

# SCOTTSDALE TOWNE SQUARE THUNDERBIRD PHASE

14036 N. Scottsdale Road

**Planned Unit Development  
Development Narrative**  
Case No. Z-40-22-2



1st Submittal:	May 11, 2022
2nd Submittal:	October 10, 2022
3rd Submittal:	TBD
Hearing Submittal:	TBD
City Council Adopted:	TBD

## PLANNED UNIT DEVELOPMENT DISCLAIMER

A Planned Unit Development (“PUD”) is intended to be a stand-alone set of zoning regulations for a particular project. Provisions not specifically regulated by the PUD are governed by the City of Phoenix Zoning Ordinance. A PUD includes substantial background information to illustrate the intent of the development. However, these purpose and intent statements are not necessarily requirements to be enforced by the City. The PUD only modifies zoning ordinance regulations to fit the unique character of the project, site characteristics and location. It does not modify other City Codes or requirements. Additional public hearings may be necessary, such as, but not limited to, right-of-way abandonments.

This PUD will provide the set of regulatory zoning provisions designed to guide the implementation of the overall development plan through the City of Phoenix development review and permit process. The provisions provided within this PUD shall apply to all property within the PUD project boundary. The zoning and development standards provided herein shall amend the various noted provisions of the City of Phoenix Zoning Ordinance (as adopted and periodically amended). In the event of a conflict between a use, a development standard, or a described development procedure between the City of Phoenix Zoning Ordinance and the PUD, the PUD shall prevail.

## PRINCIPALS & DEVELOPMENT TEAM

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## A. PURPOSE AND INTENT

The intent of this application is to ensure *Scottsdale Towne Square* remains relevant in the ever-changing retail market and “Age of Amazon” and becomes a high-quality, vibrant, community retail center for years to come. To do so, this application will rezone approximately 8.67-gross acres of the center from Planned Shopping Center (PSC), Intermediate Commercial (C-2) and Intermediate Commercial with a Special Permit (C-2, SP) to Planned Unit Development (PUD) to allow for reinvestment and the redevelopment of the aging center into a thriving, mixed-use development with retail, restaurants, residential and services uses designed around amenity spaces and the overall pedestrian experience. These improvements, termed the “Thunderbird Phase” will create a vibrant, mixed-use center and amenity for the surrounding residents and businesses.

### 1. THE PROPERTY

The property is located at 14036 N. Scottsdale Road, near the northwest corner of Thunderbird and Scottsdale Roads, Assessor Parcel #215-57-184N, (the “Property”). See area Vicinity Map attached at **TAB A**. The Property is roughly 8.67-acres in size and makes up the northern portion of the larger, roughly 16-acre commercial center commonly referred to as *Scottsdale Towne Square*. This application does not apply to the full center – only to the northern portion. See Site Aerial Maps attached at **TAB B**. This PUD application has been specifically tailored for this site to establish development standards and guidelines that will ensure a high-quality project that contributes to and enhances the retail experience and overall area. The Property has a General Plan designation of Commercial. See General Plan Map attached at **TAB C**. No change to the General Plan is required for this application.

## 2. THE CHANGING RETAIL MARKET (WHY THE STATUS QUO IS NOT SUSTAINABLE)

Markets are constantly changing; however, right now, the Retail market is in the midst a massive correction and contraction. Industry experts refer to this as the great “Retail Apocalypse.” This market shift, while exacerbated by the recent COVID pandemic, has been ongoing for over a decade. Consumer spending habits have evolved (i.e., Amazon and other online shopping options) and the retail market has matured with an increased emphasis on local, boutique services and experience-driven retail (i.e., restaurants, splash pads, gathering areas, etc.).

The site in question is no different. Originally developed in 1986, as a grocery anchored retail center, the property has evolved throughout the years as tenant and consumer needs changed. While the center has been immaculately maintained, it has inherent deficiencies which make it vulnerable to vacancy in today’s retail market. Specifically, the current layout of the buildings is dated and designed in a more suburban style with “big box” spaces and a large “sea” of asphalt parking out front. In a national trend, big box tenants have been downsizing and, in many cases, disappearing. This is evident in the previous 25,000 square feet of space now being occupied by a church. While a good stopgap by means of backfilling empty retail space, and the best option available at the time of vacancy, places of worship are not ideal in creating a thriving and dynamic retail center. They are typically only active for a few hours a week while the vast majority of the time they provide a large frontage of inactive space. The shopping center also currently lacks quality, marque gathering space(s) where visitors can relax and mingle with neighbors.

The above factors, when combined with the roughly 15,000-20,000 square feet of space which has traditionally been vacant, portray a property which is struggling to stay relevant in today’s retail market and, perhaps more importantly, not meeting the full potential this location has to offer. Ownership, through this application, is being proactive in adjusting for the future of retail and making a significant reinvestment in this site.

### 3. OVERALL DESIGN CONCEPT

The proposed project is in keeping with the revitalization and rejuvenation occurring along Scottsdale Road and to a greater extent, the Kierland area. New retail and commercial uses have sprung up along with new residences, adding to the vitality and prosperity of the area. The Thunderbird Phase will revitalize this center with the addition over 25,000 square feet of new retail / restaurant space designed with today's tenants and consumers in mind, along with 311 new residential units to add to the mix and vitality.

The long-term success and maintenance of this shopping center as a valuable commercial asset to the neighboring community is the committed goal of the project proposal. The existing retail strip center layout of the property has proven to be a dated model with a low probability of success moving into the future. Transitioning into a true mixed-use development has been a proven model for improving the commercial performance and ensuring a lengthy vitality for the property.

The development starts by eliminating large parking fields. Commercial uses are brought closer to Scottsdale Road to improve visibility and provide distance between parking intensive uses and the single-family zoned properties to the west. See Conceptual Site Plan at **TAB D**. Parking is then consolidated within structures and screened from public view. The residential uses on the project are either pushed west and used to transition between commercial and residential zones, or they are elevated vertically above the commercial spaces on the Scottsdale Road frontage. Both of these strategies serve to provide a reduced gradient of intensity as the property steps down towards residential neighborhood. See Conceptual Elevations at **TAB E**.

The layout of the plan helps to remove undesirable pedestrian conditions and replace them with dynamic experiences. The development now plans for a large public space with outdoor dining and community programming opportunities where asphalt and parking previously

occupied. Secured pedestrian connectivity provides better access between surrounding residents and the commercial uses. This access will encourage a more walkable retail experience. New pedestrian walkways are designed with upgraded sidewalks, site furnishings, and street trees to provide environmental comfort.

Existing vehicular connections remain, including restricted access to the single-family neighborhood. The drive on Scottsdale Road is the primary entry which connects to both structured parking and driveway that accesses the remainder of the commercial development to the south.

The perimeter edges of this development provide appropriate responses for integrating the new building into existing context. On the Scottsdale Road frontage, revitalized retail, new landscaping and enhanced pedestrian access improve a dated and unengaging experience currently in place. On the western edge, a radically improved setting will occur. Rather than the back of a retail center, a new series of pocket parks are being added to enhance the single-family residential community. Preliminary concepts call for spectacular artwork within these pocket parks from a renowned local artist. See Conceptual Pocket Park exhibits at **TAB F**. The existing gravel and parking wall condition will be replaced with a new paving, new furniture, art installation and landscaping at each pocket park. Beyond the pocket parks, enhanced planting, walking paths, screening and stepped facades will reduce visual impact of the development. These gestures shows the commitment to both respecting and improving the existing community.

Architectural building design for the development will reflect a contemporary use of brick to complement the existing commercial development. See Conceptual Renderings at **TAB G**, and Architectural Design Guidelines **TAB H** for additional information. Brick will be permitted to transition to EIFS or fiber cement cladding on upper levels. Accent materials will consist of a composition of natural material such as steel, metals, and composite façade cladding. Openings will be recessed to create shadow and respond environmentally for shading conditions. Retail improvements will be allowed to incorporate their trade dress and branding elements into the architectural design of the building.



## B. LAND USE PLAN

### 1. LAND USE CATEGORIES

The approximately 8.67-gross acre site is designed to allow retail and commercial uses and multifamily residential uses and associated amenities.

### 2. CONCEPTUAL SITE PLAN

The site plan is designed to improve the commercial property while maintaining existing access and connectivity. Access points off Scottsdale Road are remaining in place. Parking for retail is shifted to the Scottsdale Road frontage allowing connectivity to remain to the north of the project site. Access restrictions are being left in place along the north driveway that leads to the single-family neighborhood.

Parking for the project will be a combination of surface and structured. Parking for residential is primarily structured and parking for retail is primarily surface. Both surface and structured parking are accessible from the north and south driveways, as well as from the existing commercial development to the south that is remaining in place.

Fire access is being retained on site and complies with City of Phoenix standards. Accessible driveways on the north, south and east provide direct access. Landscape areas and the 71<sup>st</sup> Street alignment provides access to the west.

Refuse collection and other service and loading functions will occur on the north edge of the development. Conditioned service bays are easily accessible and will provide a location for product deliveries, resident move-in, building services, trash pickup and maintenance.

The layout of the plan helps to remove undesirable pedestrian conditions and replace them with dynamic experiences. The development now plans for a large public space with outdoor dining and community

programming opportunities where asphalt and parking previously occupied. Secured pedestrian connectivity provides better access between surrounding residents and the commercial uses. This access will encourage a more walkable retail experience. New pedestrian walkways are designed with upgraded sidewalks, site furnishings, and street trees to provide environmental comfort. These walkways connect to the neighborhood and to the existing commercial shopping area to the south.

This development functions as a revitalization for not only the proposed property, but also the entire commercial shopping center. Connectivity has been carefully developed to ensure residents will provide daily use for retailers. The new opening to the neighborhood will also encourage more frequent visits with a better lineup of tenants and restaurant options.

The plans, renderings, and elevations provided with this submittal are conceptual in nature and meant to depict the envisioned scale, materials, and design for this site. The development standards and design guidelines in this PUD are formulated to allow this conceptual vision to be realized.

## C. LIST OF USES

The Zoning Administrator may issue interpretations for land uses that are analogous to those listed in this section, as authorized by Zoning Ordinance Section 307.A.3.

### 1. PERMITTED USES

- All permitted uses permitted by Section 623 (C-2) of the City of Phoenix Zoning Ordinance unless otherwise modified by this section.
- Multi-Family Residential Dwelling Units as Governed Herein.

### 2. TEMPORARY USES

- All temporary uses shall comply with Section 708 of the City of Phoenix Zoning Ordinance.

### 3. PROHIBITED USES

- Adult uses
- Auto Repairs
- Auto Tire Loan Establishments
- Boats, Retail Sales
- Compressed Natural Gas Retail Sales
- Gas Stations
- Hospice
- Hospital
- Pawn Shop
- Special Permit uses otherwise permitted in the C-2 subject to provisions in Section 647 of the Zoning Ordinance.

## D. DEVELOPMENT STANDARDS

It is the purpose and intent of the provisions defined within this PUD to promote a quality multifamily development and improved pedestrian experience along the Property frontages. The provisions of this PUD will ensure compatibility with surrounding properties and the framework for eventual development. The development standards shall comply with those of the City of Phoenix C-2 district, Section 623 of the Zoning Ordinance, except as modified below.

### 1. DEVELOPMENT STANDARDS TABLE

	<b>PUD STANDARDS</b>
<b>General Requirements</b>	
a) Density	34.5 du/acre maximum
b) Minimum Lot Width / Depth	No Minimum
c) Building Setbacks North South East (Scottsdale) West	10' Minimum 0' 12' Minimum 25'
d) Landscape Setbacks North South East (Scottsdale) West	10' 0' 5' 25'
e) Building Separation	Determined by Development Plan
f) Building Height	68 feet maximum 30 feet maximum within 90 feet of a residential zoning district (west property line) 56 feet maximum within 200 feet of a

	residential zoning district (west property line)
g) Lot Coverage	65%
h) Open Space	Minimum 20% overall site dispersed per approved site plan Minimum 5,000sf as Public Plaza (Public Plaza included in overall OS)
i) Division of Uses	25,000 sqft min. of commercial

## 2. LANDSCAPE STANDARDS TABLE

The landscape standards shall comply with Section 703, except as modified below.

<b>LANDSCAPE STANDARDS TABLE</b>	
	<b>PUD STANDARDS</b>
<b>General Requirements</b>	
Streetscape	<p>a. Preserve all viable, healthy large mature trees (over six-inch caliper) in place. Includes trees in the right-of-way along the frontage of the development.</p> <p><b>Minimum Planting Size</b></p> <p>b. Min. 3-inch caliper or multi-trunk trees  c. Min. (5) 5-gallon shrubs per tree  d. All Landscape shall be irrigated with a permanent automatic irrigation system with weather sensor.</p>

Perimeter Property Lines	<ul style="list-style-type: none"> <li>a. Provide minimum 50% 2-inch caliper and minimum 50% 3-inch caliper trees.</li> <li>b. Min. (5) 5-gallon shrubs per tree</li> </ul>
Adjacent to Buildings	<p>Min. 25% of the exterior wall length shall be treated with either a landscaped planter a min. five (5) feet in width or an arcade or equivalent feature.</p> <ul style="list-style-type: none"> <li>a. Provide minimum 2-inch caliper trees. <ul style="list-style-type: none"> <li>i. Of which, a minimum 20 percent of all trees shall have a minimum caliper of three inches.</li> </ul> </li> <li>b. Min. (5) 5-gallon shrubs per tree</li> <li>c. All Landscape shall be irrigated with a permanent automatic irrigation system with weather sensor.</li> </ul>
Parking Areas	<ul style="list-style-type: none"> <li>a. Provide Minimum 20% Landscape Area. evenly distributed throughout the entire parking lot. Min. interior dimension 5' (length and width).</li> <li>b. Min. 120sf Planting Islands.</li> <li>c. Provide minimum 2-inch caliper trees. <ul style="list-style-type: none"> <li>i. Of which, a minimum 20 percent of all trees shall have a minimum caliper of three inches.</li> </ul> </li> <li>d. Min. (5) 5-gallon shrubs per tree</li> <li>e. All Landscape shall be irrigated with a permanent automatic irrigation system with weather sensor.</li> </ul>
Common and Retention Areas	<ul style="list-style-type: none"> <li>a. Provide minimum 2-inch caliper trees. <ul style="list-style-type: none"> <li>i. Of which, a minimum 20 percent of all trees shall have a minimum caliper of three inches.</li> </ul> </li> <li>b. Min. (5) 5-gallon shrubs per tree</li> <li>c. All Landscape shall be irrigated with a permanent automatic irrigation system with weather sensor.</li> </ul>

### 3. PARKING STANDARDS TABLE

The parking standards shall comply with Section 702 (Off-Street Parking and Loading), except as modified below.

<b>PARKING STANDARDS TABLE</b>	
	<b>PUD STANDARDS</b>
<b>General Requirements</b>	
Retail Parking	4 cars/1,000 sf
Residential Parking	1.3/efficiency 1.5/one or two bedroom 2.0/three or more bedroom 1.0/unit less than 600sf.
Loading Spaces	Per Section 702.B of the Zoning Ordinance.
Bicycle Parking	Per Section 1307.H of the Zoning Ordinance

### 4. FENCES / WALLS

All site fences and walls will be consistent with Section 703.A of the Phoenix Zoning Ordinance, in addition to the following:

1. All refuse locations shall be screened by a 6'-0" minimum height decorative screen wall that complements the design and character of the primary building.

### 5. AMENITIES

The proposed amenities for the Project are divided into three (3) categories: (1) Indoor Residential Amenities, (2) Outdoor Residential Amenities, and (3) Commercial Amenities. The amenities provided will help to foster a social atmosphere and encourage social interaction for

residents, customers and visitors. The market of desired amenities for mixed-use projects are continuously growing and changing. As such, alternative amenities not specifically listed below but which contribute to the overall goals of this PUD may be substituted.

Indoor Residential Amenities. A minimum of six (6) shall be provided:

- Community clubhouse
- Flexible Shared Office Space
- Dog Wash
- Dog Run
- Bicycle Storage and Repair Station
- Lounge
- Clubhouse/Meeting Rooms
- Fitness
- Refrigerated Delivery Area
- Game Room
- Ride-share provisions
- Automated package storage and delivery
- Preferred E.V. Charging
- Resident Storage
- Other Indoor Amenities as approved by the Planning Department

Outdoor Residential Amenities. A minimum of six (6) shall be provided:

- Public Benches
- Resident Benches in common areas
- Community Garden with drip irrigation
- Fire Table
- Lawn Games
- Dog park/run
- Dog Rinse/Bath area
- Resident Pool
- Resident Spa
- Barbeque Grill
- Shade Ramada
- Benches – distributed throughout the development
- Lawn and Turf – distributed throughout the development
- Outdoor kitchen facilities
- Other Outdoor Amenities as approved by the Planning Department

Commercial Amenities. A minimum of three (3) shall be provided:

- Plaza space intended for general public.
- Enclosed service and delivery area
- Structural Shade



- Water feature
- Outdoor game area
- Splash pad
- Performance stage
- Seating for public use
- Fire pit
- Artwork
- Festoon lighting
- Other Commercial Amenities as approved by the Planning Department

## 6. SHADE

1. A minimum of 75 percent of public sidewalks and internal pedestrian walkways shall be shaded at tree maturity.
2. A minimum of 50 percent of all accessible public and private open space areas shall be shaded.
3. Shade calculations shall be based on the summer solstice at 12:00 p.m.
4. Shade cast from a building shall count towards shade calculations.
5. Provide shade for a minimum of 50 percent of occupiable roof areas.

## 7. LIGHTING PLAN

All lighting will be consistent with the standards of Section 704, Section 507.Tab A.II.A.8 and Section 23-100 of the Phoenix Zoning Ordinance in addition to the following:

1. Lighting fixtures shall be consistent with and complement the design and character of the primary building.
2. Uniform pedestrian scale lighting shall be used for all on-site lighting at building entrance and exits, and in public assembly and parking areas.
3. Large "flood" type lights shall be avoided.
4. Sidewalk lighting shall be limited to a maximum height of 20 feet

## E. DESIGN GUIDELINES

Development within this PUD shall be subject to the design review guidelines of Section 507 Tab A.II of the Zoning Ordinance, except as modified below. This PUD meets and exceeds many of these standards. The project provides innovative, compatible, and sustainable developments that create a sense of place. The project is also in keeping with the Design Expectation noted for PUD Developments.

### 1. ARCHITECTURAL DESIGN

See Architectural Design Guidelines included at **TAB H**.

### 2. OPEN SPACE DESIGN

Open space within the development will be designed to enhance and elevate the experience of the development.

Open spaces that are created for the residential use are placed in areas at the perimeter of the project to assist in buffering of surrounding properties. Residential open spaces should provide a variety of scale and design to allow for differentiation in amenity and experience.

Open spaces for public use should be designed to attract patrons to gather and stay. Enhanced paving, landscape, environmental control and community programming are typical ways to promote gathering at public plazas. Seasonal plantings and site furnishings should complement the public open spaces.

Open spaces for pocket parks should have accent trees and plantings, site furnishings and public art installations. In lieu of pocket parks, enhanced perimeter landscaping may be used if that direction is preferred by adjacent residential input through community meetings.

### 3. SITE DESIGN / DEVELOPMENT

#### a) Pedestrian Walkways:

- i. Pedestrian walkways shall be provided to connect building entrances, public sidewalks, bus stops, and community amenities, using the most direct route for pedestrians.
- ii. Where pedestrian walkways cross a vehicular path, the pathway shall be constructed of decorative pavers, stamped or colored concrete, or other pavement treatments that visually contrasts parking and drive aisle surfaces.

b) Complete Streets: The development, as outlined in the PUD, improves the connectivity and thermal comfort of the site. The existing site has large areas of asphalt parking and loading areas. These areas are being replaced with structured parking and open space plazas. The existing shopping center has no connectivity in the middle of the property. Pedestrians are forced to walk to the extreme north and south edges to connect to the retail uses. The development proposed in the PUD provides a new pedestrian and bicycle connection at the mid-point of the west property line to the neighborhood to promote walkability. Trees and pedestrian scale amenities, such as benches and courtyards, will be provided throughout the development along existing and new connections. The proposed project will also address the Complete Streets initiative as outlined below:

- i. Design for Safety – Streets should tie into and improve existing vehicular and pedestrian nodes. Paving enhancements and lighting can promote pedestrian and bicycle crossing.
- ii. Design for Comfort and Convenience – Shade and comfort should be provided by adjacent buildings and landscaping or canopy structures to promote cooler temperatures for patrons. Site furnishings to be placed at intervals and at public plazas to promote walkability.
- iii. Design for Sustainability – Streets should attempt to minimize impermeable surfaces outside of travel lanes and attempt to reduce heat absorption by maximizing tree canopy cover.

- iv. Design for Cost-Effectiveness – Streets should consider options that may cost more up front but have lower maintenance and life cycle costs.
  - v. Design for Connectivity – Connectivity to surrounding areas should be considered to promote walkability and bicycle activity to the development as both a connection and destination.
- c) Sidewalk Standards:
- i. Minimum sidewalk width:
    - a) Scottsdale Road: 8'-0" minimum
    - b) Internal Walkways: 5'-0" minimum
  - ii. The minimum sidewalk width shall be clear of obstacles except for tree grates and public amenities.
  - iii. Scottsdale Road sidewalk shall be detached and provide a minimum 7-foot landscape width between the sidewalk and back of curb.

#### 4. LANDSCAPE DESIGN

All landscape will be consistent with Section 623.E.4 of the Phoenix Zoning Ordinance, in addition to the following:

1. General Site Landscape:
  - a. Exceed the minimum zoning site landscaping requirements by providing minimum 2-inch caliper trees.
    - i. Of which, a minimum 20 percent of all trees shall have a minimum caliper of three inches.
  - b. Provide 50% living vegetation ground coverage.
  - c. All Landscape shall be irrigated with a permanent automatic irrigation system with weather sensor.
2. Streetscape:
  - a. Preserve all viable, healthy large mature trees (over six-inch caliper) in place. Includes trees in the right-of-way along the frontage of the development.

- b. Exceed the minimum zoning landscaping requirements by providing three-inch caliper trees along all public right-of-ways including Scottsdale Road.

3. Parking Areas:

- a. Provide a minimum of one (1) tree per five (5) parking ground level parking stalls. Trees shall be single trunk with minimum 2" caliper.

## **F. SIGNS**

The Sign Standards for the Thunderbird Phase shall comply with Section 705 (Signs) of the City of Phoenix Zoning Ordinance. A future Comprehensive Sign Plan may be submitted for under separate application.

## G. SUSTAINABILITY

1. Identify practices or techniques that are measurable and enforceable by the City during the site plan review and inspection process.
  - Reduce heat island effect with minimum shade requirement for sidewalks.
  - Encourage recycling through the inclusion of recycling bin within garbage enclosures.
  - Encourage water conservation through the selection of drought tolerant landscaping.
  - Encourage water conservation through drip irrigation system.
  - Encourage the use of recycling collection.
  
2. Identify practices or techniques for which the applicant / Developer will be responsible.

### Energy Efficiency

The building and interiors within Thunderbird residential are being designed and constructed with the goal of energy efficiency in mind. Modern energy saving appliances (Energy Star or others) and HVAC systems will be used to minimize energy inefficiencies within the buildings. Low-e windows will be installed and appropriately sealed within the units and common areas.

### Recycled/ Renewable Materials

The buildings will be constructed with sustainable wood framing materials, which are renewable products that promote healthier buildings. Other recycled materials are often available in building products such as drywall, carpet and floor tile. Typical construction practices on the site may involve methods designed to preserve resources, such as excess wood and other unused products, and the limiting of waste.

Once occupied, residents will be provided with a dedicated recycling area for the discarding of their recyclable products. Property management will schedule regular collection pickups for the recyclable products to be taken off-site to be processed. The property management team will also ensure that all nonrecyclable products are separated and removed from the recycling receptacle prior to processing.

### Indoor Environmental Air Quality

One goal for the residential portion of the project is to maintain an indoor air quality level within the residences and common areas that are healthy and safe. This can be accomplished through the use of low VOC paints and flooring materials, efficient plumbing fixtures and HVAC equipment that provides proper filtration and circulation of fresh air into the system. Where economically feasible, such products and materials will be incorporated into the development. Woodbury is considering carpet tiles rather than sheet rolls to allow for easier replacement in high traffic areas. The insulation for the building will be specified to be “formaldehyde free.”

## H. INFRASTRUCTURE

### 1. GRADING AND DRAINAGE

The property has been designated as a Redevelopment and/or is located within the Infill Development area. Consequently, this project is permitted to provide retention for the greater volume determined by two methods: “pre-vs-post” or “first flush”. A Cross Retention and Drainage Agreement with adjacent property owners within the commercial center will be provided for the purposes of storm water retention and drainage.

### 2. CIRCULATION SYSTEMS

The circulation system and patterns are well established in this mature part of the City and will not be affected by this project. Scottsdale Road is a recognized major arterial and is a major conveyor of north-south traffic. The project has been designed to maintain traditional ingress and egress from this major arterial. No additional access points are proposed along Scottsdale Road. The project also maintains the Hearn Road alignment to the north and will maintain the existing closure which restricts traffic from using Hearn to enter the neighborhood. The existing cross access connection with the remainder of the center to the south will also be maintained.



## I. COMPARATIVE ZONING TABLE

	<b>C-2 Commercial Uses</b>	<b>R-5 Residential Uses</b>	<b>PUD Standards</b>
<b>General Requirements</b>			
a) Density	14.5 du/acre up to 43.5 du/acre with Density Waiver	45.68	40 du/acre maximum
b) Minimum Lot Width / Depth	No standard	No standard	No standard
c) Building Setbacks North South East (Scottsdale) West	10' 10' 25' 15'	10' 10' 20' 10'	10' Minimum 0' 12' Minimum 25'
d) Landscape Setbacks North South East (Scottsdale) West	10' 10' 25' 15'	10' 10' 20' 10'	10' 0' 5' 25'
e) Building Separation	No standard	No standard	No standard-per development plan
f) Building Height	2 stories or 30' up to 4 stories or 56'	4 stories or 48'	*78' maximum 56' maximum within 200 feet of a residential zoning district (west property line)
g) Lot Coverage	No standard	50%	65%
h) Division of Uses	No standard	No standard	25,000 sqft min. of commercial

## J. LEGAL DESCRIPTION

A portion of Tract "A", of Raskin Estates No. 1, according to the plat of record in the office of the County Recorder of Maricopa County, Arizona, recorded in Book 86 of Maps, Page 36 and a portion of the south half of Hearn Road, as abandoned by Resolution No. 19618 in Document No. 2001-373063, records of Maricopa County, Arizona, lying within the southeast quarter of Section 10, Township 3 North, Range 4 East, of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, more particularly described as follows:

**Commencing** at the southeast corner of Section 10, a City of Scottsdale Brass Cap in Handhole, from which the east quarter corner of said Section 10, a City of Scottsdale Brass Cap in handhole, bears North 00°57'30" West, a distance of 2642.53 feet;

**Thence** along the east line of the southeast quarter of said Section 10, North 00°57'30" West, a distance of 818.52 feet;

**Thence** leaving said east line, South 89°02'30" West, a distance of 65.00 feet, to the Point of Beginning;

**Thence** South 89°02'30" West, a distance of 204.94 feet;

**Thence** South 00°56'35" East, a distance of 156.67 feet;

**Thence** South 89°16'50" West, a distance of 364.81 feet, to the easterly right-of-way line of 71st Street;

**Thence** along said easterly right-of-way line, North 00°50'20" West, a distance of 330.78 feet;

**Thence** North 89°18'30" East, a distance of 8.00 feet;

**Thence** North 00°50'20" West, a distance of 277.00 feet;

**Thence** North 00°17'40" West, a distance of 53.00 feet, to the centerline of abandoned portion of Hearn Road;

**Thence** along said centerline, North 89°18'15" East, a distance of 559.92 feet, to the westerly right-of-way line of Scottsdale Road;

**Thence** leaving said centerline, along said westerly right-of-way line, South 00°57'30" East, a distance of 503.02 feet; to the **Point of Beginning**.

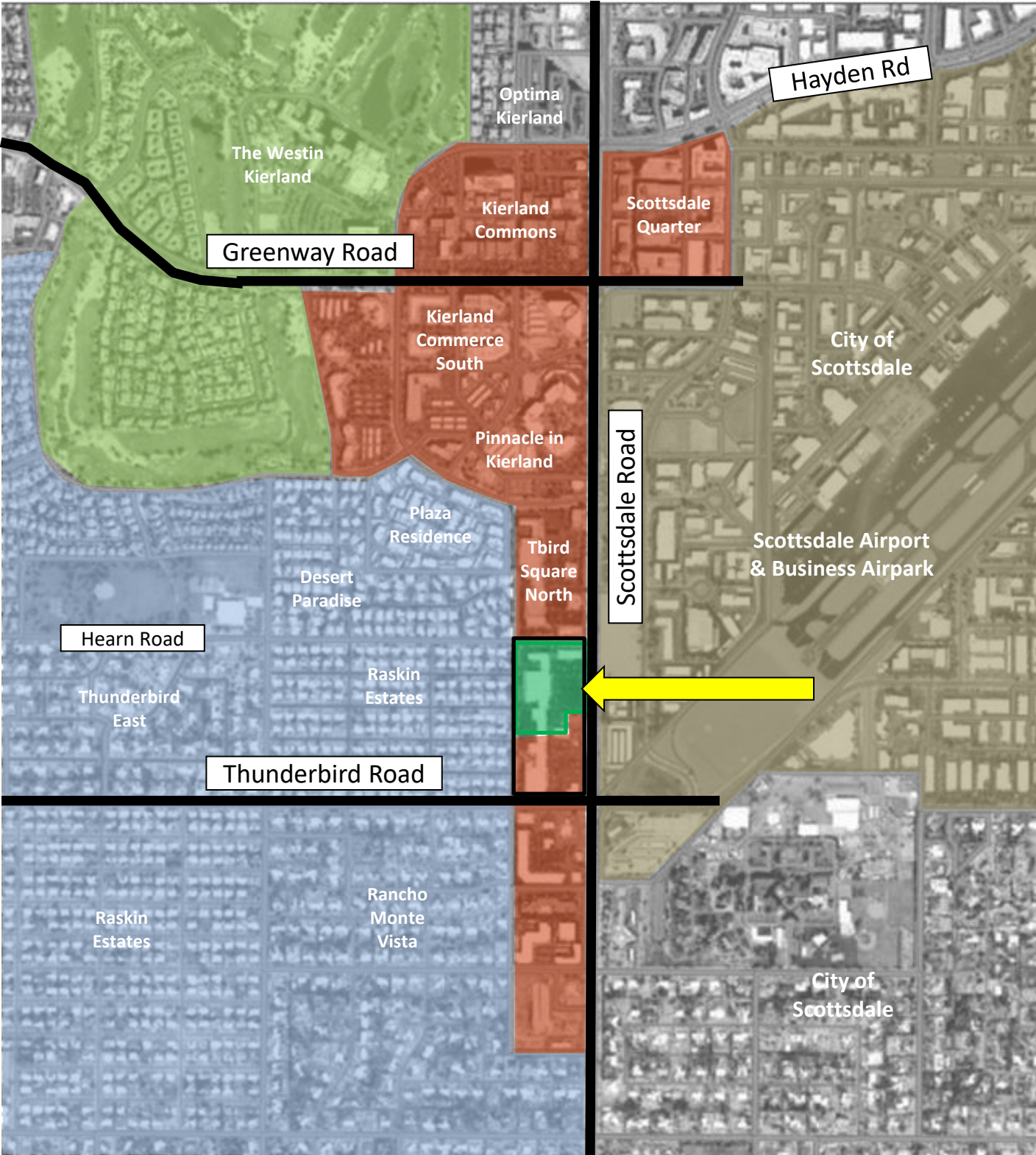
Containing 341,138 Square Feet or 7.83 Acres more or less.

**K. EXHIBITS**

<i>AREA VICINITY MAP</i>	A
<i>SITE AERIALS</i>	B
<i>GENERAL PLAN MAP</i>	C
<i>CONCEPTUAL SITE PLAN</i>	D
<i>CONCEPTUAL ELEVATIONS</i>	E
<i>CONCEPTUAL POCKET PARK</i>	F
<i>CONCEPTUAL RENDERINGS</i>	G
<i>ARCHITECTURAL DESIGN GUIDELINES</i>	H

# Tab A

# Area Vicinity Map

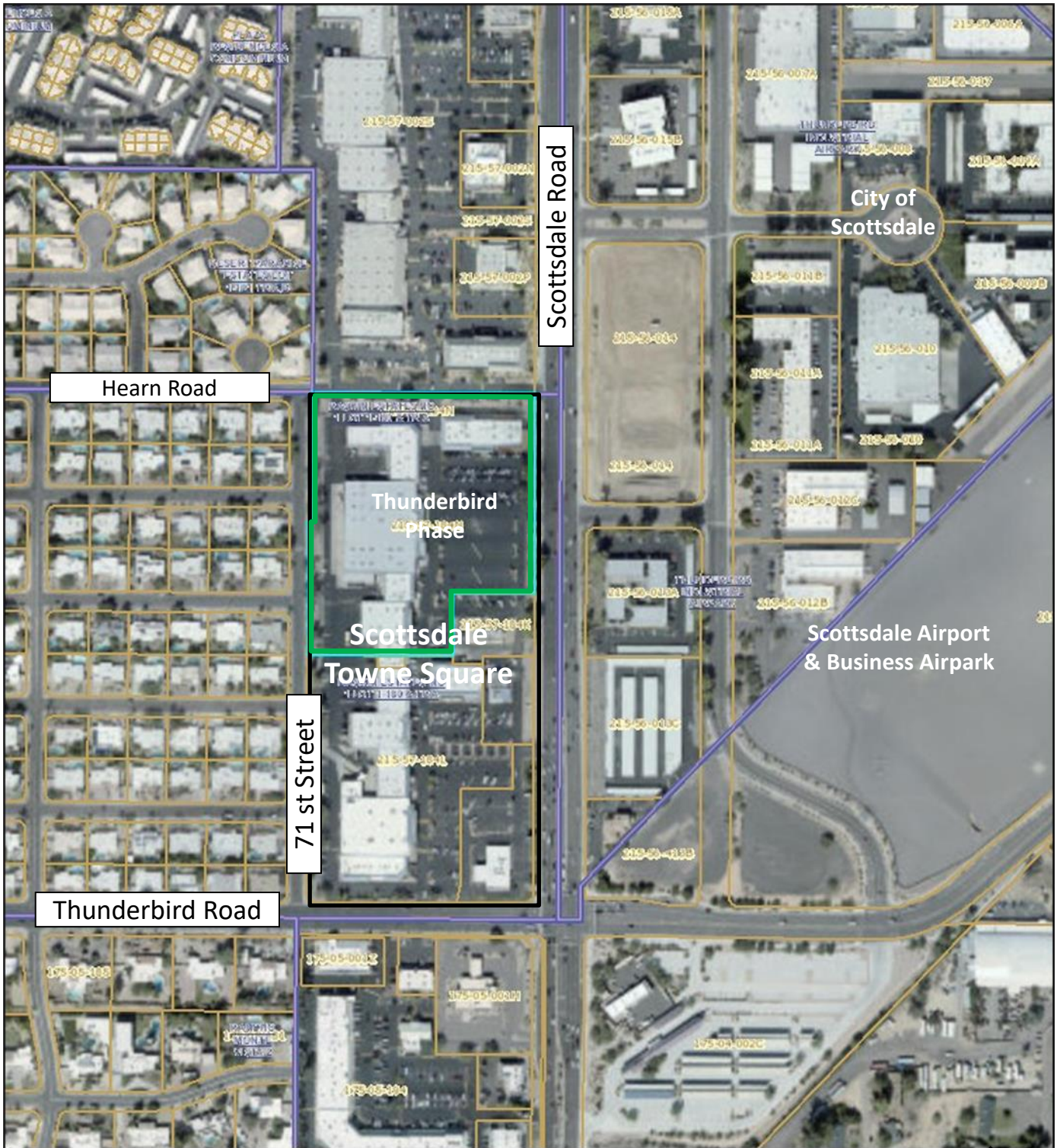


Scottsdale Town Square – Thunderbird Phase



# Tab B

# Aerial Map



Scottsdale Town Square – Thunderbird Phase



# Aerial Map



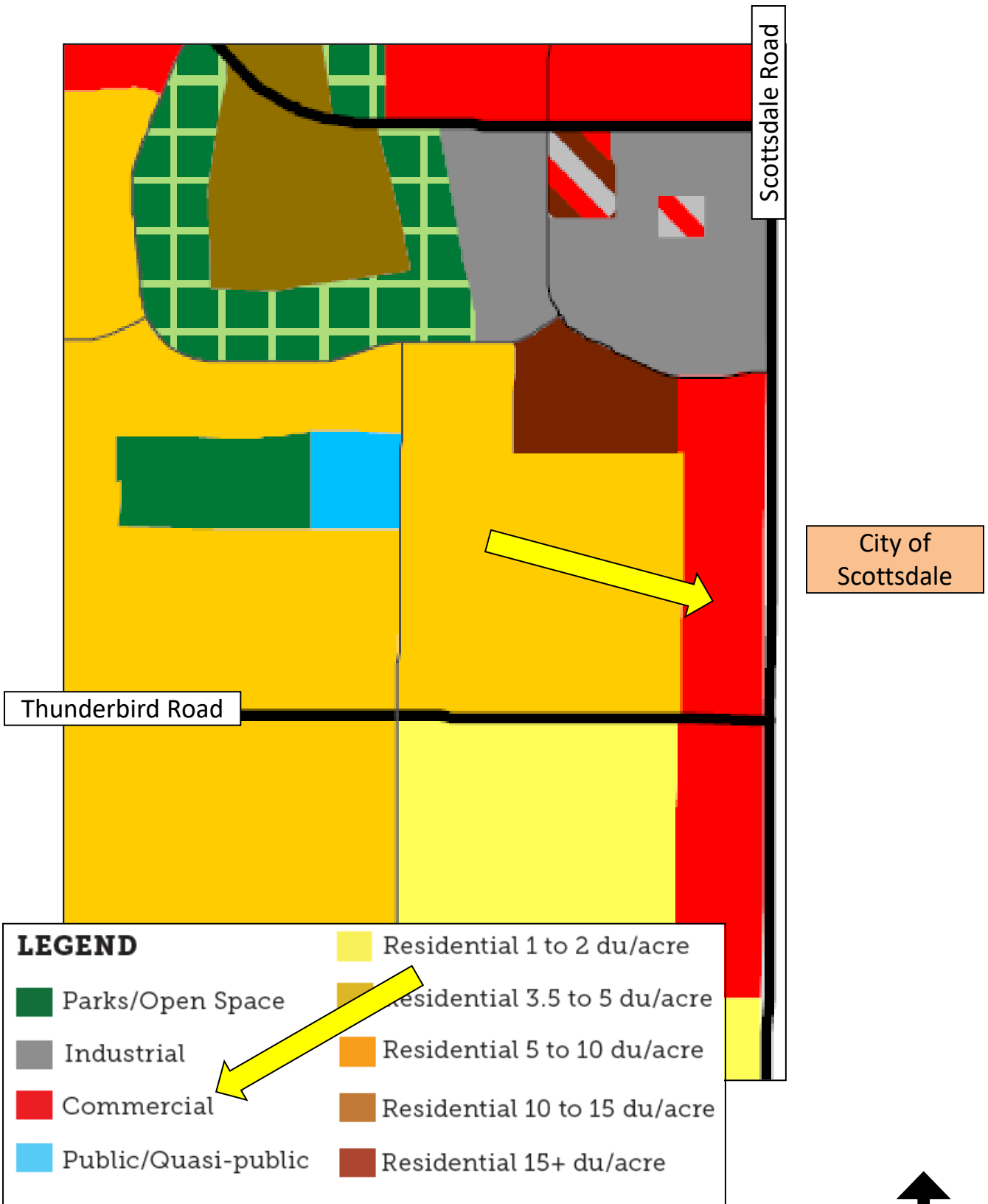
Scottsdale Town Square – Thunderbird Phase





# Tab C

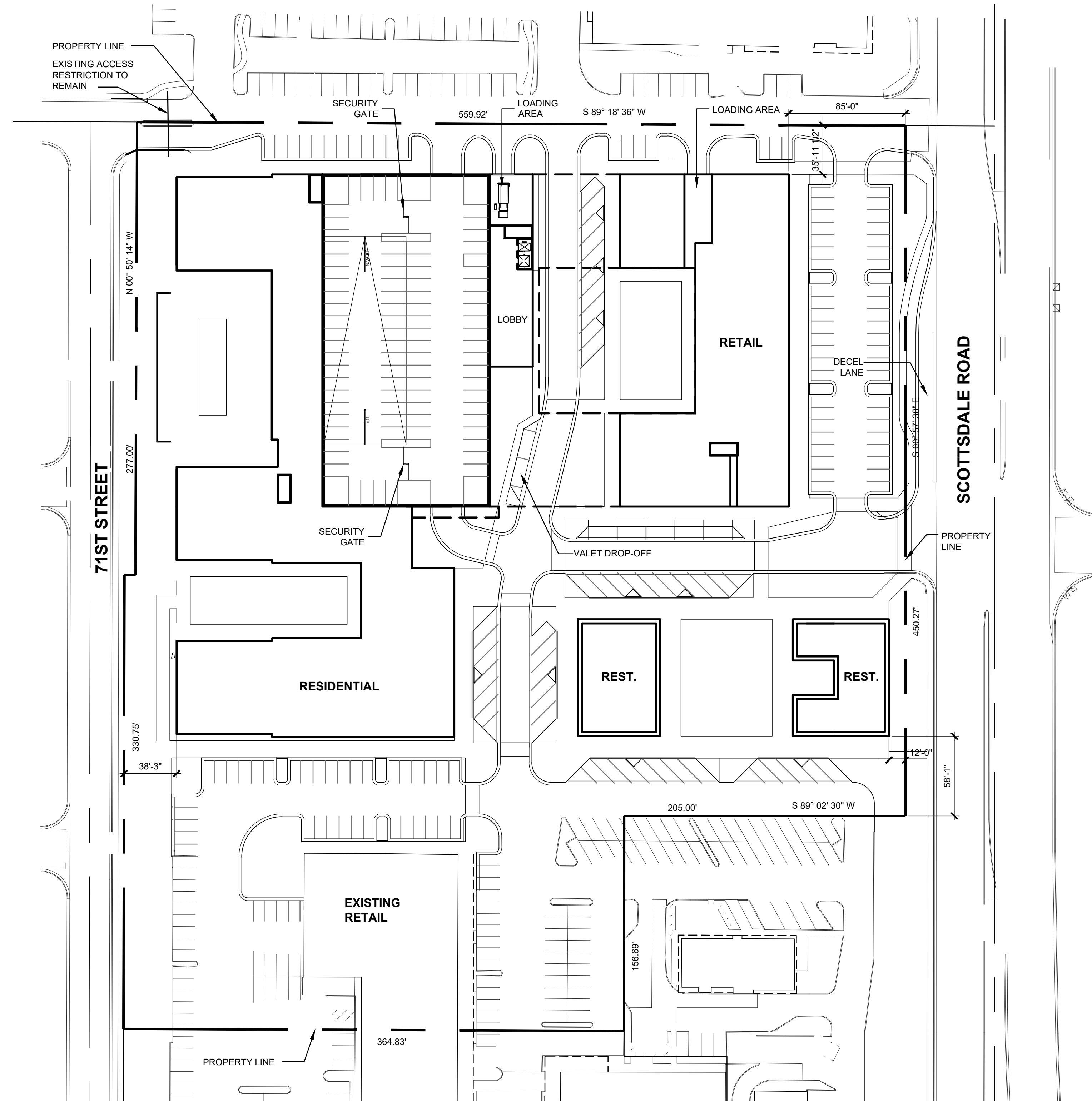
# General Plan Map



Scottsdale Town Square – Thunderbird Phase




# Tab D



**01 SITE PLAN - LEVEL 1**

SCALE: 1"=50'

0 25' 50' 100'

REF: 

NORTH

**PROJECT TEAM**

**DEVELOPER:** WOODBURY CORPORATION  
2733 E PARLEYS WAY, SUITE 300  
SALT LAKE CITY, UT 84109  
801.485.7770  
Contact: Joshua Woodbury  
Email: josh\_woodbury@woodburycorp.com

**ARCHITECT:** NELSEN PARTNERS, INC.  
15210 N SCOTTSDALE RD, SUITE 300  
SCOTTSDALE, AZ 85254  
480.949.6800  
Contact: Jeff Brand  
Email: jbrand@nelsenpartners.com

**PROJECT INFORMATION**

**PROPERTY ADDRESS:** 14036 N SCOTTSDALE ROAD  
PHOENIX, AZ 85254

**PARCEL NUMBERS:** 215-57-184N

**CURRENT ZONING:** PSC

**PROPOSED ZONING:** PUD

**GROSS SITE AREA:** 9.02 ACRES  
(392,998 SF)

**NET LOT AREA:** 7.83 ACRES  
(341,068 SF)

**DENSITY** 311 DU / 9.02 AC = 34.47 DU/AC

**EXISTING BUILDING HEIGHT:** 20 FT

**PROPOSED BUILDING HEIGHT:** 68 FT

**RESIDENTIAL UNITS:** 311 UNITS

**RETAIL:** 15,000 SF

**RESTAURANT:** 15,000 SF

**EXISTING RETAIL:** 12,750 SF

**PARKING CALCULATIONS**

**PARKING REQUIRED:**

RESIDENTIAL: 405 SPACES (311 UNITS @ 1.3 / D.U.)  
RESTAURANT: 75 SPACES (5 - 1000 SF)  
RETAIL: 139 SPACES (5 - 1000 SF)  
TOTAL: 619 SPACES

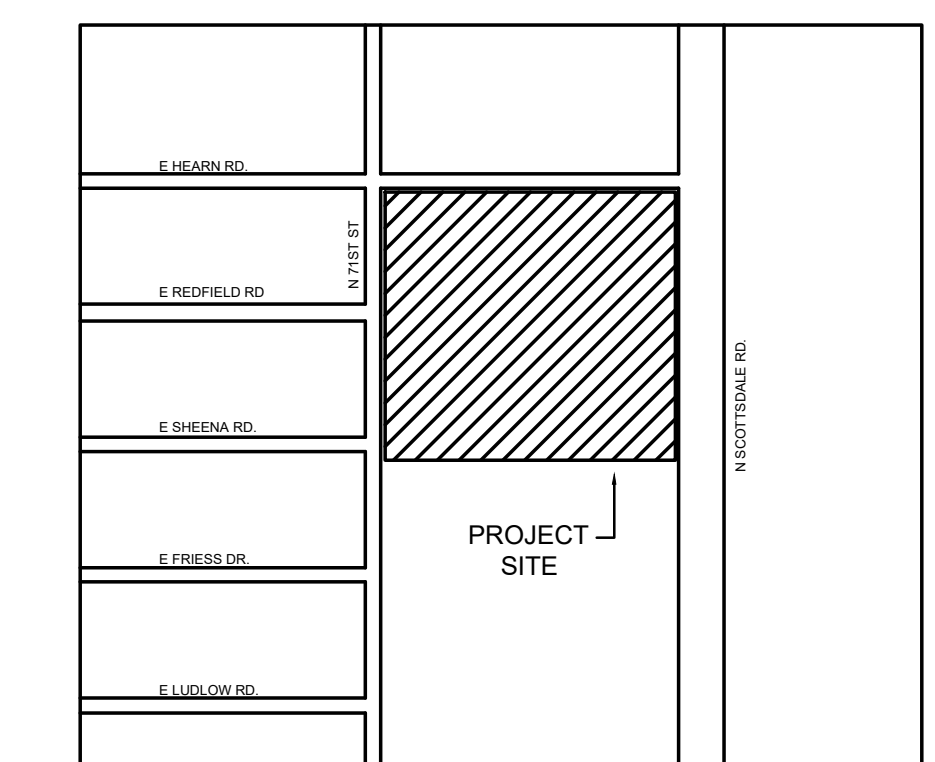
**PARKING PROVIDED:**

SURFACE PARKING 217 SPACES

STRUCTURED  
LEVEL 1 85 SPACES  
LEVEL 2 95 SPACES  
LEVEL 3 95 SPACES  
LEVEL 4 95 SPACES  
LEVEL 5 58 SPACES  
TOTAL: 425 SPACES

TOTAL PARKING PROVIDED 642 SPACES

**VICINITY MAP N.T.S.**



KIVA: 99-37600  
SDEV: 0101647  
PAPP: 2109608  
QS:

**Nelsen Partners, Inc.**  
Austin | Scottsdale

15210 North Scottsdale Road  
Suite #300  
Scottsdale, Arizona 85254  
t 480.949.6800  
nelsenpartners.com

**SCOTTSDALE TOWNE SQUARE**  
14036 N SCOTTSDALE RD  
PHOENIX, AZ

Date  
08/31/2022

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Project No.  
20067

**A110**  
SITE PLAN

# Tab E

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RECORDING

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14036 N SCOTTSDALE RD  
PHOENIX, AZ

**Date**  
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**A301**  
BUILDING  
ELEVATIONS



**1** NORTH BUILDING ELEVATION  
SCALE 1" = 20'-0"



**2** EAST BUILDING ELEVATION  
SCALE 1" = 20'-0"

**PRELIMINARY**  
**NOT FOR**  
**CONSTRUCTION**  
**OR**  
**RECORDING**

**SCOTTSDALE TOWNE SQUARE**  
14036 N SCOTTSDALE RD  
PHOENIX, AZ

**Date**  
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**A302**  
BUILDING  
ELEVATIONS



**3 SOUTH BUILDING ELEVATION**  
SCALE 1" = 20'-0"

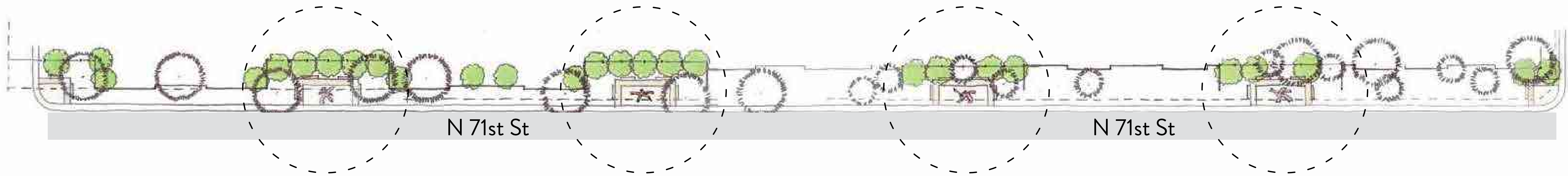


**4 WEST BUILDING ELEVATION**  
SCALE 1" = 20'-0"

# Tab F



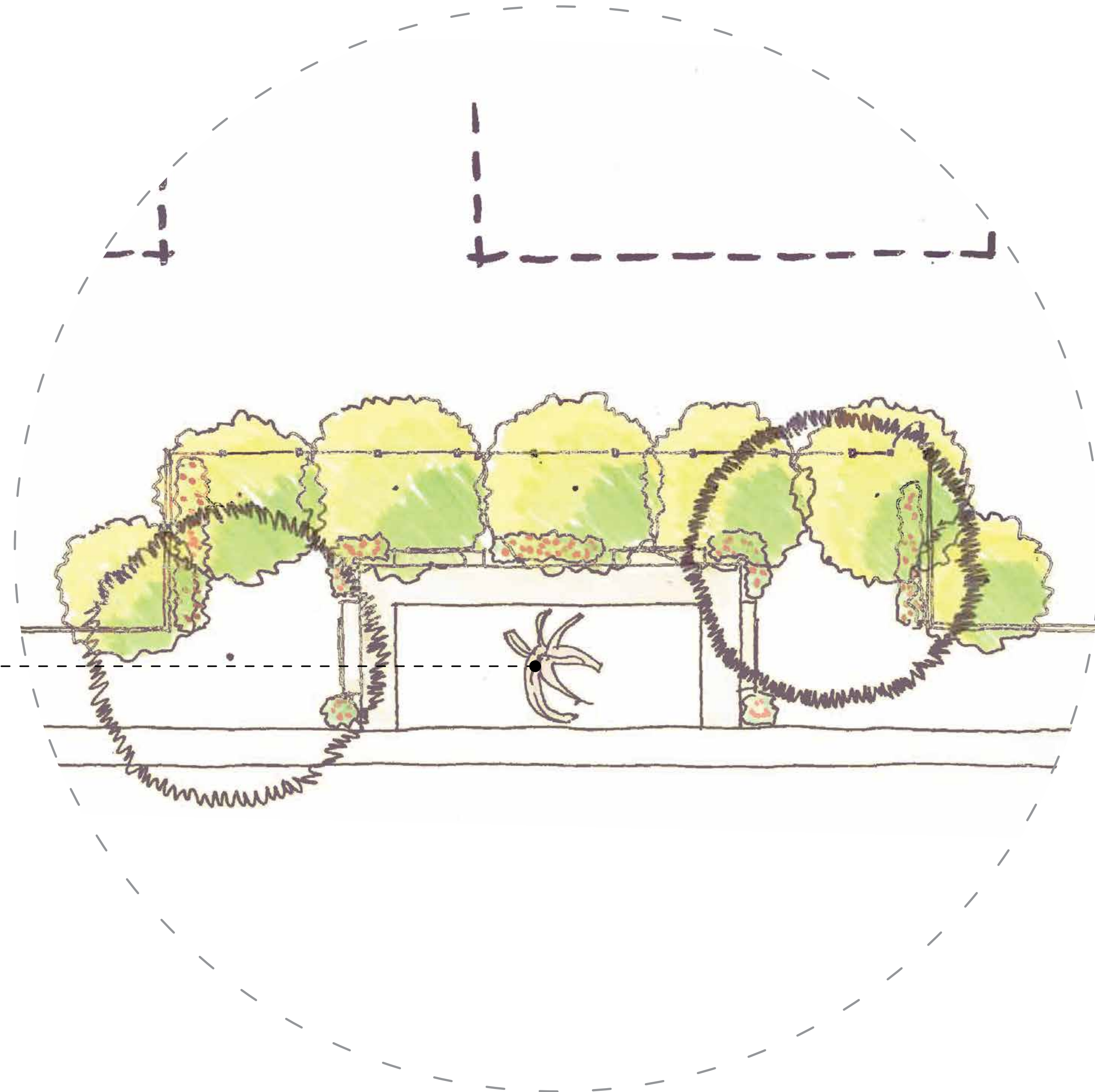
PRELIMINARY  
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CONSTRUCTION  
OR  
RECORDING



**PETER DEISE**

*"I like to convey the idea of energy unfolding. It flows and undulates like flags, like seaweed, like life itself."*

—PETER DEISE, SCULPTOR



**SCOTTSDALE TOWNE SQUARE**

14036 N SCOTTSDALE RD  
PHOENIX, AZ

Date  
4/14/2022

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20067

**A114**  
POCKET PARK

# Tab G



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OR  
RECORDING

**SCOTTSDALE TOWNE SQUARE**  
14036 N SCOTTSDALE RD  
PHOENIX, AZ

Date  
08/31/2022

1 71ST PERSPECTIVE

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Project No.  
20067

**A111**  
PRESERVATIVES



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Project No.  
20067

**A112**  
PERSPECTIVES



PRELIMINARY  
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PHOENIX, AZ

Date  
08/31/2022

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Project No.  
20067

**A113**  
PERSPECTIVES

# Tab H

# SCOTTSDALE TOWNE SQUARE

## DESIGN GUIDELINES

REZONING CASE NO. Z-40-22-2

AUGUST 31 . 2022

NELSENPARTNERS.COM

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**NELSEN**  
PARTNERS  
ARCHITECTS & PLANNERS

# ARCHITECTURAL DESIGN GUIDELINES

## OVERALL ARCHITECTURE CHARACTER

# 1.0

SCOTTSDALE TOWNIE SQUARE

NELSENPARTNERS.COM



### FORM AND SCALE

#### Building Massing

- Properly address the context of the project site as a basic and crucial start to the building design by understanding the surrounding building design, scale, and material.
- Regarding programmatic delineation, ground level commercial functions will visually separate the base in conjunction with appropriate material and other anchoring elements. Residential programming lends to a different and unique architectural expression of elements that can generate shade and shadowing patterns on the facade of the building.
- Building massing on the site will be utilized to balance maximizing scenic view corridors while also mitigating heat gain and western solar exposure. If western exposure is necessary, proper mitigation through horizontal or louvered architectural elements may be necessary.
- Massing strategies will be used to design architecture that properly serve as iconic and visually engaging buildings while also improving the urban fabric of Scottsdale Towne Square.
- Massing strategies for portions of buildings directly adjacent to single family zoned property will minimize visual impact by breaking up and stepping down facade massing.





**Facade Treatment**

- Buildings will be composed to form dynamic building expressions and used to break up buildings into clear and distinct architectural elements.
- Quality design and detailing is encouraged on all sides of every building.
- Variation in building volume and plane and material are encouraged to create dynamic textures and variations with shade and shadow that are animated by the sun throughout the course of the day.
- Sun shading elements, projecting canopies, and awnings that provide cover and shade along the length of the streets, pathways, and building facades are encouraged.
- The level of detail will be enhanced at pedestrian level and street frontage with refined materials and strong entry elements.
- Transparency of building facades is encouraged at the ground floor when abutting pedestrian areas.
- Vertical Fenestration area will not exceed 40% of the gross wall area.

**Openings**

- Doorways will address human scale and comfort and therefore head height for such openings may fall into the range of 8' to 12'.

**Roof Treatments**

- Buildings that strive to be iconic will be focused on how the top of the building meets the sky. Roof expressions in Scottsdale Towne Square is encouraged to be dynamic in a way that supports and improves the skyline. Variation in expression, texture, and height is encouraged.

PETER DEISE

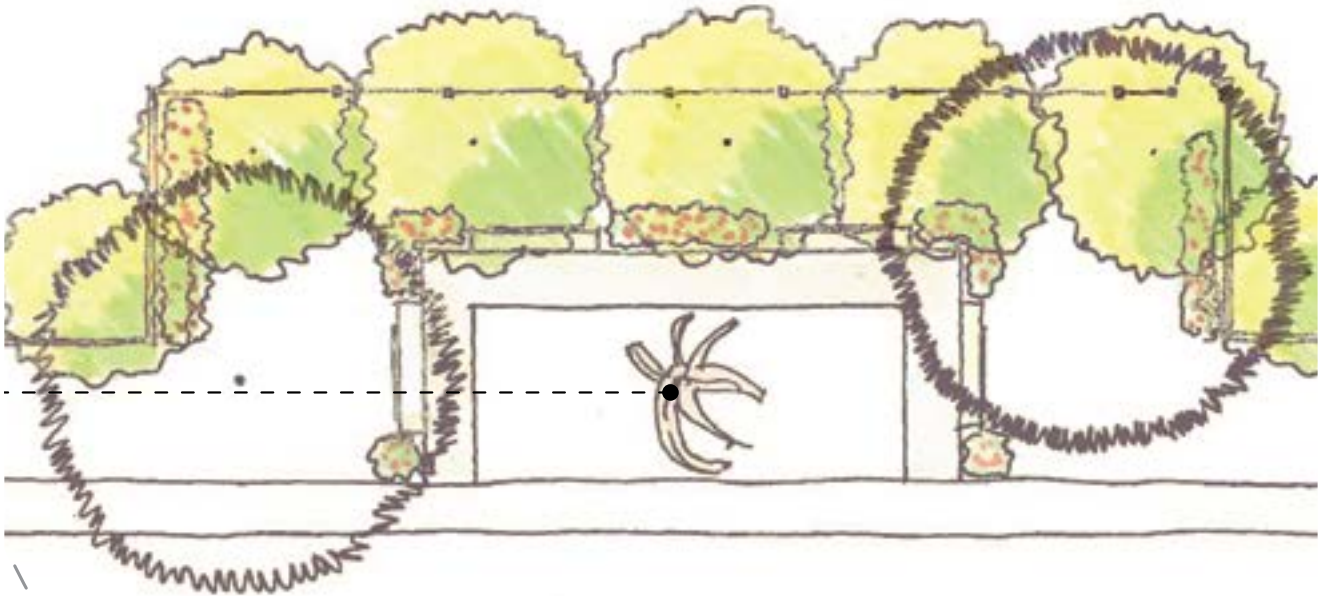
*"I like to convey the idea of energy unfolding. It flows and undulates like flags, like seaweed, like life itself."*

—PETER DEISE, SCULPTOR



Pocket Parks

- Portions of buildings directly adjacent to single family zoned property will minimize visual impact with the implementation of “pocket parks”.
- Clusters of trees will provide shade to the “pocket parks” which also will include fixed seating/benches and installation of local art sculptures.
- The intention of the “pocket parks” is to create an improved break area along sidewalks directly adjacent to single family zoned property. The sidewalk condition will be improved with functional landscaping and will be open for public use.





**MATERIALS**

All building materials in Scottsdale Towne Square will reflect a high quality of craftsmanship, through the careful design and detail of how materials are used, selected, and featured in architecture. Building materials will be used to create architecture that is both timeless, and contemporary.

**Masonry**

Careful attention to detail is required at all connections and transitions to other materials. Edge details will prevent visible unfinished edges. Natural stone must be protected against staining and discoloration by means of sealants appropriate to the material.

**Limestone**

- Regionally sourced
- Varied colors, sizes and textures

**Brick**

- Natural tones are encouraged
- Blends with limited variation and similar hues

**CMU**

- Burnished
- Integral color

**Other Natural Stone**

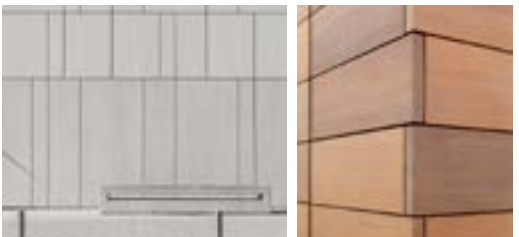
Finishes for stone may include, but are not limited to:

- Polished
- Sandblasted
- Flamed
- Honed
- Split-face
- Carved

**Concrete**

Many precast stone and concrete products are currently available may be appropriate.

- Cast-in-Place
- Precast
- Board or linear formed concrete



### Wood

Wood is best used in locations with minimal weather exposure, and the wood used must be kiln dried, mill quality, and specified clear with no knots and minimal imperfections. Care will be used with wood in exterior applications due to the environmental wear on the material. Acceptable wood species may include:

- IPE
- Cedar
- Cypress
- Mahogany
- Oak

Finishes for wood may include, but are not limited to:

- Painted wood (enamel finish)
- Clear, preservative sealant
- Stained and sealed

### Glass

Glass is vital for interior–exterior dialogue, and therefore will be carefully considered to optimize uses. Ground level glazing shall have a visible transmittance (VT) of 0.6 or greater.

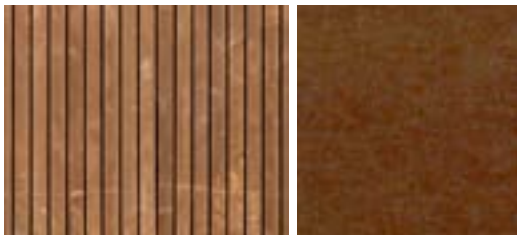
Glass may include, but are not limited to:

- Clear
- Tinted (Greys, Blues)
- Frosted
- Channel Glass
- Stained and sealed

### Cladding

Exterior cladding in Scottsdale Towne Square will be highly detailed at all connections and transitions to other materials. Exterior edge details must prevent visible unfinished edges. Exterior cladding in Scottsdale Towne Square can also have a variety of different styles and finishes, but all cladding will be complementary to the design of Scottsdale Towne Square Systems for cladding may include, but are not limited to:

- Curtain Walls



- Rainscreens
- Metal Panel
- Tile handing

**Stucco**

Stucco in Scottsdale Towne Square will be treated with a high level of finish and quality. Areas with stucco applications will consider the long term viability of the product. Stucco will also be used to enhance the area’s design, reflecting the craftsmanship and sophistication of other materials in Scottsdale Towne Square.

Finishes for stucco may include, but are not limited to:

- Santa Barbara Finish
- Smooth Finish
- Fine Sand Finish

**Limited Finishes**

- Painted CMU (inside of service yards only)
- EIFS
- Polished Metal (will be solid not plated, and will be limited to accent trim)
- Unique treatments of metal (painted, rusted, imprinted, and etched metals)
- Engineered synthetic or composite wood-like materials may be used

**SCOTTSDALE  
TOWNE SQUARE**