

MacEwen 480

A Master-Planned Residential Community

Southwest corner of the 24th Street alignment and Sonoran Desert Drive



Planned Unit Development Narrative Application No. Z-62-18-2

First Submittal: August 29, 2018
Second Submittal: November 8, 2018
Third Submittal: January 10, 2019

taylor
morrison

Homes Inspired by You



Planned Unit Development

Regulatory Statement

The Planned Unit Development (“PUD”) zoning district is authorized by Chapter 6, Section 671 of the Zoning Ordinance of the City of Phoenix (“Phoenix Zoning Ordinance”). A PUD is intended to be a stand-alone document that sets forth the regulatory framework, including permitted uses, development standards and design guidelines, for a particular project (“PUD Regulations”). The PUD may only modify provisions within the Phoenix Zoning Ordinance and does not modify other City of Phoenix codes, regulations or requirements. A PUD may include substantial background information and narrative discussion, including purpose and intent statements, which are intended to illustrate the overall character and vision for the development. Such statements are not regulatory and not requirements to be enforced by the City of Phoenix.

The PUD Regulations apply to all property within the PUD project boundary. The PUD Regulations supersede and replace all applicable Phoenix Zoning Ordinance requirements. If there is a conflict between PUD Regulations and the Phoenix Zoning Ordinance, including the design guidelines within the Phoenix Zoning Ordinance, the terms of this PUD shall apply. If a provision is not addressed by the PUD, then the Phoenix Zoning Ordinance controls.

Principals & Development Team

Property Owner

MacEwen Ranch, L.L.C.
10290 North Tatum Boulevard, Suite 100
Phoenix, Arizona 85028

Developer



Taylor Morrison/Arizona, Inc.
Robert Johnson
9000 East Pima Center Parkway, Suite 350
Scottsdale, Arizona 85258
480 / 347.1735
RJJohnson@taylormorrison.com

Land Planning and Design



LVA Urban Design Studio, an RVi Company
Alex Stedman / Jeff Farr
120 South Ash Avenue
Tempe, Arizona 85281
480 / 994.0994
astedman@rviplanning.com
jfarr@rviplanning.com

Civil Engineer



HILGARTWILSON
Nguyen Lam / Aubrey Thomas
2141 East Highland Avenue, Suite 250
Phoenix, Arizona 85016
602 / 490.0525
nlam@hilgartwilson.com
athomas@hilgartwilson.com

Traffic Engineer



United Civil Group Corporation
Sarah Simpson
2803 North 7th Avenue, Suite 16
Phoenix, Arizona 85007
602 / 265.6155
sarah@unitedcivilgroup.com

Legal Representative



Gammage & Burnham PLC
Susan E. Demmitt / Nick Sobraske
2 North Central Avenue, 15th Floor
Phoenix, Arizona 85004
602 / 256.4456
sdemmitt@gblaw.com
nsobraske@gblaw.com

Table of Contents

	Planned Unit Development Regulatory Statement	2
	Principals and Development Team	3
	Table of Contents	4
	Appendix and List of Exhibits	5
Section 1	Purpose & Intent	6
Section 2	Land Use Plan	7
Section 3	List of Uses	13
Section 4	Regulatory Standards & Land Use Districts	16
Section 5	Development Standards	24
Section 6	Landscape, Fencing and Walls	25
Section 7	Lighting	30
Section 8	Design Guidelines	31
Section 9	Signs	31
Section 10	Sustainability	33
Section 11	Water	35
Section 12	Wastewater	36
Section 13	Drainage	37
Section 14	Circulation	38
	Appendix	39

Appendix

Appendix A. Legal Description	40
Appendix B. Comparative Zoning and Development Standards Table	42
Appendix C. MacEwen 480 Design Guidelines	45

List of Exhibits

Exhibit 1. Aerial Map	46
Exhibit 2. Surrounding Property Ownership Map	47
Exhibit 3. Master Development Parcel Map	48
Exhibit 4. Illustrative Land Use Plan	49
Exhibit 5. Pedestrian Circulation Plan	50
Exhibit 6. Community Paseos	51
Exhibit 7. Typical Neighborhood Unit Entries	52
Exhibit 8. Single Family Land Use District Development Standards	53
Exhibit 9. Community Center Development Standards	55
Exhibit 10. Water System Improvements	58
Exhibit 11. Wastewater System Improvements	59
Exhibit 12. Drainage Improvements	60
Exhibit 13. Street Cross Sections	61

Section 1. Purpose & Intent

Introduction. The MacEwen 480 Planned Unit Development (“MacEwen 480 PUD” or “Application”) rezones approximately 473.2 gross acres of undeveloped property located in northeast Phoenix, south of Sonoran Desert Drive between the 16th and 24th Street alignments (“Property”). See *Exhibit 1: Aerial Map*, and *Appendix A: Legal Description*. Taylor Morrison/Arizona, Inc. (“Taylor Morrison”) proposes to develop the Property as a master-planned residential community with a maximum of 1,420 dwelling units and an overall density of 3.0 dwelling units per acre (“MacEwen 480”).

MacEwen 480 is located within the City of Phoenix (“City”) approximately 5 miles east of Interstate-17, 5.5 miles north of State Route Loop 101, and 3-miles west of Cave Creek Road. The Property is bounded by Sonoran Desert Drive, which is classified as a Scenic Corridor by the Sonoran Preserve Parkway Route Study, and the Sonoran Preserve to the north, including the Apache Wash Trailhead located slightly to the northwest. Undeveloped land managed by the Arizona State Land Department (“ASLD”) is located to the immediate east and west. The Cave Creek Wash runs generally along the eastern property line. The property to the immediate south includes parcels owned by the City of Phoenix as part of the Sonoran Preserve and other property managed by the Flood Control District of Maricopa County (“FCD”). See *Exhibit 2: Surrounding Property Ownership Map*.

Goals & Objectives. The MacEwen 480 PUD provides a comprehensive planning and regulatory framework designed to facilitate development of a cohesive master-planned residential community. The vision for MacEwen 480 includes the creation of a diverse and connected single-family residential enclave with focused sensitivity to the natural desert environment. MacEwen 480 residents will have unparalleled proximity and access to significant desert amenities, such as the Sonoran Preserve. The MacEwen 480 PUD is intended to promote a land use plan, permitted uses, development standards, and design guidelines that provide for a range of single-family homes of various lot sizes, densities, and product types tailored to the MacEwen 480 vision and the context of the surrounding desert environment.

The goals and objectives of the MacEwen 480 PUD are as follows:

- Provide a regulatory framework and guidelines that promote a well-designed, unified residential community, while maintaining sufficient flexibility to allow detailed planning to occur at the time of development and in response to the market.
- Incorporate design guidelines that improve and reinforce the quality of design in the community and promote strong neighborhoods.
- Build a sustainable community that is sensitive to the surrounding desert through efficient development, land use, and infrastructure planning, the protection of natural washes, and the preservation and salvaging of native plants when possible.

- Provide an extensive and multi-layered network of trails, paths and sidewalks that will provide connectivity within MacEwen 480 and beyond the community edges into the Sonoran Preserve that supports an accessible connected public parks and open space system.
- Design community spaces, such as parks, trails, paseos, and streetscapes, to encourage recreational opportunities and promote social interaction.
- Infrastructure, phasing, and on and off-site improvement plans will be processed to promote efficient and orderly development.

Section 2. Land Use Plan

Overview. MacEwen 480 will be developed as a master-planned residential community with a maximum of 1,420 dwelling units at an overall density of 3.0 dwelling units per acre. The Property is uniquely situated as the only large, privately owned parcel surrounded by the Sonoran Preserve and with access to Sonoran Desert Drive. Other parcels surrounding MacEwen 480 are undeveloped and owned by the City, ASLD or FCD and designated by the City as future Sonoran Preserve priorities. MacEwen 480 has been slated for residential development in the City’s General Plan for many years. MacEwen 480 has been designated with the City’s planning policies and guidelines for many years as appropriate future residential development. The vision for MacEwen 480 is to create a cohesive residential enclave that capitalizes on the unparalleled access to the natural desert environment. MacEwen 480 will be developed as a collection of single-family residential neighborhoods with diverse home product offerings anchored by an integrated network of community amenities, passive and active open spaces, and strong pedestrian connectivity to the Sonoran Preserve and natural desert environment, which will act as strong character influences for the community.

MacEwen 480 has been divided into three Master Development Parcels that each range in size from approximately 130 acres to 180 acres. *See Exhibit 3: Master Development Parcel Map.* Each Master Development Parcel represents an anticipated phase of development. Mesquite Wash, a significant natural wash corridor that bisects the Property from north to south, serves as the central organizing element for MacEwen 480. Phase 1 or Development Parcel A is generally located within the southwest portion of the Property west of Mesquite Wash; Phase 2 or Development Parcel B is generally located within the southeast portion of the Property east of Mesquite Wash; and Phase 3 or Development Parcel C is located within the northern portion of the Property adjacent Sonoran Desert Drive.

At the time of Preliminary Site Plan approval, each Master Development Parcel will be further refined into a collection of individual residential neighborhood units (“Neighborhood Unit”) ranging in size from approximately 20 acres to 40 acres, each with its own character such that the community will include a broad mix of lot sizes, densities, and home product types. Each Master Development Parcel will contain a minimum of 3 Neighborhood Units. *Exhibit 3: Master Development Parcel* provides a conceptual interpretation of the design and layout of one Neighborhood Unit.

Exhibit 4: Illustrative Land Use Plan provides a conceptual interpretation of the design for the community. The Illustrative Land Use Plan is non-binding and non-regulatory. Detailed planning and layouts for a Neighborhood Unit(s) will be determined at the time of Preliminary Site Plan approval.

Community Amenities / Open Spaces. A major component of the overall planning and design effort for MacEwen 480 is the integration of interconnected community amenities, active and passive parks and open spaces, and trails and pedestrian connectivity. Each of these elements is discussed in further detail below.

MacEwen 480 is planned to provide two community amenity areas and numerous other active and passive parks and open spaces evenly distributed throughout the community, providing a variety of recreational and social opportunities within close proximity of MacEwen 480 residents. A primary community amenity area is planned in the southern portion of MacEwen 480, within the first phase of development, and will include a private community center and outdoor recreation facilities (pool, sport court, etc.). A second community open space area is planned in the north-central portion of MacEwen 480.



In addition to the primary and secondary community amenity areas, MacEwen 480 will include neighborhood parks that will generally provide for a combination of active and passive uses at a smaller and more intimate scale than the primary community amenity. These neighborhood parks will be accessible to neighborhood residents by being within ¼ mile of all residences within that Neighborhood Unit. Amenity programming may include a combination of enhanced landscape, shaded areas, seating, turf area, ramadas, fields & courts, and walking pathways. Neighborhood parks will typically be centrally located within each Neighborhood Unit, or may be located proximate to the project entry to enhance visibility to residents entering or exiting each Neighborhood Unit.



Access. Primary access to MacEwen 480 will be provided via a collector-type roadway (“Primary Collector”) off Sonoran Desert Drive, which is planned to parallel the Mesquite Wash at the entrance to MacEwen 480. The Primary Collector will serve as the primary organizing element for the individual neighborhoods within MacEwen 480 and include lush desert landscaping, shade trees, detached sidewalks, bicycle lanes, and appropriate lighting for both vehicular and pedestrian traffic. Each of the individual Neighborhood Units within MacEwen 480 will be connected by the Primary Collector, providing opportunities for inviting, scenic desert views, while minimizing impacts to the Mesquite Wash corridor by reducing the number of crossings. A secondary access (“Secondary Collector”) to MacEwen 480 is currently planned at the northwest corner of the Property along Sonoran Desert Drive. Both the Primary Collector and Secondary Collector access points are strategically located to efficiently distribute vehicle trips generated by MacEwen 480. Residential local streets may

be developed in both public and private street configurations to promote a local street connectivity and transportation efficiencies.



Off-Site Connectivity. The Sonoran Preserve is a jewel of the City’s desert park and mountain system and currently encompasses 18,000 acres with 36 miles of multi-use trails and three trailhead locations.

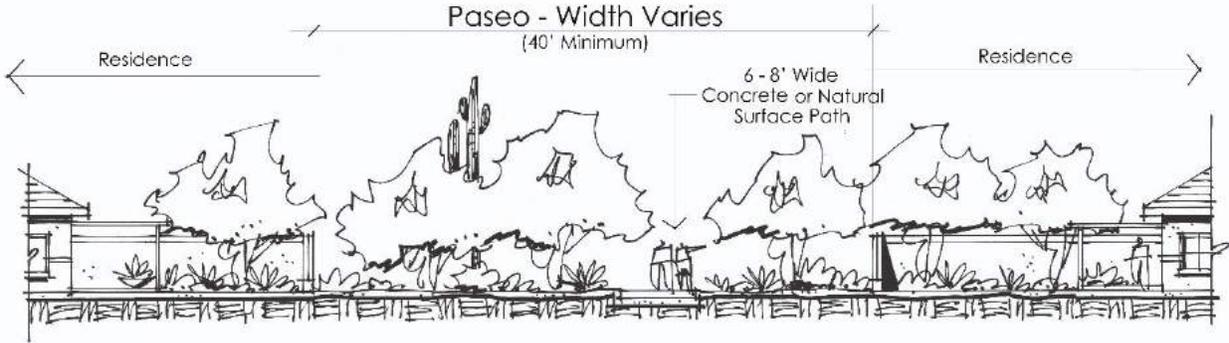
MacEwen 480, which is located across Sonoran Desert Drive from the northern portion of the Sonoran Preserve and further surrounded by properties designated for acquisition as part of the Sonoran Preserve, offers unparalleled proximity and access to this significant natural desert amenity. MacEwen 480 and the City Parks & Recreation Department are committed to working together through the development of MacEwen 480 to capitalize on the relationship between these properties.

One of the primary goals of the Sonoran Preserve Master Plan is to integrate a preservation ethic into the overall urban form. As stated in the master plan, “Public ownership is only a part of the objective. In the broadest terms, the preserve system should be made up of municipal recreation lands (major mountains, washes, and transition lands), flood control infrastructures (secondary and minor washes that could be county owned or privately held and maintained for nonstructural flood control), trails, scenic corridors, utility corridors, and privately held natural open space. This will integrate the desert into the urban fabric rather than preserve a series of isolated remnants of natural open space.” Specifically, the plan provides that local walk-in trailheads will provide an important link to the community. Planned access for adjacent neighborhoods is encouraged to avoid trailblazing between major and secondary access areas. The master plan also encourages non-vehicular access to trailheads.



In coordination with the City Parks & Recreation Department, local walk-in trailheads and connections will be provided at defined locations, which will serve as important links between MacEwen 480 and the Sonoran Preserve, if and when the future Sonoran Preserve priorities are purchased. Trailheads will be appropriately spaced around the overall perimeter of the Property (“Property Perimeter” or “Perimeter Property”) so that all MacEwen 480 residents have convenient access to the Sonoran Preserve and the regional trail network. *See Exhibit 5: Pedestrian Circulation Plan*. As discussed further below, a public trail will be developed along the Mesquite Wash corridor that provides an important connection through MacEwen 480 and will establish the first formal link between the north and south halves of the Sonoran Preserve.

Internal to MacEwen 480, minimum 40-foot wide landscaped pedestrian paseos containing 6-foot to 8-foot paths will be located between Neighborhood Units. The paseos will extend outwards from the extensive on-site pedestrian circulation system (discussed below) to the trailheads allowing residents of any Neighborhood Unit convenient and safe access to any trailhead. *See Exhibit 6: Community Paseos*.



The final location of these connection points at the Property Perimeters will be designed in coordination with the City Parks & Recreation Department and may include vehicular barriers to discourage motorized vehicle access to preserve lands. The location details of local walk-in trailheads, if and when the future Sonoran Preserve priorities are purchased, and trail connections will be included as part of the Master Open Space, Pedestrian, Bicycle and Trails Plan, which will be prepared as part of the Master Plan process for MacEwen 480.

On-Site Connectivity. The on-site pedestrian circulation system within MacEwen 480 will be coordinated with the City Parks & Recreation and Planning & Development Departments to ensure connectivity within MacEwen 480 and to the City’s existing and planned amenities within the Sonoran Preserve.

A hierarchy of pedestrian routes has been proposed to ensure that all MacEwen 480 residents are afforded readily accessible and proximate access to the pedestrian network. This network has been thoughtfully planned to facilitate non-vehicular circulation by MacEwen 480 residents.

Collector Roadways will include the construction of detached 8-foot wide concrete sidewalks on both sides of the roadway, including bicycle lanes. In addition to enhanced landscaping for aesthetic purposes, shade trees (“Shade Trees”) as identified in *Appendix C: MacEwen 480 Design Guidelines* (“*”) will be planted along both sides of these sidewalks at a typical spacing of one tree per 30-linear feet or in equivalent groupings to enhance the pedestrian experience. Shade Trees along Collector Roadways shall be comprised of minimum 60% 2-inch caliper trees and 40% 1-inch caliper trees.

Mesquite Wash Corridor will include the construction of a 12-foot wide natural surface multi-use pathway along the east side of this central wash. This community pathway will span the length of Mesquite Wash within the Property with connections to Sonoran Desert Drive, extending south to the primary community amenity, and beyond to the Sonoran Preserve further south. A public trail easement will be dedicated along the Mesquite Wash corridor to protect public access. This public trail will be the first formal connection between the north and south halves of the Sonoran Preserve. This multi-use pathway will stretch more than 1-mile in length and will serve as the central spine for other community pathway and corridor “off-shoots” that will link to individual Neighborhood Units and other open spaces. The final design, including the location this multi-use pathway intersects with Sonoran Desert Drive, will be determined through the master planning process to promote a safe and comfortable pedestrian experience. This multi-use pathway will stretch more than 1-mile in length and will serve as the central spine for other community pathway and corridor “off-shoots” that will link to individual Neighborhood Units and other open spaces.

Neighborhood Unit Entries will provide detached 6-foot wide sidewalks that establish linkages between the collector roadway sidewalks and sidewalks that are internal to each of the Neighborhood Units. These sidewalk connections will be complimented by enhanced landscaping and Shade Trees as identified in *Appendix C: MacEwen 480 Design Guidelines* planted at an interval of one tree per 25 linear feet or in equivalent groupings to provide an inviting experience for pedestrians entering and exiting the neighborhoods at these connection points. Shade Trees at Neighborhood Unit entries shall be comprised of minimum 25% 1-inch caliper trees, 50% 2-inch caliper trees, and 25% 3-inch caliper trees. See *Exhibit 7: Typical Neighborhood Unit Entries*.

Local Street Sidewalks 5-feet in width will be provided throughout each Neighborhood Unit to facilitate circulation to nearby neighborhood parks and open space, and to the larger pedestrian network. These sidewalks will be attached, except in locations where they run adjacent to community open spaces. To encourage the shading of sidewalks, Shade Trees as identified in *Appendix C: MacEwen 480 Design Guidelines* shall be planted within the front yard area of all residential lots. Shade Trees within the front yard areas of residential lots shall be minimum 24-inch box. See *Exhibit 6: Local Entry & Sidewalks*.

Hiking Trails will be provided in limited areas near the Property Perimeter where it is anticipated that future connections to the Sonoran Preserve will be established by the City of Phoenix. These alignments will be comprised of a natural surface and no greater than 4-feet in tread width. MacEwen 480 has identified approximately four locations where connections to the Sonoran Preserve could be established to directly tie-into MacEwen 480 pathways.

Section 3. List of Uses

Permitted Uses in the MacEwen 480 PUD shall be limited to the following except that uses not specifically addressed in the MacEwen 480 PUD shall be governed by the provisions of Section 608 of the Phoenix Zoning Ordinance.

1. Uses Permitted by Right

- a. Single-Family Detached Dwellings
- b. Single-Family Attached Dwellings¹
- c. Guesthouses²

¹ Single-Family Attached Dwellings are prohibited in the SFR-5, -7, -9 and -14 Land Use Districts.

² Guesthouses are prohibited in the SFR -3, -5 and -7 Land Use Districts.

- d. Community Center, Private, for the exclusive use of MacEwen 480 residents and authorized guests. Unless otherwise stated herein, a Private Community Center may or may not be operated for profit.

Primary uses permitted by-right, include but are not limited to: (1) a place of meeting; (2) social activities; (3) active and/or passive indoor and outdoor recreation and entertainment, including but not limited to a fitness center, dance, swim or other forms of physical or instructional training (instructional training, such as health, dance, yoga, etc. classes and training may be operated for profit), live or amplified music, sport and athletic courts and fields, swimming pool/splash pad, lawn games, play equipment, etc.); (4) indoor and/or outdoor cooking areas and facilities; (5) business center (not for profit); Accessory uses to the community center permitted by-right, include but are not limited to: (6) temporary or permanent alcoholic beverage and food consumption and dispensing; (7) convenience market (alcoholic beverage sales prohibited); (8) snack bar/restaurant, which may include indoor and outdoor alcoholic beverage service and consumption and indoor and outdoor entertainment (live or amplified music, televisions, etc.); and (9) other similar uses as approved by the City Planning & Development Director or designee.

- e. Public Facilities

- f. Model Homes

The developer of a subdivision shall be allowed to build model homes prior to recording a subdivision plat and subject to submitting a final plat that shows the following information for each model home lot:

- i. Street addresses for each model home as assigned by the Water Services Department.
- ii. Finished floor elevations for each model home as approved by the Engineering Department.
- iii. Proposed lots for model homes shall be in conformance with lot lines as shown on the approved preliminary plat.
- iv. Each model home shall be located on each proposed lot in conformance with the yard or setback requirements of the Land Use District.

2. Accessory Uses and Structures

Accessory Uses and Structures in the MacEwen 480 PUD shall be permitted in accordance with Sections 608 and 706 of the Phoenix Zoning Ordinance.

3. Temporary Uses

Temporary Uses authorized by the MacEwen 480 PUD shall be limited to the following:

- a. Community or Special Events
- b. Promotional Events
- c. Farmers Markets
- d. Mobile Food Vending and Vendors
- e. Outdoor Dining
- f. Outdoor Alcoholic Beverage Service and Consumption
- g. Outdoor Entertainment (live or amplified music, television/movies, etc.)
- h. Public Assembly – Active Recreational
- i. Other similar uses, as approved by the City of Phoenix Planning & Development Director or designee.

4. Interpretations

The City of Phoenix Zoning Administrator shall render decisions regarding the definition or interpretation of permitted uses pursuant to Section 307 of the Phoenix Zoning Ordinance, subject to the right to appeal to the Board of Adjustment pursuant to Section 303.

Section 4. Regulatory Standards & Land Use Districts

1. Regulatory Structure

The MacEwen 480 PUD is designed as a flexible regulatory blueprint that provides the ability to tailor development controls to the unique needs and evolution of the project. The MacEwen 480 PUD establishes baseline standards with respect to the maximum number of units, allowed density and types of home product allowed within the Project provided that the land use for any given Development Parcel, and associated development standards, will be selected at the time of Preliminary Site Plan approval.

For this purpose, MacEwen 480 has been divided into three Master Development Parcels that represent planned phasing of the Project. As an alternative to traditional zoning districts, the MacEwen 480 PUD utilizes custom-crafted Land Use Districts to regulate the product type and associated development standards allowed within each Master Development Parcel. The Land Use Districts within the MacEwen 480 PUD include:

Single-Family Residential – Small Lot (SFR-3)

Single-Family Residential – Traditional (SFR-5)

Single-Family Residential – Traditional (SFR-7)

Single-Family Residential – Estate (SFR-9)

Single-Family Residential – Estate (SFR-14)

The MacEwen 480 Land Use Districts will be distributed throughout the community to ensure diversity, efficient absorption, and a variety of home product and lifestyle choices for residents. The purposes of these districts are to:

- Provide for the orderly, well-planned, and balanced growth of residential neighborhoods.
- Provide for a sustainable and marketable variety of housing types in a range of densities.
- Promote the development of residential neighborhoods with well-designed connectivity systems that encourage recreational opportunities and social interaction.
- Provide for appropriate active and passive open spaces, a community center, and other amenities that are compatible with and improve the quality of life of MacEwen 480 residents.

a. Master Development Parcels

The regulatory framework for MacEwen 480 centers around three development parcels that each represent a planned phase of the Project (“Master Development Parcels”). *See Exhibit 3: Master Development Parcel Map.* Each Master Development Parcel, which represents approximately one-third of the overall property acreage, is assigned a Maximum Unit Count and range of Allowed Land Use Districts. As defined within the Development Parcel Budget set forth below, any of the Allowed Land Use Districts may be developed within a specific Master Development Parcel up to the Maximum Allowed Percentage. The number of units within a Master Development Parcel is governed by the Maximum Unit Count provided that the overall number of units within MacEwen 480 may not exceed 1,420. A Master Development Parcel may be further subdivided into Neighborhood Units based on market conditions and development needs. The Maximum Unit Count, Allowed Land Use Districts and Maximum Allowed Percentage for the sum total of any Neighborhood Units within a Master Development Parcel are subject to the limits for that Master Development Parcel.

The final Unit Count and Land Use District(s) for a Master Development Parcel, or Neighborhood Unit thereof, will be selected at the time of Preliminary Site Plan approval (“Development Parcel Allocation”).

b. Development Parcel Allocation and Tracking

A record of the Development Parcel Allocations as compared to the limits as established within the Development Parcel Budget shall be included on a tracking spreadsheet to be provided with each Preliminary Site Plan processed with the City. The Development Parcel Allocation spreadsheet will be used to track Unit Count and Land Use District allocations for each Master Development Parcel, or Neighborhood Units thereof, including a running total of the overall units allocated within the Project. The tracking spreadsheet must include the following information:

1. Final Unit Count for each Master Development Parcel, or Neighborhood Unit thereof, including a running tally of the overall units allocated within the Project.
2. Land Use District selected for each Master Development Parcel, or Neighborhood Unit thereof.
3. Gross acreage of each Land use District selected for a Master Development Parcel, or Neighborhood Unit thereof, including a running tally of the percentages of each Land Use District within the Master Development Parcel.

c. Development Standards

The Development Standards for each Land Use District allowed within the MacEwen 480 PUD as well as Development Standards for Private Community Centers are

articulated at *Exhibit 8: Single Family Land Use District Development Standards* and *Exhibit 9: Community Center Development Standards*.

MacEwen 480 Development Parcel Budget				
Master Development Parcel	Master Development Parcel Acreage	Maximum Unit Count ¹	Allowed Land Use Districts ²	Maximum Allowed Percentage ³
A	148.2	550	Small Lot (SFR-3) Traditional (SFR-5 & SFR-7) Estate (SFR-9 & SFR-14)	25% 75% 50%
B	164.8	600	Small Lot (SFR-3) Traditional (SFR-5 & SFR-7) Estate (SFR-9 & SFR-14)	25% 75% 50%
C	160.3	600	Small Lot (SFR-3) Traditional (SFR-5 & SFR-7) Estate (SFR-9 & SFR-14)	25% 75% 50%
<i>Total Acreage</i>	473.3			
<i>Maximum Overall Unit Count</i>		1,420		
<i>Maximum Overall Density</i>		3.0 du/ac		

2. Land Use District Descriptions

¹ The **Maximum Unit Count** for each Master Development Parcel is the total number of dwelling units allowed, provided the total unit count for Master Development Parcels A, B and C combined may not exceed the Maximum Overall Unit Count of 1,420 units. The actual unit count for a Master Development Parcel, or Neighborhood Unit thereof, is determined at Preliminary Site Plan approval.

² The final **Land Use District** for a Master Development Parcel, or Neighborhood Unit thereof, is determined at Preliminary Site Plan approval. Any of the allowed Land Use Districts may be developed in any location within a Master Development Parcel or Neighborhood Unit thereof.

³ The **Maximum Allowed Percentage** is the maximum percentage of gross land area of a Master Development Parcel that may be developed under a specific Land Use District.

Below is a summary of the single-family Land Use Districts allowed within MacEwen 480. The images and descriptions below of each Land Use District are conceptual and for illustrative purposes only and are not regulatory.

a. Single-Family Residential – Small Lot (SFR-3)

The SFR-3 district accommodates attached and detached single-family dwellings located on minimum 3,000 square-foot lots. SFR-3 is the highest density attainable in MacEwen 480 with a maximum density of 10 dwelling units per acre.

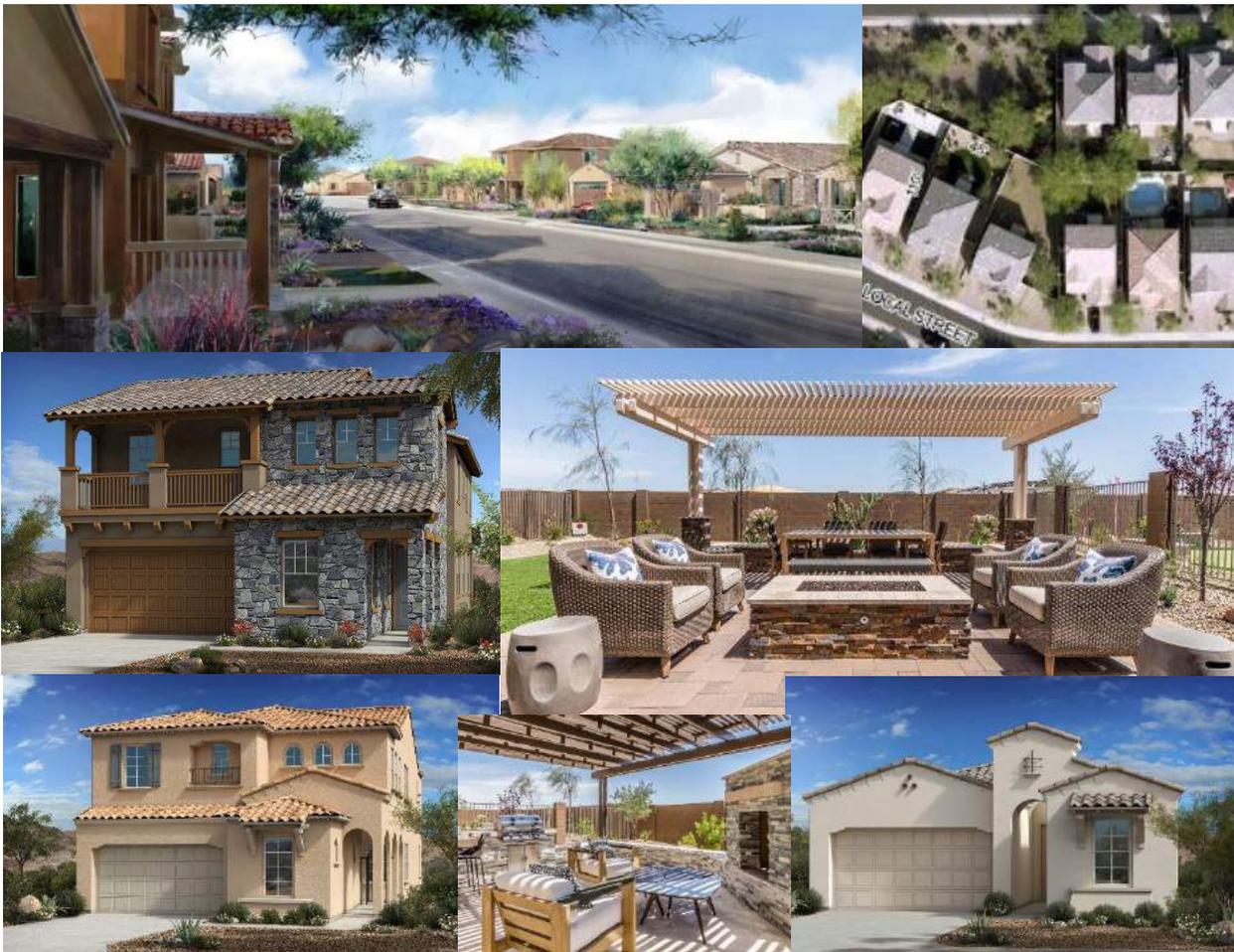
The SFR-3 district provides the opportunity for a low maintenance lifestyle option that includes unique homes design on smaller lots with thoughtful patio and outdoor spaces complemented by traditional single-family amenities such as a full-size two-car garage and driveway. The SFR-3 district development standards provide flexibility as to home placement and include variable yard requirements (including zero lot line configurations) to increase livability and design options. One and two-story homes are allowed. SFR-3 neighborhoods will be designed with a strong emphasis on community open spaces and will be connected to the larger community through a comprehensive system of pedestrian and bicycle trails.



b. Single-Family Residential – Traditional (SFR-5)

The SFR-5 district accommodates single-family detached dwellings located on minimum 5,500 square-foot lots with a maximum density of 6 dwelling units per acre.

The SFR-5 district facilitates a traditional suburban home design on compact lots offering the opportunity for a single-family lifestyle option without significant outdoor maintenance. Homes within the SFR-5 district will have functional private yards with room for amenities such as a pool or larger outdoor patio. Homes will be one and two-stories. SFR-5 neighborhoods will be designed with strong connectivity to open space corridors, trails and community amenities to foster a social living environment.



c. Single-Family Residential – Traditional (SFR-7)

The SFR-7 district accommodates single-family detached dwellings located on minimum 7,000 square-foot lots with a maximum density of 4.5 dwelling units per acre.

The SFR-7 district provides a classic suburban living environment with larger private yards that offer opportunities for multiple amenities, such as backyard pools and spas, outdoor ramadas and kitchens and generous landscaping. The SFR-7 district may include a healthy mix of one and two-story homes. SFR-7 neighborhoods will enjoy the same access to community amenities, pedestrian trails and open space corridors as the smaller lot districts combined with generous personal living environments to foster a ‘best of both worlds’ suburban experience.



d. Single-Family Residential – Estate (SFR-9)

The SFR-9 district accommodates single-family detached dwellings located on minimum 9,000 square-foot lots with a maximum density of 3.5 dwelling units per acre.

The SFR-9 district will accommodate spacious homes with a growing emphasis on private outdoor yards and living spaces. Homes may include optional elements such as three car-plus garages, bonus living spaces and enriched outdoor amenities such as private pools and spas, shade ramadas and outdoor kitchens. One and two-story homes are allowed within the SFR-9 district. SFR-9 is a transitional district that may be used as a land use transition between larger estate-style properties and the smaller lot suburban neighborhoods. Neighborhoods in the SFR-9 district will include a strong emphasis on community trail and open space corridors to promote connectivity within MacEwen 480 and to natural desert assets outside the community.



e. Single-Family Residential – Estate (SFR-14)

The SFR-14 district accommodates estate-style single-family detached dwellings located on minimum 14,000 square-foot lots. SFR-14 provides the largest lot size and lowest density within MacEwen 480. The maximum density of the SFR-14 district is 2.5 dwelling units per acre.

Homes within the SFR-14 district will be generously proportioned estate-style residences with spacious indoor and outdoor living spaces. Outdoor yards may include options for resort-style pool and spa areas, substantial outdoor patios and kitchens along with opportunities for guest houses. One and two-story homes are allowed within SFR-14 although homes are likely to be predominantly one-story. While SFR-14 neighborhoods will be designed to respect resident privacy and may be gated, these neighborhoods will include connections to the overall trail and open space system to reinforce the community-wide commitment to an accessible natural desert environment.



Section 5. Development Standards

This Application has been prepared pursuant to Section 671 of the Phoenix Zoning Ordinance to establish the regulatory framework for MacEwen 480, including creating development standards specific to the context of the Property and development.

The intent of the MacEwen 480 PUD is to provide greater flexibility than may be possible under conventional zoning district regulations. The PUD zoning district will be utilized to create development standards to facilitate a high-quality, context specific development that fulfills the City's goals and objectives.

Development standards not modified by the MacEwen 480 PUD shall comply with the Planned Residential Development (PRD) Single-Family Detached development standards in the R1-6 (Single-Family Residential) zoning district in Section 613 of the Phoenix Zoning Ordinance.

The Development Standards in *Exhibit 8: Single Family Land Use District Development Standards* and *Exhibit 9: Community Center Development Standards* set forth the development regulations for each Land Use District and other uses permitted within MacEwen 480.

Section 6. Landscaping, Fences & Walls

The Landscape, Fencing and Wall standards for MacEwen 480 establish the minimum acceptable standards for the integration of the built environment into the natural landscape while providing a comfortable, accessible and aesthetically pleasing community. The final design (color, material, etc.) of all walls/fences shall be prepared as part of the Master Plan or Preliminary Site Plan Review process for MacEwen 480.

The Landscaping, Fences and Wall standards within Section 703 of the Phoenix Zoning Ordinance apply to MacEwen 480, except as provided below:

1. A Primary Ornamental Entry no higher than 15-feet is allowed at the primary entrance to MacEwen 480 and may be located within or adjacent to the required Common Landscape Setback or Perimeter Building Setback when not prohibited by City Code, Section 31-13. Architectural embellishments and non-supporting structures, including but not limited to spires, towers, pylons, columns, trims and other similar features or projections, are allowed up to a maximum height of 30-feet, when not prohibited by Section 31-13 of the Phoenix City Code. Such architectural embellishments will be a secondary or supporting design element to the Primary Ornamental Entry.
2. Where adjacent to Sonoran Desert Drive, a maximum eight-foot high freestanding solid wall and/or Type 2 partial view fence may be erected bounding the Common Landscape Setback, where not prohibited by City Code, Section 31-13. Supplemental salvaged plant material (if available) will be planted adjacent to Sonoran Desert Drive (on the north side of the wall/fence) to enhance and visually screen the wall/fence from Sonoran Desert Drive.
3. Where adjacent to all other Perimeter Property lines, a maximum eight-foot high freestanding solid wall, full view fence, Type 1 partial view fence, and/or Type 2 partial view fence may be erected, where not prohibited by City Code, Section 31-13, except:
 - a. Freestanding solid walls are prohibited where adjacent to the Sonoran Preserve as shown on *Exhibit 2: Surrounding Property Ownership Map* (solid walls shall be permitted where adjacent to future Sonoran Preserve priorities).
 - b. Where internal common open space or a walk-in trailhead directly abuts a Perimeter Property line, a maximum 6-foot high full view fencing or a maximum 42-inch tensile, open, split rail, or other similar fence is required ("*Barrier Fencing*"). Fencing will be designed to define the overall Perimeter of the Property and discourage uncontrolled access to the Sonoran Preserve, while maintaining strong visual connections to the Sonoran Preserve.

4. Within or bounding the side yard or rear yard of any residential lot abutting the Primary Collector, Secondary Collector, or other internal roadways, a maximum six-foot high freestanding solid wall or Type 2 partial view fence is required. On all other side yard or rear yard residential lot property lines, a maximum six-foot high freestanding solid wall, Type 1 partial view fence, or Type 2 partial view fence may be erected.

Typical Wall Elevations
(Actual Colors, Finish Materials, Dimensions may be modified)

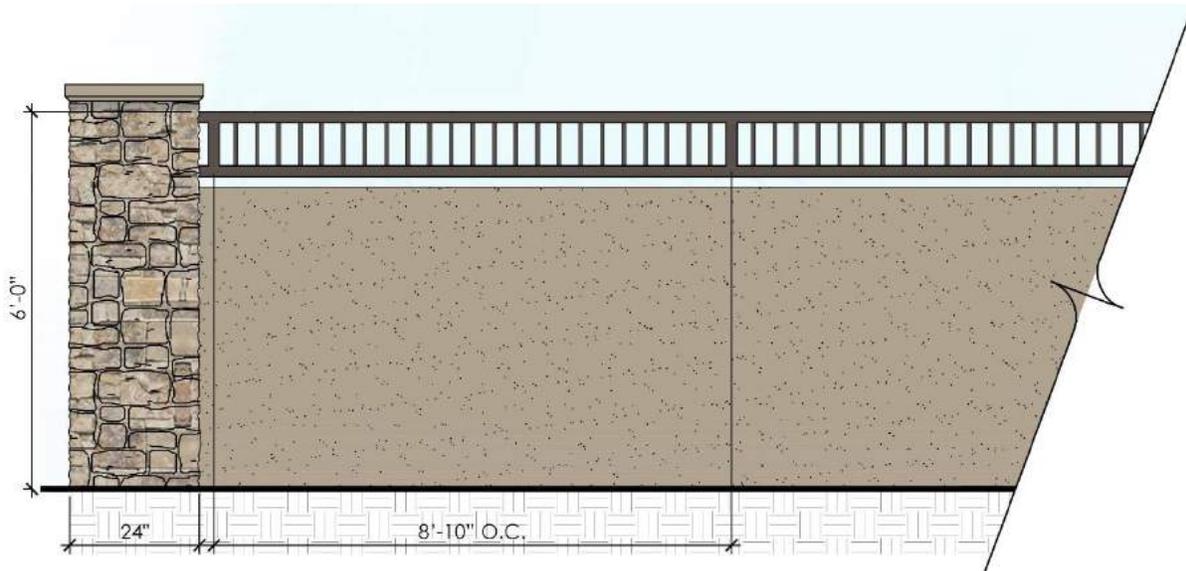
Type 1 Partial View Fence (typ.)



* Where adjacent to a Perimeter Property line, fencing may be up to eight-feet in height.

** Fencing that orients toward public rights-of-way or that is visible from internal roadways and common areas will include embellished columns spaced a minimum one column per 200-feet of continue fence length.

Type 2 Partial View Fence (typ.)



* Where adjacent to Sonoran Desert Drive or a Perimeter Property line, fencing may be up to eight-feet in height.

** Fencing that orients toward public rights-of-way or that is visible from internal roadways and common areas will include embellished columns spaced a minimum one column per 200-feet of continue fence length.

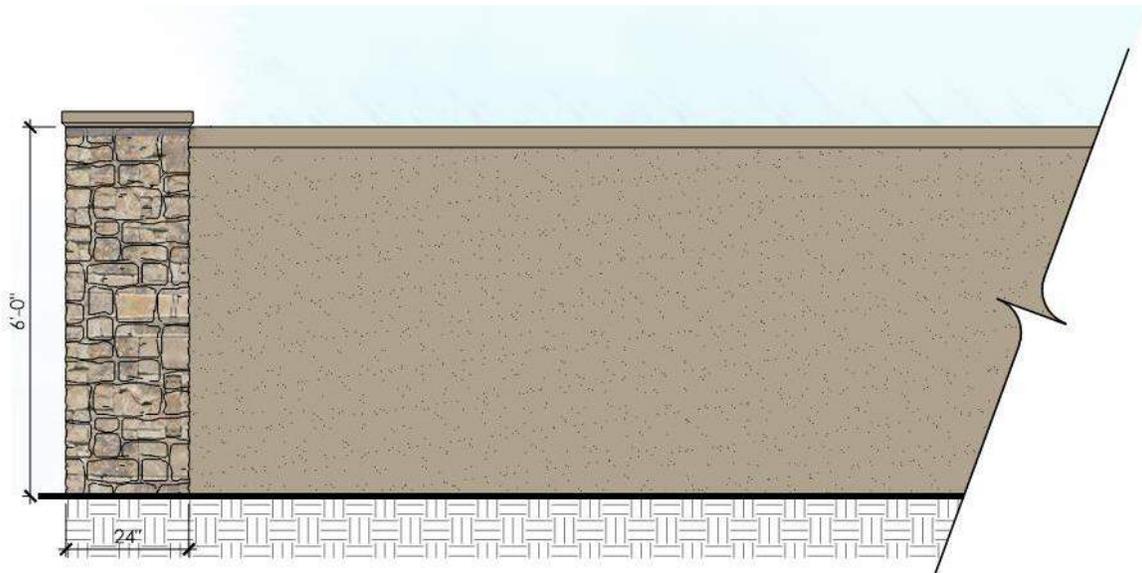
Full View Fence (typ.)



* Where adjacent to a Perimeter Property line, fencing may be up to eight-feet in height.

** Fencing that orients toward public rights-of-way or that is visible from internal roadways and common areas will include embellished columns spaced a minimum one column per 200-feet of continue fence length.

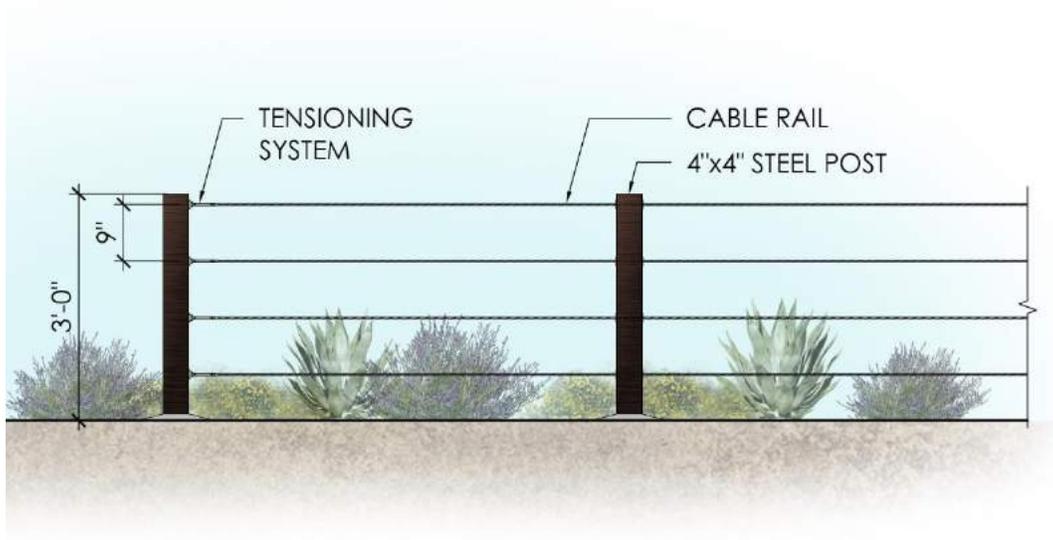
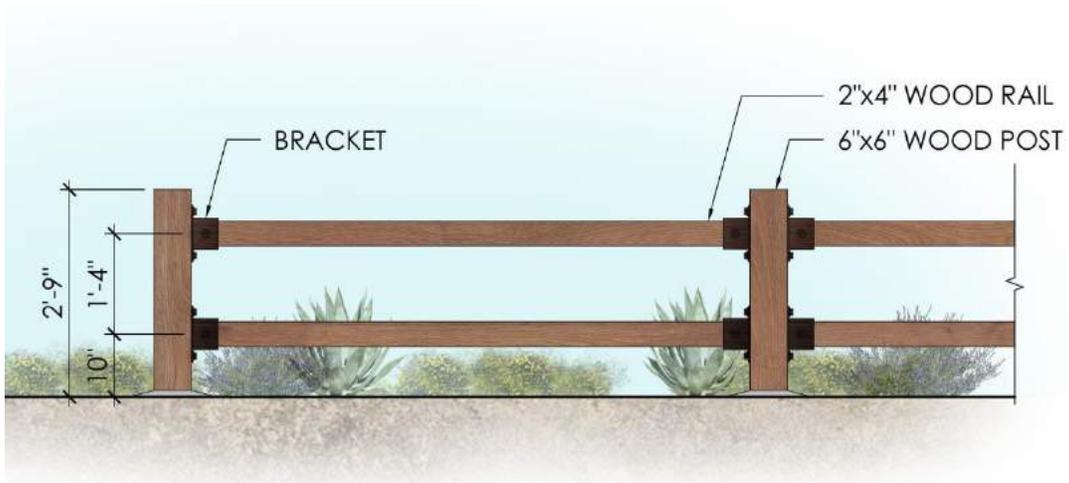
Solid Wall (typ.)



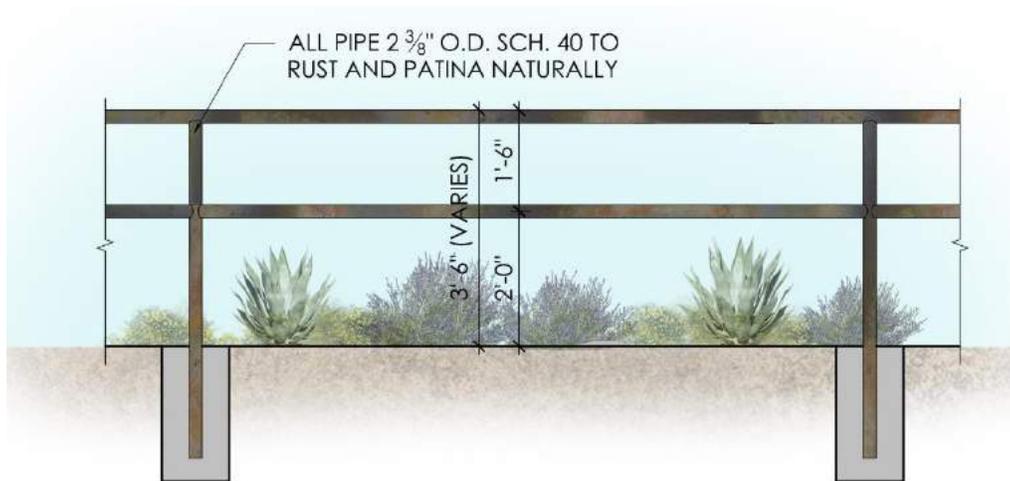
* Where adjacent to a Perimeter Property line, wall may be up to eight-feet in height.

** Walls that orient towards public rights-of-way or that are visible from internal roadways and common areas will include horizontal staggers and undulations (minimum of 2-feet) in addition to enhanced massing and column elements at transition points to provide for visual variability in the wall alignment. The maximum spacing between offsets is 300-linear feet.

Barrier Fencing (typ.)



Barrier Fencing (typ.)



5. Individual retaining walls are permitted by-right so long as the height is limited to six-feet when located within 50-feet of a subdivision Perimeter Property line or the property line of an un-platted parcel. The total combined vertical height of each individual wall may not exceed twenty feet.
6. An individual retaining wall is limited to four-feet in height within the front yard and six-feet within the street side yard. The total combined vertical height of an individual wall within the street side yard may not exceed twelve-feet.

Section 7. Lighting

Lighting within MacEwen 480 shall comply with Sections 704 and 507, Tab A – II.A.8 of the Phoenix Zoning Ordinance.

Section 8. Design Guidelines

MacEwen 480 is uniquely situated within the heart of the City’s Sonoran Preserve and future preserve priorities. This expansive natural desert setting highlights large tracts of undisturbed native desert, regionally significant wash corridors, and scenic view sheds towards nearby mountains. The intent of the MacEwen 480 Design Guidelines (*See Appendix C: MacEwen 480 Design Guidelines*) is to ensure that the proposed community sensitively integrates within the natural desert environment and the City’s Sonoran Preserve, particularly in areas where there is a shared edge. The MacEwen 480 Design Guidelines focus on addressing the relationship between the proposed development and the desert washes and native vegetation, creating non-vehicular connectivity within and beyond the limits of the Property, and establishing parameters for the use of compatible colors, materials and vegetation that compliments the character of the Sonoran Desert.

The MacEwen 480 Design Guidelines also provide overall design parameters for the development of MacEwen 480. These design guidelines provide generalized design criteria and inspiration for site and neighborhood layout, home architecture and building elevations, and landscaping. The guidelines are intended to support the achievement of high quality, market relevant design that responds to the surrounding context. All development and housing product within MacEwen 480 shall demonstrate consistency with the MacEwen 480 Design Guidelines.

Section 9. Signs

Signage within MacEwen 480 shall comply with Section 705, Signs, of the Phoenix Zoning Ordinance, including that a Comprehensive Sign Plan may be approved in the future. The MacEwen 480 PUD authorizes the following modifications from Phoenix Zoning Ordinance Section 705.E.2.b.3 for Ground and Combination Signs.

1. **Primary Ornamental Entry Signs.** Primary Ornamental Entry Signs are freestanding signs (lettering and sign copy only) of architectural quality to be located at the primary entrance to MacEwen 480 and intended to be viewed from Sonoran Desert Drive to provide primary Project identification. These provisions apply to sign copy and lettering only. The Primary Ornamental Entry monument, feature, or structure is separately governed by Section 11 of the MacEwen 480 PUD
 - a. **Number of Signs.** A maximum of two Primary Ornamental Entry Signs are permitted at the primary Project entry.
 - b. **Height.** The maximum height for Primary Ornamental Entry Sign lettering and copy is of 15-feet.

- c. **Sign Area.** The maximum sign lettering area is 100 square-feet per sign for Primary Ornamental Entry Signs.

The following illustrates conceptual character for Primary Ornamental Entry Signs.



2. **Neighborhood Unit Signs and Secondary Ornamental Entry Signs.**

Subdivision Signs and Secondary Ornamental Entry Signs are freestanding ground mounted signs located on or incorporated into a solid base, or wall mounted signs. Subdivision Signs are intended to identify individual Neighborhood Units within MacEwen 480 as well as community features such as major amenity areas or the community center. Such signs will generally be located along the internal collectors. Secondary Ornamental Entry Signs are intended to provide secondary identification for the overall MacEwen 480 project and may be located at any secondary community entrances.

- a. **Number of Signs.** A maximum of two single-faced Neighborhood Unit identification signs or one double-faced Neighborhood Unit identification sign are allowed per entrance to a Neighborhood Unit.
- b. **Ground Sign Structure Height.** The maximum height for freestanding ground mounted sign structures, non-supporting structures, embellishments, architecture, trim, walls, or other similar features is eight-feet.
- c. **Sign Copy Height.** The maximum height for sign copy and lettering is eight feet.

- d. **Area.** The maximum sign lettering area is 44 square-feet per sign for Neighborhood Unit signs and Secondary Ornamental Entry Signs.
- e. **Spacing:** Neighborhood Unit identification signs shall be separated a minimum 300-feet from other Neighborhood Unit identification signs when on the same side of a collector; otherwise, there is no spacing requirement.

Section 10. Sustainability

The following are sustainability practices that are required:

1. Utilize industry-recognized sustainable construction practices and materials by providing options for LED and/or low-level lighting, cool roof tops or non-dark tiles colors, dual paned windows with high performance Low e-glazing, energy-efficient rated insulation, lower flow toilets and showerheads, and automatic irrigation systems.
2. Promote energy-efficiency by providing options to high efficiency air conditions units, Energy Star appliances, programmable thermostats, and whole house exchange fans.
3. Preserve washes in their natural environment to maintain natural drainage patterns and minimize impacts on animal migration patterns.
4. Provide a network of non-vehicular transportation options, including bike lanes, multi-use trails, and pedestrian connections to parks and open space areas, washes and surrounding Sonoran Preserve.
5. Provide pedestrian amenities such as sidewalks shaded with landscaping, waste receptacles (recycling and trash), way finding signage, benches, and pedestrian scaled lighting.
6. Provide a community center and other active and passive neighborhood amenities, such as ramadas, barbeques, playground equipment, and play areas.
7. Include LED and energy efficient lighting technology into any and all lighting constructed on site, including community amenity areas, parking lots, parks, and streets.
8. Shade parking lots, open spaces areas, and public spaces with trees.

9. Utilize non-invasive, drought-tolerant, and where possible, salvaged vegetation within landscape areas and open spaces, landscape buffers and setbacks, and along streets within MacEwen 480.
10. Implement landscaping and stormwater management techniques that retain storm runoff where appropriate to provide water for landscaping and improved ground water conditions.
11. Provide secure and visible bike parking at the community center.

The following are sustainability practices that are highly encouraged:

1. Implement design guidelines to create a unique development that is sensitive to the desert setting and Sonoran Preserve.
2. Provide a diverse range of housing types, sizes, densities, and prices that will attract residents with varied ages and lifestyles.
3. Orient homes to take advantage of climatic and site conditions to provide heating in the winter and cooling in the summer, where possible.
4. Encourage the use of photovoltaic panels.
5. Sustainable recycling program will be actively pursued and supported for all single-family development.

Section 11. Water

MacEwen 480 is located within the City's water service area and lies within Pressure Zone 6A. To date, the City has not yet developed much of its water system near the Property; however, there are a few existing water facilities within the region. The nearest existing water infrastructure include 12-inch water lines along Dove Valley Road and the 7th Street alignment northwest of the Property. There are also existing 12-inch, 48-inch, and 54-inch water lines along Cave Creek Road, southeast of the Property. These existing water lines operate within Pressure Zone 6A and will serve as the connection points for MacEwen 480's offsite water improvements.

As shown in *Exhibit 10: Water System Improvements*, water improvements for MacEwen 480 include a proposed 12-inch offsite water line along Sonoran Desert Drive, connecting to the existing 12-inch water lines along Dove Valley Road and Cave Creek Road to provide for two points of connection. The proposed onsite water system infrastructure will consist of internal 8-inch to 12-inch water lines serving the individual parcels. The onsite water lines will be generally located within the MacEwen 480's roadways, with some water lines located within parcel tracts with easements. These water lines will create a looped network within MacEwen 480 and ensure that each parcel has two points of connection for redundancy. Final water line sizing and alignments will be determined through the master planning process with hydraulic modeling to verify pressures and flows.

Water infrastructure for MacEwen 480 will be designed in accordance with current city design criteria as outlined in the city's *2017 Design Standards Manual for Water and Wastewater Systems*. Based on the proposed land uses, the projected average day and peak day water demands for MacEwen 480 are approximately 735,046 gpd (510 gpm) and 1,104,664 gpd (767 gpm), respectively. The water system will be designed to serve these demands, along with the required fire flows, in accordance with city design criteria and other applicable requirements.

Section 12. Wastewater

MacEwen 480 is located the city's wastewater service area. There is currently no existing wastewater infrastructure immediately adjacent to the Property. The nearest existing wastewater system in the region includes a 12-inch gravity sewer main along the Sonoran Desert Drive alignment west of MacEwen 480 and a 15-inch gravity sewer main along Cave Creek Road southeast of the Property.

Due to the topography of the Property and surrounding area, it is not anticipated that MacEwen 480 can be served by a gravity-only sewer solution. The city's requirements for depth of cover, scour protection at wash crossings, and the existing invert elevations of the downstream tie-in manholes make an all-gravity sewer solution infeasible, and MacEwen 480 will require a lift station at the site's low point located along the southern boundary of the Property.

As shown in *Exhibit 11: Wastewater System Improvements*, wastewater system improvements for MacEwen 480 will include a public lift station to be constructed along the southern boundary of the Property. The lift station and associated force main will be built to city standards and will require redundancy, including but not limited to the installation of a dual force main, a backup pump, and a backup generator. Onsite sewer mains ranging from 8 to 12-inches in diameter will route wastewater flows from each of the lots in the individual parcels to the proposed lift station, where they would then be pumped through a force main towards the existing 15-inch gravity sewer main along Cave Creek Road following Sonoran Desert Drive. The final onsite sewer and force main sizing and alignments will be determined through the master planning process, which will include an evaluation of potential service areas for this lift station.

The proposed wastewater collection system infrastructure for MacEwen 480 will be designed in accordance with current city design criteria as outlined in the city's *2017 Design Standards Manual for Water and Wastewater Systems*. Based on the proposed land uses, the anticipated average daily wastewater flow and peak flow for MacEwen 480 are 350,895 gpd (244 gpm) and 1,156,978 gpd (803 gpm), respectively. The wastewater system will be designed to convey the anticipated wastewater flows in accordance with City design criteria and other applicable requirements.

Section 13. Drainage

The region surrounding the Property generally drains southward. MacEwen 480 is impacted by three natural washes that approach the Property from the north and convey a substantial amount of flow through and around the Property. These watercourses include, from west to east, Apache Wash, Mesquite Wash, and Cave Creek Wash. In order to maximize developable space, encroachment into the associated floodplains is proposed assuming fill would be placed to raise the proposed development above the 100-year water surface elevations in the washes. Due to the magnitude of flows conveyed by Apache Wash and Cave Creek Wash as well as their location along the Perimeter of the Property, limited encroachment is proposed to occur within their associated floodplains. The Mesquite Wash corridor, which traverses the interior of the Property and conveys considerably less flow in comparison, has potential to allow proposed encroachment into its floodplain. Minor, more localized sources of offsite flow, which approach the site from the north as sheet flow and/or in existing culverts, are proposed to be mitigated via designated channels that convey offsite flow around the site and outfall to the natural washes.

According to FEMA Flood Insurance Rate Maps (FIRM) 04013C0870L and 04013C1285L, dated October 16, 2013, the Project is primarily located within Zone X.

FEMA defines Zone X as:

The flood insurance rate zone that corresponds to areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood. No base flood elevations or depths are shown within this zone.

Portions of the site are designated as Zone AE special flood hazards. It is anticipated that a portion of the Zone AE floodplain within the site can be recovered through the FEMA CLOMR/LOMR process. FEMA defines Zone AE as:

The flood insurance rate zone that corresponds to the 100-year floodplains as determined in the Flood Insurance Study by detailed methods. In most instances, base flood elevations derived from the detailed hydraulic analyses are shown at selected intervals within this zone.

In accordance with City storm water guidelines, MacEwen 480 will be designed so that onsite rainfall runoff from the Property will be routed via street flow and/or storm drains to retention basins located throughout the Property. Due to the proximity of the Property to the watercourses described above, a reduced retention requirement (the greater of the Pre vs Post or First Flush volume) will be pursued for those areas that have a direct overflow path to one of the three natural washes that impact the Property. If an overflow path is not available for a designated area, then the 100-year, 2-hour retention volume will be provided. The proposed drainage improvements for MacEwen 480 will be designed in accordance with all City and Maricopa County drainage design standards. See *Exhibit 12: [Drainage Improvements](#)*.

Section 14. Circulation

A traffic impact analysis was performed for MacEwen 480 based upon the maximum proposed density of 1,420 single-family homes to be built in three phases with planned full build-out by year 2030. The study horizon year for MacEwen 480 will be 2035, five years after full build-out. Based on the data calculated from the ITE Trip Generation Manual, MacEwen 480 is expected to generate approximately 4,089 trips in Phase 1 with 12,554 total weekday trips upon build-out. Phase 1 is expected to generate 319 morning and 424 evening peak hour trips. At full build-out, MacEwen 480 is expected to generate approximately 1,017 morning and 1,330 evening trips.

Two access points into MacEwen 480 are proposed via Sonoran Desert Drive. The Primary Collector, which will serve as the primary access for MacEwen 480, is planned as a public roadway with two through lanes in each direction and a raised landscape median. The Primary Collector will be located at approximately the midpoint of the project frontage along Sonoran Desert Drive. The Secondary Collector, which will serve as the secondary access for MacEwen 480, is planned at the westernmost frontage point along Sonoran Desert Drive. The Secondary Collector will also be public and likely consist of one lane in each direction and a two-way left turn lane may be provided in some locations. The Primary and Secondary Collectors provide vehicular circulation to each Neighborhood Unit including the amenity sites. The Primary Collector is planned to be constructed in its entirety with the first phase of development. The circulation system within MacEwen 480 will be extended through a series of local streets that provide access into and through each individual Neighborhood Unit. The local streets will typically consist of one lane in each direction and may be a combination of public streets or private streets within a gated neighborhood condition. *See Exhibit 13: [Street Cross Sections](#).*

Sonoran Desert Drive is a regional transportation corridor and designated as a scenic parkway by the City of Phoenix with 300 feet of right-of-way reserved for this corridor along the Property frontage. Since the construction of full build out section of Sonoran Desert Drive necessitates regional impact considerations, interim offsite improvements are anticipated as part of MacEwen 480. These improvements may include widening Sonoran Desert Drive along the Project frontage and other offsite improvements, which will be defined in the Traffic Impact Analysis.

Appendix

Appendix A: *Legal Description*

Appendix B: *Comparative Zoning and Development Standards Table*

Appendix C: *MacEwen 480 Design Guidelines*

Appendix A. *Legal Description*

PARCEL NO. 1:

THE SOUTHEAST QUARTER OF SECTION 22, TOWNSHIP 5 NORTH, RANGE 3 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;

EXCEPT THAT PORTION OF SECTION 22, TOWNSHIP 5 NORTH, RANGE 3 EAST, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 22;

THENCE NORTH 00° 20' 16" EAST, ALONG THE EAST LINE OF SAID SECTION 22, A DISTANCE OF 2,501.66 TO THE POINT OF BEGINNING;

THENCE NORTH 90° 00' 00" WEST, A DISTANCE OF 2,642.12 FEET TO THE NORTH-SOUTH MID- SECTION LINE OF SAID SECTION 22;

THENCE NORTH 00° 28' 49" EAST, ALONG SAID MID-SECTION LINE, A DISTANCE OF 141.23 FEET TO THE EAST-WEST MID-SECTION LINE OF SAID SECTION 22;

THENCE NORTH 89° 48' 35" EAST, ALONG SAID MID-SECTION, LINE A DISTANCE OF 2,641.83 FEET TO THE EAST QUARTER CORNER OF SAID SECTION 22;

THENCE SOUTH 00° 20' 16" WEST, ALONG THE EAST LINE OF SAID SECTION 22, A DISTANCE OF 150.00 FEET TO THE POINT OF

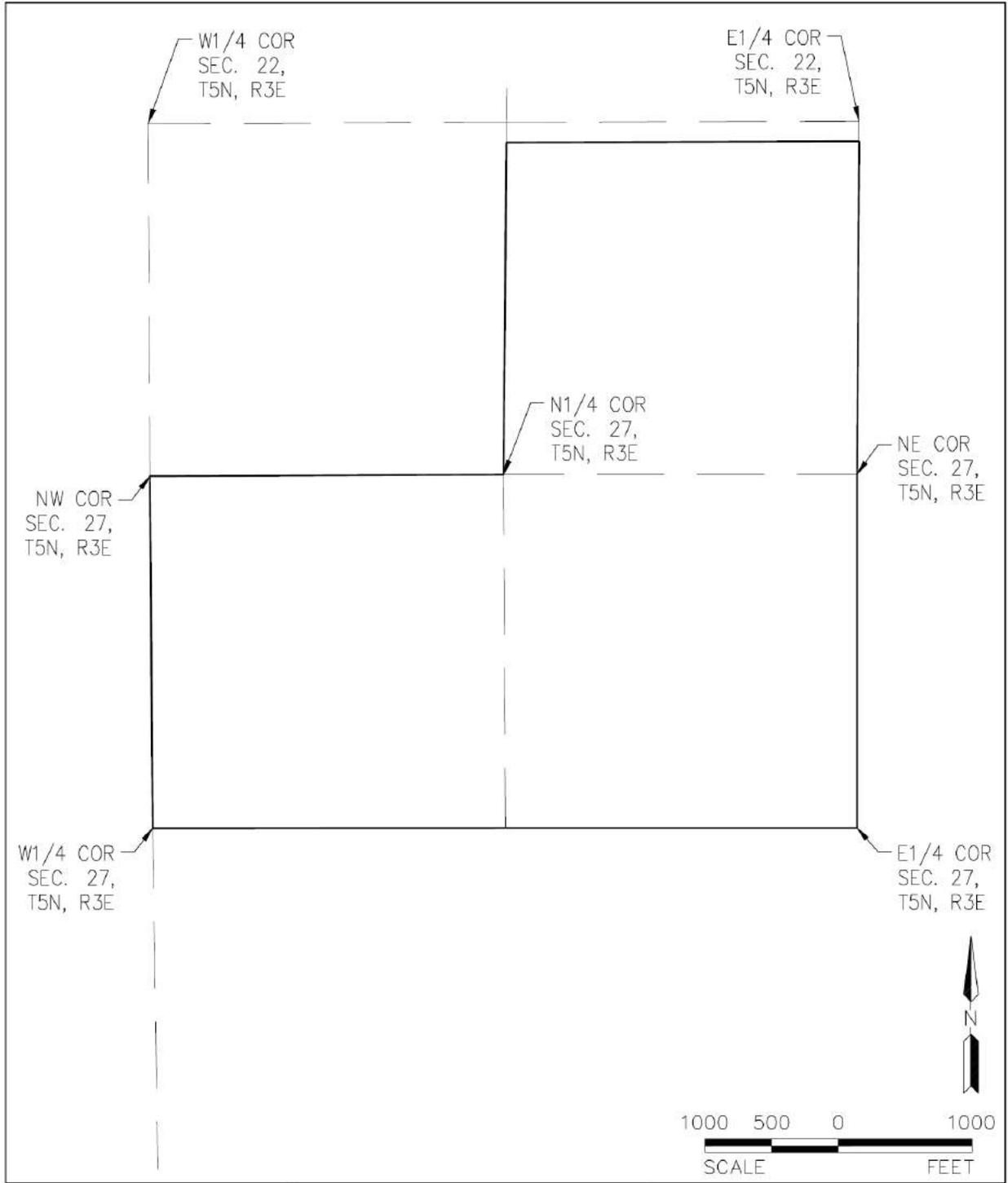
BEGINNING. PARCEL NO. 2:

THE NORTH HALF OF SECTION 27, TOWNSHIP 5 NORTH, RANGE 3 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;

EXCEPT ALL THE COAL AND OTHER MINERALS, AS RESERVED IN THE PATENT. (AFFECTS THE NORTH HALF OF THE NORTHWEST QUARTER AND THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 27).

EXCEPT ALL MINERALS IN SAID LAND AS RESERVED TO THE UNITED STATES IN PATENT; AND

EXCEPTING ALL URANIUM, THORIUM, OR OTHER MATERIAL WHICH IS OR MAY BE DETERMINED TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSIONABLE MATERIALS, WHETHER OR NOT OF COMMERCIAL VALUE PURSUANT TO THE PROVISIONS OF THE ACT OF AUGUST 1, 1946 (60 STAT. 755), AS SET FORTH IN THE PATENT ON SAID LAND. (AFFECTS THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 2).



PROJ.NO.:	1784	MACEWEN 480	 HILGARTWILSON 2141 E. HIGHLAND AVE., STE. 250 PHOENIX, AZ 85016 P: 602.490.0535 / F: 602.368.2436
DATE:	NOV 2018		
SCALE:	1" = 1000'	BOUNDARY EXHIBIT	
DRAWN BY:	NS		
CHECKED BY:	HW		

©2018, HILGARTWILSON, LLC

U:\1700\1784\ENGR\EXHIBITS\1784-M480-Boundary Exhibit.dwg 11/2/2018 10:38 AM

Appendix B. Comparative Zoning and Development Standards Table

SINGLE-FAMILY DETACHED DWELLING DISTRICTS and MODEL HOME DEVELOPMENT STANDARDS										
Development Standard	R-2 PRD	SFR-3	R1-6 PRD	SFR-5	R1-8 PRD	SFR-7	R1-10 PRD	SFR-9 ¹	R1-18 PRD	SFR-14 ¹
Min. Lot Area	-	3,000 sf	-	5,000 sf	-	7,000 sf	-	9,000 sf	-	14,000 sf
Min. Lot Width	45'	40'	45'	45'	45'	55'	45'	65'	None	90'
Min. Lot Depth	None	None	None	None	None	None	-	None	None	None
Max. Dwelling Unit Density	6; 12.5 w/ bonus	10	5.5; 6.5 w/ bonus	6	4.5; 5.5 w/ bonus	4.5	3.5; 4.5 w/ bonus	3.5	2.05; 2.34 w/ bonus	2.5
<i>Min. Perimeter Building Setbacks</i>										
Property Boundary	SPL: 10' (1-story), 15' (2-story)	15'	15'	15'						
SPL: Side Property Line RPL: Rear Property Line	RPL: 15' (1-story); 20' (2-story)									
Sonoran Desert Drive/Collector ROW	15'	15'	15'	15'	15'	15'	15'	15'	20'	15'
<i>Min. Common Landscape Setback</i>										
Sonoran Desert Drive ROW	15' average;	15'		15'						
Arterial/Collector ROW	10' min.	15' average; 10' min.	10' min.	15' average; 10' min.	10' minimum	15' average; 10' min.	10' minimum	15' average; 10' min.	None	15' average; 10' min.
<i>Min. Interior Building Setbacks</i>										
Front Livable ²	10'	10'	10'	10'	10'	10'	10'	10'	25'	10'
Garage ³	18'	18'	18'	18'	18'	18'	18'	18'	-	18'

SINGLE-FAMILY DETACHED DWELLING DISTRICTS and MODEL HOME DEVELOPMENT STANDARDS

<i>Development Standard</i>	<i>R-2 PRD</i>	<i>SFR-3</i>	<i>R1-6 PRD</i>	<i>SFR-5</i>	<i>R1-8 PRD</i>	<i>SFR-7</i>	<i>R1-10 PRD</i>	<i>SFR-9¹</i>	<i>R1-18 PRD</i>	<i>SFR-14¹</i>
<i>Min. Interior Building Setbacks cont.</i>										
<i>Rear</i>	<i>None</i>	<i>5'</i>	<i>None</i>	<i>15'</i>	<i>None</i>	<i>15'</i>	<i>None</i>	<i>20'</i>	<i>–</i>	<i>20'</i>
<i>Street Side</i>	<i>10'</i>	<i>5'</i>	<i>10'</i>	<i>10'⁴</i>	<i>10'</i>	<i>10'⁴</i>	<i>10'</i>	<i>10'⁴</i>	<i>–</i>	<i>10'</i>
<i>Side Livable</i>	<i>None</i>	<i>0'; min. 10' building separation</i>	<i>None</i>	<i>5'</i>	<i>None</i>	<i>5'</i>	<i>None</i>	<i>5'</i>	<i>–</i>	<i>5'</i>
<i>Max. Lot Coverage⁵ (primary structure and any attached or detached structures)</i>	<i>Primary structure, not including attached shade structures: 40%; Total 50%</i>	<i>Primary structure, not including attached shade structures: 45%; Total 55%</i>	<i>Primary structure, not including attached shade structures: 25%; Total 30%</i>	<i>Primary structure, not including attached shade structures: 45%; Total 55%</i>						
<i>Max. Building Height</i>	<i>2-stories and 30'</i>									
<i>Min. Common Area (per Neighborhood Unit)</i>	<i>5%</i>	<i>10%</i>								
<i>On-Lot and Common Retention</i>	<i>Common retention required for lots less than 8,000 sf</i>	<i>None</i>	<i>–</i>	<i>None</i>						

SINGLE-FAMILY DETACHED DWELLING DISTRICTS and MODEL HOME DEVELOPMENT STANDARDS

<i>Development Standard</i>	<i>R-2 PRD</i>	<i>SFR-3</i>	<i>R1-6 PRD</i>	<i>SFR-5</i>	<i>R1-8 PRD</i>	<i>SFR-7</i>	<i>R1-10 PRD</i>	<i>SFR-9¹</i>	<i>R1-18 PRD</i>	<i>SFR-14¹</i>
<i>Landscape Standards (adjacent to Sonoran Desert Drive)</i>	<i>Perimeter common: Trees spaced a maximum of 20' to 30' on center or in equivalent groupings, and 5 shrubs per tree.</i>	<i>Perimeter common: Trees spaced a maximum of 20' to 30' on center or in equivalent groupings, and 5 shrubs per tree.</i>	<i>Perimeter common: Trees spaced a maximum of 20' to 30' on center or in equivalent groupings, and 5 shrubs per tree.</i>	<i>Perimeter common: Trees spaced a maximum of 20' to 30' on center or in equivalent groupings, and 5 shrubs per tree.</i>	<i>Perimeter common: Trees spaced a maximum of 20' to 30' on center or in equivalent groupings, and 5 shrubs per tree.</i>	<i>Perimeter common: Trees spaced a maximum of 20' to 30' on center or in equivalent groupings, and 5 shrubs per tree.</i>	<i>Perimeter common: Trees spaced a maximum of 20' to 30' on center or in equivalent groupings, and 5 shrubs per tree.</i>	<i>Perimeter common: Trees spaced a maximum of 20' to 30' on center or in equivalent groupings, and 5 shrubs per tree.</i>	-	<i>Perimeter common: Trees spaced a maximum of 20' to 30' on center or in equivalent groupings, and 5 shrubs per tree.</i>

¹Guesthouses must conform with the development standards of the underlying Single-Family Land Use District.

² For purposes of determining lot lines for the Front Livable setback, a perimeter property line adjacent to Sonoran Desert Drive is not considered the front property line.

³Front garage setback may be reduced to 10' measured from property line for side-loaded garages.

⁴Landscape tracts can reduce the minimum street side setback by the width of the tract up to 5' within the SFR-5, -7 and -9 land use districts. The street side building setback may not be reduced within the SFR-9 land use district for two-story homes.

⁵The total structural coverage provided on the sum of all the lots within each Subdivision Plat of which is divided or prorated between each of the lots after streets (both public and private) are subtracted from the total net area.

Appendix C. *MacEwen 480 Design Guidelines*

APPENDIX C

MacEwen 480 DESIGN GUIDELINES

January 10, 2019

Section 1 – Introduction

1.A Purpose and Intent

The purpose of the MacEwen 480 Design Guidelines is to create a comprehensive and contextually appropriate set of design guidelines to govern neighborhood design, architecture, landscaping, open space and amenities, and circulation within a cohesive master planned community. The MacEwen 480 Design Guidelines will ensure that the community sensitively integrates within the natural desert environment, particularly in areas where there is a shared edge with the Sonoran Preserve. The MacEwen 480 Design Guidelines focus on addressing the relationship between the proposed development and the desert washes and native vegetation, creating non-vehicular connectivity within and beyond the limits of the Property, and establishing parameters for the use of compatible colors, materials and vegetation that complement the character of the Sonoran Desert. The guidelines are intended to support the achievement of high quality, market relevant design that responds to the surrounding context.

All site design, development and housing product within MacEwen 480 Must demonstrate consistency with the MacEwen 480 Design Guidelines.

The MacEwen 480 Design Guidelines are organized into five sections:

- 1. Introduction**
- 2. Site and Neighborhood Design**
- 3. Architectural Styles**
- 4. Landscape Design**
- 5. Walls and Fences**
- 6. Desert Edge Treatment**

Each of these sections describes the general intent and specific criteria for design within each of the MacEwen 480 Master Development Parcels and Neighborhood Units.

1.B Regulatory Intent

The MacEwen 480 Design Guidelines are general in nature, predominantly meant to guide rather than dictate. The intent is to encourage best development practices in ways that will ensure that both quality and unity is achieved within MacEwen 480, with emphasis placed on creating diversity throughout the natural and built environment.

The MacEwen 480 Design Guidelines include specific implementation guidelines consisting of **Requirements** and **Presumptions**.

Requirements (R). Requirements (R) are not discretionary in that they contain language such as “shall,” “must,” and “will.” Requirements must be satisfied prior to design review approval. If a Requirement cannot be

satisfied, the Planning & Development Department Director or designee may approve an alternative that achieves the intent of the Requirement. If such request is denied by the Planning & Development Department Director or designee, an appeal may be filed by an applicant with the Design Review Committee.

Presumptions (P). A Presumption (P) normally will contain the word “should,” “encourage,” or “may.” A plan submitted for design review is expected to include presumptive elements, unless sufficient justification is provided to overcome the presumption.

Overcoming a Presumption. A presumption that may be unsuitable for a given project may be waived, or an alternative approved, if an applicant can demonstrate to the Planning & Development Department that there is a good reason why the presumption cannot be met. The Planning & Development Department may approve an alternative that achieves the intent of the presumption.

Appropriate reasons for overcoming a presumption include:

1. Demonstrating that in this instance the underlying design principle will not be furthered by the application of the Presumption;
2. Showing that another design principle is enhanced by not applying the Presumption;
3. Demonstrating an alternative method for achieving the intent of the Presumption;
4. Explaining the unique site factors that make the Presumption unworkable, such as lot shape, slope, natural vegetation, drainage, and characteristics of adjacent development which are identified through their use of materials, colors, building mass and form, and landscaping.

An increase in the cost of development is not an acceptable reason to waive a guideline or determine that a guideline is inappropriate.

Appeals. In the event that a Presumption is not incorporated or overcome, an appeal may be filed by an applicant with the Design Review Committee.

The Design Guidelines within Section 507 Tab A of the Phoenix Zoning Ordinance apply to the Property, provided that the Sonoran Preserve Edge Treatment Guidelines (Section 507 Tab A II.E.3) do not apply and are superseded by the MacEwen 480 Design Guidelines, which incorporate appropriate elements from the Sonoran Preserve Edge Treatment Guidelines. The MacEwen 480 Design Guidelines also include numerous guidelines that originated from the North Black Canyon Corridor Overlay District, and

the Desert Character Overlay District. These guidelines are intended to heighten the level of design at MacEwen 480 beyond the more generally applicable guidelines within Section 507 Tab A and provide specific guidance for new development within the context of the surrounding desert environment. The provisions of the North Black Canyon Corridor Overlay District and the Desert Character Overlay District contained within the Phoenix Zoning Ordinance do not apply to the Property.

Where the MacEwen 480 Design Guidelines conflict with other design guidelines (including Phoenix Zoning Ordinance Section 507, Tab A) or development standards within the Phoenix Zoning Ordinance, the MacEwen 480 Design Guidelines shall control.

Section 2 – Site and Neighborhood Design

The intent of the Site and Neighborhood Design guidelines is to provide guidance for creating efficient and appealing Neighborhood Units and seamless connections throughout MacEwen 480 as a whole.

2.A Neighborhood Design

Neighborhood Units within MacEwen 480 will be designed to promote walkable, accessible and connected neighborhoods designed with an emphasis on desert-sensitive design and shade. The lot layout of individual residences should emphasize diversity and scale along the street, minimizing visual monotony through creative planning techniques such as varied setbacks and lot widths and strategic use of landscaping.

2.A.1 Neighborhood Identity Element.

Each Neighborhood Unit will have an identifying or organizing element such as a small park, open space, or amenity area intended to provide a place for nearby residents to gather and foster a sense of place. These small neighborhood identify elements must be thoughtfully located within each Neighborhood Unit as to be central and/or functionally accessible within each Neighborhood Unit, including near Neighborhood Unit entries and/or along pedestrian linkages. (R)

2.A.2 Building Setbacks.

Building setbacks on individual lots shall be dictated by the development standards provided in the Single Family Dwelling Unit Development Standards at Exhibit 8; however, to emphasize diversity and scale along the street, varied setbacks are encouraged where feasible. Setback variability should be encouraged for larger lot homes (SFR-9 and -14) where lot sizes will allow for increased flexibility. (P)

2.A.3 Building Orientation.

The front face of the home shall be parallel to the street frontage (or tangential to the street frontage in the case of a curved street, knuckle or cul-de-sac) regardless of the shape of the lot. (R)

2.A.4 Shade.

Streets and sidewalks should include shade to encourage pedestrian activity. An emphasis on shade elements, such as landscaping, trees or shade structures, should be provided at key nodes where pedestrian activity is more likely to occur, such as at the confluence of sidewalks and trails, and near open space or recreation areas. (P)

2.B Street Design

Streets within MacEwen 480 are community spaces, designed to enhance the identity and visual image of each Neighborhood Unit through a diverse streetscape experience.

Community Collectors. The Primary Collector is planned as a signature design element within MacEwen 480 and forms the backbone of the vehicular and pedestrian circulation system. The Primary Collector will be a boulevard-style median separated roadway with landscape areas planned immediately back of curb to provide a generous canvas for community themed landscaping and street trees. Detached sidewalks will be set back a minimum of six-feet from the back of curb to provide a safe pedestrian environment that encourages walking throughout the community, including enhance landscaping with shade trees (“Shade Tree(s)”) (noted by “*” in Approved Desert Plant List) .

Local Streets. Local streets are the primary street type within the Neighborhood Units throughout MacEwen 480 and will connect individual homes, open spaces and community amenities to the larger connectivity network. Local streets may include private or public street configurations designed to accommodate pedestrian traffic through sidewalk connections to community amenities such as parks, open spaces and pedestrian trails. Local streets may include on-street parking, which will contribute to visually narrowing the street corridor.

2.B.1 Curvilinear Streets.

Curvilinear street design should be encouraged to minimize the effect of traffic. Changing views are encountered when traveling a curved roadway, avoiding the tunnel effect of straight streets. (P)

2.B.2 Neighborhood Entries.

Streets at entry areas should align with meaningful destinations, such as parks, view corridors, or significant planting areas. (P)

2.B.3 Block Length.

Block length should generally be limited to 600-feet unless additional length is appropriate based on natural conditions or other unique design considerations or is mitigated with traffic calming measures. Traffic calming measures, where appropriate, include the use of tree-lined streets, curvilinear streets, open space areas and pedestrian connections located within a block, chicanes or other similar design measures. (P)

2.B.4 Cul de Sacs.

Cul de sacs, where used, should strategically to provide connections or ‘windows’ to open spaces areas and pedestrian trails. (P)

2.B.1 Gated Entries

Gates should be designed with desert-sensitive materials and colors and accent landscaping that enhance the entry of the Neighborhood Unit. (P)

2.C Pedestrian Connectivity and Sidewalks

Neighborhood design within MacEwen 480 should provide emphasis on walkability and the unique opportunity to provide connections to the Sonoran Preserve. The following design guidelines establish standards for a network of trail, sidewalk and pathway types that will developed throughout MacEwen 480.

2.C.1 Wash Corridor Trail

A natural surface multi-use trail will be developed along the Mesquite Wash and is intended to function as the backbone of MacEwen 480's pedestrian circulation network. The Wash Corridor Trail shall be constructed as a twelve-foot wide compacted natural surface pathway that will extend from the southern Property boundary to north for more than 1-mile eventually termination and connecting with Sonoran Desert Drive. The Wash Corridor Trail will run parallel to the existing Mesquite Wash floodway and allow users to experience connections between the various Neighborhood Units in a natural desert setting. Multiple access points to the community will intersect with the Wash Corridor Trail. (R)

Conceptual Wash Corridor

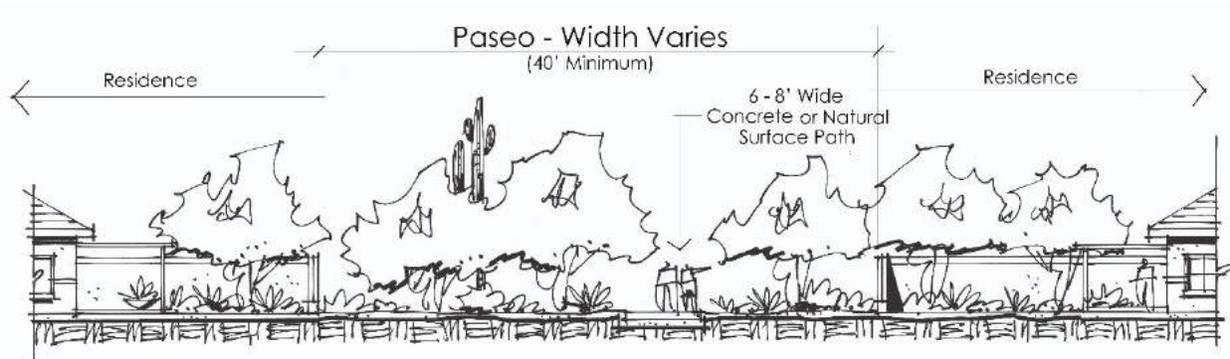


Typical Wash Corridor Trail

2.C.2 Community Paseos

MacEwen 480 will include linear community pathways, identified as Community Paseos that extend between each Neighborhood Units to promote pedestrian connectivity and view corridors. These Community Paseos will be a minimum of 40-feet and typically be bounded on either side by adjacent lots with view fence, partial view fence or theme walls. At semi-regular intervals, connection points into the adjacent Neighborhood Units through common open space and between-lot corridors will be provided to facilitate access to the overall pedestrian network and between Neighborhood Units. The pathways within the Community Paseos

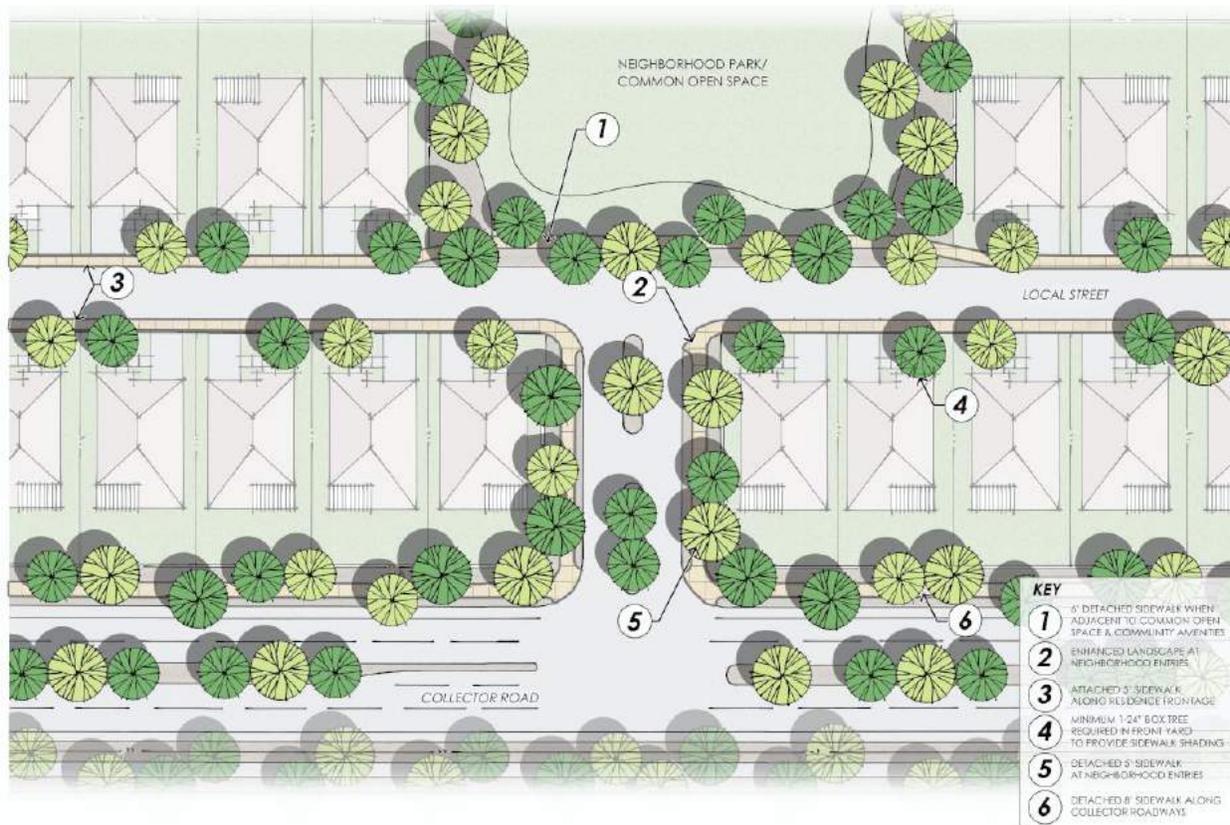
will range between six and eight-feet in width and will be comprised of concrete or natural surface type. (R)



Typical Community Paseo

2.C.3 Sidewalk Design

- All Neighborhood Unit entry streets, public or private, will include concrete sidewalks with a minimum width of six-feet. (R)
- Sidewalks along the Primary and Secondary Collectors shall be detached with a minimum back-of-curb separation of six-feet to allow for tree plantings along the roadway. The sidewalk shall be an eighth-foot wide concrete sidewalk located on both sides of the roadway. Shade Trees will be located along both sides of the sidewalk at a typical spacing of at least one tree per 30-linear feet or in equivalent groupings. This offset is conducive to gaining a shaded walkway benefit for pedestrians and promoting healthy tree spacing at maturity. (R)
- Sidewalks adjacent to residential lots within a Neighborhood Unit may be attached at back-of-curb and a minimum of five-feet in width. A 24-inch box Shade Tree shall be planted within eight-feet of the back-of-sidewalk within the front yard area of all residential lots to provide shade along the sidewalk (this distance may be increased to provide that no tree is planted within two-feet of any easement). (R)
- Sidewalks adjacent to a Neighborhood Unit entry area or common area open spaces within a Neighborhood Unit shall be detached with a minimum back-of-curb separation of six-feet to allow for tree plantings. Shade Trees will be located along the sidewalk at an interval of at least one tree per 25-linear feet. (R)
- A detached sidewalk is not required adjacent to common area open space frontage equal to or less than 40-feet in length or along common area tracts less than ten-feet in width. (R)



Typical Sidewalk and Street Shading Requirements

2.D Open Space and Amenity Design

Neighborhood Unit common areas and open spaces ("Neighborhood Parks") are intended to create the social core of each Neighborhood Unit. Generally, each Neighborhood Unit will have a Neighborhood Park with programmed passive and active amenities that establish a space for community gathering, recreational experiences, or social opportunities for residents. The size and type of amenities will vary depending on the Single Family Land Use District utilized within each Neighborhood Unit and will typically be centrally located or functionally accessible within a Neighborhood Unit or in other high profile locations, including Neighborhood Unit entries and pedestrian linkages. Neighborhood Units with compact lot sizes will include enhanced public amenities to offset smaller private open spaces, while Neighborhood Units with estate-style sizes with larger yards and private amenities may provide passive open spaces areas and pedestrian connections without active park or amenity areas. Desert-appropriate landscaping, including Shade Trees, will be strategically planted to maximize shading around sidewalks and seating areas.



2.D.1 Neighborhood Park Standards

- At least one Neighborhood Park is required within each Neighborhood Unit, should be centrally located and generally a minimum of $\frac{1}{4}$ to $\frac{1}{2}$ acre in size. (R)
- Neighborhood Parks will be accessible to neighborhood residents by being within $\frac{1}{4}$ mile of all residences within that Neighborhood Unit. (R)
- Neighborhood Parks should be connected to the Neighborhood Unit and the larger community through on-street and off-street trail connections. (P)
- A walkway, trash receptacle, pet refuse receptacle, and ADA accessible seating area must be provided. (P)
- Additional common open space may be provided throughout each Neighborhood Unit and include a limited amenity program if deemed necessary and desirable by the developer. These supplemental common open space areas are predominantly for aesthetic purposes and are not required to meet the minimum area requirements. (P)

- A minimum of one of the following additional passive amenities must be included within the required open space or common area: (R)

1. Open, passive turf area
2. Trails and walkways
3. Shade Trees
4. Enhanced landscape or garden areas
5. Seating area



- Additional Active Amenities shall be required in accordance with the Single-Family Land Use Districts. These requirements are as follows:

- Neighborhood Units developed under the SFR-3 land use district shall provide a minimum of 3 of Active Amenities. (R)
- Neighborhood Units developed under the SFR-5 and SFR-7 land use district shall provide a minimum of 2 Active Amenities. (R)
- A Neighborhood Unit developed under the SFR-9 and SFR-14 land use districts is not required to provide Active Amenities if it is identified as being age-targeted or age-restricted. If a Neighborhood Unit developed under the SFR-9 land use district is not age-targeted or age-restricted, a minimum of one Active Amenity shall be provided. (P)
- Active Amenities may include:

1. Play structure
2. Shade structure or ramada
3. Outdoor dining area
4. Outdoor grill or kitchen
5. Sport court such as basketball, volleyball
6. Active turf areas intended for play or sport
7. Community garden
8. Formal social seating areas that may include amenities such as a fire pit

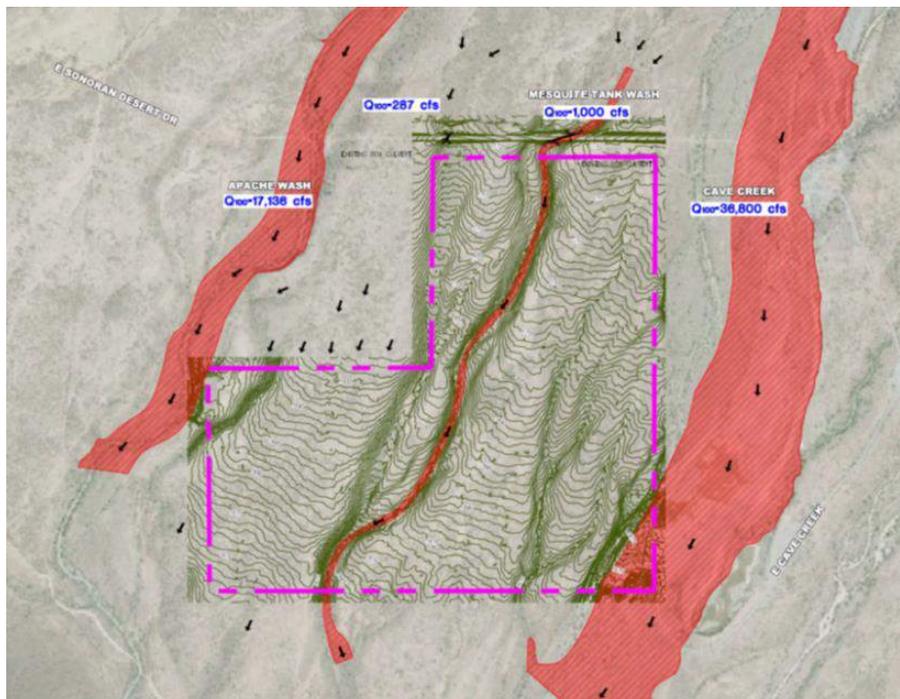


2.E Grading & Drainage

- Straight graded slopes that appear engineered are prohibited. (R)
- Concrete channels should not be allowed unless needed for public safety. Where used, they should be designed to blend with the desert setting through color, texture, landscaping or other means. (P)
- Retention basins should be designed to blend with the natural desert through the use of design elements such as curvilinear edges or enhanced landscape. This does not preclude the use of turf in basins that also serve as common recreation areas, nor does it require a slope of less than four to one (4:1) ratio. Rather, surface variation instead of straight edges and flat surface, natural materials and native vegetation should be incorporated into the design. (P)

2.E.1 Wash Corridors

Wash corridors and preliminary hydrologic information for the contributing watershed (cfs flows, on-site and off-site, sheet flow direction) shall be provided as a component of the Drainage Master Plan, which will be processed as part of the Master Plans for MacEwen 480. All washes identified on the Drainage Master Plan shall be preserved in an undisturbed condition as defined by the floodway limit to handle drainage and provide wildlife corridors. (R)



Existing Wash Corridor Map

(*subject to modification within Drainage Master Plan)

- Washes identified as floodway on the Drainage Master Plan shall remain undisturbed with the exception of roadway and trail or pathway crossings. (R)
- No major structural changes or improvements shall be allowed within the floodway of the washes identified on the Drainage Master Plan, the limits of which are to remain undisturbed, and vegetation shall be left in place except as follows: (R)
 - To prevent erosion from channelization or combination of smaller washes;
 - To allow wash crossings of roadways, trails and utility easements. Trails and utilities may cross washes, but in no way shall they be placed in the wash bed running parallel to the wash. Public utility easements shall be revegetated when construction is completed;
 - To allow discharge from adjacent retention or drainage facilities, as approved by the City.
- Riprap will be used for public safety or where needed for traditional erosion mitigation. (R) Where used, it should be used with restraint and be designed to blend with the desert setting through color, texture, landscaping and other means. (P)
- Where culverts are constructed, the use of exposed concrete will be limited while providing the opening required by the hydrology. The exposed portions of the culvert will be aesthetically treated to promote a visual blending with the adjacent landscape via materials (i.e. integrally colored or stamped concrete, stone veneer, etc.) and landscaping after construction. (R)
- Where a public or private multi-use trail easement (minimum of 20-feet) is located in a wash corridor, the trail will be placed above the bank of the wash and not within the floodway, except where it crosses the wash. (R)
- Bridges, culverts or dip sections constructed as part of private streets where they cross washes shall include means for sediment and debris removal and meet City guidelines. A management plan for debris and sediment removal for the homeowner's or property owner's association will be included in the CC&Rs. The CC&Rs will include a statement defining the responsibility of the property owner's association for this maintenance. Purchasers of property that include privately owned facilities will be notified of the future maintenance responsibility and expense. (R)

- Dry wash crossings should be designed to run bank to bank to allow passage of wildlife in the wash with a minimum of five feet horizontal by four-foot vertical clearance through a culvert or under a bridge where the wash is a minimum of four feet deep and five feet wide. (P)
- The construction area for a roadway or utility crossings shall be clearly marked with roping or fencing to minimize impact on existing vegetation during construction. The entity responsible for the improvement shall provide documentation of how wash banks will be stabilized and restored to a natural appearance where it must be disturbed for infrastructure, as approved by the City. (R)
- In instances where stabilizing materials are necessary, or walls are used to retain one hundred-year flows, the materials should be integrally colored to blend with the desert in the surrounding area. (P)

2.F Utilities

- Accommodations for gas appliances, climate control and water-heating shall be located outside of front yard setbacks, away from Neighborhood Unit entries and shall be screened whenever possible. (R)
- Concrete pads shall be no more than six-inches above the adjoining ultimate finished grade and shall not interfere with any walkway. (R)

Section 3 – Architecture

Building architecture plays an important role in creating the backdrop for the public places and streetscape within MacEwen 480 and is equally important in establishing the overall community identity. Architectural diversity is strongly encouraged; there is no singular architectural style that is representative of the architectural vision for MacEwen 480. The following design guidelines more fully articulate the core architectural values and are intended to be applied to the design of all homes within MacEwen 480.



3.A Four-Sided Architecture

Within MacEwen 480, home designs should employ four-sided architecture such that the architectural design and character must acknowledge all four elevations of the home.

3.A.1 Front Elevations

Front elevations of must incorporate the following design elements: (R)

- A variety of traditional roof forms such as sloping roofs with gables, hips and dormers or flat roofs forms.
- Architectural detailing appropriate to the architectural style of the home (e.g., rafter tails, gable vents, columns, shutters, iron work, pop-outs, etc.).
- Accent colors and materials.

A minimum 50% of homes within a Neighborhood Unit developed under the SFR-5, -7, -9, or -14 land use district should incorporate a one of the following front elevation design elements (no requirement for homes within a Neighborhood Unit developed under the SFR-3 land use district): (P)

- Front elevation outdoor living spaces, such as a covered front porch, patio, entry courtyard, or second story balcony.

- A signature architectural or design element that provides unique identity to the home, such as a focal front entry, highly detailed window treatment and articulation, unique accent building material or non-standard garage door design or treatment.

3.A.2 Side Elevations

Side elevations of all homes must include: (R)

- Door or window openings included on all side elevations and shall be articulated to include four-sided pop-outs painted a color other than the body color.
- Pop-outs and/or gable vents appropriate to the architectural style of the home.
- On corner lots, the side elevation must include upgraded architectural details consistent with those required for the front elevation for the portion of the side elevation not screened by a side yard wall.

Side elevations of homes are encouraged to include: (P)

- One-story elements where adjacent to streets or community open space areas.

3.A.3 Rear Elevations

Rear elevations on homes adjacent to street or common open spaces must include: (R)

- Variation in roof forms, building planes and/or massing.
- Pop-outs and/or gable vents appropriate to the architectural style of the home.
- If a covered patio is provided, then it must include a roof treatment that is consistent with the main portion of the home.
- Two-story rear elevations on homes adjacent to streets or common open areas will have architectural treatments consistent with the front elevation.

3.A.4 Corner Lots

Corner lots have a higher level of visibility than any other homes in a community. As such these homes are held to a higher standard of architectural quality. The standards for homes on corner lots are as follows: (R)

- Homes on corner lots will be sited and designed to present an attractive elevation to both street frontages employing design strategies that enhance landscaping elements and architectural detailing (e.g., window grids, window pop-outs, etc.).
- Pop-outs and/or gable vents appropriate to the architectural style of the home.
- A landscape tract is required between a perimeter wall on a corner lot and the adjacent public sidewalk and street.
- Side yard walls on corner lots that are adjacent to a street, common open space, shall be stepped back from the front plane of the home elevation by no less than 10-feet. Where appropriate, full view fencing or rail fencing can be extended into the front plane, particularly where Sonoran Preserve edge conditions warrant and do not interfere with approved Sonoran Preserve access locations. These exposed walls shall be finished in conformance with the typical theme wall elevation provided in Section 6. Landscaping, Fencing, and Walls.

3.A.5 Windows & Doors

- All windows must be recessed a minimum of 2 inches from the exterior building face. Pop-outs may be used to achieve the 2-inch recess. (R)
- Trim is required for all window and door openings. (R)

3.B Architectural Diversity

Architectural diversity results in a community that is easy to navigate and which has a distinctive feel. Each Neighborhood Unit will contain a variety of floor plans and building elevations to create a diverse street scene. A mix of different colors, materials and architectural detailing will be provided within each Neighborhood Unit.

3.B.1 Floor Plan and Elevation Combinations

- A minimum of three different floorplans with three different architectural styles will be offered for each product line within a Neighborhood Unit. (R)
- A minimum separation of at least two lots should be maintained between homes with the same floorplan with the same elevation. (R)
- A minimum separation of at least two lots should be maintained for any homes with the same color palette. (R)
- A minimum of three distinct color palettes will be offered for each architectural style. (R)

- Building materials and colors will reflect the architectural style of the home and also compliment the surrounding desert environment. (R)



3.B.2 Forward Architecture

Great streetscapes and neighborhoods are created when front porches and living spaces are expressed to the street and when the garage takes a secondary position in the composition. A minimum 50% of homes within a Neighborhood Unit developed under the SFR-5, -7, -9 or -14 land use district shall include forward architecture, such as a covered front porch, patio, entry courtyard, second story balcony, to express the importance of residents rather than the cars. (R)

3.B.3 Color & Materials

Color and material palettes promote community cohesion and harmony from home-to-home and prevent harsh, unsightly color combinations. This cohesion and harmony is created through rich color tones and materials that complement each other, yet add to the individual character and diversity from home-to-home. The intent is to avoid monochromatic homes lacking different materials. MacEwen 480 will include a variety of desert appropriate earth tones, color ranges, and materials that are appropriate to each architectural style, while still creating variety and diversity. (P)

3.C Roof Forms

Roof Forms can add drama and variety to the street scene. A variety of roof forms and roof materials will be used within each neighborhood block to promote diversity and increase visual interest both within and from outside of the neighborhood. Roof forms should be functional and appropriate to the architectural style of the home.

- A variety of distinctly different roof styles is encouraged.
- Materials such as mission, barrel, flat or S-tiles, concrete shingle tiles, or standing seam metal roofs are encouraged.
- Flat roofs are allowed only as appropriate to the architectural style of the home (ie. Southwestern style) and must include a minimum 24-inch parapet wall.
- For homes with tile roofs, a minimum of two different color schemes must be offered.
- Roof pitches ranging from 3:12 to 8:12 are encouraged.
- Roof-top equipment is prohibited, except for photovoltaic and solar systems. All ground-mounted equipment (such as HVAC units) should be installed outside of the front yard and reasonably screened from view from the street with fencing, landscaping or other appropriate screening material.

3.C.1 Solar Energy Devices

- Solar roof panels should be designed and installed to appear as an integral component of the roof design and must be mounted directly to roof plane and may not break roof ridgeline. Any visible cabling must match existing color theme so as to blend in with roof, eaves, trim, etc. Cabling must be attached to structure and not allowed to hang loose.

3.D Garage Treatment

Garage doors are an architecturally important element of the home and the street scene. Reducing the dominance of the garage door on the home and the street creates a more inviting street environment. The following standards will apply to all garage doors:

- The garage doors should provide visual interest and variety to the street scene.
- Garage door design and treatments will reflect the architectural style of the home.
- A variety of compatible garage door designs must be offered for each elevation style.
- All garage doors will be recessed a minimum of twelve-inches from the face of the wall plane on which the garage door is located. Pop-outs may be used to achieve the twelve-inch recess.
- No more than two garage doors may face the street. Additional garages will be side-loaded or set behind the front face of the home/main garage face.
- No garage door shall be more than 18-feet wide.

- Garage doors should not be a dominant design feature of the home and will generally comprise less than 60% of the width of the front elevation.

3.E Lighting

All lighting shall meet the requirements of the Phoenix Zoning Ordinance.

- All exterior light fixtures must be fully-shielded or, in the case of coach lights, use a frosted or semi-opaque glass to minimize the glare of the bulb. (R)
- Clear or partially clear glass lenses are prohibited for wall-mounted light fixtures.
- The size of a coach light must be properly proportioned to the home. Disproportionately small or large light fixtures are discouraged.
- The style, material, and color of the exterior light fixtures shall be appropriate to the architectural style of the home.
- Fixtures of silver, gold, chrome, polished brass or other reflective metal finishes are discouraged.
- The maximum height of any exterior building-mounted lighting shall be 10-feet above the adjacent finished grade.
- Spotlights and floodlights are prohibited in front yards. If spotlights or floodlights are installed in the backyard, these lights shall be shielded and directed downward.
- Excessive exterior lighting is discouraged.

Section 4 – Landscaping

4.A Introduction

Landscape design within MacEwen 480 should reinforce the Sonoran Desert context through the use of desert-appropriate vegetation and trees strategically located to provide color, shade and visual enhancement throughout the community.



4.B Neighborhood Unit Entry Planting Concept

Neighborhood Unit entry areas should include a focal landscape area intended to reinforce a sense of arrival. These areas will be the most heavily planted and should include plant massing that features evergreen desert plants with emphasis on texture and color.

Minimum Entry Design Requirements

- A minimum of three Shade Trees shall be planted on either side of a Neighborhood Unit entry for a total of six Shade Trees. Shade Trees at a Neighborhood Unit entry shall be comprised of minimum 25% 1-inch caliper trees, 50% 2-inch caliper trees, and 25% 2.5-inch caliper trees.
- Five-gallon shrubs and groundcover shall be planted at entries to achieve a minimum 75% vegetative ground cover. (R)
- Trees should be located and grouped to maximize pedestrian shading. (P)
- Additional trees should be included in an entry median where design permits and is appropriate. (P)
- Appropriately sized and colored decomposed granite shall be installed under all shrub and groundcovers. (R)
- Landscape lighting may be provided for all trees located at entries. (P)
- Turf is prohibited in medians and public rights-of-way. (R)
- Six-foot detached sidewalk shall be provided at a Neighborhood Unit entry. (R)

4.C Amenity Areas and Open Space Planting Concept

Open spaces within neighborhoods are integral to the makeup of a healthy, sustainable, and inviting community. Each Neighborhood Unit will consist of a network of connected open space areas with thematic and programmatic commonalities. This network will include common open spaces for passive and active recreation, on-site retention requirements, and trail corridors that provide linkages through and between adjacent Neighborhood Units.



4.C.1 Neighborhood Park Landscaping

Neighborhood Parks shall meet the minimum standards as follows:

- Neighborhood Parks within the SFR-3, SFR-5, or SFR-7 land use district shall provide a minimum of 20% of landscaped areas with turf. (R)
- Neighborhood Units developed under the SFR-9 or SFR-14 land use districts shall provide a minimum of 15% of landscaped areas with turf. (R)
- All turf areas shall be a minimum of three-feet from any building face or wall and a minimum of 18-inches of the back-of-curb. (R)
- One 24-inch box tree for every 1,000 square-feet of landscape area shall be provided. (R)
- Shrubs and groundcover shall be planted at entries and main pedestrian gathering areas to achieve a minimum 50% vegetative ground cover at one-year's growth in non-turf landscape areas. (R)
- Appropriately sized and colored decomposed granite shall be installed under all shrub and groundcovers. (R)

4.C.2 Open Space & Pedestrian Connections

All common areas and pedestrian corridors should include a combination of planted and non-planted landscape areas. In areas where open space abuts residential lots, planting design should be sensitively implemented to establish meaningful buffering and aesthetic treatment. Minimum standards include:

- One 24-inch box tree for every 1,000 square-feet of landscape areas. (R)

- Shrubs and groundcover shall be planted at entries to achieve a minimum 60% vegetative ground cover in non-turf landscape areas. (R)
- Appropriately sized and colored decomposed granite shall be installed under all shrub and groundcovers. (P)
- Trees should be placed and spaced and/or grouped to maximize pedestrian shading. (P)



4.C.3 Common Area End Tracts

Common area end tracts consist of the landscape strips between Neighborhood Unit perimeter walls and right of way, and other common area tracts along corner, side, rear property lines or at the end of cul-de-sacs. Such areas will be landscaped consistent with the plant palette and character of the individual Neighborhood Unit. Minimum standards include:

- One 24-inch box tree for every 30-linear feet on-center if tract width is greater than or equal to 10-feet. (R)
- Shrubs and groundcover shall be planted at entries to achieve a minimum 50% vegetative ground cover in non-turf landscape areas. (R)
- Appropriately sized and colored decomposed granite shall be installed under all shrub and groundcovers. (R)
- Minimum planting area for common area end tracts is five-feet in width. (R)

4.D Front Yard Planting

MacEwen 480 should be comprised of a diverse range of lot and home sizes and front yard designs should reinforce the landscape character of each Neighborhood Unit. Because different lot sizes accommodate a diverse palette of vegetation types and quantity, specific standards for minimum front yard plantings are provided based on lot widths found within the community.

SFR-3, SFR-5 and SFR-7. Lots developed under the SFR-3, SFR-5, or SFR-7 land use districts shall be subject to the following:

- One 24-inch box tree shall be planted in the front yard of each residential lot and located within eight-feet of sidewalk or curb to maximize shading of the sidewalk. Where this design guideline conflicts with an easement, utility, etc., trees may be planted more than eight-feet from back-of-sidewalk or curb, or as otherwise approved by the Planning & Development Department. (R)
- 10-shrubs shall be planted with a minimum size of five-gallons. (R)
- 5-groundcover plants shall be planted with a minimum size of one-gallon. (R)
- Appropriately sized and colored decomposed granite shall be installed under all shrub and groundcovers. (R)
- Each landscape option must include one species from three of the four plant categories as provided in the Approved Desert Plant List in Section 6.F. (R)
- Automatic drip irrigation systems shall be required for all front yard landscaping. (R)
- Each front yard should contain at least four different species of shrub and/or groundcover. (P)
- Plant materials should be planted in groupings of compatible species to provide structure and hierarchy to the front yard. (P)

SFR-9 and SFR-14. In addition to the above Front Yard Planting design guidelines, lots developed under the SFR-9 or SFR-14 land use districts shall be subject to the following:

- Two 24-inch box trees shall be planted in the front yard of each residential lot and located within 8-feet of back-of-sidewalk or curb to maximize shading of the sidewalk. Where this design guideline conflicts with an easement, utility, etc., trees may be planted more than eight-feet from back-of-sidewalk or curb, or as otherwise approved by the Planning & Development Department. (R)

4.E Approved Plant Palette

All plants and trees used within MacEwen 480 must be selected from the Approved Desert Plant List in Section 6.F. (R)

4.F Decomposed Granite

Only decomposed granite or native granite rock shall be permitted. River rock, crushed rock, artificially colored or naturally mined rock that is uncommon to the surrounding desert environment is prohibited as hardscape ground cover. All decomposed granite shall have a minimum two-inch thick application over the entire landscape area. Decomposed granite should be specified as minimum ½-inch and maximum 1-inch screened. (R)

4.G Irrigation

- Automatic irrigation systems designed by a landscape architect or other similar certified designer shall be required for all planting areas in front yards and common areas. Fixed risers in such areas are prohibited. (R)
- Areas requiring overhead spray shall be limited to turf areas and flower beds. All other areas must use drip irrigation. (R)
- Overspray onto paved areas, building faces, or masonry walls is discouraged. (P)

Large overhead and drip irrigation systems should be zoned for exposure, topography and varying water requirements of the plant material. (P)

4.H Landscape Lighting

The use of landscape lighting in common areas shall be encouraged to promote community aesthetic and a safe pedestrian environment. Judicious use of lighting shall be encouraged in areas of higher activity and discouraged in low activity areas to reinforce the principles and objectives of the City's Dark Sky Ordinance.

- Lighting that causes glare, discomfort, or disruption of the visual environment of neighboring homes or adjacent Neighborhood Units is prohibited. (R)
- Above-ground plastic housings and connections are prohibited. (R)
- Light fixtures shall not be installed in areas that use spray irrigation. (R)
- Post lights or bollards higher than 36-inches above finished grade are prohibited. (R)

- Shrubs should be used to conceal landscape light fixtures. (P)
- Junction boxes shall be placed below grade to minimize visibility of the hardware. (R)
- Lighting controls shall not be visible from the street. (R)
- All outdoor landscape fixtures shall be low voltage. (R)
- Landscape light fixtures should blend into the landscape. (P) Bright or shiny finishes shall be prohibited. (R)
- Excessive landscape lighting is discouraged. (P)
- All security lighting systems shall be designed and installed in a manner that promotes the safety of pedestrian and vehicular movements. Area illumination must be provided for parking areas, entry areas, walkways, and other gathering areas. (R)
- Lighting in Active Amenity areas should be shielded and reduce lighting impacts on adjacent lots. (P)



Section 5 – Walls and Fences

5.A General

- Walls are prohibited within wash corridors. (R)
- Within the front yard of a residential lot, decorative freestanding walls may not exceed 30-inches in height and must be setback 10-feet from the back-of-sidewalk or 15-feet from the back-of-curb if no sidewalk exists. (R)
- The finish on any wall visible from the street within the front yard must match the finish of the home, or the theme of the adjacent property wall or the Neighborhood Unit walls. (R)
- Retaining walls, which are partially below grade, or walls used as planters shall be water proofed to prevent water staining. (R)
- Walls and fencing adjacent to the Sonoran Preserve, common areas, or arterial and collector roadways should include a minimum horizontal variation of two feet every four hundred linear feet to visually reflect a meandering or staggered setback. Other design elements should be used to break up the appearance of a long, straight wall including, columns, planters, decorative walls less than three feet in height, and dense landscaping or other alternative design elements. (P)
- Walls and fences should be designed to blend into the desert environment through color, materials, and alignment. (P)
- Visual access to common areas should not to be impeded by solid wall elements exceeding 5-feet in height. Visibility from individual lots to common areas and the surrounding desert environment is encouraged. (P)
- Provide partial or full view fencing adjacent to common or open space areas, such as wash corridors, except as follows: (P)
 - Where a roadway runs between the open space and the development;
 - Where a collector, arterial or parkway right-of-way is located less than 150-feet from a perimeter wall;
 - Where more than one side of the back yard of a lot is adjacent to open space. In this case, one side must have view fencing or partial view fencing and a minimum 10-foot return of view fencing should be used adjacent to the side that is view fencing. This will typically be along the side yard; or

- Where two rear yards are less than 40-feet apart, so that it infringes on privacy. In this case, one wall should provide view fencing to the open space and the other may be solid.
- Walls/fences or fences built for the protection of critical infrastructure should be designed with enhancements to blend with the surrounding environment.
- Walls/fences that orient towards public rights-of-way or that are visible from internal roadways and common areas shall have a finished appearance. (R) Un-textured, unfinished block and reinforced, mortar-free concrete walls visible from public view should be avoided. Finished wall treatments should include decorative elements, variation in wall materials, and textured or stucco surfaces compatible with primary structures. Wall/fences lengths exceeding 250-feet should be articulated or contain landscaping to break-up the continuous wall surface and create varying shading patterns. (P)
- Exposed portions of retaining walls should be kept to a maximum of four-feet within the front yard and six-feet within the street side yard or within 50-feet when located within 50-feet of a subdivision Perimeter Property line or the property line of an unplatted parcel and designed to blend into the surrounding landscape. When retaining walls are necessary along a building envelope boundary, alternative designs may be necessary and may include locating the wall further into the building envelope and providing a native landscape 4:1 slope from the outer edge of the building envelope to the wall in order to soften the appearance and better blend into the desert vegetation. (P)

5.B Color & Materials

Colors and materials complement the design of the theme walls and fences within MacEwen 480. Colors and material should be selected to mimic and complement the surrounding natural landscape. (P) Painted wood, unfinished grey concrete block, and chain link fencing visible from street view are prohibited (excluding temporary construction fencing). (R)

5.C Entry Monument Signage

Entry monument signs must include a minimum of two materials: a base material and a sign face material. Sign lettering must be attached to or engraved in the sign face material, rather than painted. (R)

Materials for sign lettering and graphics include:

- Painted metal or natural finish metal
- Sandblast
- Cast-in place concrete

- Cast metal
- Ceramics

Prohibited materials for sign lettering include:

- Wood, MDF, Plexiglas or sintra forms
- Highly reflective, bright or polished metals



Section 6 – Desert Edge Treatment

6.A Introduction

MacEwen 480 shares a property edges, in many locations, with existing or planned Sonoran Preserve land. The Sonoran Preserve is a public asset intended to protect native desert lands and provide access through a network of strategically designed trails. Thoughtful consideration should be given to the interface between MacEwen 480 and the Sonoran Preserve to ensure appropriate and sensitive transitions to the natural desert environment.

APPLICABILITY. The Desert Edge Treatment guidelines apply to all Perimeter Property boundaries of MacEwen 480 (“MacEwen Edges”).

6.B Edge Treatment Guiding Principles

The purpose and intent of the Desert Edge Treatment Guidelines is to create a built environment that substantially relates to and respects the desert setting. The guiding principles are as follows:

1. The Sonoran Preserve is an amenity.
 - Where development occurs near the Sonoran Preserve, allow development on the lower slopes, preferably below the ten percent slope line, to maintain the preserve as a visual amenity for all citizens and establish opportunities to maintain connectivity between mountains within the same range. (P)
 - Maintain the sense of public ownership and access to public lands by making the Sonoran Preserve accessible from all edges of the community. (P)
 - Development should take advantage of the proximity of the Sonoran Preserve in both subdivision layout and site design. (P)
 - Minimize trailblazing in the desert by providing controlled access points to the Sonoran Preserve. (P)
2. Manage stormwater via the natural wash system to the greatest extent possible. (P)
 - Preserve significant washes such that they serve as multi-functional assets, including drainage, recreation, amenities, and wildlife corridors. (P)
 - Allow for the natural function of the floodplain where feasible, based on engineering parameters and public safety. (P)
 - Construct bridges and culverts to minimize impacts to washes. (P)

- Utilize the wash system to provide a place for trails within the setbacks above the wash banks such that they become a recreational and visual amenity. (P)
3. The desert regenerates slowly. Preservation is more prudent than restoration in areas the natural desert is maintained. (P)
 - Development is encouraged to preserve open space and native vegetation in lieu of revegetation. (P)
 - Replace salvaged plants as close as possible to their original location. (P)
 4. Use the wash corridor system for movement and replicate its aesthetic and functionality along other movement corridors. (P)
 - Pedestrian corridors should provide relief from the sun in this desert environment. (P)
 - Shade Trees along streets should mimic the wash corridors providing relief for people who travel along roadways. (P)
 - Trail corridors that tie into roadway corridors should provide alternatives to automotive travel and connections to alternative transportation. (P)
 - Create a consistent visual theme and trail corridor network to help foster a sense of community with the Sonoran Preserve. (P)
 5. Use native desert vegetation for landscaping to maintain low-water use, hardy vegetation and the existing sense of place. (P)
 - Plants within common areas and publicly visible areas should be drought tolerant and trees should generally be low profile, typical of desert trees and must come from the Approved Desert Plant List in Section 6.F. (P)
 - Minimize the use and impact of non-native and invasive plant species.
 6. The prevalent views in the desert provide a feeling of openness, which should be maintained throughout the community. (P)
 - Landscape and signage along the collector roadways should be designed to maintain view corridors to natural open space. (P)
 - Maintain significant view corridors to off-site mountains where feasible. View sheds should be purposefully planned and protected. (P)
 - Minimize the visual impact of development by choosing colors that blend with the desert, utilizing brighter colors as accents. (P)

6.C Open Edge Treatment

- A minimum of 30% of the MacEwen Edges shall consist of open edge treatment as required by the guidelines below. (R)
- Open edge treatment shall not include private undisturbed open space or public preserve that is less than 50-feet in width and less than 100-feet in depth, as measured as the shortest distance between two points of private improvements. (R)
- A Master Open Edge Treatment Plan submitted with the Master Open Space Plan for MacEwen 480 must demonstrate that the required percentage of open edge treatment is provided based on lineal perimeter of MacEwen 480 as a whole, and not by individual Neighborhood Unit, Master Development Parcel, or sub-parcels thereof, etc. (R)
- The Master Open Edge Treatment Plan allows the incorporation of facilities and open space available to the public, such as parks, recreational facilities and retention areas, as long as the overall required percentage of edge treatment is reasonably dispersed throughout the development as approved by the City. (R)



6.D Edge Treatment Design Guidelines

The MacEwen Edges should be designed to include open space areas and view corridors, which are physical and visual windows to the Sonoran Preserve and other undeveloped lands adjacent to MacEwen 480. Edge “openness” will be accomplished through a myriad of design techniques, including common open spaces that provide edge variability instead of a uniform boundary along the overall perimeter of MacEwen 480.

The MacEwen Edges are subject to the following specific guidelines:

- Residential lots with two or more sides abutting undisturbed open space shall be designed with obtuse angles, rather than right angles or acute angles, to avoid sharp corners or sudden narrowing of connecting open space. Alternatively, lots with two or more sides abutting undisturbed open space may maintain right angles if the subject corner is chamfered a minimum of 10-foot x 10-foot to soften the corner. (R)
- Adequate access for resident use shall be provided to the Sonoran Preserve and natural environment (via public or private open space). Final location and design of such accesses will be determined at time of Master Plan or Preliminary Site Plan

Review. (R) Additional points of access may be developed as appropriate in coordination with the City. (P)

- Along the MacEwen Edges, one or more of the following edge treatments shall be used. A minimum of 30% of the MacEwen Edges shall consist of the edge treatments outlined in 1, 2, 3, or 4 below. The remaining 70% of the MacEwen Edges may consist of any of the following design treatments provided that under 1 and 5 below, the length of the edge shall not exceed 1,000-feet without utilizing one of the alternative treatments. (R)
 - 1) A cul-de-sac design that provides an improved trail within community open space connecting to natural environment. An open space connection between the cul-de-sac and adjoining open space edge shall be provided.
 - 2) A public or private street along the open space edge;
 - 3) Private improved or undisturbed open space where the minimum depth is one 100-feet or where the open space is located between the Sonoran Preserve or natural environment and an adjacent street;
 - 4) An equivalent creative alternative that reflects diversity, together with visual and physical access, as approved by the City.
 - 5) Lots that back up to open space edges should be setback when necessary to accommodate drainage and maintenance access.
- A minimum of 30% of the cumulative frontage of the internal Mesquite Wash corridor, which is to be preserved in an undisturbed or naturalized state, shall be designed to ensure that the edge treatment remains open and unfenced. An open edge treatment shall be considered as follows: (R)
 - 1) A single loaded street adjacent to the open space;
 - 2) A cul-de-sac opening a minimum 50-feet in width adjacent to the open space;
 - 3) Connecting open space areas, such as wash or trail corridors, generally running perpendicular to the open space;
 - 4) Open space between lots that is a minimum 40-feet in width;
 - 5) Other adjacent open space areas that are:
 - Equal to or greater than the width of the adjacent designated open space;
or
 - A minimum 50-feet in width; or
 - Located between the open space and an adjacent street, whichever is less.

- Street patterns and lot design must allow direct access to washes or open space areas for maintenance of annual and non-native vegetation to prevent fire hazards and allow Fire Department access in case of fire. Design methods may include a combination of single loaded streets or open spaces between lots. Access might logically be provided at the edge between development and preserved open space. Points of access should be a maximum of 600-feet apart with openings a minimum of 20-feet wide to allow for fire breaks and access. Openings are to incorporate existing vegetation or be landscaped and shall maintain a twelve-foot wide access-way for Fire Department equipment – this should not be interpreted that blading of a wash is permitted. Rather, native vegetation is to be preserved in place, but non-native vegetation may be carefully removed. (R)
- All lot grading adjacent to the MacEwen Edges shall be protected by roping, a chain link fence, orange net, or equivalent approved by the City. All parties involved in construction shall be made aware of the fence or rope and the reason for it. Construction fence roping is to remain intact until completion of construction. (R)
- Building and wall colors (for exterior facing surfaces) should be muted and blend with the surrounding natural environment. Accent colors may be appropriate, but should be used judiciously and with restraint. Reflective materials should not be used. (P)

6.D Landscape Treatments Along Edge and Natural Environment Areas

Landscape treatment in private common areas and along public or private rights-of-way shall be from the Approved Desert Plant List in Section 6.F, except that open space and common areas and retention basins planted with turf are allowed. Palm trees and other plants specified on the prohibited portion of the Approved Desert Plant List are not be allowed within common open space areas, areas visible from public roadways, or adjacent to the MacEwen Edges or other areas of natural environment.

- All lot grading and construction areas shall be clearly marked by roping, a chain link fence, orange net fence, or equivalent approved by the City, to minimize impact during construction. Construction fence is to remain intact until completion of construction. (R)
- Salvaged plant and landscape material should be repurposed on-site to the maximum extent that can be achieved, including residential landscaping on individual lots. It must be demonstrated to the City that an excess plant material exists; otherwise, relocation within MacEwen 480 is presumed. (P)



- In areas designated as permanent undisturbed open space or where a small portion has been scarred or previously damaged within MacEwen 480, the area will be revegetated except for 404 designated wash areas. Revegetation should be typical of surrounding area washes, i.e., tree-lined washes will be revegetated with salvaged, native trees, slopes similar to nearby slopes. (R)
- Native Sonoran Desert vegetation should not be pruned or removed from areas identified as permanent undisturbed open space unless demonstrated to the City that a health, safety, or welfare issue exists. This includes removal of dead trees or cacti. (P)
- Within areas identified as permanent undisturbed open space, no grading or other disturbance shall occur except grading for trails, roadways and utility easements. Restoration of the disturbed area is mandatory and shall follow guidelines and techniques approved by the City. (R)
- The edge of common turfed open space areas shall be no closer than 25-feet from undisturbed open space, and no closer than 50-feet from desert wash banks. In all turf areas, the use of common Bermuda grass shall be prohibited in favor of hybrid Bermuda varieties. (R)
- If an area within the community designated as permanent undisturbed open space is damaged during development or construction, it is to be restored to blend with the immediately adjacent desert area. Such area shall be supplemented only with indigenous plants from the Approved Desert Plant List in Section 6.F. (R)
- Wash edges and existing natural open space areas should be planted with the same plant species and density found naturally occurring in and around the Property. Accent plant material is encouraged in areas where paths, trailheads, etc. within MacEwen 480 interface with the Sonoran Preserve or adjacent natural environment. Non-native plant species in these transitional zones are prohibited. (P)

6.E Edge Trail and Path Treatment

- The final location and design of private trailhead nodes, future trail connections, and parking areas shall be coordinate with the City and determined at time of Master Plan or Preliminary Site Plan Review. Construction of unauthorized access points shall be prohibited. (R)
- Trail and path access points to the Sonoran Preserve or natural environment within gated a Neighborhood Unit may be restricted to MacEwen 480 residents or residents of that Neighborhood Unit. (P)
- Trails and path access points may be located more than 100-feet from the boundary of a gated Neighborhood Unit. (P)



Pedestrian Circulation Plan

- Paseo corridors (see green circles on Pedestrian Circulation Plan) connecting MacEwen 480 to the Sonoran Preserve or otherwise providing internal pedestrian connectivity shall be a minimum 40-feet in width and contain native Sonoran Desert landscaping and a path. (R)
- Paseo corridors shall be counted as part of the required open space for MacEwen 480. (R)
- Where trails and wildlife corridors are provided within MacEwen 480, they should be identified on plans submitted to the City to demonstrate how they connect and relate to offsite public trails and wildlife corridors. (P)

6.F Approved Desert Plant List

The following list of desert plants represents plants that are typically found in the Sonoran Desert of north Phoenix and are a representative, but not exhaustive, list of plants that may be used within MacEwen 480, including within open space and common areas and along the MacEwen Edges. Tree species designated with an “*” in the plant list below have been selected as Shade Trees. At maturity, these trees will provide a large, dense canopy to maximize the shade benefit along pedestrian corridors throughout MacEwen 480. Proximate to the Property Perimeter, Shade Tree species will be limited to the trees included in the “Green List.” Internal to MacEwen 480, designated trees from the “Yellow List” may be supplemented in addition to the “Green List” to increase the diversity of desert appropriate species within MacEwen 480.

Green List: Desert Plants allowed within all areas of MacEwen 480. Only Green List plants may be used within open space and common areas immediately adjacent to the MacEwen Edges.	
Trees:	
Cercidium Floridum	Blue Palo Verde*
Cercidium Microphyllum	Foothill Palo Verde*
Chilopsis Linearis	Desert Willow*
Olneya Tesota	Ironwood*
Prosopis Velutina	Mesquite*
Shrubs:	
Acacia Greggii	Cat Claw Acacia
Ambrosia Ambrosoides	Canyon Ragweed
Ambrosia Deltoidea	Triangle Leaf Bur Sage
Asclepias Subulata	Desert Milkweed
Atriplex Canescens	Fourwing Saltbush
Baccharis Sarothroides	Desert Broom (Male Cultivars)
Calliandra Eriophylla	Fairy Duster
Canotia Holacantha	Crucifixion Thorn
Celtis Pallida	Desert Hackberry
Encelia Farinosa	Brittlebush
Ephedra Aspera	
Ephedra Trifurca	Mormon Tea
Ericameria Laricifolia	Turpentine Bush
Eriogonum Fasciculatum	Flattop Buckwheat
Fouquieria Splendens	Ocotillo

Hyptis Emoryi	Desert Lavender
Justicia Californica	Chuparosa
Krameria Grayi	White Ratany
Larrea Tridentata	Cresosote Bush
Lycium Berlandieri	Wolfberry
Lycium Fermontii	Tomatillo
Psilotrophe Cooperii	Paper Flower
Simmondsia Chinensis	Jojoba
Viguieria Deltoidea	Golden Eye
Zizyphus Obtusifolia Var. Canescens	Greythorn
Cacti and Succulents:	
Carnegiea Gigantea	Saguaro
Echinocereus Fasciculatus	Hedgehog Cactus
Ferocactus Acanthodes	Compass Barrel
Ferocactus Wislizenii	Fishhook Barrel
Mammillaria Microcarpa	Fishhook Pincushion
Opuntia Acanthocarpa	Buckhorn Cholla
Opuntia Bigelovii	Teddy Bear Cholla
Opuntia Engelmannii	Engelmann's Prickly Pear
Opuntia Fulgida	Chain Fruit Cholla
Opuntia Leptocaulis	Desert Christmas Cholla
Annual Wildflowers:	
Argemone Pleiakantha	Prickly Poppy
Eschscholzia Mexicana	Mexican Gold Poppy
Kallstroemia Grandiflora	Arizona Poppy
Lupinus Arizonicus	Arizona Lupine
Lupinus Sparsiflorus	Desert Lupine
Orthocarpus Purpuracens	Owl's Clover
Pectis Papposa	Chinch Weed
Plantago Insularis	Indian Wheat
Salvia Columbariae	Chia
Perennial Wildflowers:	
Argemone Platyceras	Prickly Poppy
Baileya Multiradiata	Desert Marigold

Dichelostemma Pulchellum	Bluedicks
Dyssodia Pentachaeta	Dyssodia
Erigeron Divergens	Spreading Fleabane
Penstemon Parryii	Parry's Penstemon
Senna Covesii (Cassia)	Desert Senna
Grasses:	
Aristida Purpurea	Purple Three-Awn
Hilaria Rigida	Big Galeta
Trichachne Californica	Cotton-Top
<p>Yellow List. There are public areas where it may not be as critical that plant materials used are native to the Sonoran Desert but it is important that plant materials represent plants that are generally native to the southwest deserts or have the appearance of being native to those deserts. The following plant list is an expansion of the above list and includes Sonoran Desert natives as well as non-natives that are representative of southwest deserts. The Yellow List plants may be used within all areas of MacEwen 480 with the exception of open spaces and common areas immediately adjacent to the MacEwen Edges.</p>	
<p>Trees—In addition to those identified above:</p>	
Acacia Berlandieri	Guajillo Acacia
Acacia Farnesiana	Sweet Acacia*
Acacia Occidentalis	Sonoran Catclaw Acacia*
Acacia Schaffneri	Twisted Acacia*
Acacia Stenophyllia	Shoestring Acacia*
Acacia Willardiana	Palo Blanco
Bauhinia Congesta	Anacacho Orchid Tree
Caesalpinia Cacalaco	Cascalote
Cercidium Hybrid	Desert Museum Paloverde*
Cercidium Praecox	Palo Brea
Leucaena Retusa	Golden Ball Lead Tree
Lysiloma Microphylla Var. Thornberi	Desert Fern*
Pithecellobium Flexicaule	Texas Ebony*
Pithecellobium Mexicanum	Palo Chino/Mexican Ebony*
Pithecellobium Pallens	Tenaza
Prosopis Glandulosa	Honey Mesquite
Prosopis Pubescens	Screwbean Mesquite
Prosopis Torreyana	Texas Mesquite
Sophora Secundiflora	Mescal Bean

Ungnadia Speciosa	Mexican-Buckeye*
Shrubs—In addition to those identified above:	
Acacia constricta	White Thorn Acacia
Aloysia Gratiissima	Bee Bush
Aloysia Lyciodes	Bee Bush
Aloysia Macrostachya	Sweet-Stem
Anisacanthus Andersonii	Anderson's Honeysuckle
Anisacanthus Quadrifidus	Flame Honeysuckle
Anisacanthus Thurberi	Desert Honeysuckle
Artemesia Ludoviciana	White Sage
Atriplex Hymenelytra	Desert Holly
Atriplex Nummularia	Old Man Saltbush
Berberis Haematocarpa	Red Barberry
Buddleia Marrubifolia	Wooly Butterfly Bush
Caesalpinia Gilliesii	Desert Bird of Paradise
Calliandra Californica	Baja Red Fairy Duster
Calliandra Peninsularis	Baja Red Fairy Duster
Canotia Holacantha	Crucifixion Thorn
Cassia Biflora	Twin Flower Cassia
Cassia Wislizenii	Shrubby Cassia
Cordia Boissieri	Anacahuita
Cordia Parvifolia	Little Leaf Cordia
Dalea Bicolor Var. Argyraea	Silver Dalea
Dalea Frutescens	Black Dalea
Dalea Pulchra	Indigo Bush
Dalea Versicolor Var. Sessilis	Wislizenus Dalea
Dodonaea Viscosa	Hopbush
Erythrina Flabelliformis	Southwest Coralbean
Euphorbia Antisyphilitica	Candelilla
Gutierrezia Microcephala	Snakeweed
Justicia Candicans	Red Justicia
Justicia Sonorae	Palm Canyon Justicia
Justicia Spicigera	Mexcan Honeysuckle
Krameria Parvifolia	Ratany

Leucophyllum Candidum	Silver Sage
Leucophyllum Frutescens	Texas Sage
Leucophyllum Laevigatum	Chihuahuan Sage
Leucophyllum Langmaniae	Sierra Madre Sage
Leucophyllum Pruinatum	Fragrant Sage
Leucophyllum Revolutum	
Leucophyllum Zygomorphum	Blue Ranger
Lotus Rigidus	Desert Rock Pea
Mimosa Biuncifera	Wait-a-Minute Bush
Mimosa Dysocarpa	Velvet Pod Mimosa
Rhus Microphylla	Desert Sumac
Rhus Ovata	Sugarbush
Rhus Trilobata	Skunkbush
Ruellia Brittoniana	Britton's Ruellia
Ruellia Californica	Ruellia
Ruellia Peninsularis	Ruellia
Salvia Chamaedryoides	Blue Sage
Salvia Clevelandii	Chapparal Sage
Salvia Greggii	Autumn Sage
Salvia Leucophylla	Mexican Bush Sage
Salvia Dorrii	Desert Sage
Tecoma Stans	Yellowbells
Trixis Californica	Trixis
Ungradia Speciosa	Mexican Buckeye
Vauquelinia Corymbosa	Narrow-Leaf Rosewood
Vauquelinia Californica	Arizona Rosewood
Groundcovers:	
Atriplex Semibaccata	Saltbush
Baccharis Cv. "Centennial"	Centennial Baccharis
Dalea Greggii	Indigo Bush
Oenothera Berlandieri	Mexican Evening Primrose
Oenothera Caespitosa	Trailing Evening Primrose
Oenothera Stubbei	Saltillo Primrose
Verbena Bipinnatifida	Verbena

Verbena Goodingii	Gooding's Verbena
Verbena Tenera	Moss Verbena
Cacti and succulents—In addition to those identified above. This is a sample list of cacti and succulents that may be appropriate for the area. Other may be appropriate based on similarity of height, context, texture, and color as well as suitability to the natural environment.	
Agave Spp.—Sample listing:	
Agave Colorata	Mescal Ceniza
Agave Parryi	Parry's Agave
Agave Victorae-Reginae	Royal Agave
Agave Vilmoriniana	Octopus Agave
Agave Murpheyi	Murphy's Agave
Aloe Spp.—Sample listing:	
Aloe Barbadosensis	Medicinal Aloe
Aloe Ferox	Tree Aloe
Aloe Saponaria	Tiger Aloe
Aloe Marlothii	Tree Aloe
Aloe Striata	Coral Aloe
Cactaceae—Sample listing:	
Echinocactus Grusonii	Golden Barrel
Lophocereus Schottii	Senita
Opuntia Basilaris	Beavertail Prickly Pear
Opuntia Violacea	Purple Prickly Pear
Pachycereus Marginatus	Mexican Organ Pipe
Stenocereus Thurberi	Arizona Organ Pipe
Dasyilirion Acrotriche	Green Desert Spoon
Dasyilirion Wheeleri	Sotol, Desert Spoon
Hesperaloe Funifera	
Hesperaloe Parviflora	Red Hesperaloe
Nolina Mataepensis	Tree Bear Grass
Nolina Microcarpa	Bear Grass
Yucca Brevifolia	Joshua Tree
Yucca Rigida	Blue Yucca
Yucca Rostrata	Beaked Yucca
Annual wildflowers—In addition to those identified above:	

Gaillardia Pulchella	Firewheel
Layia PlatyGLOSSa	Tidy Tips
Lesquerella Gordonii	Yellow Blanket
Phacelia Campaularia	California Blue Bell
Perennial wildflowers—In addition to those identified above:	
Allionia Incarnata	Trailing Windmills
Delphinium Amabile	Larkspur
Melampodium Leucanthum	Blackfoot Daisy
Penstemon Baccharifolius	Rock Penstemon
Penstemon Barbatus	Scarlet Penstemon
Penstemon Eatonii	Firecracker Penstemon
Penstemon Palmeri	Palmer's Penstemon
Penstemon Spectabilis	Royal Penstemon
Penstemon Superbus	Superb Penstem
Ratibida Columnaris	Mexican Hat, Coneflower
Sphaeralcea Ambigua	Globe-Mallow
Tagetes Lemonnii	Mount Lemmon Marigold
Zinnia Acerosa	Desert Zinnia
Zinnia Grandiflora	Rocky Mountain Zinnia
Grasses—In addition to those identified in above:	
Muhlenbergia Dumosa	Giant Muhly
Muhlenbergia Porteri	Bush Muhly
Muhlenbergia Rigens	Deer Grass
Vines:	
Antigonon Leptopus	Coral Vine
Callaeum Macroptera	Yellow Orchid Vine
Clematis Drummondii	Virgin's Bower
Maurandya Antirrhiniflora	Snapdragon Vine
Merremia Aurea	Yuca
Blue List. Sonoran Image Plant List—General Landscape Areas:	
<p>There are areas where it may not be as critical that plant materials used are native to the Sonoran Desert or representative of the American Southwest Deserts, but it is important that the "Sonoran Image" be maintained. The following plant list is a broader representation of drought tolerant plants and includes non-natives that are considered appropriate for the area. The Blue List is to be used primarily for residential development in private yards.</p>	

Note: Although this list is considered comprehensive, it is not exhaustive. In addition, it is anticipated that new plant materials may be added to the list as plants are introduced in the future. Interested persons are encouraged to suggest and/or propose plant materials to add to this list. Those will be reviewed by City staff and if determined appropriate, included in this list.

Trees—In addition to those identified above, for use in private yards only:

Acacia aneura	Mulga
Acacia Craspedocarpa	Leather Leaf Acacia
Acacia Saligna	Blue Leaf Wattle
Acacia Salicina	Willow Leaf Acacia
Caesalpinia Cacalaco	Cascalote
Eucalyptus Formannii	Formann's Eucalyptus
Eucalyptus Spathulata	Narrow-Leaf Gimlet
Eucalyptus Torquata	Coral Gum
Geoffroea Decorticans	Chilean Palo Verde
Pittosporum Phillyraeoides	Willow Pittosporum
Prosopis Alba	Argentine Mesquite
Prosopis Chilensis	Chilean Mesquite

Shrubs—In addition to those identified above, for use in private yards only:

Caesalpinia Mexicana	Mexican Bird of Paradise
Caesalpinia Pulcherrima	Red Bird of Paradise
Cassia Artemisioides	Feathery Cassia
Cassia Nemophila	Desert Cassia
Cassia Phyllodinea	Silver-Leaf Cassia
Eremophila Glabra	Emu Bush
Euphorbia Rigida	
Salvia Leucantha	Mexican Bush Sage

Groundcovers—In addition to those identified above, for use in private yards only:

Cephalophyllum Cv. "red spike"	Red Spike Ice Plant
Dorsantheum Speciosum	Ice Plant
Gazania Rigens	Trailing Gazania
Verbena Peruviana	Peruvian Verbena
Verbena Rigida	Sandpaper Verbena

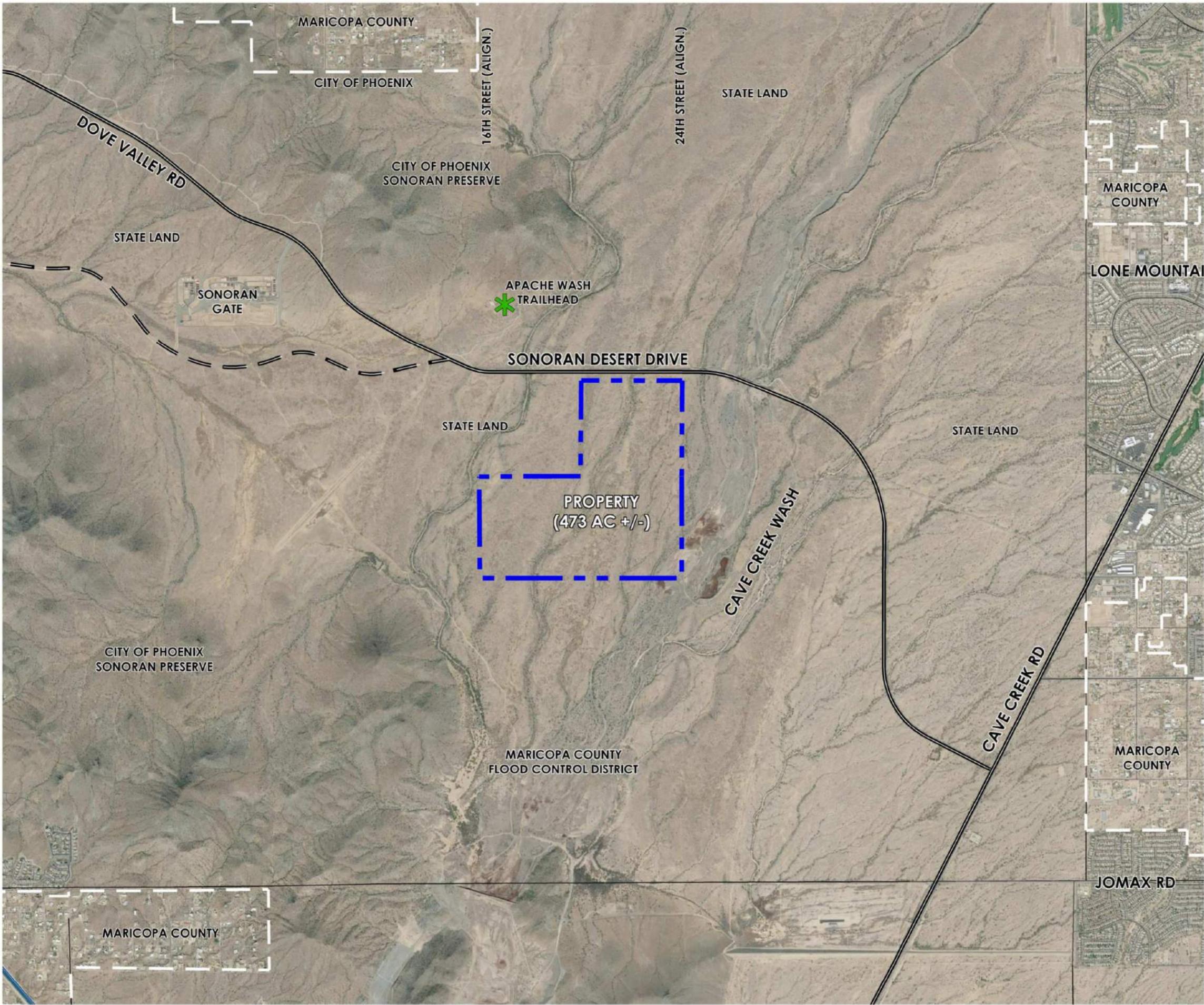
Cacti—In addition to those identified above, for use in private yards only:

Agave Americana	Century Plant
-----------------	---------------

Cereus Hildmannianus	Hildmann's Cereus
Lophocereus Schottii	Senita
Trichocereus Candicans	Argentine Trichocereus
Yucca Aloifolia	Spanish Bayonet
Yucca Baccata	Banana Yucca
Yucca Elata	Soaptree Yucca
Annual wildflowers—Same as identified above.	
Perennial wildflowers—Same as identified above.	
Grasses—Same as identified in above.	
Vines—In addition to those identified above, for use in private yards only:	
Podranea Ricasoliana	Pink Trumpet Vine
Bouganvillea	

Prohibited/Invasive Plant Species	
Brachychiton Populneus	Bottletree
Cenchrus Ciliaris or Pennisetum Ciliare	Buffel Grass
Cynodon Dactylon	Common Bermuda Grass
Eragrostis Lehmanniana	Lehmann's Lovegrass
Eucalyptus Sp.	Eucalyptus
Gutierrezia Sarothrae	Snakeweed
Hordeum Jubatum	Foxtail Barley
Washington Sp.	Fan Palm
Pennisetum Sp.	Fountain Grass
Oleander Sp.	Oleanders—Except for petite varieties
Thevtic Peruviana	Yellow Oleander
Olea Sp.	Olive Trees
Parkinsonia Aculeata	Jersualem Thorn/Mexican Palo Verde
Pinus Sp.	Pines
Prosopis Chilensis	Chilean Mesquite—In parking areas
Rhus Lancea	African Sumac

Exhibit 1. *Aerial Map*

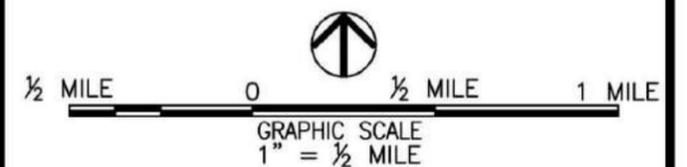


MacEwen 480

PUD APPLICATION

AERIAL MAP

Subject to engineering and City review and approval.



PRELIMINARY - NOT FOR CONSTRUCTION - COPYRIGHT LVA URBAN DESIGN STUDIO, L.L.C.

Date: 11/7/18

Project No.

taylor morrison
Homes Inspired by You



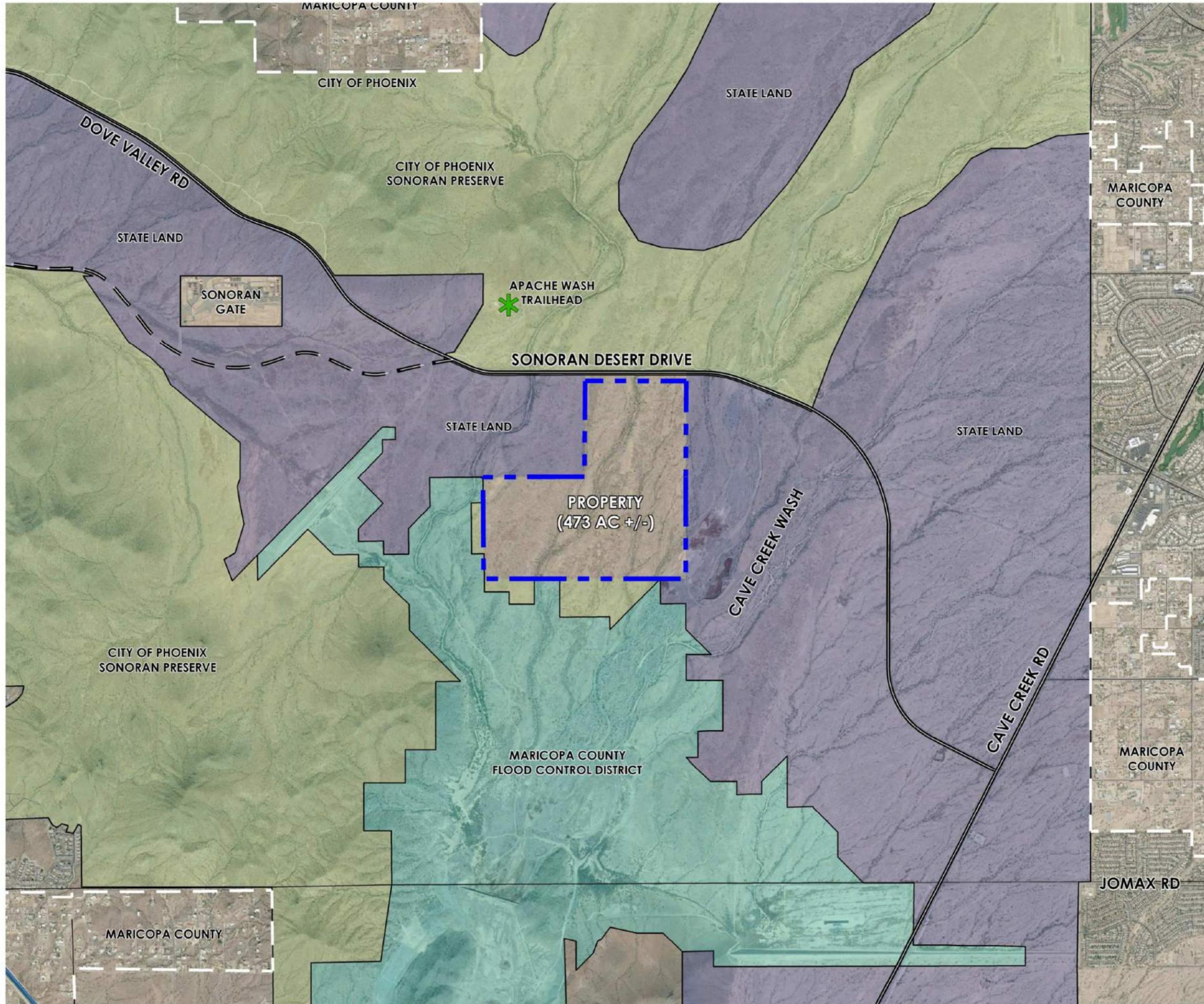
GAMMAGE & BURNHAM

LVA
an RVI Company

land planning
development entitlements
landscape architecture
120 south oak avenue
tempe, arizona 85281
480.994.0994

HILGARTWILSON
ENGINEER | PLAN | SURVEY | MANAGE

Exhibit 2. *Surrounding Property Ownership Map*



MacEwen 480

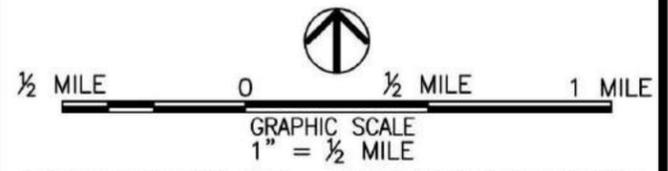
PUD APPLICATION

SURROUNDING PROPERTY OWNERSHIP MAP

LEGEND

-  PROPERTY BOUNDARY
-  SONORAN PRESERVE
-  MARICOPA COUNTY FLOOD CONTROL DISTRICT
-  STATE LAND

Subject to engineering and City review and approval.



PRELIMINARY - NOT FOR CONSTRUCTION - COPYRIGHT LVA URBAN DESIGN STUDIO, L.L.C.

Date: 11/7/18 Project No.



land planning
 development entitlements
 landscape architecture
 120 south oak avenue
 tempe, arizona 85281
 480.994.0994



Exhibit 3. *Master Development Parcel Map*

MacEwen 480

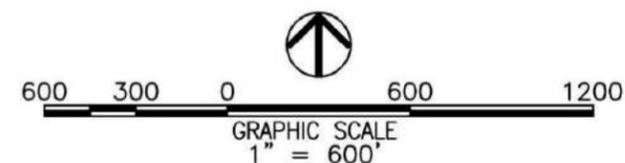
PUD APPLICATION

MASTER DEVELOPMENT PARCEL MAP

LEGEND

-  PROPERTY BOUNDARY
-  PARCEL A: 148.2 AC +/-
-  PARCEL B: 164.8 AC +/-
-  PARCEL C: 160.3 AC +/-

Subject to engineering and City review and approval.



PRELIMINARY - NOT FOR CONSTRUCTION - COPYRIGHT LVA URBAN DESIGN STUDIO, L.L.C.

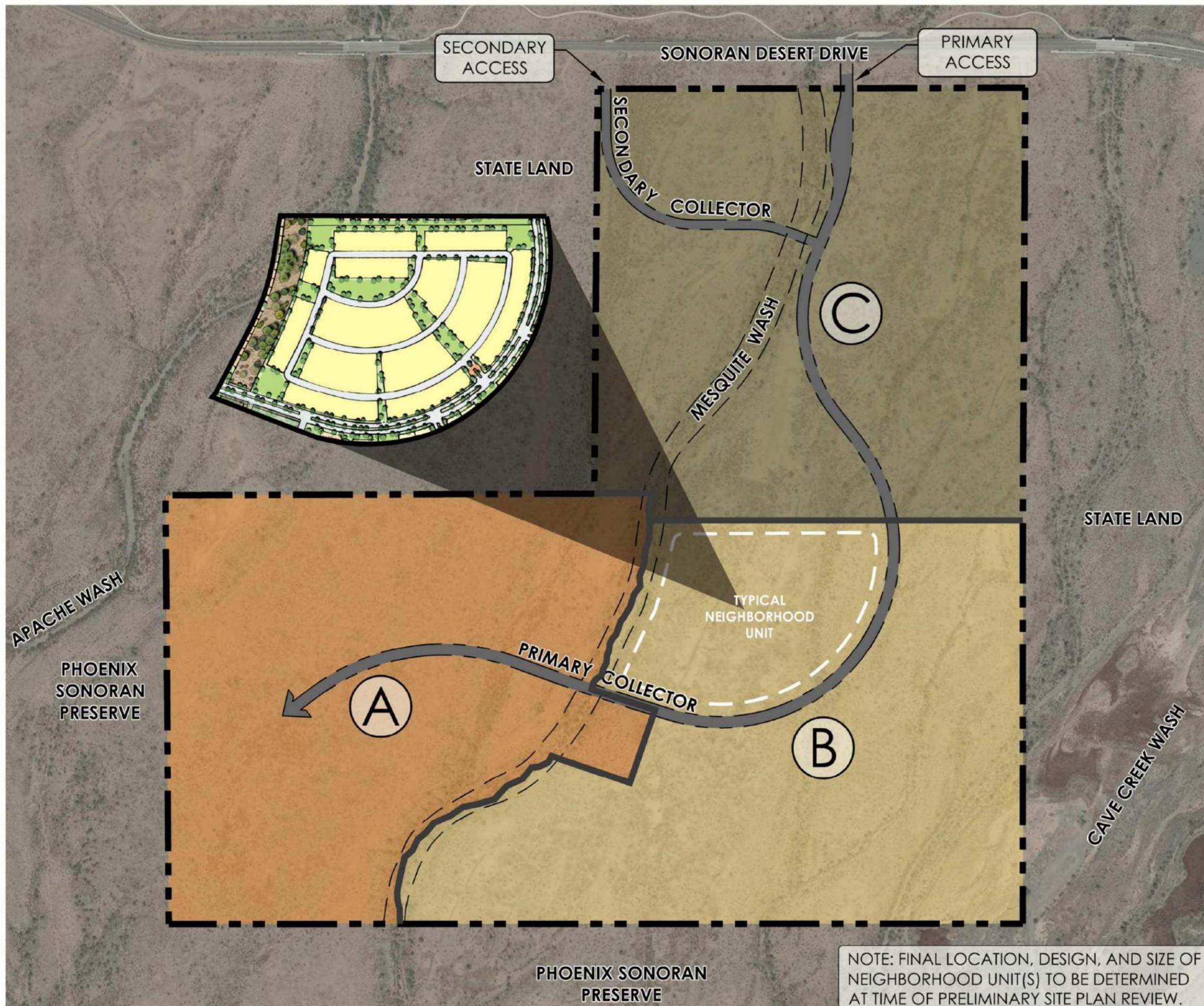
Date: 11/07/18 Project No. 18001690

**taylor
morrison**
Homes Inspired by You 

**GAMMAGE
&
BURNHAM**

LVA
an RVi Company
land planning
development entitlements
landscape architecture
120 south oak avenue
tempe, arizona 85281
480.994.0994

HILGARTWILSON
ENGINEER | PLAN | SURVEY | MANAGE



NOTE: FINAL LOCATION, DESIGN, AND SIZE OF NEIGHBORHOOD UNIT(S) TO BE DETERMINED AT TIME OF PRELIMINARY SITE PLAN REVIEW.

Exhibit 4. *Illustrative Land Use Plan*

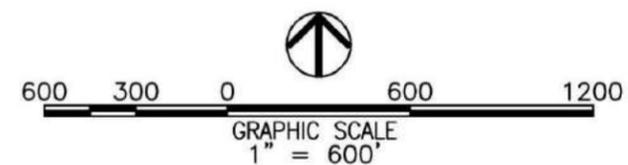


MacEwen 480

PUD APPLICATION

ILLUSTRATIVE LAND PLAN

Subject to engineering and City review and approval.



PRELIMINARY - NOT FOR CONSTRUCTION - COPYRIGHT LVA URBAN DESIGN STUDIO, L.L.C.

Date: 11/7/18

Project No.

taylor
morrison
Homes Inspired by You

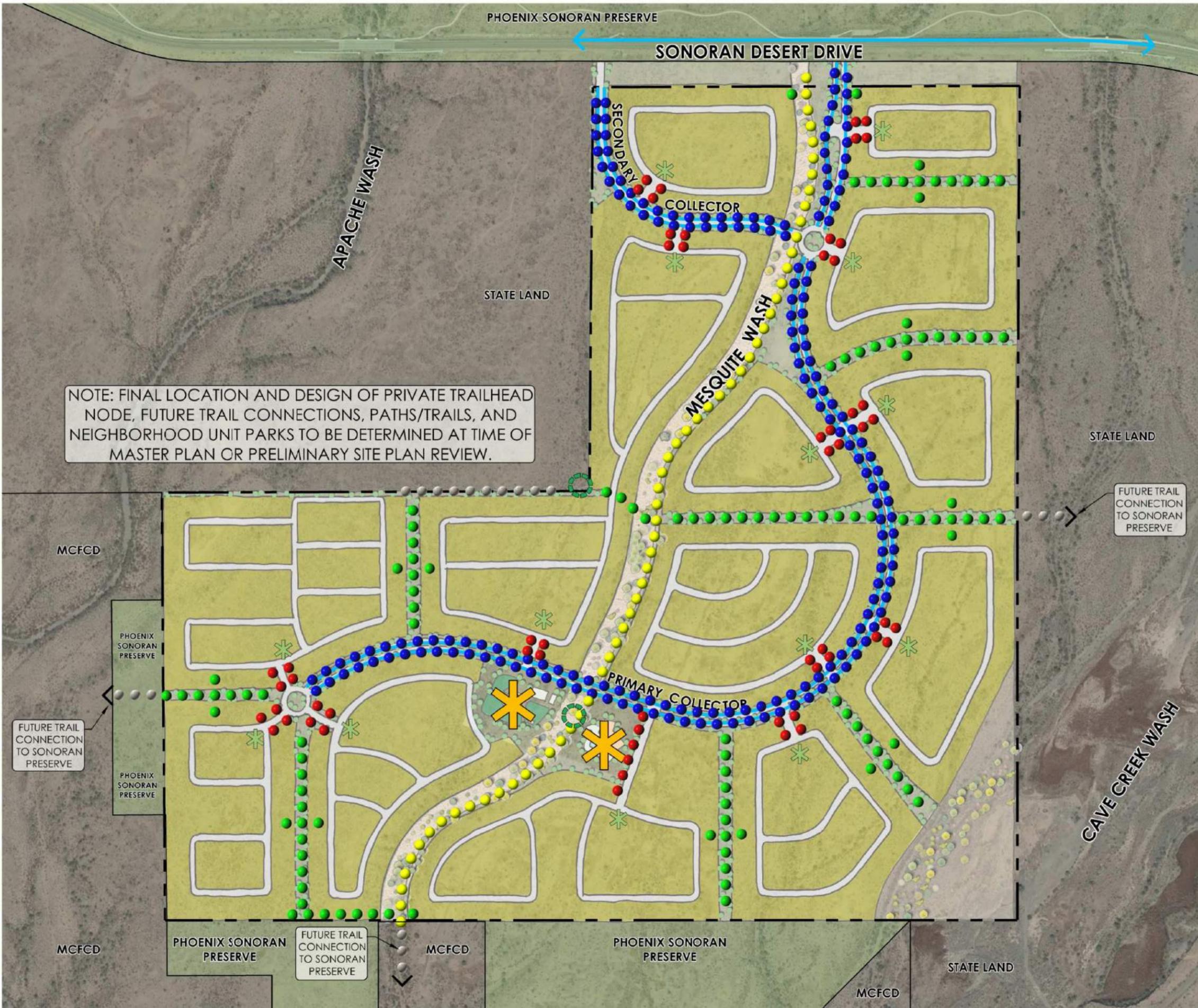


GAMMAGE
&
BURNHAM

LVA
an RVI Company
land planning
development entitlements
landscape architecture
120 south oak avenue
tempe, arizona 85281
480.994.0994

HILGARTWILSON
ENGINEER | PLAN | SURVEY | MANAGE

Exhibit 5. *Pedestrian Circulation Plan*



NOTE: FINAL LOCATION AND DESIGN OF PRIVATE TRAILHEAD NODE, FUTURE TRAIL CONNECTIONS, PATHS/TRAILS, AND NEIGHBORHOOD UNIT PARKS TO BE DETERMINED AT TIME OF MASTER PLAN OR PRELIMINARY SITE PLAN REVIEW.

MacEwen 480

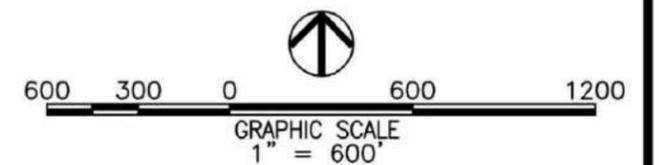
PUD APPLICATION

PEDESTRIAN CIRCULATION PLAN

LEGEND

- 6' DETACHED NEIGHBORHOOD UNIT ENTRY SIDEWALKS
- 8' DETACHED COLLECTOR ROADWAY SIDEWALKS
- 6' / 8' COMMUNITY PASEO PATHS
- 4' NATURAL SURFACE TRAIL (CONNECTION TO SONORAN PRESERVE)
- 12' MESQUITE WASH CORRIDOR NATURAL SURFACE MATERIAL (PUBLIC TRAIL EASEMENT TO BE PROVIDED)
- BIKE LANE
- NEIGHBORHOOD UNIT PARK
- PRIVATE TRAILHEAD NODE (CONNECTION TO SONORAN PRESERVE)
- COMMUNITY AMENITY

Subject to engineering and City review and approval.



PRELIMINARY - NOT FOR CONSTRUCTION - COPYRIGHT LVA URBAN DESIGN STUDIO, L.L.C.

Date: 01/02/19 Project No. 18001690

taylor morrison
Homes Inspired by You



GAMMAGE & BURNHAM

LVA
an RVI Company

land planning
development entitlements
landscape architecture
120 south ash avenue
tempe, arizona 85281
480.994.0994

HILGARTWILSON
ENGINEER | PLAN | SURVEY | MANAGE

Exhibit 6. *Community Paseos*

Conceptual Paseo Section

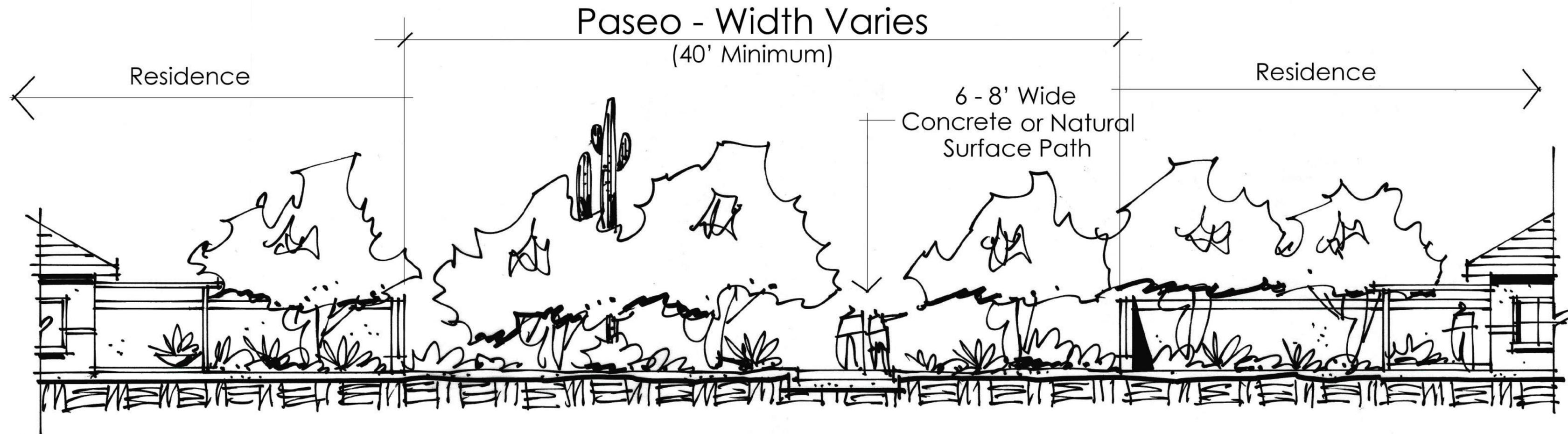
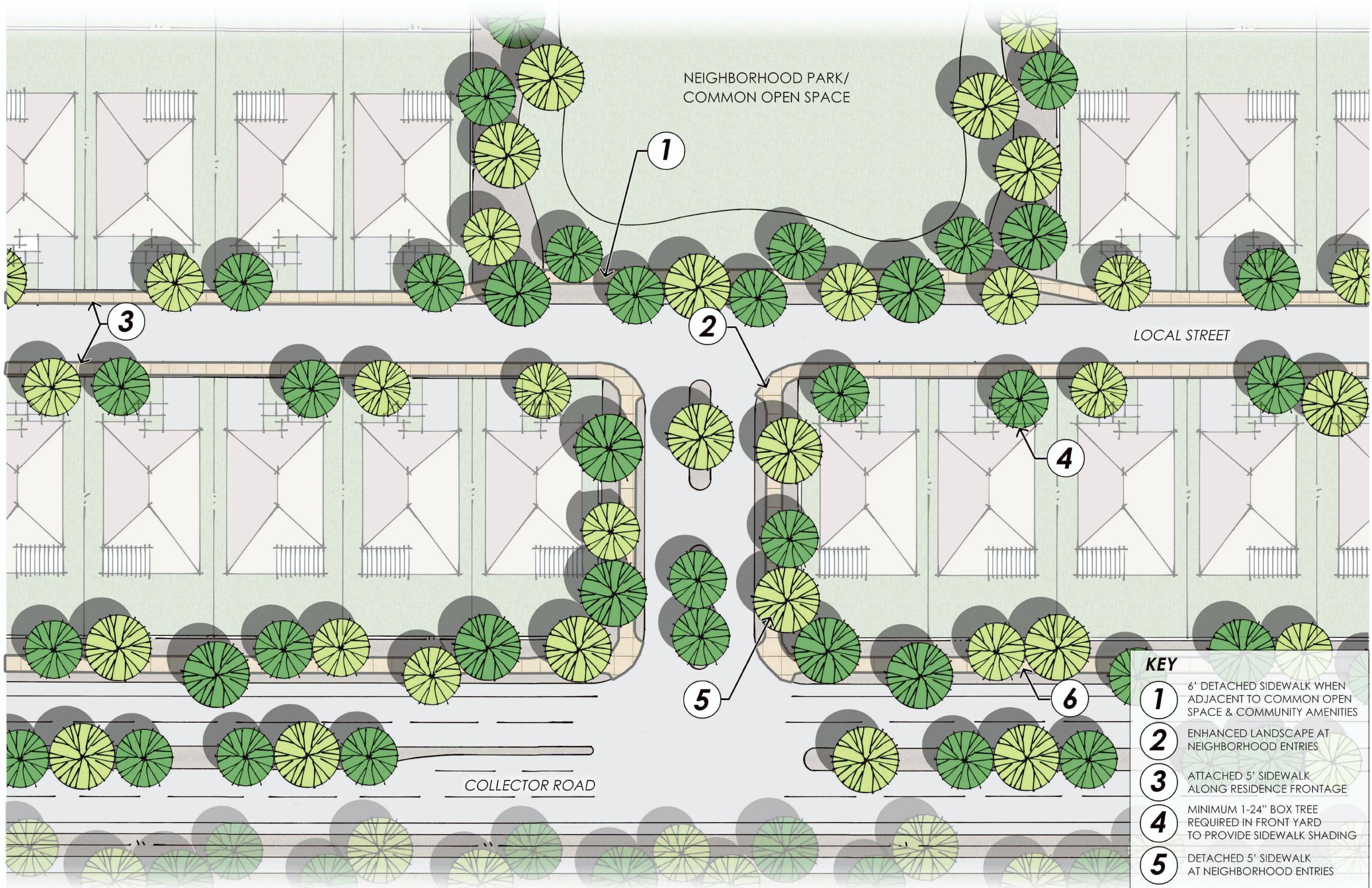


Exhibit 7. *Typical Neighborhood Unit Entries*



NEIGHBORHOOD PARK/
COMMON OPEN SPACE

LOCAL STREET

COLLECTOR ROAD

- KEY**
- 1** 6' DETACHED SIDEWALK WHEN ADJACENT TO COMMON OPEN SPACE & COMMUNITY AMENITIES
 - 2** ENHANCED LANDSCAPE AT NEIGHBORHOOD ENTRIES
 - 3** ATTACHED 5' SIDEWALK ALONG RESIDENCE FRONTAGE
 - 4** MINIMUM 1-24" BOX TREE REQUIRED IN FRONT YARD TO PROVIDE SIDEWALK SHADING
 - 5** DETACHED 5' SIDEWALK AT NEIGHBORHOOD ENTRIES
 - 6** DETACHED 8' SIDEWALK ALONG COLLECTOR ROADWAYS

Exhibit 8. Single-Family Land Use District Development Standards

<i>Development Standard</i>	<i>SFR-3</i>	<i>SFR-5</i>	<i>SFR-7</i>	<i>SFR-9¹</i>	<i>SFR-14¹</i>
<i>Min. Lot Area</i>	<i>3,000 sf</i>	<i>5,000 sf</i>	<i>7,000 sf</i>	<i>9,000 sf</i>	<i>14,000 sf</i>
<i>Min. Lot Width</i>	<i>40'</i>	<i>45'</i>	<i>55'</i>	<i>65'</i>	<i>90'</i>
<i>Min. Lot Depth</i>	<i>None</i>				
<i>Max. Dwelling Unit Density</i>	<i>10</i>	<i>6</i>	<i>4.5</i>	<i>3.5</i>	<i>2.5</i>
<i>Min. Perimeter Building Setbacks</i>					
<i>Sonoran Desert Drive</i>	<i>15'</i>				
<i>Collector ROW</i>	<i>15'</i>				
<i>Min. Common Landscape Setbacks</i>					
<i>Sonoran Desert Drive ROW</i>	<i>0'</i>				
<i>Arterial/Collector ROW</i>	<i>15' average; 10' min.</i>				
<i>Min. Interior Building Setbacks</i>					
<i>Front Livable²</i>	<i>10'</i>				
<i>Garage³</i>	<i>18'</i>				
<i>Rear</i>	<i>5'</i>	<i>15'</i>		<i>20'</i>	
<i>Street Side</i>	<i>5'</i>	<i>10'⁴</i>			<i>10'</i>

<i>Development Standard</i>	<i>SFR-3</i>	<i>SFR-5</i>	<i>SFR-7</i>	<i>SFR-9¹</i>	<i>SFR-14¹</i>
<i>Min. Interior Building Setbacks cont.</i>					
<i>Side Livable</i>	<i>0'; min. 10' building separation</i>			<i>5'</i>	
<i>Max. Lot Coverage⁵ (primary structure and any attached or detached structures)</i>	<i>Primary structure, not including attached shade structures: 45%; Total 55%</i>				
<i>Max. Building Height</i>	<i>2-stories and 30'</i>				
<i>Min. Common Area (per Neighborhood Unit)</i>	<i>10% gross</i>				
<i>On-Lot Common Retention</i>	<i>Common retention required for lots less than 8,000 sf</i>			<i>None</i>	
<i>Landscape Standards (adjacent to Sonoran Desert Drive</i>	<i>Perimeter common: Trees spaced a maximum of 20' to 30' on center or in equivalent groupings, and 5 shrubs per tree.</i>				

¹Guesthouses must conform with the development standards of the underlying Single-Family Land Use District.

² For purposes of determining lot lines for the Front Livable setback, a perimeter property line adjacent to Sonoran Desert Drive is not considered the front property line.

³Front garage setback may be reduced to 10' measured from property line for side-loaded garages.

⁴Landscape tracts can reduce the minimum street side setback by the width of the tract up to 5' within the SFR-5, -7 and -9 land use districts. The street side building setback may not be reduced within the SFR-9 land use district for two-story homes.

⁵The total structural coverage provided on the sum of all the lots within each Subdivision Plat of which is divided or prorated between each of the lots after streets (both public and private) are subtracted from the total net area.

Exhibit 9. Community Center Development Standards

BUILDING SETBACKS	
<i>Minimum Lot Area</i>	<i>No requirement.</i>
<i>Minimum Lot Width</i>	
<i>Minimum Lot Depth</i>	
<i>Minimum Building Setbacks</i>	
<i>Front</i>	<i>15'</i>
<i>Street Side</i>	<i>15'</i>
<i>Not Adjacent to Streets</i>	<i>20'</i>
<i>Maximum Lot Coverage (primary structure and any attached or other detached structures)</i>	<i>60%</i>
<i>Maximum Building Height</i>	<i>2-stories and 30'</i>
PARKING	
<i>Private Community Center</i>	<p><i>1 space per 300 s.f. of gross building area (based on 80% of total gross building area for the primary community center building).</i></p> <p><i>The Community Center parking ratio supersedes and replaces the standards of Section 702.c of the Phoenix Zoning Ordinance. No additional parking spaces are required for any additional building areas or accessory uses to the community center, including but not limited to a community pool, sport court, play field, playground or event lawn.</i></p>

STREETSCAPE	
<i>Landscape Setback</i>	<i>Average 15'</i>
<i>Planting Type</i>	<i>Minimum Planting Size</i>
<i>Trees¹</i>	<i>Minimum 2" caliper, 75% of required trees Minimum 3" caliper, 25% of required trees</i>
<i>Shrubs</i>	<i>Minimum five (5) 5-gallon shrubs per tree</i>
PARKING LOT AREA	
<i>Interior Surface Area (exclusive of perimeter landscaping and all required setbacks)</i>	<i>Minimum 10%</i>
<i>Landscape Planters</i>	<i>At ends of each row of parking and approximately every 110'</i>
<i>Landscape Planters, Single Row of Parking²</i>	<i>Minimum 120 sf</i>
<i>Landscape Planters, Double Row of Parking²</i>	<i>Minimum 240 sf</i>
<i>Additional Parking Lot Landscaping</i>	<i>Minimum 10%, evenly distributed throughout entire parking lot. Minimum interior dimensions 5' (length and width).</i>
<i>Planting Type</i>	<i>Minimum Planting Size</i>
<i>Trees¹</i>	<i>Minimum 2" caliper, 50% of required trees Minimum 1" caliper, 50% of required trees</i>
<i>Shrubs</i>	<i>Minimum five (5) 5-gallon shrubs per tree</i>
PERIMETER PROPERTY LINES (NOT ADJACENT TO STREETS)	
<i>Property Lines Not Adjacent to a Street</i>	<i>Minimum 10' landscape setback</i>
<i>Planting Type</i>	<i>Minimum Planting Size</i>
<i>Trees¹</i>	<i>Minimum 2" caliper, 50% of required trees Minimum 1" caliper, 50% of required trees</i>
<i>Shrubs</i>	<i>Minimum five (5) 5-gallon shrubs per tree</i>

ADJACENT TO A BUILDING	
<i>Building facades oriented to and within 50' of a street</i>	<i>Minimum 25% of the exterior wall length shall be treated with either a landscaped planter a minimum 5' in width of an arcade or equivalent feature, or as otherwise approved by the city of Phoenix Planning & Development Director or designee.</i>
<i>Planting Type</i>	<i>Minimum Planting Size</i>
<i>Trees¹</i>	<i>Minimum 2" caliper, 50% of required trees Minimum 1" caliper, 50% of required trees</i>
<i>Shrubs</i>	<i>Minimum five (5) 5-gallon shrubs per tree</i>

¹ 20' on center or equivalent groups.

² Measured from inside face-of-curb to inside face-of-curb.

Exhibit 10. *Water System Improvements*

MacEwen 480

PUD APPLICATION

WATER SYSTEM IMPROVEMENTS

LEGEND

APPROX. PROJECT BOUNDARY	
EXISTING WATER LINE	
PROPOSED WATER LINE	
PRESSURE ZONE BOUNDARY (PER CITY OF PHOENIX QS MAPS)	
PROPOSED PRESSURE ZONE BOUNDARY	
EXISTING PRESSURE REDUCING STATION	

PIPE DIAMETER	
	6.0 INCHES
	8.0 INCHES
	12.0 INCHES
	16.0 INCHES
	20.0 INCHES
	24.0 INCHES
	30.0 INCHES
	36.0 INCHES
	48.0 INCHES
	54.0 INCHES

NOTE:
INTERNAL LOOPED WATER LINES NOT SHOWN FOR CLARITY.

Subject to engineering and City review and approval.



APPROX. SCALE: NTS

PRELIMINARY - NOT FOR CONSTRUCTION

Date: 8/28/18 Project No. 1784



land planning
development entitlements
landscape architecture
120 south ash avenue
tempe, arizona 85281
480.994.0994

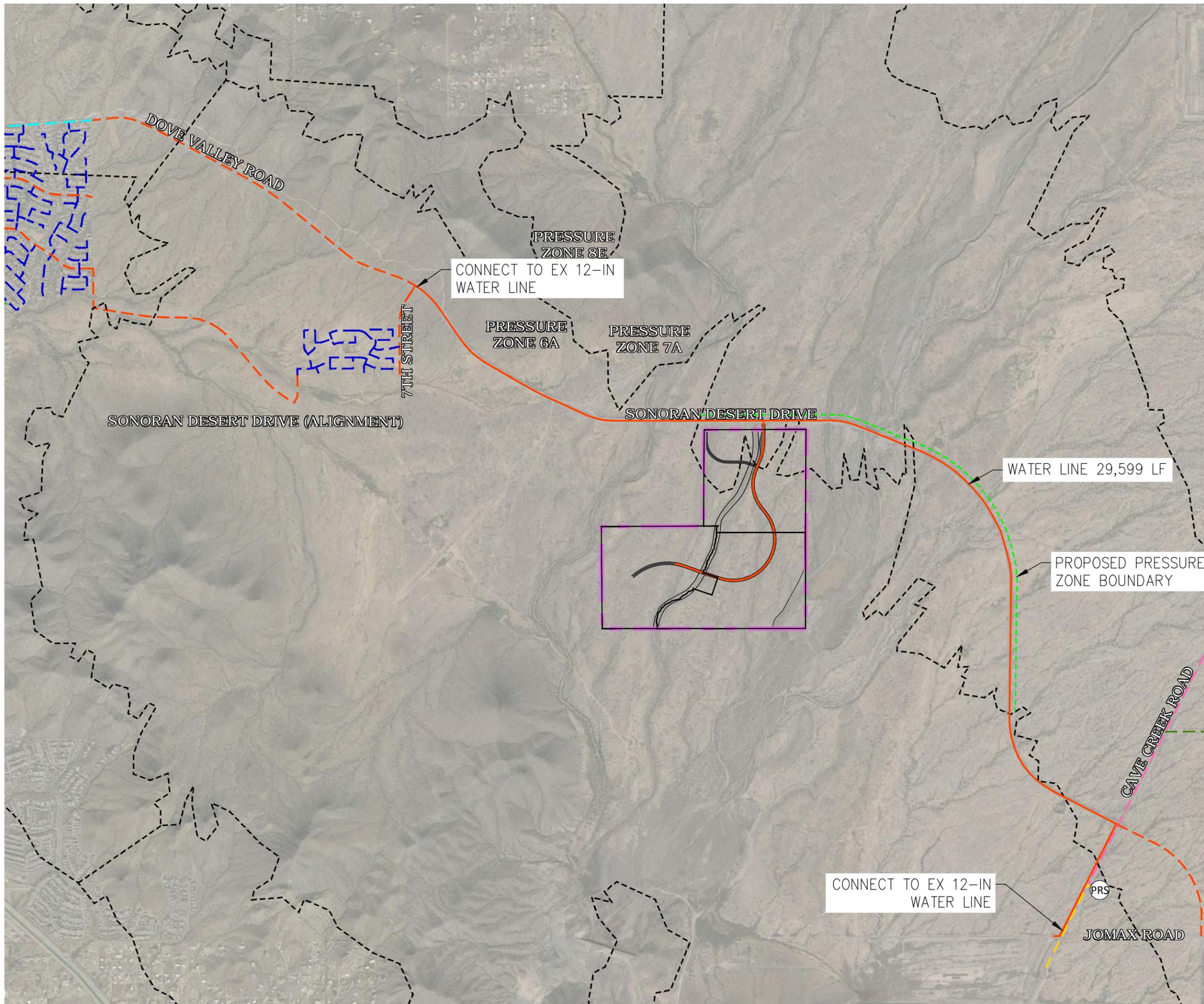


Exhibit 11. *Wastewater System Improvements*

MacEwen 480

PUD APPLICATION

WASTEWATER SYSTEM IMPROVEMENTS

LEGEND

PROPERTY BOUNDARY	
EXISTING SEWER MAIN	
PROPOSED DUAL FORCE MAIN	
PROPOSED LIFT STATION	

PIPE DIAMETER	
	8.0 INCHES
	10.0 INCHES
	12.0 INCHES
	15.0 INCHES
	18.0 INCHES

NOTE:
INTERNAL GRAVITY SEWER
MAINS NOT SHOWN FOR
CLARITY.

Subject to engineering and City review and approval.



APPROX. SCALE: NTS

PRELIMINARY - NOT FOR CONSTRUCTION

Date. 8/28/18

Project No. 1784



land planning
development entitlements
landscape architecture
120 south ash avenue
tempe, arizona 85281
480.994.0994



Exhibit 12. *Drainage Improvements*

MacEwen 480

PUD APPLICATION

DRAINAGE IMPROVEMENTS

LEGEND

PROPERTY LIMITS	
FEMA FLOODPLAIN	
FEMA FLOODWAY	
APPROXIMATE EROSION HAZARD SETBACK	
PRELIMINARY CHANNEL ALIGNMENT	
EXISTING BOX CULVERT	
FLOW ARROW	

NOTES:
 APACHE AND MESQUITE WASH FLOWS REFERENCED FROM 1993 APACHE WASH FIS.
 CAVE CREEK PEAK DISCHARGE REFERENCED FROM 1997 CAVE CREEK BELOW CAREFREE HIGHWAY FIS.

Subject to engineering and City review and approval.



APPROX. SCALE: NTS

PRELIMINARY - NOT FOR CONSTRUCTION

Date: 8/28/18

Project No. 1784



land planning
 development entitlements
 landscape architecture
 120 south ash avenue
 tempe, arizona 85281
 480.994.0994

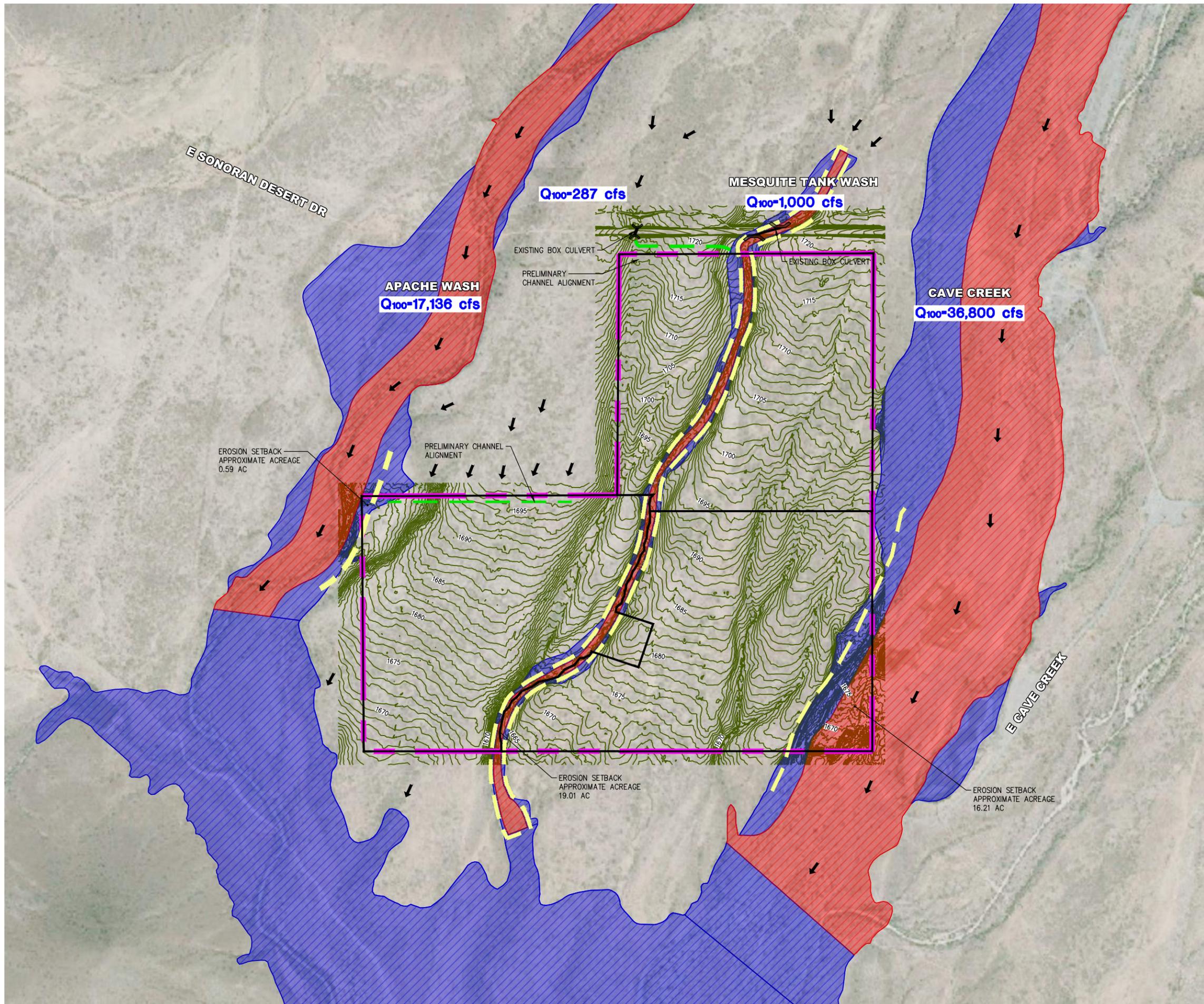
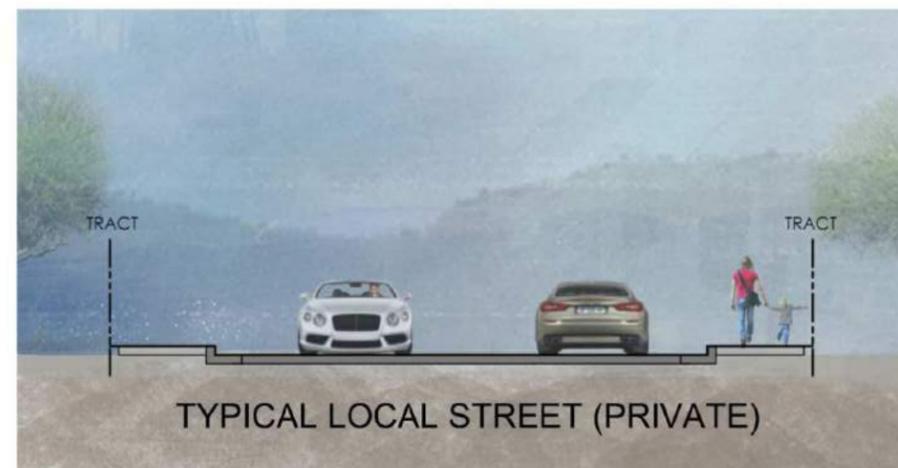


Exhibit 13. *Street Cross Section*

MacEwen 480

PUD APPLICATION

STREET CROSS SECTIONS



Subject to engineering and City review and approval.



APPROX. SCALE: NTS

PRELIMINARY - NOT FOR CONSTRUCTION - COPYRIGHT LVA URBAN DESIGN STUDIO, L.L.C.

Date. 11/7/18

Project No.

taylor
morrison
Homes Inspired by You



GAMMAGE
&
BURNHAM

LVA
an RVI Company

land planning
development entitlements
landscape architecture
120 south ash avenue
tempe, arizona 85281
480.994.0994

HILGARTWILSON
ENGINEER | PLAN | SURVEY | MANAGE