

The following land uses are not permitted:

- All Special Permit uses otherwise permitted in the C-2 Zoning District are prohibited.
- Auto Title Loan Establishments
- Automobile Parts and Supplies, New Retail and Wholesale
- Boats, Retail Sale
- Car Wash
- Compressed Natural Gas Retail Sales
- Gas Stations
- Garage, Repair
- Hospital
- Motorcycles, Repair and Sales
- Non-Profit Medical Marijuana Dispensary Facility
- Pawn Shop
- Service Stations, Automobile

⁶ The Zoning Administrator may issue interpretations for land uses that are analogous to those listed in Section C, List of Uses, as authorized by Zoning Ordinance Section 307.A.3.

- Single-Family, Attached
- Single-Family, Detached
- Tobacco Oriented Retailers
- Veterinarian Offices
- Veterinarian Hospitals
- Window Glass Installation Shop

D. DEVELOPMENT STANDARDS

D1: Development Standards Table

The following development standards apply to any multifamily development of the property (including mixed-use); in the event that stand-alone non-multifamily development occurs, the development standards applicable to such development shall be those of Ordinance Section 623, the C-2 General Commercial, Zoning District.

Development Standards	Proposed PUD
a. Density (Maximum)	255 Dwelling Units 99.61 Dwelling Units per Gross Acre
b. Minimum Lot Width/Depth	No Minimum
c. Building Setbacks	
North (Bell Road)	23' (Minimum)
East (Scottsdale Road)	9' (Minimum); 22' (Average)
South (Interior)	3' (Minimum); 17' (Average)
West (Interior)	5' (Minimum)
d. Building Height (Maximum)	141 Feet ⁷
e. Building Height Step-Backs	
Maximum Height (Number of Floors)	Setback from South Property Line
26' (3 Stories)	17' (Average)
66' (7 Stories)	20' (Average)
86' (9 Stories)	23' (Average)
126' (13 Stories)	95' (Minimum)
141' (14 Stories)	100' (Minimum)
f. Building Massing	
Setback from West Property Line	Floor within Building
5' (Minimum)	1, 2
9' (Minimum)	5, 6, 7, 9, 10, 11, 12
15' (Minimum)	3, 4, 8, 13
48' (Minimum)	14
g. Lot Coverage (Maximum)	65% of Total Net Site Area

⁷ Maximum height to roof of penthouse level. Non-dwelling space utilized for resident amenities located on roof deck, such as, restrooms, elevator lobby, and resident clubroom are permitted to exceed the maximum height up to 159 feet for no greater than 40 percent of the total roof area. Pool/spa and associated deck surfaces may exceed the height limit by 5 feet.

Minimum Landscape Standards	
a. Landscape Setbacks	
North (Bell Road)	20' (Minimum)
East (Scottsdale Road)	7' (Minimum); 15' (Average)
South (Interior)	Not Required ⁸
West (Interior)	5' (Minimum)
b. Streetscape - Adjacent to Bell Road (North Property Line)	<p><u>Public Sidewalk:</u> Replace existing attached sidewalk with a new minimum 8' wide detached sidewalk.</p> <p><u>Landscape Strip:</u> Provide a minimum 8' landscape strip between back of curb and sidewalk.</p> <p>A mix of the following trees to be included:</p> <ul style="list-style-type: none"> • Min. 2-inch caliper (25% of required trees) • Min. 3-inch caliper or multi-trunk tree (75% of required trees) <p>Trees to be planted 20' on center or in equivalent groupings near the sidewalk, except for within driveways, sidewalks or sight visibility triangles. Minimum of (10) 5-gallon drought-resistant shrubs or accent plants per tree (maximum 24 inches tall at maturity). Shrubs and accents shall be planted to achieve 75% total living groundcover coverage at maturity.</p> <p><u>On-Site Landscaping:</u> Provide a minimum 7' landscaped area between sidewalk and building façade. A mix of the following trees to be included:</p> <ul style="list-style-type: none"> • Min. 2-inch caliper (25% of required trees) • Min. 3-inch caliper or multi-trunk tree (50% of required trees) • Min. 4-inch caliper or multi-trunk tree (25% of required trees) <p>Trees to be planted 20' on center or in equivalent groupings, except where utility conflicts exist. A mix of drought-resistant vegetation to include accent plants, shrubs and ground cover plants shall be</p>

⁸ Due to shared drive aisle, there is no base standard requirement. Area between building and property line not otherwise occupied by drive aisles or sidewalks shall be landscaped. See Section D2.d.

	<p>planted to achieve 75% living groundcover coverage.</p> <p>At minimum, 75% of the plants shall be five (5) gallon in size, 25% shall be one (1) gallon in size.</p>
<p>c. Streetscape - Adjacent to Scottsdale Road (East Property Line)</p>	<p><u>Public Sidewalk:</u> Replace existing attached sidewalk with a new minimum 8' wide sidewalk. Sidewalk to be detached north of the bus bay and not in conflict with traffic control equipment, utilities, bus bay, or trees otherwise required by this PUD.</p> <p><u>Landscape Strip:</u> For areas where the sidewalk can be practically detached, the resulting landscape strip shall be a minimum of 7' wide and landscaped with a mix of the following trees:</p> <ul style="list-style-type: none"> • Min. 2-inch caliper (25% of required trees) • Min. 3-inch caliper or multi-trunk tree (75% of required trees) <p>Trees to be planted 20' on center or in equivalent groupings, except for within driveways, sidewalks or sight visibility triangles. Minimum of (5) 5-gallon drought-resistant shrubs per tree (maximum 24 inches tall at maturity). Shrubs and accents shall be planted to achieve 75% total living groundcover coverage at maturity inclusive of shrubs.</p> <p><u>On-Site Landscaping:</u> Provide a minimum 7' landscaped area between sidewalk and building façade. A mix of the following trees to be included:</p> <ul style="list-style-type: none"> • Min. 2-inch caliper (25% of required trees) • Min. 3-inch caliper or multi-trunk tree (50% of required trees) • Min. 4-inch caliper or multi-trunk tree (25% of required trees) <p>Trees to be planted 20' on center or in equivalent groupings, except for within driveways, sidewalks or sight visibility triangles. A mix of drought-resistant vegetation to include accent plants, shrubs and ground cover plants shall be planted to achieve 75% living groundcover coverage.</p>

	At minimum, 75% of the plants shall be five (5) gallon in size, 25% shall be one (1) gallon in size.
d. Perimeter Property Lines – Not Adjacent to Public Right-of-Way (South Property Line)	<p>Minimum of nine (9) 3” caliper trees planted between the property line and the building, disbursed evenly to the extent practical and not in conflict with areas otherwise paved or utilized for drive aisle or sidewalks. The landscape strip needs to be at least 5’ wide to support trees. If the strip is less than 4’ wide (2’ to 4’) the strip shall be planted with 5-gallon drought resistant shrubs. If the strip is less than 2 feet, 1-gallon groundcover plants and vines shall be planted.</p> <p>Area not paved or utilized for drive aisle or sidewalks shall include a minimum of eight (8) 5-gallon drought-resistant vegetation shall be planted to achieve 75% living groundcover coverage.</p>
e. Perimeter Property Lines – Not Adjacent to Public Right-of-Way (West Property Line)	Drought-resistant vegetation shall be planted to achieve 75% living groundcover coverage.
f. Minimum Common Open Spaces	<p><u>Podium Deck</u>: A podium deck private common open space amenity shall be provided. Said amenity shall be a minimum of 5% of total gross lot area. 25% shade to be provided.</p> <p><u>Outdoor Courtyard</u>: An outdoor courtyard private common open space amenity shall be provided. Said amenity shall be a minimum of 5% of total gross lot area. 20% shade to be provided.</p> <p><u>Roof Deck</u>: A rooftop private common open space amenity shall be provided. Said amenity shall be a minimum of 5% of total gross lot area. 25% shade to be provided.</p> <p>See <u>Section E2.d</u> for landscape design guidelines.</p>
g. Entry Court and Water Feature Grove	Minimum 9,000 square foot entry court to be located near main entrance of the building with a minimum 2,500 square foot water feature grove area. See <u>Section E2</u> for requirements.
h. Minimum Total Open Space	Minimum of 40% of total net site acreage. May be located at or above grade (i.e. roof deck), as shown on <u>Exhibit 10</u> . Excludes required landscape setback areas.

D3: Parking	Parking Standards	
	a. Minimum Parking Standards	
	Residents	1.52 spaces per dwelling unit
	Unreserved Visitor	0.35 spaces per dwelling unit
	Off-Street Loading Space	1 required
	d. Bicycle Parking	0.25 per unit (maximum required 25)
	b. Parking Location, Automotive	All parking areas shall be located within a garage structure, except for 3 parking spaces located in the vehicular drop-off area near the building entrance. See <u>Section E1.e</u> for garage screening requirements.
	c. Parking Location, Bicycle	To be installed in conformance with Ordinance Section 1307.H, except as follows: (i) Inverted-U style bicycle racks or artistic style racks consistent with the City of Phoenix preferred designs (see Comprehensive Bicycle Master Plan, Appendix K) shall be provided and (ii) secure resident bike storage shall be located within the parking garage.
	d. Loading Bay	One (1) off-street loading space shall be located within the parking garage and screened from public view.

D4: Fences/Walls	Fences/Walls	
	Fences and walls shall comply with Ordinance Section 703.	

D5: Shade	Shade
	Shading, which may be architectural, vegetative or any combination thereof, shall be provided at a minimum of 75% for all public and private sidewalks. All shade calculations shall be based on the summer solstice at noon.

Lighting

All lighting will be consistent with the standards of Section 704, Section 507.Tab A.II.A.8 and Section 23-100 of the Phoenix Zoning Ordinance and City Code.

Pedestrian lighting to be provided along public and private sidewalks that comply with the standards of Section 1304.D and Section 1304.H.5.

E. DESIGN GUIDELINES

E1: Design Guidelines

The following design guidelines apply to any multifamily development of the property (including mixed-use); in the event that stand-alone non-multifamily development occurs, the development standards applicable to such development shall be those of Ordinance Section 507 Tab A:

E1. Design Guidelines	
a. Exterior Materials	<p>Façade to include a minimum:</p> <ul style="list-style-type: none"> • 60% Glazing (excludes ground floor) • 40% Other Materials <p>Minimum percentage of other materials:</p> <ul style="list-style-type: none"> • 10% Masonry • 70% Metal • 20% Other <p>Materials (at least two):</p> <ul style="list-style-type: none"> • Concrete • Masonry • Brick • Decorative metal • Non-reflective coated metals • Stucco • Wood, painted or stained • Tile
b. Color Palette	Warm earth and gray tones and glass accents. Mirrored and reflective glass is prohibited.
c. Private Balconies	All residential units shall contain a minimum of one (1) private balcony, measuring a minimum of 60 square feet with a depth of 4 feet.
d. Screen Walls	Architectural detailing consistent or complementary to the building façade.
e. Garage Screening	Any portion of the parking garage visible from the public right-of-way or an off-site building shall be screened with material and design consistent with the primary building façade, more specifically shown on the following page and on Exhibit 14 . The parking structure exterior will be clad with architectural metal panels and extrusions, translucent glazing, and decorative lighting that will add texture, depth, shadow lines, create visual interest for pedestrians, and enhance the public right-of-way.

	<p>Screening shall include a minimum of:</p> <ul style="list-style-type: none"> • 20% Masonry • 20% Glazing • 60% Metal Panels and Extrusions <p>Other materials may include:</p> <ul style="list-style-type: none"> • Concrete • Glass • Non-reflective coated metals • Stucco • Wood, painted or stained • Tile <p>Garage openings shall be enhanced with specialty lighting, artwork, or materials to identify to the pedestrian the possible presence of automobiles.</p>  <p style="text-align: center;"> <small>TRANSLUCENT GLAZING STOREFRONT DIMENSIONAL METAL PANEL AND EXTRUSIONS VEGETATIVE SCREEN WALL RESIDENTIAL BALCONY AND PLANTERS</small> </p>
<p>f. Public Right-of-Way Access Points</p>	<p>A minimum of two (2) building entrances, one (1) on or within 50 feet of Scottsdale Road and one (1) on or within 50 feet of Bell Road, that directly connect to the publicly accessible sidewalk adjacent to the street. All pedestrian entrances shall be defined by pedestrian-oriented scale and the use of distinctive materials and architectural elements per Section 1305.3.a. in the Zoning Ordinance, as approved by the Planning and Development Department.</p>
<p>g. Ground Floor Walls</p>	<p>Ground floor blank walls visible from the public sidewalk shall not exceed 20 linear feet without being interrupted by a window, door, or variation in building treatment, materials and/or design.</p>
<p>h. Building Massing</p>	<p>As shown on the conceptual site plan, the tallest portions of the project are positioned towards the arterial roadway intersection and step down in height towards the south. This strategy provides street presence anchoring the street corner while providing a visual transition to the lower-scale developments to the south and southwest. This design concept should be reflected in final building plans.</p>

	<p>The building form also utilizes a series of volumetric moves to create undulating floor edges, dramatic shadow lines, and visual interest on all elevations of the project. Several different balcony conditions, high quality architectural materials, and building projections help visually reduce the building mass and height. An example of this treatment is shown below:</p>  <p>To quantify the above design objective, no more than 40 percent of the façade shall be at the same vertical plane.</p>
<p>i. Base Guidelines</p>	<p>Any portion of the structure over two (2) stories in height shall be designed with a base that is differentiated from the remainder of the building. The base may range between one (1) and two (2) stories in height.</p>
<p>j. On-Site Pedestrian Circulation</p>	<p>Enhanced surfacing materials, such as stamped or colored concrete or other pavement treatments, that visually contrast with the adjacent parking and drive aisle surfaces shall be provided to delineate all areas where pedestrian paths cross drive aisles.</p>
<p>k. Bus Stop Enhancement</p>	<p>Clearly defined, accessible pedestrian pathways shall be provided to connect building entrances, bus stop pad, and public sidewalks using the most direct route for pedestrians.</p> <p>Architecturally or artistically integrated public amenities shall be provided to support an enhanced connection to the bus stop on Scottsdale Road. Amenities shall include a minimum of two (2) of the following, subject to approval by the Transit Department and issuance of required revocable permit(s) by the Street Transportation Department:</p> <ul style="list-style-type: none"> • Structural shade elements (may be cantilevered) • Seating (benches/chairs) • Public art elements

	<ul style="list-style-type: none"> • Community information/news event board/kiosk • Area wayfinding signage • Designer light fixtures • Additional bike racks • Stamped or colored concrete or other pavement treatments
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The following design guidelines apply to any multifamily development of the property (including mixed-use); in the event that stand-alone non-multifamily development occurs, the development standards applicable to such development shall be those of Ordinance Section 507 Tab A:

E2. Landscape Design Guidelines	
<p>a. Uniform Streetscape Design</p>	<p>On the adjacent public rights-of-way, the following shall be included:</p> <p>The sidewalk landscape strip located between sidewalk and back of curb along Bell Road and the streetscape along Scottsdale Road will provide a shade canopy of street trees and colorful mix of shrubs, accents, and groundcover to buffer the street from the detached sidewalk. The landscape will be comprised of:</p> <ul style="list-style-type: none"> • Multi-trunk Mesquite, Foothills Palo Verde or Ironwood Trees, or similar native species, meeting or exceeding the Landscape Standards set forth in Sections D2/b and c. • 3 different shrub species • 3 different accent species • 1 different groundcover species • Minimum 75% living groundcover coverage. <p>On-site landscaping located between the sidewalk and the building envelope will provide a shade canopy of street trees and a colorful mix of shrub, accents, and groundcover. The landscape will be comprised of:</p> <ul style="list-style-type: none"> • Multi-trunk Mesquite, Foothills Palo Verde or Ironwood Trees, or similar Native species, meeting or exceeding the Landscape Standards set forth in Sections D2/b and c • 3 different shrub species • 3 different accent species • 1 different groundcover species • Minimum 75% living groundcover coverage.

<p>b. Uniform Perimeter Design</p>	<p>The south property line will provide colorful mix of shrubs, accents, and groundcover to buffer the adjacent properties, as well as the private accessway from the project to the extent practical. The landscape will be comprised of:</p> <ul style="list-style-type: none"> • Multi-trunk Mesquite, Foothills Palo Verde or Ironwood Trees, or similar Native species, meeting or exceeding the Landscape Standards set forth in Sections D2/d • 2 different shrub species • 2 different accent species • 1 different groundcover species • Minimum of 75% living groundcover coverage for areas not otherwise paved or utilized for drive aisle or sidewalks <p>The west property line will provide a buffer the adjacent property, consisting of shrubs to provide a minimum of 75% minimum groundcover coverage.</p>
<p>c. Bus Bay</p>	<p>Trees and/or physical shading (subject to required revocable permit) shall be provided around the existing bus stop on Scottsdale Road to achieve 75% shading of the bus stop. Exception: Utility conflicts, ADA access conflicts, or a determination by the Transit Department that some or all of the shading features may conflict with bus operations and/or safety. In such an event, shading can be reduced as necessary where it is impractical to meet this guideline.</p>
<p>d. Minimum Common Open Spaces</p>	<p>The podium deck will include a shade canopy of trees and colorful mix of shrubs, accents, and groundcover to provide visual interest and a comfortable seating environment. The landscape will be comprised of:</p> <ul style="list-style-type: none"> • Multi-trunk Mesquite, Foothills Palo Verde or Ironwood Trees, or similar low water-use, low litter species, meeting or exceeding the Landscape Standards set forth in Sections D2/b and c. • 4 different shrub or groundcover species min. • 3 different accent species min. <p>The outdoor courtyard will include a shade canopy of trees and a mix of shrubs, accents, and groundcover to provide visual interest and a comfortable seating environment.</p> <p>The landscape will be comprised of:</p> <ul style="list-style-type: none"> • Multi-trunk Mesquite, Foothills Palo Verde or Ironwood Trees, or similar low water-use, low litter species, meeting or exceeding the Landscape Standards set forth in Sections D2/b and c. • 4 different shrub / groundcover species min.

	<ul style="list-style-type: none"> • 3 different accent species min <p>The roof deck shall be planted with low groundcover/shrubs around the amenity/pool deck. In addition, tree planters have been added on the unoccupied roof deck area. The landscape will be comprised of:</p> <ul style="list-style-type: none"> • Multi-trunk Mesquite, Foothills Palo Verde or Ironwood Trees, or similar low water-use, low litter species, meeting or exceeding the Landscape Standards set forth in Sections D2/b and c. • 4 different shrub or groundcover species min. • 3 different accent species min.
<p>e. Entry Court and Water Feature Grove⁹</p>	<p>Entry Court shall include a minimum 9,000 square foot area to be located near the main building entrance with at least four (4) of the following:</p> <ul style="list-style-type: none"> • Seating/bench(es) • Shaded outdoor dining area • Public art feature • Shade canopy • Decorative pavers • Trellis/landscaped area(s) <p>Water Feature Grove shall be included within the Entry Court and shall be a minimum 2,500 square foot area that includes (i) a shade canopy of trees to provide visual interest and (ii) a comfortable seating environment. See Section D2.f for shade requirements.</p> <p>The shade canopy will be comprised of:</p> <ul style="list-style-type: none"> • Standard trunk Heritage Live Oak, Evergreen Elm, or similar upright tree species, meeting or exceeding the Landscape Standards set forth in Sections D2/b and c. <p>To provide for a comfortable seating environment, the Water Feature Grove shall include a minimum 60 square foot water feature and at least three (3) of the following:</p> <ul style="list-style-type: none"> • Seating/bench(es) • Moveable dining tables and chairs • Shaded outdoor dining area • Shade canopy

⁹ For the purposes of calculating shade pursuant to Section D5, the entry court and water feature grove are not considered public or private sidewalks.

- Decorative pavers

The Entry Court and Water Feature Grove should be designed to allow for restriction of vehicular access from time to time in order to function as flexible event space for residents. Final design for this area should be generally consistent with the conceptual image below:



E3: Amenities

E3. Amenities

a. Resident Amenities

Residential amenities shall include:

- Resident lounge/clubhouse no less than 3,000 square feet
- Shared and private resident workspace no less than 2,000 square feet
- Fitness center no less than 4,000 square feet
- Dog park
- Indoor wellness space no less than 500 square feet
- Indoor event space no less than 4,000 square feet
- Swimming pool and/or spa with at least three (3) of the following:
 - Lounge deck
 - Shaded outdoor dining area(s)
 - Water feature(s)
 - Barbeque grill(s)
 - Fire feature(s)
 - Seating node(s)
 - Trellis areas (to provide shaded seating zones)

b. Implementation	<p>To implement the above, amenities standards are provided below, where applicable:</p> <ul style="list-style-type: none">• Lounge decks shall include sufficient space for permanent or placed seating, tables, and/or reclining sun chairs for a minimum of 10 persons• Shaded outdoor dining area shall be an area for the location of no less than four (4) table and chair sets under a cover (structural and/or vegetative) and shall have an enclosure element to separate the space from other areas, which may be a wall, planters or other feature to delineate the area.• Water features should be designed to limit loss of water by evaporation by avoiding placement in locations that experience long periods of direct sunlight and using non-spraying fountains (i.e. water features that move water via gravity, not larger pump driven fountains). Also see 507 Tab A.11.3.4.1.• Barbeque grill(s) shall incorporate a “built-in” design with base materials that are consistent with or complementary to the building materials• Fire feature shall be designed as a gathering space that includes sufficient clear area around for seating and/or a built-in seating area around the feature (i.e. a fire pit with large border for sitting on).• Seating Node areas shall be areas that are separated from other areas via wall, planters or other features to delineate the space.
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F. SIGNS

F1: Permitted Signs

Signage shall comply with Section 705 of the Zoning Ordinance.

G. SUSTAINABILITY

G1: City Enforced Standards

The following are standards that are measurable and enforceable by the City and will be provided:

- As encouraged by Zero Waste Phoenix, recycling receptacles and chutes will be provided in the refuse room. These will be commercial bins, serviced by private solid waste provider.
- Dual Glaze Windows with High Performance Low-e Glazing.
- All primary site lighting will be LED lighting.
- Provide water efficient landscaping (drought tolerant plants).
- Utilize a drip irrigation system with a 'smart' controller to minimize water waste.
- Salvage and reuse of existing trees is strongly encouraged, particularly along Scottsdale Road and Bell Road.

G2: Developer Enforced Standards

The following are sustainability practices that are highly encouraged and planned to be utilized but which are not enforceable by the City:

- Utilize low water usage plumbing fixtures.
- Encourage the design of buildings' HVAC systems to eliminate the usage of CFC's and CFC based refrigerants.
- Encourage the use of water-based adhesives on all VCT and vinyl flooring to minimize VOC off gassing.
- Lower flow toilets and showerheads.
- Energy Star Rated appliances.
- Reduce heat island effect through ample open space, desert adapted landscaping and vegetation to include, shrubs etc.
- Use of synthetic turf (outside of any landscape setback) on podium. Provide as much shade as practical.
- Recycling services will be provided for tenants.
- Tenant invoicing and billing services will be paperless.

H. INFRASTRUCTURE

H1: Grading and Drainage

The existing site consists of a commercial building with shops and a restaurant, including associated parking. The site is graded such that water flows away from the building. Existing onsite stormwater is mainly conveyed through curb and gutter within the site and discharged at curb openings that conduct flow to surface retention basins adjacent to Scottsdale Road, which discharge employing dry wells. In addition, there is an existing surface retention basin in the landscape area at the southwest corner of the site. Existing offsite run-off flowing to the east from Bell Road is conveyed through curb and gutter and captured at an existing catch basin located near the intersection of Bell Road and Scottsdale Road; this catchment structure directs flows to the public stormwater system. Offsite run-off from Scottsdale Road flows toward the south by curb and gutter. Existing offsite flows from the west are intercepted by a curb running adjacent to the west property line of the lot and captured at an offsite catch basin near the southwest corner of the property. The adjoining parcel to the south directs its run-off toward the south of their property. In addition, there is an existing catch basin at the southwest corner of the property which collects flows from the portion of 71 Street that intersects the property. Overall, there are currently a total of five (5) main basins and two (2) drywells within the site.

The proposed site design consists of a 14-story building with a basement parking garage. The proposed onsite drainage will be handled within paved areas through catch basins and underground CMP pipes. Onsite retention will be provided considering a pre vs. post drainage analysis for the proposed residential development, having total discharge of the storm water within thirty-six (36) hours via drywells.

H2: Water and Wastewater

Public water infrastructure exists in the adjacent public roads and is assumed to be of sufficient capacity to service the proposed development. New private domestic and fire suppression services will be provided as necessary onsite per current City development codes and policies. Existing services will be evaluated for reuse by the new development as appropriate. The proposed building will discharge to a 6-inch sanitary sewer main in 71st Street. Water service will be provided on the southeast corner of the property by a 3" service line tapped into an existing 12" line within Scottsdale Road. A 1" irrigation service line will also be connected to the same existing 12" line. An existing fire hydrant on the northwest corner of the property will be relocated to facilitate the new construction and a proposed fire hydrant will be added to the southwestern corner of the site to provide sufficient coverage for fire protection. A fire department connection and fire service line are proposed for the Southwestern corner of the proposed building.

H3: Circulation Systems

According to the traffic generation statement that was conducted for the project (filed under separate cover), it was determined that the proposed use of the site would generate 1,216 weekday trips, with 84 trips (20 in, 64 out) during the AM peak hour and 95 trips (58 in, 37 out) during the PM peak hour. Overall, compared to the existing commercial/retail land use, the proposed development is anticipated to generate 504 fewer daily trips, with 76 fewer trips (-79 in, 3 out) during the AM peak hour and 35 greater trips (29 in, 6 out) during the PM peak hour.

The adjacent public roadways (Scottsdale Road and Bell Road) are built to full public standards and are at their final build out sizes and configurations. No changes are proposed for these roadways.

The project will have three (3) access points—one (1) existing right-in-right-out driveway onto eastbound Bell Road and two (2) driveways (one new driveway as enter-only and one existing driveway as exit-only) onto 71st Street, a private collector road that connects to both Bell Road and Scottsdale Road.

H4: Complete Streets

In 2018, the City of Phoenix adopted its Complete Streets Design Guidelines with the goal of promoting health and safety through active streetscapes. The City of Phoenix Complete Streets Design Guidelines include a number of suggestions for new development, some of which are applicable to this project:

- Streets should be designed to promote safety for all users, particularly children, the elderly, those with disabilities, transit users and more vulnerable modes (walking, bicycling, transit). See **Section E1.g: Pedestrian Circulation**, “Enhanced surfacing materials, such as stamped or colored concrete or other pavement treatments, that visually contrast with the adjacent parking and drive aisle surfaces shall be provided to delineate all areas where pedestrian paths cross drive aisles, as approved by the Planning and Development Department.”
- Shade should be a primary technique in projects to reduce ambient temperatures and reduce direct sunlight exposure for pedestrians and cyclists. See **Section D5: Shade**, “Shading, which may be architectural, vegetative or any combination thereof, shall be provided at a minimum of 75% for all public and private sidewalks.”
- All new street designs should include pedestrian infrastructure with pedestrian through zones free of impediments. See **Section E1.h: Bus Stop Enhancement**, “Architecturally or artistically integrated public amenities shall be provided to support an enhanced connection to the bus stop on Scottsdale Road.”

- Streets should be designed to expand the availability of public seating and bicycle racks. See **Section D2.g Entry Court and Water Feature Grove**, “Minimum 9,000 square foot entry court to be located near main entrance of the building with a minimum 2,500 square foot water feature grove area” and **Section E2.e, Entry Court and Water Feature Grove**, “Water Feature Grove shall include a minimum 2,500 square foot area with a shade canopy of trees to provide visual interest and a comfortable seating environment.”

I. COMPARATIVE ZONING STANDARDS

I: Comparative Zoning Standards Table

Standards	C-2 Standards	R-3 Standards	Proposed PUD Standards
a. Minimum Lot Width/Depth	No Standard	60' Width, 94' Depth	No Standard
b. Maximum Density	14.5 Dwelling Units/Acre Up to 43.5 Dwelling Units/Acre with "Density Waiver"	14.5 Dwelling Units/Acre	99.61 Dwelling Units/Acre
c. Building Setbacks			
North (Side):	10'/3'	10'/3'	23' (Minimum)
South (Side):	10'/3'	10'/3'	3' (Minimum); 17' (Average)
East (Front):	25'	25'	9' (Minimum); 22' (Average)
West (Rear):	15'	15'	5' (Minimum)
d. Maximum Height	2 Stories or 30' Up to 4 Stories or 56' with "Height Waiver"	2 Stories or 30'	14 Stories or 159'
e. Lot Coverage	No Standard	45%	65%
f. Landscape Standards			
North (Side):	10'/3'	10'/3'	20' (Minimum)
South (Side):	10'/3'	10'/3'	Not Required
East (Front):	25'	25'	7' (Minimum); 15' (Average)
West (Rear):	15'	15'	5' (Minimum)

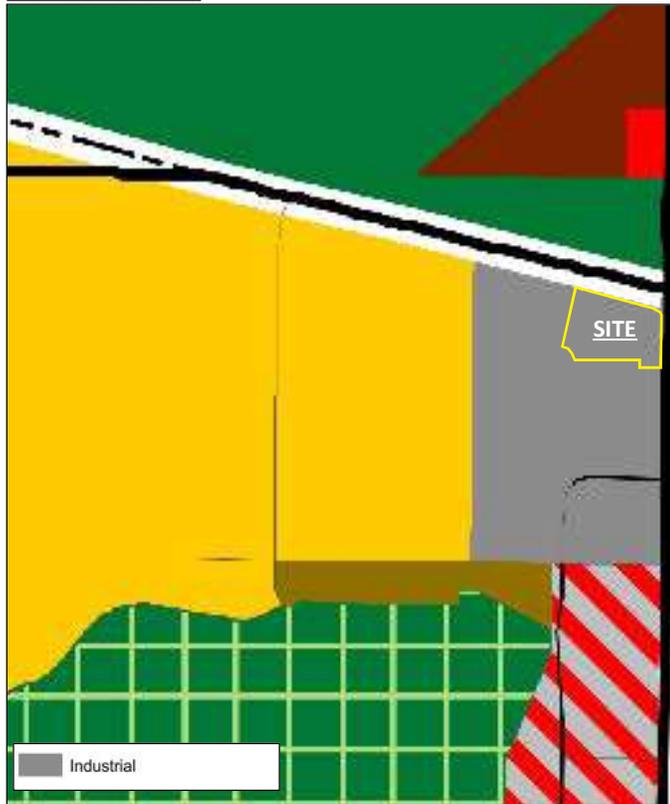
Standards	C-2 Standards	R-3 Standards	Proposed PUD Standards
g. Vehicle Parking 1 Bedroom (160 Units): 2 Bedroom (87 Units): 3 Bedroom (8 Units): Unreserved Visitor: Total Spaces:	1.5 Parking Spaces per Unit 1.5 Parking Spaces per Unit 2 Parking Spaces per Unit 0.5 Parking Spaces per 1 or 2 Bedroom Unit plus 1.0 Parking Space per 3 Bedroom Unit 519 Parking Spaces		1.52 Parking Spaces per Unit 1.52 Parking Spaces per Unit 1.52 Parking Spaces per Unit 0.35 Parking Spaces per Unit 476 Parking Spaces

J. LEGAL DESCRIPTION

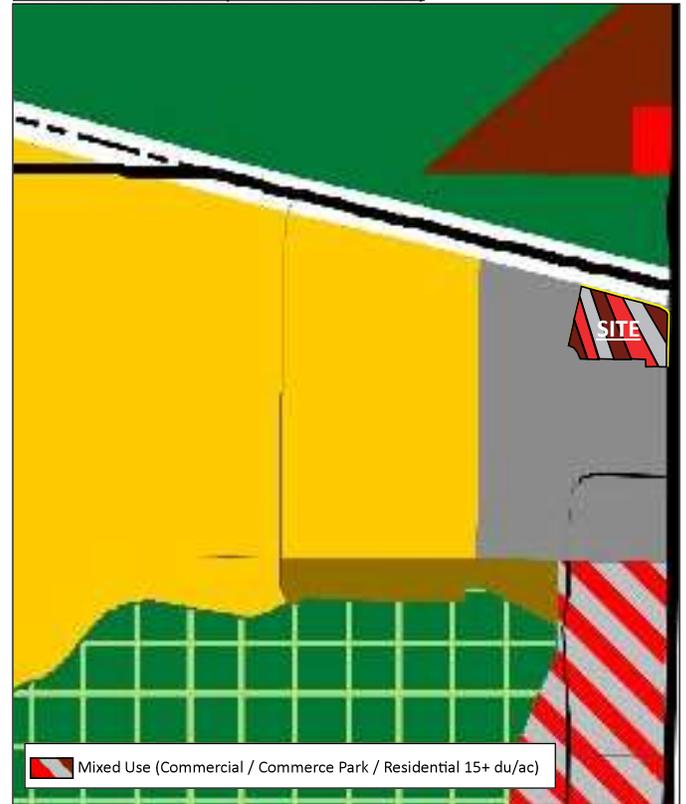
J: Legal Description

PARCEL "C", AS SHOWN ON THE FINAL PLAT OF PRINCESS CROSSING, RECORDED IN BOOK 445 OF MAPS, PAGE 18 IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, LYING WITHIN THE NORTHEAST QUARTER OF SECTION 3, TOWNSHIP 3 NORTH, RANGE 4 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

EXISTING LAND USE MAP



PROPOSED LAND USE MAP (CASE NO. GPA-PV-1-21-2)

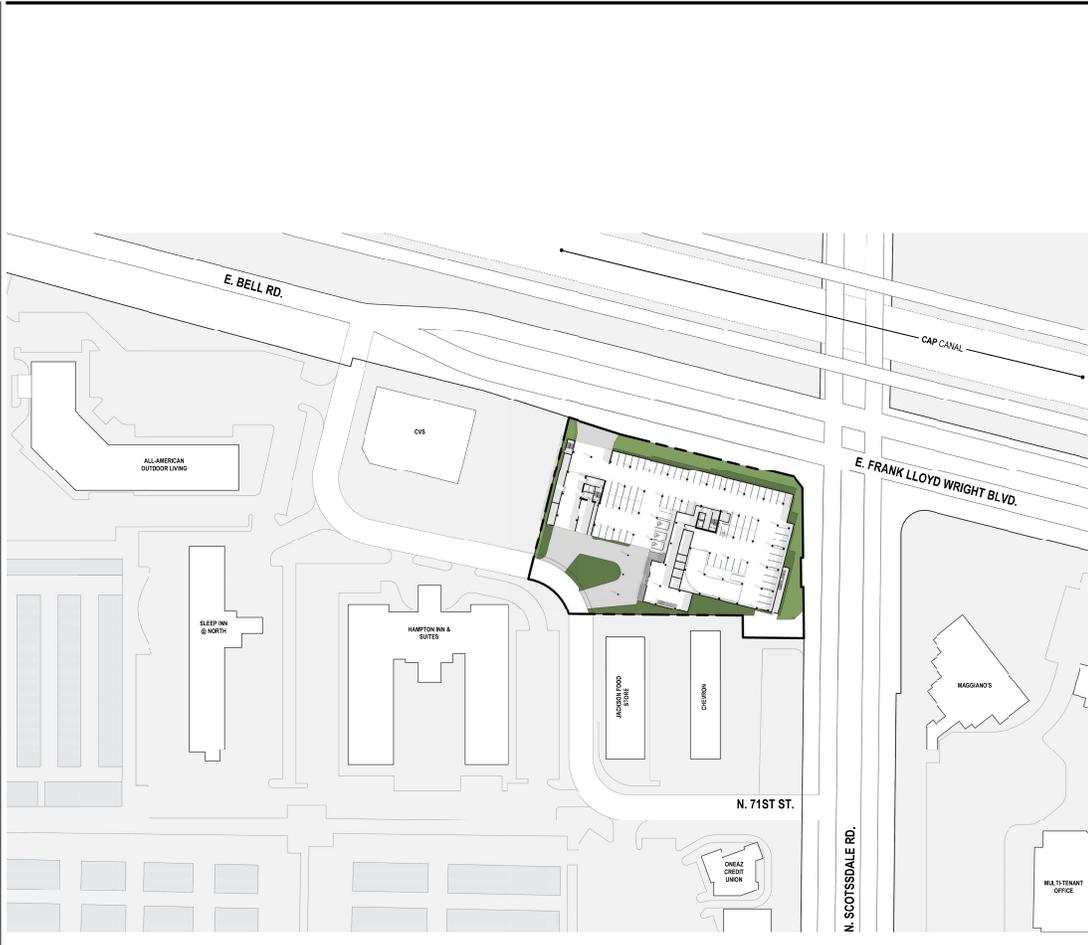


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 400 E Van Buren Street Phoenix, AZ 85004



GENERAL PLAN LAND USE MAP

EXHIBIT 1
 SCOTTSDALE & BELL
 12/30/2021



01 MASTER SITE PLAN
SCALE: 1"=80'-0"

THE HAMPTON GROUP
8432 E Shea Blvd
Scottsdale, AZ
85260

Gensler

2575 E Camelback Road
Suite 175
Phoenix, AZ 85016
United States
Tel: 602.523.4900
Fax: 602.523.4949

Date: 04/02/21
Description: P10 Residential

Seal/Signature

NOT FOR CONSTRUCTION

Project Name: SCOTTSDALE & BELL RESIDENTIAL DEVELOPMENT

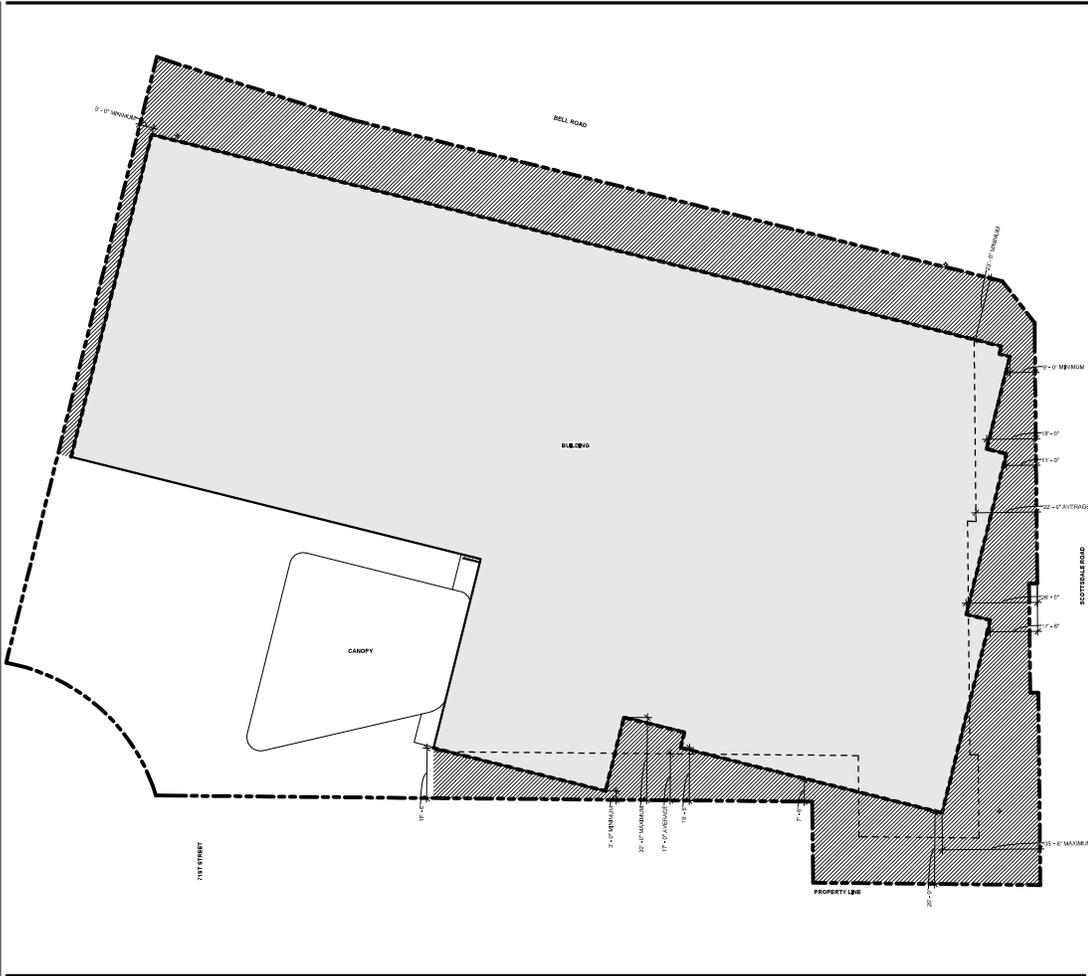
Project Number: 057.8157.000

Description: MASTER SITE PLAN

STAMP
KVA # : 204521
C.S.N. : 3644
PAPP # : 201285

Scale: 1"=80'-0"
North

P0.000



PROJECT INFORMATION

SITE
 1844 N. SCOTTSDALE RD
 SCOTTSDALE, AZ 85261
 APN: 401-43-120

LOT AREA
 111,035 SF (2.56 ACRES) GROSS
 83,100 SF (1.88 ACRES) NET

LOT COVERAGE
 50.00% / 62.02% - 61% ALLOWABLE = 50%

DRILLING UNITS
 18 + 160 28 + 97 38 + 6 TOTAL = 255

DENSITY
 255 / 2.56 = 99.6 ALLOWABLE = 45.88

BUILDING HEIGHT
 18 FT
 16 STORES

SETBACKS	MIN	MAX	AVERAGE
NORTH	33'-0"	23'-0"	23'-0"
EAST	9'-0"	38'-0"	22'-0"
SOUTH	9'-0"	28'-0"	17'-0"
WEST	9'-0"	8'-0"	9'-0"

STAMP RVA # 20-4521 PAPP # 201285
 Q.S. # 36-44

THE HAMPTON GROUP
 8432 E Shea Blvd
 Scottsdale, AZ 85260

Gensler
 257 E Camelback Road
 Suite 1710
 Phoenix, AZ 85016
 United States
 Tel: 602.523.4900
 Fax: 602.523.4949

Date: 04/22/21 Description: P102 Residential

Scale/Signature

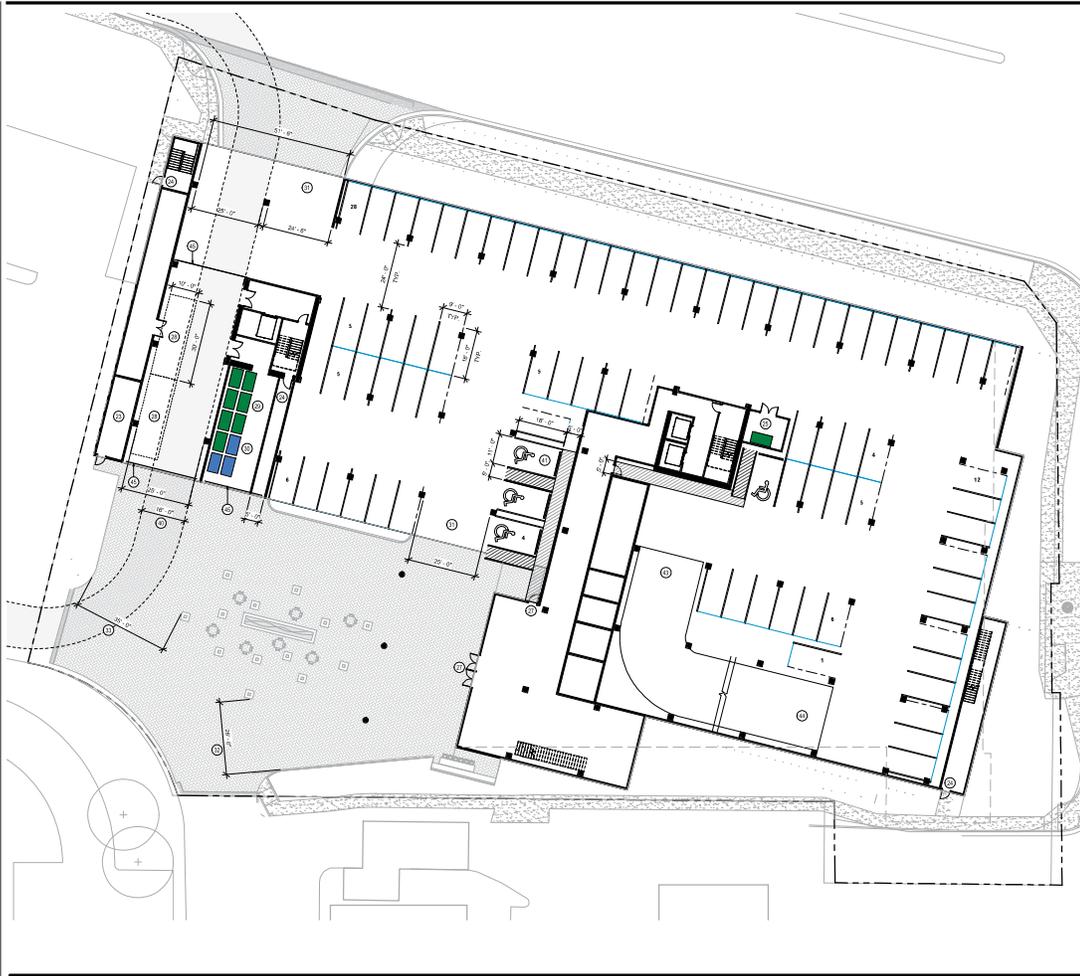
NOT FOR CONSTRUCTION

Project Name: SCOTTSDALE & BELL RESIDENTIAL DEVELOPMENT
 Project Number: 057.8157.000
 Description: SETBACK EXHIBIT

Scale: 1/16" = 1'-0" North

P0.001

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01 GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

- SHEET NOTES**
- 23 FIRE COMMAND CENTER
 - 24 BUILDING EXIT
 - 25 REFUSE COLLECTION
 - 27 BUILDING ENTRANCE
 - 28 LOADING
 - 29 7.5 CY REFUSE CONTAINERS
 - 30 10.0 CY REFUSE CONTAINERS
 - 31 DRIVE ENTRY AND EXIT
 - 32 DRIVE ENTRY
 - 33 DRIVE EXIT
 - 40 REFUSE AND TRUCK ACCESS
 - 41 ADA PARKING SPACE
 - 42 PARKING RAMP UP TO LEVEL 2
 - 43 PARKING RAMP DOWN TO LOWER LEVEL 1
 - 44 ARCHITECTURAL SECURITY GATE
 - 47 PARKING UP TO GROUND LEVEL
 - 48 PARKING DOWN TO LOWER LEVEL 2
 - 49 PARKING UP TO LOWER LEVEL 1

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Scottsdale, AZ
85260

Gensler
257 E Camelback Road
Suite 1710
Phoenix, AZ 85016
United States

Tel: 602.523.4900
Fax: 602.523.4949

Date: 04/20/21
Description: PID Re-submittal

Scale/Signature

NOT FOR CONSTRUCTION

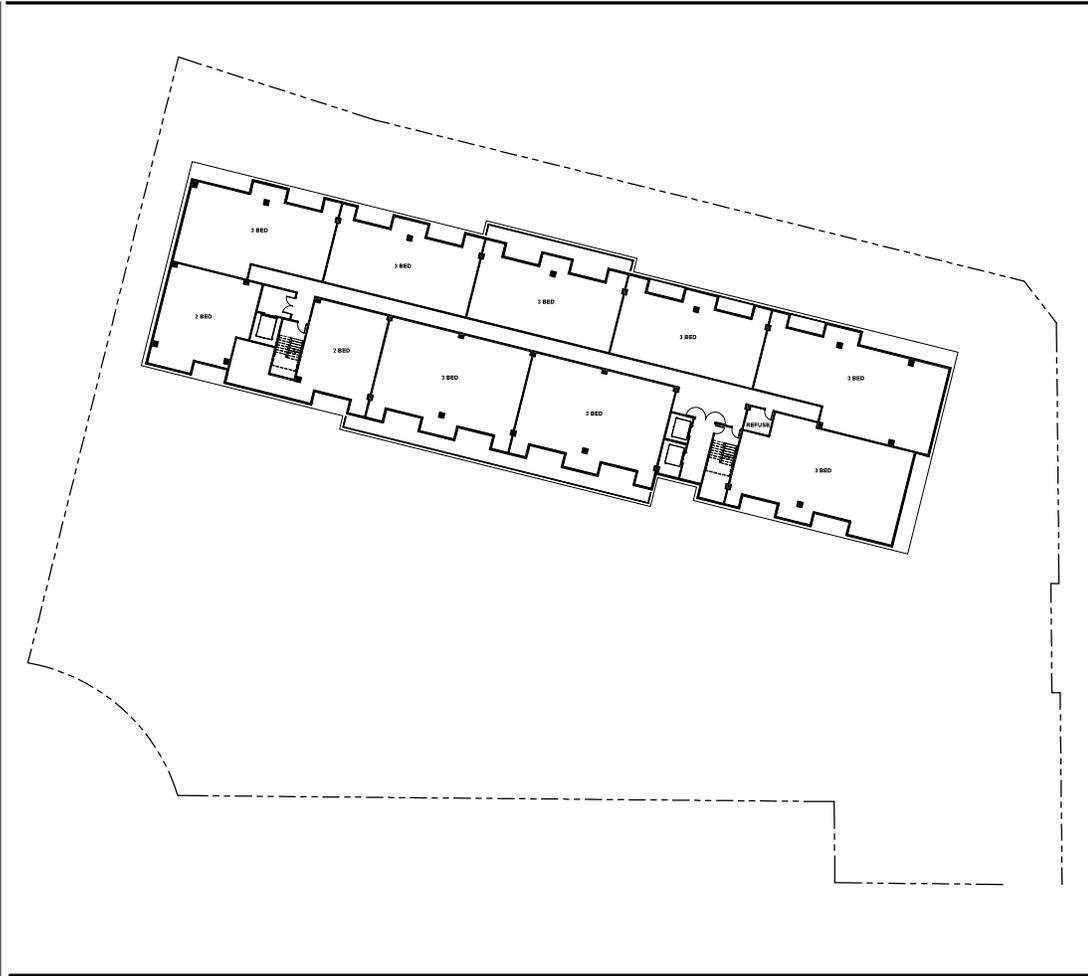
STAMP RVA # 204521 PAPP # 201585
C.S. # 3644

Project Name: SCOTTSDALE & BELL RESIDENTIAL DEVELOPMENT
Project Number: 057.8157.000
Description: GROUND FLOOR PLAN

Scale: 1/16" = 1'-0"

P1.010

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01 PENTHOUSE FLOOR PLAN
SCALE: 1/8" = 1'-0"

SHEET NOTES

STAMP RVA # 204321 PAPP # 201285
C.S.N. 3644

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8432 E Shea Blvd
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2575 E Camelback Road
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Phoenix, AZ 85016
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Tel: 602.523.4900
Fax: 602.523.4949

Δ Date Description
04/20/21 P10 Revisions

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
SCOTTSDALE & BELL RESIDENTIAL DEVELOPMENT

Project Number
057.8157.000

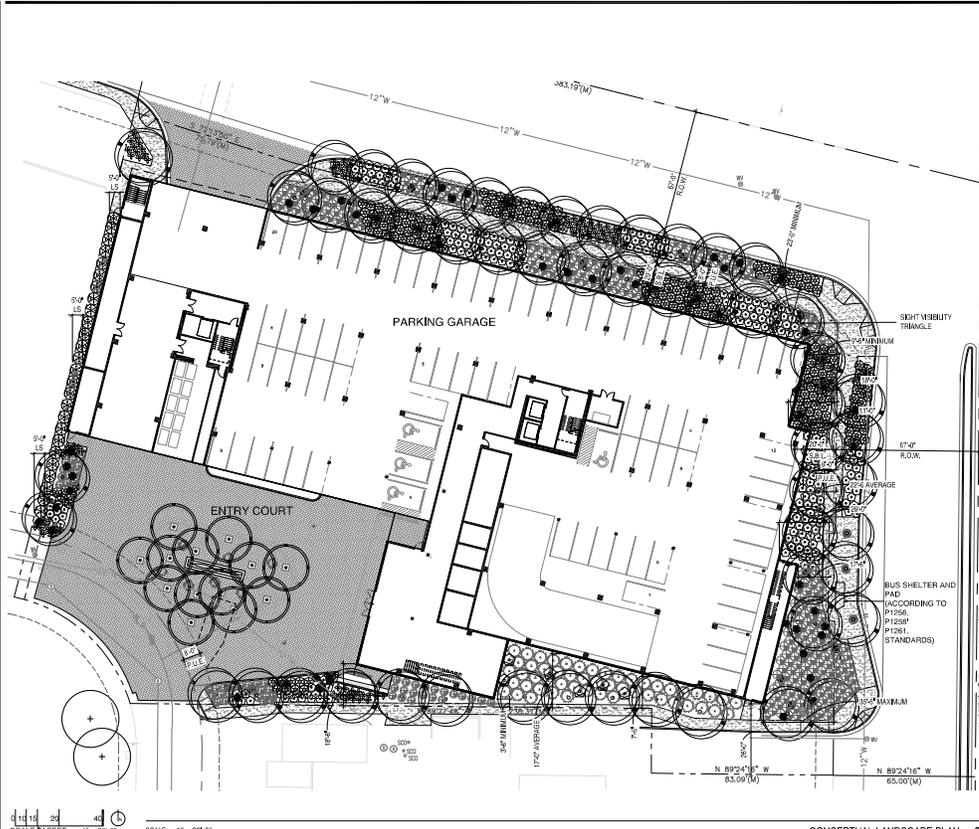
Description
PENTHOUSE FLOOR PLAN

Scale
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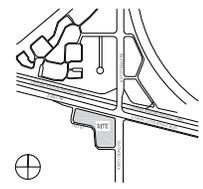
P1.130

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04/20/21 11:03:27 AM 04/20/21 11:03:27 AM 04/20/21 11:03:27 AM 04/20/21 11:03:27 AM 04/20/21 11:03:27 AM



- PLANT LEGEND**
- TREES:**
- PROCEDES HYBRID
 - ACRY SEEDLESS MESQUITE
 - QUEBRISO HYDRANGEA
 - HERITAGE LIVE OAK
- ACCENTS:**
- AGAVE FRANZOSINI
 - MALESTIC AGAVE
 - ALOE BARRADENSI
 - YELLOW MEDICAL ALOE VERA
 - YUCCA ROSTRATA
 - YUCCA ROSTRATA
 - ORNITHA GOMEZ OLD MEXICO
 - OLD MEXICO PECKLY PEAR
 - ORNITHA CACANARA
 - TEXAS BLUE PECKLY PEAR
- SHRUBS:**
- COONHOLEA VECOSA
 - HOPBUSH
 - MULLEINBERGIA REGENS
 - DEER GRASS
 - RUSSELLIA X ST. ELMO'S FIRE™
 - ST. ELMO'S FIRE FIRECRACKER PLANT
 - RUSSELLIA COLLECTOR'S
 - FIRECRACKER PLANT
- GROUND COVER:**
- PORTULACARIA AFRA
 - ELEPHANT FOOT
- INERT MATERIALS:**
- 2" SCREENED DECOMPOSED GRANITE TOP DRESSING AT 2" DEPTH MIN IN ALL PLANTERS UNLESS NOTED OTHERWISE.
 - COLOR: EXPRESS PAINTED DESERT.
- PLANTING GENERAL NOTES:**
- PLANTING AREAS SHALL BE WATERED WITH AN AUTOMATIC DRIP IRRIGATION SYSTEM.
 - ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS SET FORTH IN THE AMERICAN STANDARDS OF NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND BY THE AMERICAN ASSOCIATION OF RECOMMENDED TREE SPECIFICATIONS.



CITY OF PHOENIX APPROVALS

FORM NO. 0001

FORM # 001020

0.5.3-10-44

THE HAMPTON GROUP

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85258

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221 East Washington St
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Lester Stone

1-800-452-2499
Fax: 602-251-8493

COLWELL SHELOR
LANDSCAPE ARCHITECTURE

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602.623.2195
ACOLWELL@COLWELLSHELOR.COM

602.623.2100
4040TAXI@GMAIL.COM

LA Date: Description: 1-11-2024 Per: JLS/MLB



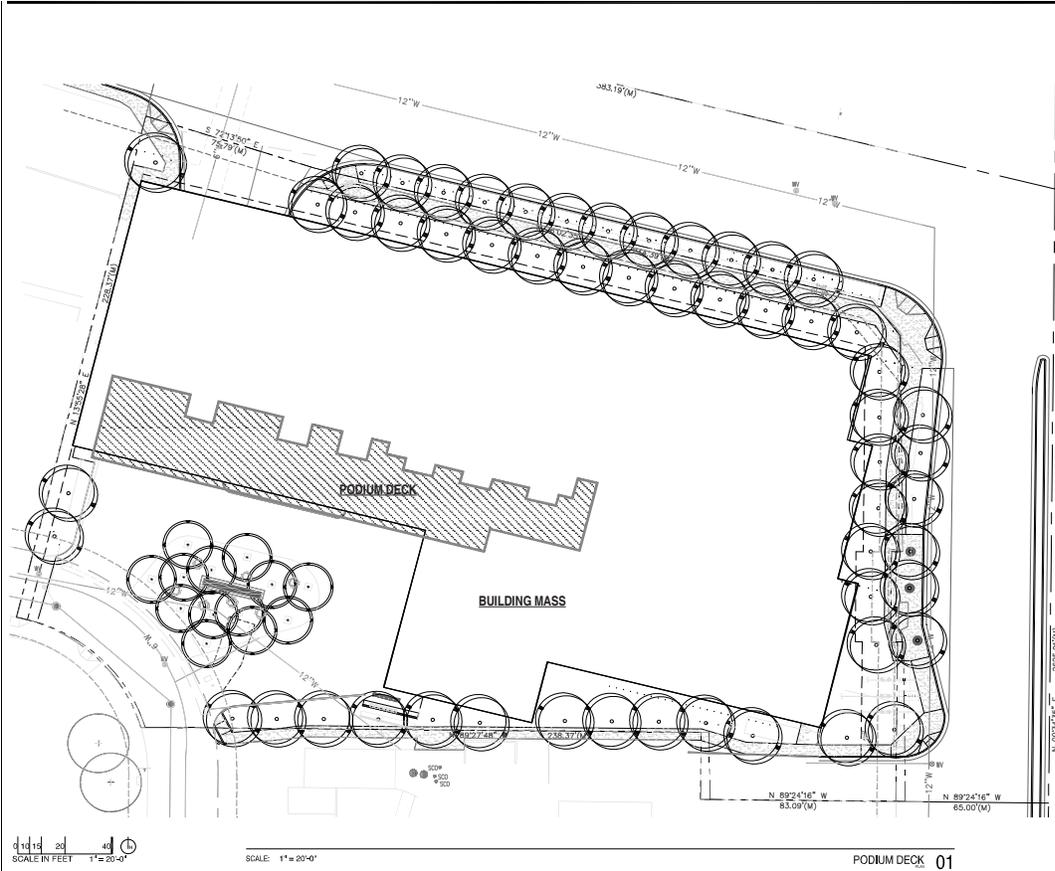
Project Name: SCOTTSDALE & BELL RESIDENTIAL DEVELOPMENT

Project Number: 20024

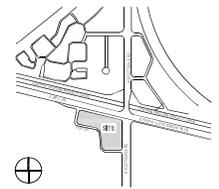
Description: CONCEPTUAL LANDSCAPE PLAN

Scale: 1" = 20'-0"

L2.00



OPEN SPACE CALCULATIONS	
SITE AREA	
GROSS: 111,513.6 (2.56 ACRES)	
NET: 82,132 S.F.	
OPEN SPACE	
REQUIRED: 35% OF NET ACREAGE (SEC 1310)	
PROVIDED: 33,838 S.F. / 82,132 S.F. = 41%	
ENTRY COURT	12,256 SF
PODIUM DECK	6,459 SF
OUTDOOR STUDIO	3,704 SF
POOL DECK	11,419 SF
TOTAL	35,803 SF



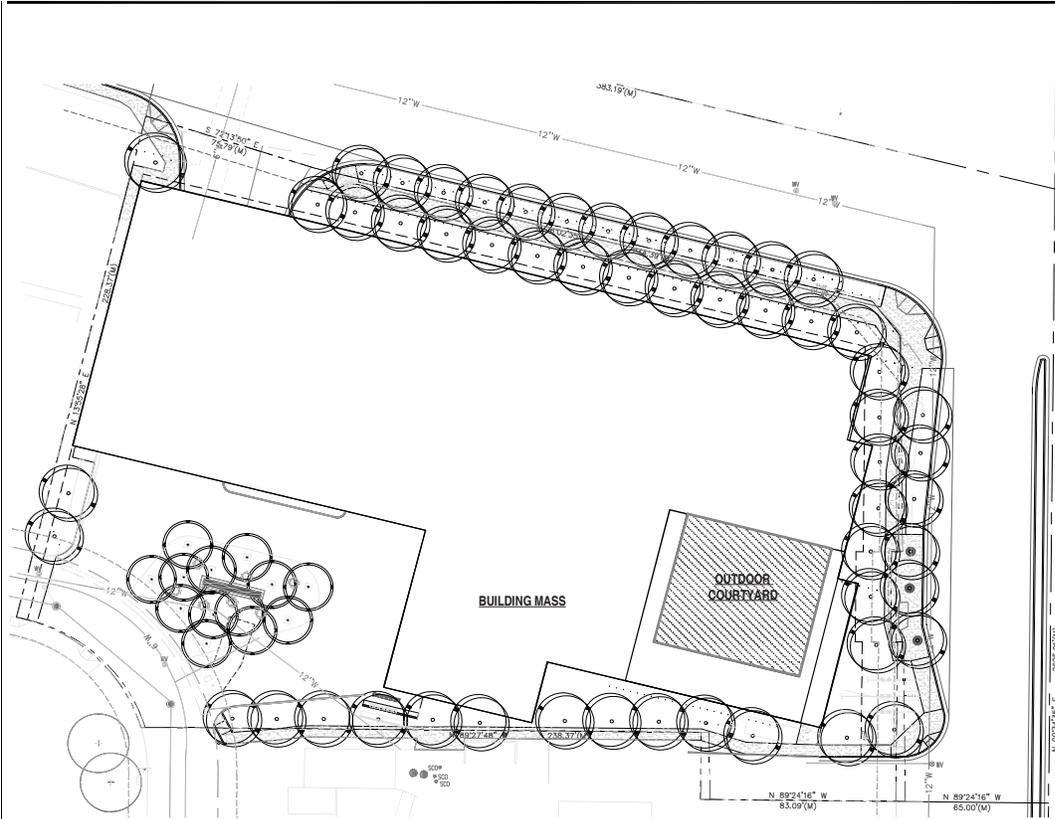
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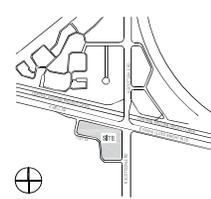
COLWELL SHELOR
 LANDSCAPE ARCHITECTURE
 4450 N 12th ST, SUITE 104
 PHOENIX, AZ 85014
 602.632.2195
 ACOLWELL@COLWELLSHELOR.COM

NOT FOR CONSTRUCTION

Project Name: SCOTTSDALE & BELL RESIDENTIAL DEVELOPMENT
 Project Number: 20024
 Description: PODIUM DECK
 Scale: 1" = 20'-0"



OPEN SPACE CALCULATIONS	
SITE AREA	
GROSS: 111,513.6 (2.56 ACRES)	
NET: 82,132 S.F.	
OPEN SPACE	
REQUIRED: 35% OF NET ACREAGE (SEC 1310)	
PROVIDED: 33,838 S.F. / 82,132 S.F. = 41%	
ENTRY COURT	12,256 SF
PODIUM DECK	6,459 SF
OUTDOOR STUDIO	3,704 SF
POOL DECK	11,419 SF
TOTAL	35,803 SF



VICINITY MAP

CITY OF PHOENIX APPROVALS
 R/A # 2014-0221
 P/APP # 2014-0225
 O.S.: 39-44

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 4450 N 12th ST, SUITE 104
 PHOENIX, AZ 85014
 602.633.2166
 ACOLWELL@COLWELLSHELOR.COM

NOT FOR CONSTRUCTION

Project Name: SCOTTSDALE & BELL RESIDENTIAL DEVELOPMENT
 Project Number: 20024
 Description: LEVEL-0 OUTDOOR COURTYARD
 Scale: 1" = 20'-0"

SCALE IN FEET 1" = 20'-0"

SCALE: 1" = 20'-0"

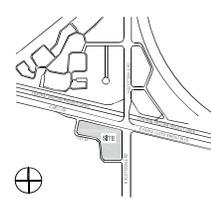
OUTDOOR COURTYARD 01



PEDESTRIAN SHADE CALCULATIONS

PUBLIC SIDEWALK AREA:	5,164.41 sqft
SHADE AREA REQUIRED %:	75%
SHADE AREA PROVIDED:	4,156.98 sqft
SHADE AREA PROVIDED%:	80.53%
SHADE AREA +/- %:	5.53%
sqft:	+ 285.56 sqft
PRIVATE SIDEWALK AREA:	1,570.74 sqft
SHADE AREA REQUIRED %:	75%
SHADE AREA PROVIDED:	1,363.06 sqft
SHADE AREA PROVIDED%:	86.80%
SHADE AREA +/- %:	11.80%
sqft:	+ 185.26 sqft

SHADE STUDY LEGEND		
	PUBLIC SIDEWALK	5,164.41 Sqft
	PUBLIC WALK WITH SHADE COVERAGE	4,156.98 Sqft
	PRIVATE SIDEWALK	1,570.74 Sqft
	PRIVATE SHADE COVERAGE	1,363.06 Sqft
SHADE WALK COVERAGE %		80.53% (75% REQ.)
PRIVATE SHADE COVERAGE %		86.80% (75% REQ.)



VICINITY MAP

CITY OF PHOENIX APPROVALS
 RIA #: 2014321
 PUP#: 2014325
 O.S.: 39-44

SCALE IN FEET 1" = 20'-0"

SCALE: 1" = 20'-0"

PEDESTRIAN AREA SHADE PLAN 01

THE HAMPTON GROUP
 8432 E Shea Blvd
 Scottsdale, AZ
 85250

Gensler
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 Suite 700
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 LMA0000000

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Project Name: SCOTTSDALE & BELL RESIDENTIAL DEVELOPMENT
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 Scale: 1" = 20'-0"

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71ST STREET LOOKING NORTHEAST



CORNER AT SCOTTSDALE ROAD + BELL ROAD LOOKING SOUTH



71ST STREET LOOKING NORTH



SCOTTSDALE ROAD LOOKING WEST

THE HAMPTON GROUP

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Scottsdale, AZ
85260

Gensler

257 E Camelback Road
Suite 1700
Phoenix, AZ 85016
United States

Tel: 480.523.4900
Fax: 480.523.4949

Δ Date	Description
04/02/21	P102 Residential

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
SCOTTSDALE & BELL RESIDENTIAL DEVELOPMENT

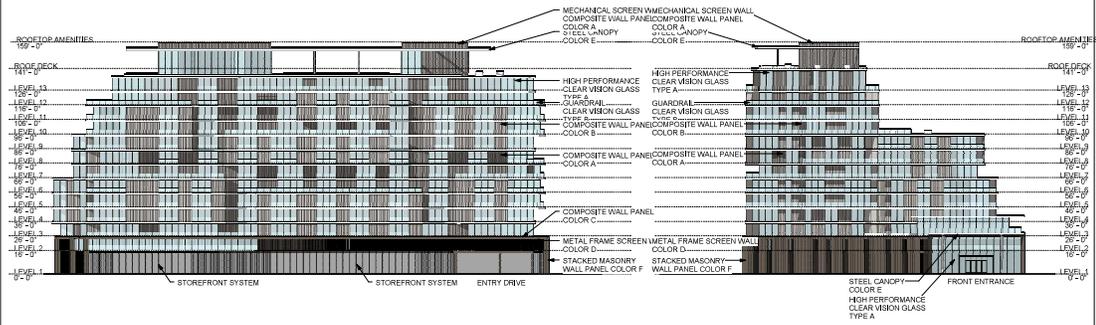
Project Number
057.8157.000

Description
PERSPECTIVES

Scale

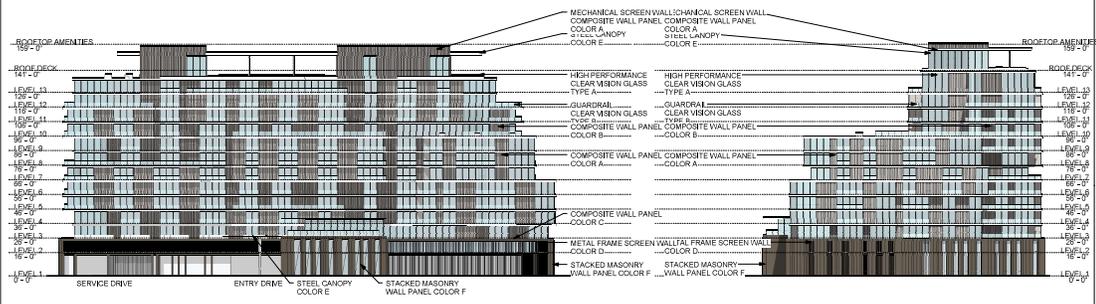
P6.000

STAMP R/A # : 204521 PAPP # : 201585
C.S.N. : 3644



02 NORTH ELEVATION
SCALE: 1" = 30'-0"

01 WEST ELEVATION
SCALE: 1" = 30'-0"



04 SOUTH ELEVATION
SCALE: 1" = 30'-0"

03 EAST ELEVATION
SCALE: 1" = 30'-0"

THE HAMPTON GROUP
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85260

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United States
Tel: 602.523.4900
Fax: 602.523.4949

Date	Description
9/20/21	P100 Revisions

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
SCOTTSDALE & BELL RESIDENTIAL DEVELOPMENT

Project Number
057.8157.000

Description
ELEVATIONS

STAMP DVA #: 20-4321 PAPP #: 2015255
Q.S. #: 38-42

Scale
1" = 30'-0"

P5.000

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21/02/21 11:52 AM IBM 300 20210202 - Scottsdale Bell Residential Development - 057.8157.000 - Elevations - 04



- TRANSLUCENT GLAZING STOREFRONT
- DIMENSIONAL METAL PANEL AND EXTRUSIONS
- VEGETATIVE SCREEN WALL
- RESIDENTIAL BALCONY AND PLANTERS

BELL ROAD VIEW DURING DAY



- TRANSLUCENT GLAZING STOREFRONT
- DIMENSIONAL METAL PANEL AND EXTRUSIONS
- VEGETATIVE SCREEN WALL
- RECESSED PERIMETER LIGHTING
- RESIDENTIAL BALCONY AND PLANTERS

BELL ROAD VIEW AT NIGHT

THE HAMPTON GROUP

8432 E Shea Blvd
Scottsdale, AZ
85260

Gensler

257 E Camelback Road
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Phoenix, AZ 85016
United States

Tel: 602.523.4900
Fax: 602.523.4949

Δ Date	Description
06/20/21	PI0 Residential

Seal / Signature

NOT FOR CONSTRUCTION

STAMP R/A # : 204521 P/APP # : 201585
C.D.S. # : 3644

Project Name	SCOTTSDALE & BELL RESIDENTIAL DEVELOPMENT
Project Number	057.8157.000
Description	BUILDING DETAILS

Scale
1/2" = 1'-0"

P7.001

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CITY OF PHOENIX GRADING AND DRAINAGE NOTES

- CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE LATEST APPLICABLE MANROOF ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND DETAILS, THE LATEST CITY OF PHOENIX SUPPLEMENT TO THE MAG UNIFORM STANDARD SPECIFICATIONS AND DETAILS.
- CONSTRUCTION SHALL COMPLY WITH MAG SECTION 601.
- OBSTRUCTIONS TO PROPOSED IMPROVEMENTS IN THE RIGHT-OF-WAY SHALL BE REMOVED OR RELOCATED BEFORE BEGINNING CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
- THE ACTUAL POINT OF PAVEMENT MATCHING AND/OR TERMINATION SHALL BE DETERMINED IN THE FIELD BY THE CITY OF PHOENIX, PLANNING & DEVELOPMENT DEPARTMENT FIELD INSPECTOR.
- PAVEMENT REPLACEMENT THICKNESS AND TYPE ARE TO BE PER MAG SECTION 336 AND C.O.P. DETAIL P1200 - TYPE B CURB AND OUTER REPLACEMENT SHALL BE A MINIMUM OF ONE (1) FULL SECTION PER MAG STANDARD DETAIL 220, SIDEWALK REPLACEMENT SHALL BE A MINIMUM OF ONE (1) FULL PANEL PER C.O.P. DETAIL P1200.
- TREES AND SHRUBBERY IN THE RIGHT-OF-WAY THAT CONFLICT WITH PROPOSED IMPROVEMENTS SHALL NOT BE REMOVED WITHOUT APPROVAL OF THE CITY LANDSCAPE ARCHITECT OR HIS ASSIGNEE. THE PERMITTEE SHALL BE RESPONSIBLE FOR OBTAINING AUTHORIZATION TO REMOVE AND/OR RELOCATE SAID TREES OR SHRUBBERY BY CALLING THE PARKS AND RECREATION DEPARTMENT AT (602) 252-4500.
- A PAVEMENT CUT SURCHARGE SHALL BE ASSESSED ON THIS PROJECT FOR ANY TRENCHING OR POTHOLES IN NEW ASPHALT PAVEMENT THAT IS LESS THAN 30 MONTHS OLD. SURCHARGE FEES ASSESSED ARE IN ADDITION TO THE REGULAR PERMIT FEES AND ARE OVER AND ABOVE ANY SPECIAL BACKFILL, COMPACTION, AND PAVEMENT REPLACEMENT STIPULATIONS THAT MAY BE IMPOSED AS A CONDITION OF PERMITTING. PAVEMENT CUT SURCHARGE FEES ARE ASSESSED IN ACCORDANCE WITH SECTION 31-38 OF THE PHOENIX CITY CODE.
- A GRADING PERMIT IS REQUIRED UNDER CHAPTER 20A OF THE PHOENIX CITY CODE.
- WATER MAIN PERMITS ARE REQUIRED, THAT MUST BE OBTAINED PRIOR TO ANY CONSTRUCTION OF THE GRADING AND DRAINAGE PERMIT.
- EXCAVATING CONTRACTOR MUST OBTAIN LOCATION FOR WASTING EXCESS EXCAVATION AND A LETTER FROM OWNER GRANTING PERMISSION FOR DAMPING PRIOR TO STARTING ON-SITE CONSTRUCTION. IF EXCESS EXCAVATION EXCEEDS 100 CUBIC YARDS, THE DISPOSAL SITE WILL ALSO REQUIRE A GRADING AND DRAINAGE PERMIT.
- PLANNING & DEVELOPMENT DEPARTMENT FIELD INSPECTOR GROUP SHALL BE NOTIFIED 48 HOURS BEFORE ANY ON SITE AND/OR OFF-SITE CONSTRUCTION BEGINS, TELEPHONE (602) 262-7811.
- STAMPING FINISH FLOOR ELEVATIONS IS THE RESPONSIBILITY OF THE OWNER AND HIS ENGINEER. THE OWNER'S ENGINEER SHALL SUBMIT THREE SEALED COPIES OF THIS GRADING AND DRAINAGE PLAN DESIGNATED AS "RECORD DRAWING" (BEARING AN ORIGINAL SIGNATURE FROM THE ENGINEER FOR FINAL APPROVAL).
- PAID CERTIFICATIONS WILL BE REQUIRED ON ALL LOTS WITHIN THE SUBDIVISION AND SUBMITTED TO THE CIVIL/SITE INSPECTOR PRIOR TO ANY CONCRETE CONSTRUCTION IN THE RIGHT-OF-WAY. PAID CERTIFICATION CAN BE SUBMITTED TO THE CIVIL/SITE INSPECTOR BY EITHER SUBMITTING ONE APPROVED BLACK-LINE AS-BUILT GRADING AND DRAINAGE PLAN OR IN LETTER FORMAT SHOWING THE DESIGN AND AS-BUILT FLOOR ELEVATIONS AND SHOWN ON THE APPROVED GRADING AND DRAINAGE PLAN. IT IS REQUIRED THAT THE AS-BUILT PLAN AND LETTER BE SEALED BY A CIVIL ENGINEER OR LAND SURVEYOR REGISTERED IN THE STATE OF ARIZONA.
- A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
- AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- GRADING AND DRAINAGE PLAN APPROVAL INCLUDES THE CONSTRUCTION OF ALL SURFACE IMPROVEMENTS SHOWN ON THE APPROVED PLAN, INCLUDING, BUT NOT LIMITED TO, RETENTION AREAS, SEDIMENTATION BASINS, AND/OR OTHER DRAINAGE FACILITIES, DRAINAGE PATTERNS, WALLS, CURBS, ASPHALT PAVEMENT, AND BUILDING FLOOR ELEVATION.
- GRASSES SHOWN IN RETENTION AREAS ARE ZODIAC FERTILIZED GRASSES. SHOULD THE CONTRACTOR OR ANY SUBCONTRACTOR PLAN TO PLACE SPILL DIRT FROM FOOTINGS, UTILITY TRENCHES, LANDSCAPING, SWAMPING POOLS, ETC. IN THE BASINS, THE BASINS SHOULD BE SUFFICIENTLY OVER-DIGGED DURING THE ROUGH GRADING OPERATION TO ALLOW FOR THE PLACEMENT OF THE FILL OR LANDSCAPING MATERIALS.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING AND CONFIRMING DEPTHS OF ALL EXISTING UTILITY LINES WITHIN PROPOSED RETENTION BASIN AREAS. IF THE BASIN CANNOT BE CONSTRUCTED PER PLAN BECAUSE OF CONFLICTS, THE CONTRACTOR SHOULD OBTAIN MODIFICATION OF BASIN CONFIGURATION WITH THE CIVIL INSPECTOR TO DETERMINE IF A PLAN REVISION OF A FIELD DESIGN IS REQUIRED.
- ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SINKS, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BARRIERS, BARRIER WALLS, CONCRETE CHANNELS, OR OTHER MEASURES DESIGNED TO PROTECT ADJACENT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO BUILDING CONSTRUCTION.
- PER SECTION 46.7 OF THE CITY OF PHOENIX STORM WATER POLICIES AND STANDARDS, SIDE SLOPES OF STORM WATER STORAGE FACILITIES SHALL BE NO STEEPER THAN 5:1 FOR IMPROVED GRASS AREAS AND 3:1 FOR LANDSCAPE AREAS. SLOPE STABILIZATION MEASURES ARE REQUIRED FOR ALL SLOPES GREATER THAN 5:1. THE SLOPE STABILIZATION MEASURES MUST BE EASILY MAINTAINABLE USING COMMON MAINTENANCE EQUIPMENT AND BE DESIGNED WITH CONSIDERATION TO AESTHETICS. THE SLOPE STABILIZATION MEASURES SHALL BE CONSISTENT WITH COMMONLY USED ENGINEERING PRACTICES. UN-ASTABILIZED DECOMPOSED GRANITE IS NOT ALLOWED ON SLOPES GREATER THAN 5:1.
- ALL RETAINING WALLS ARE TO BE REVIEWED, PERMITTED, AND INSPECTED BY THE BUILDING SAFETY DIVISION OF THE PLANNING & DEVELOPMENT DEPARTMENT. ALL RETAINING WALLS ARE TO BE IN ACCORDANCE WITH SECTION 703 OF REQUIREMENTS. USE PERMIT FOR IS REQUIRED FOR ALL OVER-HOIST RETAINING WALLS.
- ALL IMPACT MUST MEET 2010 ASH STANDARDS FOR ACCESSIBLE DESIGN AND CITY OF PHOENIX SUPPLEMENT TO MAG UNIFORM STANDARD SPECIFICATIONS AND DETAILS, 224 MAX CROSS SLOPES AND 121 MAX LONGITUDINAL SLOPES.
- CERTIFICATE OF OCCUPANCY (C/O) AND/OR FINAL ELECTRICAL CLEARANCE FOR ANY BUILDING IS ISSUED UNTIL ALL GRADING AND DRAINAGE IMPROVEMENTS ARE COMPLETED.
- EXISTING OR NEWLY DAMAGED AND/OR ASPHALTED CONCRETE CURBS, OUTER, SIDEWALK, OR DRIVEWAY SLAB THAT IS WITHIN THE RIGHT-OF-WAY SHALL BE REPAIRED OR REPLACED, AS NOTED BY CIVIL INSPECTORS, BEFORE FINAL ACCEPTANCE OF THE WORK. THE ENGINEERING DESIGN ON THESE PLANS IS ONE APPROVED BY THE CITY IN SCOPE AND NOT IN DETAIL. CONSTRUCTION QUANTITIES ON THESE PLANS ARE NOT VERIFIED BY THE CITY. APPROVAL OF THESE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT THE CITY FROM REQUIRING CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH, SAFETY, OR OTHER DESIGN ISSUES.
- THE CITY OF PHOENIX POLICE DEPARTMENT ENFORCES LAWS REGARDING THE OPERATION OF COMMERCIAL VEHICLES. THIS INCLUDES ENFORCEMENT OF FEDERAL, STATE, COUNTY AND LOCAL LAWS AND ORDINANCES. QUESTIONS REGARDING COMMERCIAL VEHICLE ENFORCEMENT MAY BE DIRECTED TO THE COMMERCIAL VEHICLE ENFORCEMENT SUPERVISOR AT (602) 495-7813 (TRAFFIC BUREAU) OR (602) 495-4754 (TRAFFIC BUREAU NIGHT).
- PLAN APPROVAL IS VALID FOR 180 DAYS. PRIOR TO PLAN APPROVAL EXPIRATION, ALL ASSOCIATED PERMITS SHALL BE PURCHASED OR THE PLANS SHALL BE REQUIRING FOR EXTENSION OF PLAN APPROVAL, THE EXPANSION, EXTENSION, AND REVISIONS OF CIVIL ENGINEERING PLANS AND PERMITS SHALL FOLLOW THE SAME GUIDELINES AS THOSE INDICATED IN THE PHOENIX BUILDING CONSTRUCTION CODE ADMINISTRATIVE PROVISIONS SECTION 100.3 FOR BUILDING PERMITS.

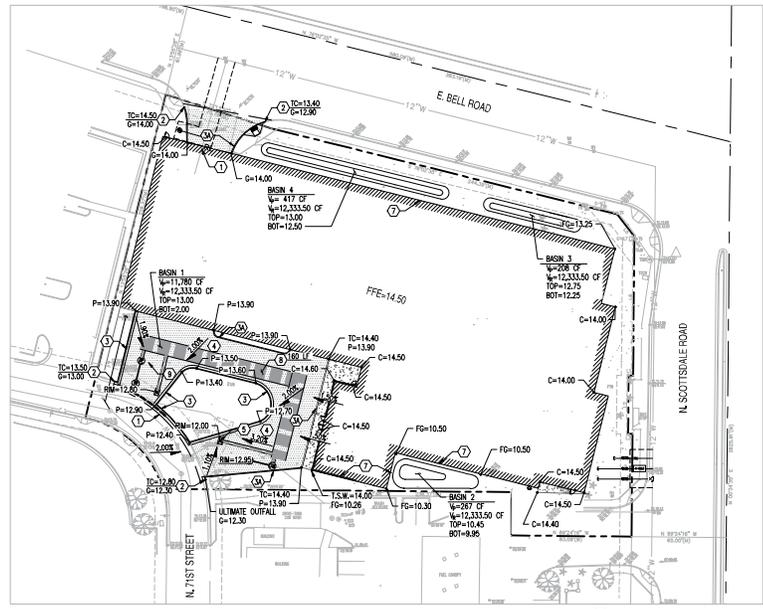
EXISTING LEGEND

	EX. SPOT ELEVATION		WATER LINE		LIGHT POLE
	EASEMENT LINE AS NOTED		WATER VALVE		STREET LIGHT MAST
	SEWER LINE		FIRE HYDRANT		TREE
	SEWER MANHOLE		STORM CATCH BASIN		CATCH BASIN
	SEWER MANHOLE		STORM MANHOLE		WATER METER

PROPOSED LEGEND

	OUTER ELEVATION, TC = 64x5"		PROPERTY LINE		CATCH BASIN
	PAVEMENT ELEVATION		CURB AND GUTTER		STORM PIPE
	CONCRETE ELEVATION		FROSLINE		STORM MANHOLE
	SLOPE ARROW		DRYWELL		WATER METER
	CAP		FIRE DEPARTMENT CONNECTION		LIGHT DUTY PAVEMENT

SWC SCOTTSDALE AND BELL
PRELIMINARY GRADING AND DRAINAGE PLAN
N SCOTTSDALE RD & E BELL RD



GRADING CONSTRUCTION KEY NOTES

- SMOKE REMOVE AND REPLACE ASPHALT CURB/OUTER REPLACE PAVEMENT PER MAG SPEC. 336 AND C.O.P. DET. P 1200, TYPE "T" 1-TOP.
- MATCH EXISTING GRADE, CONTRACTOR TO VERIFY IN FIELD ALL GRADES PRIOR TO CONSTRUCTION ACTIVITIES AND CONTACT ENGINEER IN CASE OF ANY DISCREPANCIES.
- CONSTRUCT "C" CONCRETE CURB AND GUTTER PER MAG STD. DET. 220-1 TYPE "A".
- CONSTRUCT "V" VERTICAL CURB PER MAG STD. DET. 222 TYPE "B".
- CONSTRUCT LIGHT DUTY ASPHALT PAVEMENT PER DET. X/DLXX.
- FURNISH AND INSTALL CONCRETE CATCH BASIN PER MAG STD. DET. 535.
- FURNISH AND INSTALL HDPE DOUBLE WALL PIPE, CLASS 100, PIPE MATERIAL PER MAG SPECIFICATION 738. LENGTH, SIZE AND SLOPE PER PLAN.
- BUILDING STEM WALL.
- FURNISH AND INSTALL 14 GAUGE POLYMER COATED 120" CMP STORMWATER STORAGE SYSTEM. PIPE MATERIAL PER MAG SPECIFICATION 821. LENGTH AND SLOPE PER PLAN. CONTRACTOR TO PROVIDE SIGNED AND SEALED SHOP DRAWINGS TO ENGINEER FOR APPROVAL PRIOR TO MANUFACTURING.
- FURNISH AND INSTALL MANHOLE PLUS DRYWELL. REFER TO SHEET C-01X FOR DETAIL. NOTES CONTRACTOR TO HAVE A PERCOLATION TEST DONE ON FIRST CONSTRUCTED DRYWELL AND PROVIDE RESULTS TO ENGINEER FOR DETERMINATION OF ULTIMATE NUMBER OF REQUIRED DRYWELLS.

PRELIMINARY NOT FOR CONSTRUCTION

SEG
SUSTAINABILITY ENGINEERING GROUP

SMITH, KELLUMS & ASSOCIATES, INC. (SKA) ENGINEERING ARCHITECTURE INTERIOR DESIGN
1000 W. BUCKLEBOURNE DRIVE, SUITE 100, SCOTTSDALE, AZ 85257
TEL: 480.948.8800 FAX: 480.948.8801

PROJECT: SWC SCOTTSDALE AND BELL
LOCATION: N SCOTTSDALE RD & E BELL RD
DATE: 10/18/2020
ISSUED FOR: REVIEW

REVISION NO.	DATE

PROJECT NO.: 201909
PRELIMINARY GRADING AND DRAINAGE PLAN
 SHEET NO.: 1 OF 2
 DRAWING NO.: C3.10

LOCATION: Z:\SWC\PROJECTS\SWC\SCOTTSDALE & BELL - SCOTTSDALE - 200909\1 - 00 (05/11/21) - ENTIREMENT - PLAN\SWC - C3.00 - WMS.DWG

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