



**City of Phoenix**  
PLANNING & DEVELOPMENT DEPARTMENT

**Staff Report Z-66-21-2**  
**December 8, 2021**

**North Gateway [Village Planning Committee](#) Meeting Date:** December 9, 2021  
**[Planning Commission](#) Hearing Date:** January 6, 2022

**Request From:** [PCD NBCOD](#) (Approved [C-2](#) or [CP M-R PCD NBCOD](#)) (17.63 acres)

**Request To:** [R-3A NBCOD](#) (17.63 acres)

**Proposed Use:** Planned Community District removal and to allow multifamily residential

**Location:** Approximately 600 feet east of the northeast corner of Black Canyon Highway and Sonoran Desert Drive

**Owner:** Lone Mountain Road Investors

**Applicant:** IDM

**Representative:** Jason Morris, Withey Morris, PLC

**Staff Recommendation:** Approval, subject to stipulations

| <a href="#">General Plan Conformity</a>               |                      |   |                           |
|---|----------------------|---|---------------------------|
| <a href="#">General Plan Land Use Map Designation</a> |                      | Primary Village Core, Mixed Use (Commercial/Commerce – Business Park), Preserves/Floodplain |                           |
| <a href="#">Street Map Classification</a>             | 29th Avenue          | Not classified (Pending study)  | Not dedicated             |
|   | Sonoran Desert Drive | Major Arterial  | 70-foot north half street |

**CONNECT PEOPLE & PLACES CORE VALUE; CORES, CENTERS & CORRIDORS; LAND USE PRINCIPLE: Plan cores, centers and corridors to include a variety of land uses: office, retail shopping, entertainment and cultural, housing, hotel and resort, and where appropriate, some types of industry.**

The proposal includes 348 multifamily units across 14 buildings within the North Gateway Village Core. The proposal will provide additional housing opportunities in the Village within close proximity to and expanding W. L. Gore Campus and the proposed Taiwan Semiconductor Manufacturing Company site.

**CELEBRATE OUR DIVERSE COMMUNITIES & NEIGHBORHOODS CORE VALUE; CERTAINTY & CHARACTER; DESIGN PRINCIPLE: DESIGN: Promote neighborhood identity through planning that reinforces the existing landscaping and character of the area. Each new development should contribute to the character identified for the village.**

The proposed development will comply with principles outlined in the North Gateway Core Plan, North Black Canyon Corridor Plan, and North Black Canyon Overlay District. The site will not only maintain the desert character, but also promote walkability and connectivity through the Village Core by having pedestrian walkways along 29th Avenue and Sonoran Desert Drive.

**BUILD THE SUSTAINABLE DESERT CITY CORE VALUE; TREES & SHADE; DESIGN PRINCIPLE: Integrate trees and shade into the design of new development and redevelopment projects throughout Phoenix.**

As stipulated, the site will provide shaded pedestrian pathways. The enhanced shading will create vibrant pedestrian spaces and reduce the urban heat island effect.

#### **Applicable Plans, Overlays, and Initiatives**

**[North Gateway Village Core Plan](#)**: See Background Item Nos. 6 and 7.

**[North Black Canyon Corridor Plan](#)**: See Background Item No. 8.

**[North Black Canyon Overlay District](#)**: See Background Item No. 9.

**[Tree and Shade Master Plan](#)**: See Background Item No. 14.

**[Complete Streets Guiding Principles](#)**: See Background Item No. 15.

**Comprehensive Bicycle Master Plan**: See Background Item No. 16.

**Housing Phoenix**: See Background Item No. 17.

**Zero Waste PHX**: See Background Item No. 18.

| <b>Surrounding Land Uses/Zoning</b>        |  |  |
|--|--|--|
|  | <b><u>Land Use</u></b>                                   | <b><u>Zoning</u></b>   |
| <b>On Site</b>                             | Vacant   | PCD NBCOD (Approved C-2 or CP M-R PCD NBCOD)   |
| <b>North</b>                               | Vacant (proposed multifamily residential)                | PCD NBCOD (Approved C-2 or CP M-R PCD NBCOD) – Pending C-2 NBCOD                           |
| <b>West</b>                                | Skunk Creek Wash   | FH PCD NBCOD   |
| <b>East</b>                                | Vacant (proposed multifamily residential and commercial) | PCD NBCOD (Approved C-2 or CP M-R PCD NBCOD) – Pending R-3 NBCOD, R-4 NBCOD, and C-2 NBCOD |
| <b>South (Across Sonoran Desert Drive)</b> | Vacant (State Trust Land)                                | PCD NBCOD (Approved C-2 or CP M-R PCD NBCOD), FH PCD NBCOD                                 |

| <b>R-3A NBCOD – Planned Residential Development Option</b> |  |  |
|--|--|--|
| <b><u>Standards</u></b>                                    | <b><u>R-3A Requirements</u></b>  | <b><u>Provisions on the Proposed Site Plan</u></b> |
| Gross Acreage  | -  | 17.63 acres  |
| Maximum Total Number of Units                              | 407; 465 with bonus  | 348 units (Met)                                    |
| Maximum Density (dwelling unit/acre)                       | 23.1; 26.4 with bonus  | 19.74 (Met)  |
| Maximum Lot Coverage                                       | 45%  | 21% (Met)  |
| Maximum Building Height                                    | 3 stories or 40 feet for first 150 feet; building height may be increased by 1 foot for every 5 feet of increased setback to a maximum of 4 stories or 48 feet | 3 stories and 40 feet (Met)                        |

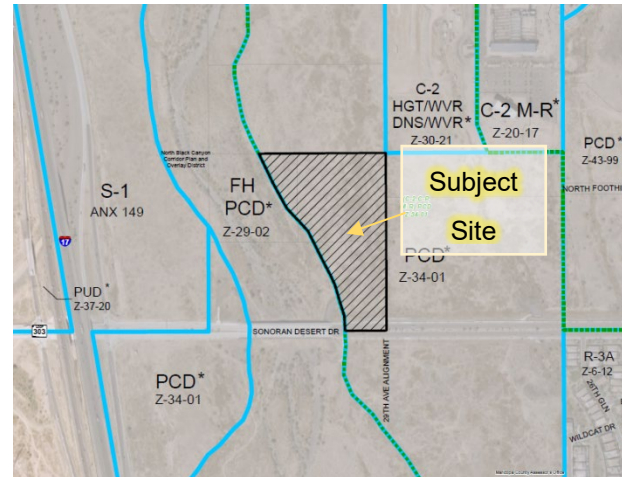
| <b><u>Standards</u></b>   | <b><u>R-3A Requirements</u></b> | <b><u>Provisions on the Proposed Site Plan</u></b>                             |
|---|---------------------------------|--|
| <b><i>MINIMUM BUILDING SETBACKS</i></b>                               |                                 |  |
| Perimeter Adjacent to a Public Street (East and South property lines) | 20 feet                         | East: 20 feet (Met)<br>South: 90 feet (Met)                                    |
| Perimeter Adjacent to a Property Line (North and West property lines) | 15 feet                         | North: 10 feet (Not Met)*<br>West: Setback varies along Skunk Creek Wash (Met) |
| <b><i>MINIMUM LANDSCAPE SETBACKS AND OPEN SPACE STANDARDS</i></b>     |                                 |  |
| Adjacent to Street (East and South)                                   | 20 feet                         | East: 20 feet (Met)<br>South: Not provided                                     |
| Adjacent to Property Line (North and West)                            | 5 feet                          | North: 10 feet<br>West: Not specified  |
| Minimum Open Space  | 5%                              | 20% (Met)  |
| Minimum Amenities Provided  | 2 amenities                     | 7 amenities (Met)  |
| <b><i>MINIMUM PARKING REQUIREMENTS</i></b>                            |                                 |  |
| Parking   | 534 spaces                      | 351 reserved spaces; 297 unreserved spaces; 648 total spaces (Met)             |

\*Variance or Site Plan modification needed.

## **Background/Issues/Analysis**

### REQUEST

1. This is a request to rezone a 17.63-gross acre site located approximately 600 feet east of the northeast corner of Black Canyon Highway and Sonoran Desert Drive from PCD NBCOD (Planned Community District, North Black Canyon Overlay District), approved C-2 or CP M-R PCD NBCOD (Intermediate Commercial or Commerce Park, Mid-Rise, Planned Community District, North Black Canyon Overlay District) to R-3A NBCOD (Multifamily Residential, North Black Canyon Overlay District)



Zoning Map, Source: City of Phoenix Planning and Development Department

to remove the property from the North Gateway Planned Community District (PCD) and allow multifamily residential development. The applicant intends to develop 348 multifamily units across 14 buildings on the site.

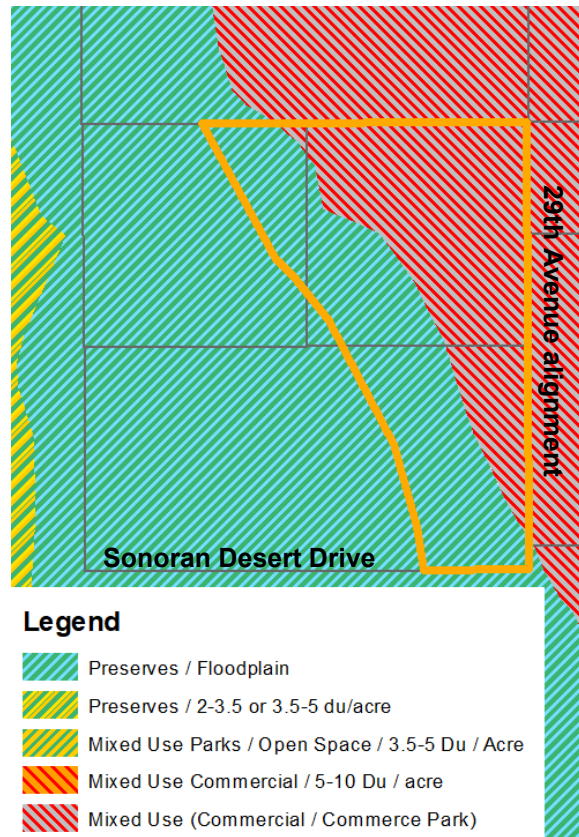
### NORTH GATEWAY PCD AND GENERAL PLAN LAND USE MAP DESIGNATIONS

2. The North Gateway PCD was a City-initiated PCD established in 2001 via Rezoning Case No. Z-34-01 with the intent that a master developer would develop the infrastructure as stipulated in the case. The PCD is now considered defunct since a master developer never constructed the necessary infrastructure and all the parcels are now individually owned. In order for an individual property to develop without the requirement of complying with the overarching PCD infrastructure stipulations, the property must be removed from the PCD via the rezoning process.
3. The North Gateway PCD approved a Mid-Rise Overlay on this property as well as other parcels within the North Gateway Village Core to promote high intensity development. As recommended by staff, removal of the Mid-Rise Overlay is consistent with stipulated heights in the area and heights included with the proposal.

4. The General Plan Land Use Map designation for the east portion of the subject site is Mixed Use (Commercial/ Commerce – Business Park) and the west portion is designated as Preserves/ Floodplain. A Commercial land use designation allows multifamily development at varying scales and intensities.

Additionally, the boundaries of the General Plan Land Use Map designation for Preserves/ Floodplain west of the site do not align with the underlying Flood Hazard (FH) zoning boundary.

The area to the east of the site is designated as Mixed Use (Commercial/Commerce – Business Park). The areas to the north and south are designated as both Mixed Use (Commercial/Commerce – Business Park) and Preserves/Floodplain. The area to the west is designated as Preserves/Floodplain.



**Legend**

- Preserves / Floodplain
- Preserves / 2-3.5 or 3.5-5 du/acre
- Mixed Use Parks / Open Space / 3.5-5 Du / Acre
- Mixed Use Commercial / 5-10 Du / acre
- Mixed Use (Commercial / Commerce Park)

General Plan Land Use Map, Source: City of Phoenix Planning and Development Department

The R-3A NBCOD zoning requested is consistent with the Mixed Use General Plan Land Use Map designation and compatible with existing and future land uses envisioned in the area.

The subject site is also within the North Gateway Village Core and further discussed in Background Item No. 6.

**SURROUNDING USES AND ZONING**

5. North, east, and south of the site are vacant parcels zoned PCD NBCOD (Approved C-2 or CP M-R PCD NBCOD). The properties to the north and east are currently going through the entitlement process to be removed from the North Gateway PCD via Rezoning Case Nos. Z-59-21-2 and Z-28-21-2, respectively. Both sites are planned to develop as multifamily residential with commercial to the east. The area to the west of the site is vacant and zoned FH PCD NBCOD (Flood Hazard and Erosion Management District, Planned



Community District, North Black Canyon Overlay District) and subject to Rezoning Case No. Z-29-02-2.

#### NORTH GATEWAY VILLAGE CORE

6. The subject site is within the North Gateway Village Core. Phoenix City Council adopted the North Gateway Village Core Plan in 2008 to provide guidance in creating a high density, urban environment with Skunk Creek Wash and Bronco Butte as major natural amenities.

The request to remove the subject site from the North Gateway PCD to allow for multifamily development aligns with the plan's principles of providing high density residential uses in the Village Core. The North Gateway Village Core Plan indicated that the site was envisioned to develop as Mixed Use, Commercial/Residential, which encourages a variety of commercial, office, retail, and residential uses, minimizing travel distances between uses. The rezoning request proposes a multifamily residential development in close proximity to future and existing commercial and employment opportunities, promoting a functional community.



North Gateway Core Map; Source: City of Phoenix Planning and Development North Gateway Village Core Plan

7. A Master Street Plan for the North Gateway PCD was never developed, thus the corresponding street alignments and cross sections were not incorporated into the Street Classification Map. Previous requests to remove properties from the North Gateway PCD have included stipulations for street dedications and improvements within the North Gateway Village Core to promote a unified street pattern.

Several property owners and stakeholders within the PCD have commenced a traffic study for the North Gateway Village Core. CivTech, a consulting engineering firm specializing in traffic engineering, is working to complete the study and ensure accurate land use projections. The study is aimed at providing an analysis related to the overall capacity for the roadway network within the

Village Core. The study has been completed and submitted for review and comment at the time of this report and subsequent sections of this report outline the requirements from the Street Transportation Department for this development.

#### NORTH BLACK CANYON CORRIDOR PLAN

8. The subject site is within the North Black Canyon Corridor Plan. The Phoenix City Council adopted the Corridor Plan in 1999 to guide growth and development within the planned area. The proposal is consistent with the intent of the following goals from the plan:

- *Goal 2: Achieve a balance between employment and housing.*  
The proposed development enhances a mixture of uses within the area by locating housing units within close proximity to existing and future employment opportunities. The site is also located within the North Gateway Village Core, which is envisioned as a high-density, mixed use urban environment.
- *Goal 4: Preserve North Sonoran Desert amenities and use these features to define community form and identity.*  
As depicted on the site plan, the developer intends to provide access to Skunk Creek Wash to the west of the site. Skunk Creek Wash is an existing desert feature that provides character and identity to the Village.

#### NORTH BLACK CANYON OVERLAY DISTRICT

9. The subject site is within the North Black Canyon Overlay District (NBCOD). The City Council adopted the NBCOD in 2001 in order to implement the designs and concepts of the North Black Canyon Corridor Plan. The NBCOD ensures development is compatible with the desert environment by providing comprehensive design guidelines. The development will be consistent with the NBCOD guidelines by developing buildings with a desert color palette, as depicted in the building elevations submitted by the applicant. Building design is further discussed in Background Item No. 11.

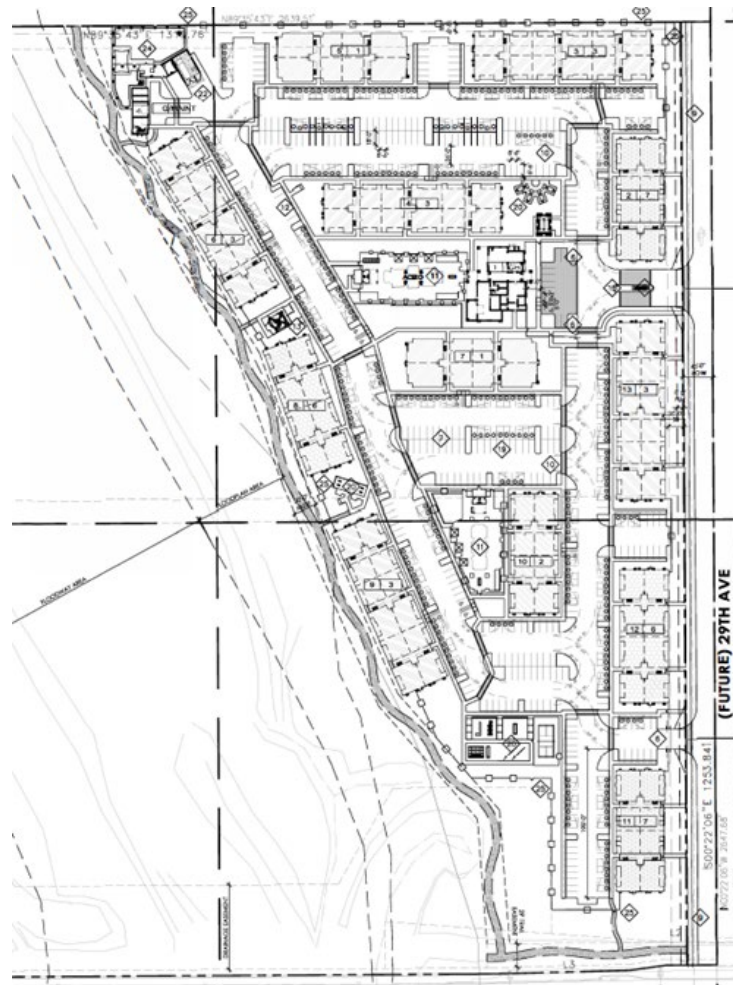
The subject site is directly adjacent to Skunk Creek Wash and, per the NBCOD, the developer will allow the wash to serve multiple functions. In addition to drainage, the wash system will contain trails which function as a recreational and visual amenity.



## PROPOSAL

10. The conceptual site plan proposes 348 multifamily units across 14 buildings with a maximum height of 40 feet. These units are composed of 150 one-bedroom units, 174 two-bedroom units, and 24 three-bedroom units.

There are two entry points to the site from the future 29th Avenue, including a gated main entrance on the north side of the site and a secondary gated driveway on the south side of the site. Both entryways will provide ingress and egress to 29th Avenue, once the roadway is developed. In regard to vehicular parking, there are 351 reserved spaces and 297 unreserved spaces. Of the total number of parking spaces, which are distributed equitably throughout the site, a minimum of 348 spaces will be covered.



Proposed Site Plan; Source: BMA Architecture

There are various open space and amenity areas dispersed throughout the site. The proposed development contains a dog park, pool, event lawn, hammock garden, play structure, pickleball court, community garden, and pedestrian connections to the Skunk Creek Wash trail. The trail along Skunk Creek Wash will be accessible to residents and the public, which supports the proposed vision of having a viable pedestrian corridor through the North Gateway Village Core.

Staff does not recommend general conformance to the conceptual site plan provided by the applicant as modifications to this plan may be required to address Street Transportation Department stipulations that might affect the

location of proposed driveways connecting to 29th Avenue as depicted in this site plan. However, staff recommends Stipulation No. 1 to limit the maximum number of dwelling units to 348. Furthermore, staff is recommending Stipulation Nos. 2 and 3 regarding landscape setback enhancements along the western side of the site and a greater open space percentage, to match the conceptual site and landscape plans. Lastly, staff recommends Stipulation No. 4 to ensure no parking is located directly adjacent to Skunk Creek Wash.

11. The conceptual building elevations depict seven residential building types, in addition to the clubhouse. The elevations include a variety of exterior colors and materials including stucco, brick veneer, and aluminum siding. Each building type creates architectural interest with variation in roof height, textural changes, various window sizes, offsets, and recesses. The conceptual building elevations depict a maximum height of three stories and 40 feet to the top of the roof.



Front/Rear Elevation of Building Type 2; Source: BMA Architecture

Staff is recommending Stipulation No. 5 to ensure buildings have four-sided architecture with a minimum of three materials on each side as well as various architectural embellishments.



Left Elevation of Building Type 2; Source: BMA Architecture

Staff recommends Stipulation No. 6 to ensure colors and materials are in compliance with the NBCOD to promote consistency with other development in the Village Core.



Front Elevation of the Clubhouse; Source: BMA Architecture

12. The conceptual site plan depicts various pedestrian connections throughout the development, including connections to the shared use path along Skunk Creek Wash. Staff recommends Stipulation No. 20 to require a minimum of three shaded pedestrian connections from the development to the shared use path along Skunk Creek Wash and the multi-use trail along Sonoran Desert Drive. Staff is also recommending Stipulation No. 8 to ensure that the development constructs a shared use path within a public trail easement along the east side of Skunk Creek Wash.

Staff is also recommending Stipulation No. 7 to ensure that the development continues the multi-use recreational trail easement along the north side of Sonoran Desert Drive. The developer will construct a minimum 10-foot-wide multi-use trail within that easement.

Stipulation No. 9 requires walkways, including public sidewalks, be shaded a minimum of 75 percent to promote thermal comfort and walkability. Stipulation No. 10 requires that alternative paving material be utilized where pedestrian paths and vehicular drives intersect to promote pedestrian safety. Stipulation No. 11 requires pedestrian pathway be connected using the most direct route for pedestrians. Of those pedestrian pathways, one pathway shall be an ADA accessible pedestrian connection to the bus stop pad along westbound Sonoran Desert Drive directly from the internal pathways of the development, also discussed in Stipulation No. 11.

13. The North Gateway Waste Transfer Station, located approximately half a mile south of the subject site is an industrial use that has been in operation since 2005 and could cause noise, odors, or other impacts to future residents of this project. Additionally, approximately one mile to the southeast of the site is a granite mining operation which could cause further impacts to the surrounding area. Lastly, Lift Station 66 is located south of the North Gateway Waste Transfer Station.

Staff is proposing Stipulation Nos. 25 and 26 to ensure future buyers and/or renters are notified about the existence and operational characteristics of the above uses.

#### CITYWIDE STUDIES AND POLICIES

##### 14. **Tree and Shade Master Plan**

The Tree and Shade Master Plan has a goal of treating the urban forest as infrastructure to ensure trees are an integral part of the City's planning and development process. Sidewalks on street frontages should be detached from the curbs to allow trees to be planted on both sides of the sidewalk to provide thermal comfort for pedestrians and to reduce the urban heat island effect. To contribute to future improvements of this site and the urban forest infrastructure,

staff is recommending that a minimum of 75 percent of the pedestrian pathways, be shaded by structures or landscaping, which is addressed in Stipulation No. 9.

**15. Complete Streets Guiding Principles**

In 2014, the City of Phoenix City Council adopted the Complete Streets Guiding Principles. The principles are intended to promote improvements that provide an accessible, safe, connected transportation system to include all modes, such as bicycles, pedestrians, transit, and vehicles. Staff recommends Stipulation Nos. 12 and 13 to require detached sidewalks along adjacent public streets and bicycle parking to promote various methods of transportation.

**16. Comprehensive Bicycle Master Plan**

The City of Phoenix adopted the Comprehensive Bicycle Master Plan in 2014 to guide the development of its Bikeway System and supportive infrastructure. Bicycle lanes have been designated within Sonoran Desert Drive, south of the subject site. Staff recommends bicycle parking be provided for both residents and guests. Bicycle parking is addressed in Stipulation No. 13.

**17. Housing Phoenix**

In June 2020, the Phoenix City Council approved the Housing Phoenix Plan. This plan contains policy initiatives for the development and preservation of housing with a vision of creating a stronger and more vibrant Phoenix through increased housing options for residents at all income levels and family sizes. Phoenix's rapid population growth and housing underproduction has led to a need for over 163,000 new housing units. Current shortages of housing supply relative to demand are a primary reason why housing costs are increasing. The proposed development will provide up to 348 multifamily units, which supports the plan's goal of preserving or creating 50,000 housing units by 2030 and contributes to a variety of housing types that will address the supply shortage.

**18. Zero Waste PHX**

The City of Phoenix is committed to its waste diversion efforts and has set a goal to become a zero waste city, as part of the City's overall 2050 Environmental Sustainability Goals. One of the ways Phoenix can achieve this is to improve and expand its recycling and other waste diversion programs. Section 716 of the Phoenix Zoning Ordinance establishes standards to encourage the provision of recycling containers for multifamily, commercial, and mixed use developments meeting certain criteria. Per the applicant's proposed site plan, recycling facilities will be available on site.

**COMMUNITY INPUT SUMMARY**

19. At the time the staff report was written, staff had not received any community correspondence regarding this request.

#### INTERDEPARTMENTAL COMMENTS

20. The Public Transit Department provided comments pertaining to a bus stop pad along westbound Sonoran Desert Drive. Additionally, the Department provided comments requiring the developer provide an ADA accessible pedestrian connection from the development to the proposed bus stop pad. These are addressed in Stipulation Nos. 11, 14, and 15.
  
21. The Street Transportation Department provided the following comments:
  - The developer shall provide detached sidewalks with a landscape area between the back of curb and back of sidewalk at a minimum of 10 feet in width to meet the Street Classification Map requirements. This is addressed in Stipulation No. 12.
  - The developer shall provide bicycle infrastructure for residents and guests. This is addressed in Stipulation No. 13.
  - The applicant shall submit a Traffic Impact Study to the City for the development. This is addressed in Stipulation No. 16.
  - The developer shall provide the appropriate dedication and construction of adjacent right-of-way. This is addressed in Stipulation Nos. 17 through 19 and 21.
  - The development shall provide shaded pedestrian connections from the development to Skunk Creek Wash and any designated trails. This is addressed in Stipulation No. 20.
  
22. The Water Services Department commented that the closest water main is within Sonoran Desert Drive and a water main extension will be required at development. Additionally, there are no existing sewer mains fronting the project site and a sewer main extension will be within Sonoran Desert Drive and 29th Avenue to the point of need. The Department stated that depending on the timing for the development, there may or may not be downstream sewer capacity issues. The Department noted that capacity is a dynamic condition that can change over time due to a variety of factors and the City is only able to provide assurance of water and sewer capacity at the time of preliminary site plan approval.
  
23. The Floodplain Management Division of the Public Works Department has indicated that the parcel is located in a Special Flood Hazard Area (SFHA), as designated by the Federal Emergency Management Agency (FEMA). The division indicated that no encroachment is allowed in the floodway without

hydrologic and hydraulic analysis showing no rise in water surface elevation and increase in the SFHA boundaries.

24. The Fire Department indicated that the site, buildings, water supply, fire hydrants, and gates will comply with the Phoenix Fire Code.

#### **OTHER**

25. The site is located in a larger area identified as being archaeologically sensitive. If further review by the City of Phoenix Archaeology Office determines the site and immediate area to be archaeologically sensitive, and if no previous archaeological projects have been conducted within this project area, it is recommended that archaeological Phase I data testing of this area be conducted. Phase II archaeological data recovery excavations may be necessary based upon the results of the testing. A qualified archaeologist must make this determination in consultation with the City of Phoenix Archaeologist. In the event archaeological materials are encountered during construction, all ground disturbing activities must cease within a 33-foot radius of the discovery and the City of Phoenix Archaeology Office must be notified immediately and allowed time to properly assess the materials. This is addressed in Stipulation Nos. 22 through 24.
26. Development and use of the site are subject to all applicable codes and ordinances. Zoning approval does not negate other ordinance requirements. Other formal action such as, but not limited to, zoning adjustments and abandonments, may be required.

#### **Findings**

1. The development is consistent with the Phoenix General Plan Land Use Map designation of Mixed Use (Commercial/Commerce – Business Park).
2. The R-3A NBCOD zoning district will allow development that is consistent in character with the vision of the North Gateway Village Core Plan and the North Black Canyon Corridor Plan and Overlay District.
3. The proposed development furthers the goals of the Housing Phoenix Plan by increasing housing options for residents within close proximity to employment options.

#### **Stipulations**

1. The development shall be limited to a maximum of 348 dwelling units.



2. A development shall provide a minimum landscape setback of 10 feet between the shared use path along Skunk Creek Wash and any fencing or buildings on the west side of the site, as approved by the Planning and Development Department.
3. A minimum of 15 percent of the gross site area shall be retained as open space, as approved by the Planning and Development Department.
4. Surface parking shall be located a minimum of 50 feet from the western property line along Skunk Creek Wash, as approved by the Planning and Development Department.
5. All elevations of the building shall contain a minimum of three building materials as well as architectural embellishments and detailing such as textural changes, pilasters, offsets, recesses, variation in window size and location, and/or other overhang canopies, as approved by the Planning and Development Department.
6. All buildings and wall colors and materials shall be in compliance with the North Black Canyon Overlay District with specific regard to colors being muted and blending with, rather than contrasting strongly, the surrounding desert environment, as approved by the Planning and Development Department.
7. A minimum 10-foot-wide public multi-use trail (MUT) shall be constructed within a 30-foot-wide multi-use recreational trail easement (MURTE) along the north side of Sonoran Desert Drive in accordance with Section 429 of the City of Phoenix MAG Supplemental detail, as approved by the Planning and Development Department.
8. A minimum 10-foot shared use path (SUP) shall be constructed within a 25-foot-wide public trail easement (PTE) along the east side of Skunk Creek Wash as indicated in Section 429 of the City of Phoenix MAG Supplement, as approved by the Planning and Development Department.
9. A minimum of 75 percent of pedestrian pathways and sidewalks shall be shaded by a structure, landscaping, or a combination of the two, as approved by the Planning and Development Department.
10. Where pedestrian pathways cross drive aisles, the pathway shall be constructed of decorative pavers, stamped or colored concrete, or another material, other than those used to pave parking surfaces and drive aisles, as approved by the Planning and Development Department.
11. Accessible pedestrian pathways shall be provided to connect building entrances, public sidewalks, community amenities and the bus stop pad along Sonoran

Desert Drive, using the most direct route for pedestrians, as approved by the Planning and Development Department.

12. All sidewalks along public streets shall be detached with a minimum 10-foot-wide landscaped strip located between the sidewalk and back of curb and shall include minimum two-inch caliper shade trees planted 20 feet on center or equivalent groupings, as approved by the Planning and Development Department. Where utility conflicts arise, the developer shall work with the Planning and Development Department on an alternative design solution consistent with a pedestrian environment.
13. The developer shall provide secured bicycle parking per Section 1307 of the City of Phoenix Zoning Ordinance. In addition, a minimum of 17 inverted U-bicycle racks shall be provided for guests located near the clubhouse or distributed throughout the site and installed per the requirements of Section 1307.H of the Zoning Ordinance, as approved by the Planning and Development Department.
14. The necessary street right-of-way shall be dedicated, and a bus stop pad constructed per City of Phoenix Standard Detail P1260 along westbound Sonoran Desert Drive, as approved by the Planning and Development Department. The bus stop pad shall be spaced from 29th Avenue according to City of Phoenix Standard P1258.
15. The bus stop pad along Sonoran Desert Drive shall be shaded a minimum of 50 percent using shade trees at full maturity, as approved by the Planning and Development Department. Where utility conflicts arise, the developer shall work with the Planning and Development Department on an alternative design solution consistent with a pedestrian environment.
16. The applicant shall submit a Traffic Impact Study to the City for this development. No preliminary approval of plans shall be granted until the study is reviewed and approved by the City. The developer shall be responsible for traffic signal funding and/or escrow contribution as determined by the approved Traffic Impact Study.
17. Access control for the development site shall be in compliance with the City of Phoenix Street Planning and Design Guideline Standards, as approved by the Street Transportation Department.
18. The developer shall dedicate and construct the west half of 29th Avenue as required by the Traffic Impact Study and Master Street Plans, as approved by the Street Transportation Department.

19. The developer shall dedicate a minimum 70 feet of right-of-way and construct a City classified "A" section roadway for Sonoran Desert Drive, as approved by the Planning and Development Department.
20. The developer shall provide a minimum of three shaded pedestrian connections from the development to designated or required trails and shared-use paths adjacent to the site, as approved by the Planning and Development Department.
21. The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping, and other incidentals, as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.
22. If determined necessary by the Phoenix Archaeology Office, the applicant shall conduct Phase I data testing and submit an archaeology survey report of the development area for review and approval by the City Archaeologist prior to clearing and grubbing, landscape salvage, and/or grading approval.
23. If Phase I data testing is required, and if, upon review of the results from the Phase I data testing, the City Archaeologist, in consultation with a qualified archaeologist, determine such data recovery excavations are necessary, the applicant shall conduct Phase II archaeological data recovery excavations.
24. In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground-disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.
25. Prior to final site plan approval, the property owner shall record documents that disclose to purchasers of the property the existence and operational characteristics of active mining operations, Lift Station 66, and the North Gateway Solid Waste and Recycling Transfer Facility. The form and content of such documents shall be according to the templates and instructions provided which have been reviewed and approved by the City Attorney.
26. Prior to occupancy, signage must be provided within the development's sales/leasing office (or equivalent signage) that is visible to prospective renters or purchases which discloses the existence and operational characteristics of active mining operations, Lift Station 66, and the North Gateway Solid Waste and Recycling Transfer Facility, as approved by the Planning and Development Department.

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**Writer**

Julianna Pierre

December 8, 2021

**Team Leader**

Samantha Keating

**Exhibits**

Zoning sketch map

Aerial sketch map

Conceptual site plan date stamped October 15, 2021

Conceptual building elevations date stamped October 15, 2021 (10 pages)

Conceptual landscape plan date stamped December 7, 2021

Open space plan date stamped October 15, 2021

Wall plan date stamped October 15, 2021 (2 pages)