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Block 6 Minor Amendment – 2019

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A Planned Unit Development (PUD) is intended to be a stand-alone document of zoning regulations for a particular project. Provisions not specifically regulated by the PUD are governed by the zoning ordinance. A PUD may include substantial background information to help illustrate the intent of the development. The purpose and intent statements are not requirements that will be enforced by the City. The PUD only modifies zoning ordinance regulations and does not modify other City Codes or requirements. Additional public hearings may be necessary such as but not limited to right-of-way abandonments.

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- Traffic Study / Statement

A. PURPOSE AND INTENT

1. Project Overview and Goals

The purpose of the PUD is to create specific standards and guidelines tailored for the appropriate redevelopment of nearly 12 acres of downtown property. The goal is to reinvigorate the area with a properly curated mixture of living, working, playing, and visitor options necessary to Phoenix’s evolution into a more diverse and cosmopolitan city. The development will specifically meet several aspects of the city’s stated redevelopment goals. Given its sustainability initiatives, diversity, mix of uses, and urban infill concepts, the project has the potential to be an emblematic, socially responsible development that can be seen as a model for continued downtown growth and urbanization.

2. Overall Design Concept

The overall design concept is to create a lively, urban, mixed-use development that promotes and sustains live/work and entertainment options while creating a “sense of place” currently lacking in the area. Conceptual uses include boutique hotels, a mix of residential options, various entertainment venues including an art house cinema, live music venues, restaurants and lounges, street level retail, and an assortment of creative office space. There are several key themes and significant features which define the project:

Local Commerce

With approximately 150,000 square feet of leasable retail space, the project will greatly increase the variety of retail and entertainment options for the Phoenix downtown experience. The focus will be on the securing and fostering of unique, high-quality local businesses, restaurants, and clubs, as opposed to the typical national chains already available throughout the valley.

Sustainable Development

The development will endeavor to become a model of good urban sustainability practices. Beyond the obvious benefits of a walkable live, work, and play district, the project benefits downtown as a whole by maximizing underused urban land in the heart of the City, minimizing auto dependency, and maximizing the City’s investment in light rail. Sustainability will also be a guiding force in the development’s design, construction practices, building materials and systems selection, as well as ongoing operations.

Embrace and Activate the Public Realm

The PUD embraces many key components that contribute to a walkable, urban experience. These include but are not limited to wide, shaded sidewalks, ground level retail uses that maintain a visual connection to the public right-of-way, outdoor seating and dining, and visually stimulating design and architecture. The PUD guidelines for parking ensure that the pedestrian, not vehicles, takes priority. A portion of 2nd street is proposed to be repositioned as a public courtyard. Design schemes for full city block developments include interior courtyards while a prevalent use of balconies and roof decks will greatly increase the “eyes on the street”.

Variety and Authenticity

Authentic districts are the product of many influences. Along with the preservation and adaptation of key historic properties, the developer will be commissioning a variety of architects for the design and development of new buildings. These structures will reflect our unique region, climate, and culture, while showcasing Phoenix's role as an innovative, 21st century city of planning, innovation, and design.

Creative Class Work Environment

The above stated themes, combined with the creation of boutique office space (contrasted in design, layout, and juxtaposition with surrounding uses by incorporating smaller floor plates closer to the street), will result in a place that will attract employees, employers, and entrepreneurs dedicated to creative pursuits such as design, media, entertainment, and the arts. These office spaces will complement downtown's existing office inventory while providing an alternative to the traditional office tower.

B. LAND USE PLAN

1. Description of Land Use Category

Being an urban location with an emphasis on vertical and mixed-use development, one (1) land use category is employed: Mixed-Use. Exhibit 8 is the Land Use Map, which is submitted to meet the requirements of the PUD ordinance section 671.E.1.C.

2. Discussion of Conceptual Site Plan

Exhibit 9 and Exhibit 10 are the Conceptual Site Plan, Conceptual Elevations, and Conceptual Sections which show the overall breakout of uses by block and the conceptual layout of the project. These Exhibits are conceptual only. Both exhibits should be referred to when reviewing the below information. Starting at the northwest edge of the PUD, the conceptual land use is currently envisioned as follows:

Block 6

On the west edge of this block is the existing Beacon Building. Although not designated historic, plans call for this structure to be preserved and adaptively reused. The remainder of Block 6 shall be developed with a hotel use that will provide a modern, urban-style hospitality product lacking in the downtown area.

The residential component sits upon ground level retail and will also be designed to accommodate a level of creative office space as well. For the time being, the existing Jackson's on 3rd venue will remain at the corner. Future intention is for this site to be re-developed into a larger live performance venue. This venue will provide a place for live music and entertainment seven nights a week as well as a place for marquee concert and performance events. A full service restaurant and private club is also envisioned. The proposer realizes that such a development would likely require a Major Amendment to the PUD in the future.

Block 8

A boutique hotel/condo is envisioned for this corner. At less than 100 rooms, the hotel will serve a niche not yet satisfied in the downtown area – an urban alternative to the large convention hotels. The project will have a unique design, theme, atmosphere, and marketing plan to appeal to an alternate clientele as those drawn to the convention hotels. The street level will consist of retail, restaurant(s), and hotel accessories. Mid-level will house the residential parking garage wrapped by meeting rooms and ballroom space. Atop the garage will be a roof garden and pool area flanked on the west by the hotel tower and to the south by the condominium tower. A sky bar and terrace is envisioned atop the hotel tower.

Immediately to the east of the hotel/condo, is the recently completed Summit Condos which will be incorporated into the development plan through its integrated retail, streetscape, and signage.

Block 11

This block is designed to accommodate a variety of uses including commercial, retail, hotel, office, and residential uses. A higher-end residential project is envisioned for the block. A rooftop pool and garden areas will be incorporated.

The southern portion of Block 11 will include the preservation and adaptation of two (2) structures with Historic Preservation zoning on them - the El Fresnal Grocery Store and the Gerardo's Building. The location of new structures combined with the existing historic buildings, will create a great outdoor courtyard and opportunities for patio dining.

Block 12

This block is designated to accommodate a variety of uses including commercial, retail, hotel, office, and residential uses. The design envisions a vibrant and active residential community surrounding two large courtyard spaces, providing a safe and engaged environment for residents, their families, and their guests.

C. SITE CONDITIONS AND LOCATION

See Exhibit 3 Area Vicinity Map and Exhibit 4 Aerial Map for reference.

1. Acreage

The site consists of roughly seven (7) acres of private property, while the PUD zoning boundaries (to the center of adjacent streets) makes the site roughly 12 acres.

2. Location in Relationship to Major Intersection or Areas of Significance

The PUD is located in the heart of downtown Phoenix, with the northern section of the PUD located within the City's original township site. The two (2) major downtown sporting venues are immediately adjacent to the site - US Airways Center to the north and Chase Field to the east. Several major cultural venues are within blocks of the site including The Phoenix Convention Center, Heritage Square and Science Center, Herberger Theater, Orpheum Theater, Dodge Theater, and Symphony Hall. The downtown business district, including City, State, and County facilities are also just blocks from the PUD, while the new, Arizona State University downtown campus is just a short walk to the north.

Several major freeways are just minutes away in any direction. 7th Street is a major north-south thoroughfare located three blocks to the east, while the major east-west thoroughfares of Jefferson Street and Washington Street are located just north of the site. One light-rail station sits near the northern boundary of the site, while another station is a short walk to the northwest.

3. Topography and Natural Features

There are no natural features or significant topographical features on site. The Mean Sea Level is roughly 1085 feet. The Union Pacific Railroad tracks bisect the northern and southern sections of the PUD. The properties currently consist of paved parking lots, dilapidated structures, or low strung warehouse buildings. Four (4) existing buildings within the PUD area are slated for preservation and adaptive re-use, while the rest of the projects are envisioned as new construction.

D. GENERAL PLAN & DOWNTOWN PLAN CONFORMANCE

1. General Plan

The PUD meets a variety of General Plan objectives, policies, and design guidelines. This section will focus on the goals established in the Land Use Element of the General Plan with special attention given to the key planning areas in which the project is located, including: The Central City Primary Core, The Enterprise Zone, The Downtown Employment Center, and The Infill Incentive District.

Land Use Goal #1 – Urban Form

Core Policy #1 – Locate land uses with the greatest height and most intense uses within limits based upon village character, land use needs, and transportation system capacity.

Half of the property within the PUD falls within the Central City Village Core, while the remainder is immediately adjacent to that core (see Exhibit 7). While height is used intermittently in the design, the key areas of height are well within the character of the Central City Village and especially in line with that of the Central City Village Core. The accompanying intensities of uses are also well within the character of the village which purports to be the “cultural, educational and entertainment center”.

Furthermore, the transportation system capacity is well equipped to handle the development. As the central location in a major metropolitan city, the site is virtually wrapped by freeway access points in minutes in any direction. More importantly however, a light rail station is one block away.

Core Policy #3 – Include a variety of land uses: office, retail, shopping, entertainment and cultural, housing, hotel and resort, and where appropriate, some types of industry.

The PUD contains all of the land uses mentioned above, excluding industry. These conceptual uses include: multiple boutique hotels, a mix of residential options, various entertainment venues including an art house cinema, a live music venue, a variety of restaurants and lounges, street level retail, and an assortment of creative office space.

Core Policy #4 – Provide a pedestrian environment with plazas, common open space, shaded walkways, separation of pedestrian and vehicular traffic, bicycle parking, and vehicle parking in architecturally disguised structures or underground.

The PUD is designed with the pedestrian in mind. The streetscape standards call for large, shaded, walkable sidewalks with gathering places complete with amenities that encourage pedestrian interaction. Several public plazas are provided and the PUD design standards require these to be inviting, comfortable, and pedestrian oriented spaces. The vast majority of the provided parking in the PUD is located below grade, while above grade garages are required to be wrapped with habitable space or be architecturally screened.

Core Policy #8 – Reserve additional height for projects providing the best mix of uses, the most amenities and infrastructure improvement, and creating the least impact on adjacent land uses due to height, traffic, or view obstruction.

As stated previously, and as seen in the exhibits, the project has an array of varying building heights that would be expected in a downtown environment. This “additional” height enables the vast mix of uses provided, while also achieving a desired downtown density. Amenities and infrastructure improvements are also extraordinary. As far as impact on adjacent land uses due to height, traffic, or view obstruction, the mixed-use nature of the project will help to mitigate traffic in the area (along with the opening of light rail), while view obstruction is minimal, especially when compared to the nearby, central downtown core uses.

Land Use Goal #2 – Employment and Population Balance

Policy #9 –Promote development of jobs in the State Enterprise Zone and participate in State or Federally funded programs such as enterprise communities, empowerment zones or new market initiative that are available.

The entire PUD is located within the City identified Enterprise Zone and, as demonstrated in documents submitted under separate cover to the Downtown Development Office, the number and variety of employment opportunities and the fiscal benefit for the City created throughout the development will be significant. Not including jobs created during the construction phase, over 2200 permanent fiscal jobs are predicted for the project at build-out. Current tax revenue predictions over \$6M in one-time collection during build-out, followed by over \$4M in annual tax revenue from operations.

Policy 11 –Promote the development of jobs in Employment Centers identified on the map below [the Employment Centers and Village Cores map Figure 26 in the General Plan] in addition to village cores.

The entire PUD is located within the City identified Downtown Employment Center; one of eleven (11) such centers in the City. The PUD will enable the creation of numerous small business and entrepreneurial job opportunities.

Land Use Goal #3 – Infill

Policy #1 –Identify infill development incentive districts in which fees may be waived and development standards modified based on use permit public hearings and an adopted plan for the district.

The entire PUD is located within the City identified Infill Incentive District. PUD zoning is the ideal method by which development standards can be modified, through a public process, to enable appropriate development to occur on these infill sites. Additionally, being in the Infill Incentive District, the developer will seek the customary fee reductions and incentives consistent with established City policies.

Policy #5 –Encourage the development or redevelopment of vacant and underutilized parcels within the urbanized area that is consistent with the character of the area or with the area’s transitional objectives.

Several vacant and underutilized parcels exist within the PUD. The scheme fills these parcels with development that is akin to both the existing character and the area’s transitional objectives. The existing character of the area includes historic buildings, a state-of-the-art arena and stadium, and a recently completed 22-story residential tower, while the transitional objective of the City is to transform the area into a vibrant entertainment district. The PUD satisfies both of these objectives through the conservation and reuse of historic properties, the infusion of new office, residential units, and the development of new retail and entertainment venues.

Land Use Goal #4 – Mixed Land Use Development

Policy #1 –Support healthy urban villages, with a balanced mix of housing, employment opportunities and services as a principal means to reduce vehicle trip length and associated emissions.

With conceivably more than 600 residential units, more than 200 hotel rooms, more than 150,000 square feet of retail, and over 150,000 square feet of office space, the conceptual plan is a well-balanced mix of uses of a quality and scale not yet realized in this urban village. Its allowable uses promote walkability, reduce vehicle trips, and foster a live/work/play lifestyle that removes automobiles from City streets, promotes light rail use, and reduces polluting emissions.

Land Use Goal #7 – Transit Oriented Development (TOD)

Policy #1 –Develop land use and design regulations governing land close to transit centers and light rail stations, to maximize the potential for ridership.

The land use will undoubtedly generate ridership on the nearby transit line. This is accomplished through the infusion of new residents close to the station as well as the new influx of visitors and employers that will use the rail to arrive at the new office and entertainment venues.

Conservation, Rehabilitation, & Redevelopment Goal #1 – Historic, Cultural and Character Preservation

Policy #1 –Encourage the protection, preservation and designation of historic resources.

The PUD protects, preserves, and designates historic resources. Two (2) undesignated buildings within the PUD received HP zoning while two (2) designated buildings within the PUD received upgraded designation from HP zoning to HP-I (Landmark) zoning and conservations easements will be sought. See Section M Historic Preservation for more detail.

2. The Downtown Plan

The Downtown Plan provides direction for implementation of the community vision for an active, pedestrian-oriented and sustainable downtown. Chapter 1 provides background, as well as an overall vision, while the subsequent chapters 2 through 7 provide more specifics and policies. Some overlap exists between the goals of the General Plan and the policies of the Downtown Plan, and therefore, for the sake of brevity, this section will focus on policies derived from chapters 2 through 7.

Policy 3-5 – Character Area, Light Rail Corridor

Develop urban design standards that will encourage high density development that maximizes commercial and residential activity around transit stations.

As stated in the Section C Site Conditions, the PUD is located a block from one light rail station and just a few blocks from a second station. The design standards of the proposed PUD encourage high density development that maximizes activity around these stations via several methods, including, but not limited to: (1) Enabling 100% lot coverage, thus allowing projects to maximize the potential of their downtown location; (2) allowing greater heights per block, thus enabling a higher concentration of uses per site; and (3) mandating minimum densities within the PUD, thus ensuring a significant residential population.

Policy 3-6 – Character Area, Light Rail Corridor

Emphasis should be on ground-floor active uses such as retail and restaurants, and in minimizing the use of blank walls to increase visual connectivity between businesses, pedestrians and transit riders.

The PUD addresses this policy by mandating active ground-floor uses, such as retail and restaurants. Outdoor dining is also allowed by right within the PUD, further fostering an active pedestrian environment and visual connectivity. Residential units at ground level shall provide pedestrian access to all manner of amenities and activities in and beyond the boundaries of the PUD. Although a theater may be incorporated into the project, the actual screen rooms would be pushed back from the street, and/or placed above street level retail. The design guidelines also incorporate stringent anti-blank wall standards.

Policy 3-34 – Character Area, Warehouse Character Area

Encourage the preservation of entire warehouse buildings rather than just building facades whenever possible.

Where possible, the buildings slated for preservation and rehabilitation will be preserved to the greatest extent possible. Some of these buildings currently present a blank façade to the public realm. While the facades may need to be “opened up” some to foster a better visual and physical connection to the public realm, it is the goal to preserve as much of the original structure as possible.

Policy 3-38 – Character Area, Warehouse Character Area

Develop shared parking that will serve the entire Warehouse Character Area.

Besides the parking provided for individual buildings, a major component of the PUD is a below grade parking garage beneath Block 7. The garage will be available for public parking to properly serve both daytime and nighttime parking needs of the area.

Policy 4-7 – Sustainable Development in a Desert Climate, Building Form and Shade

Prepare development standards for roofing materials to reduce heat gain using the Standard Reflectivity Index (SRI).

The PUD mandates minimum SRI values for a minimum of 75% of the roof surface. It also allows for vegetative roofs to be used in lieu of the SRI values.

Policy 4-10 – Sustainable Development in a Desert Climate, Building Form and Shade

Provide development standards that require a minimum of 50 percent shade in publicly accessible plazas, courtyards, and other public spaces (publicly or privately owned). Shade from adjacent buildings or structures can be counted towards the total.

The PUD mandates that a minimum of 50% of courtyard areas be shaded and the PUD enables shade from adjacent buildings and structures to count towards this calculation.

Policy 5-6 – Circulation and Parking Plan, Vehicles

Alley access and maneuvering should be permitted by right.

The PUD enables access and maneuverability in alleys as a matter of right.

Policy 5-17 – Circulation and Parking Plan, Pedestrians

Adopt revised roadway and streetscape design standards that help create a comfortable pedestrian environment and reflect current sustainability research and goals.

The roadway and streetscape standards of the PUD are designed with the pedestrian in mind. The curb to curb distance has been reduced to a more pedestrian friendly crossing distance while still enabling parallel parking and the same amount of traffic lanes. More frequent planting of trees combined with taller buildings creates more shade and, where possible, storm water and condensate will be used to water street trees. See Exhibit 12 and Exhibit 13.

Policy 5-24 – Circulation and Parking Plan, On Street Parking

Maintain on-street parking spaces for short-term parking in critical locations to the maximum extent feasible to support retail restaurant, and service uses.

The PUD roadway and streetscape plan maintains on-street parking while re-organizing the spaces in a more cohesive manner than what currently exists. See Exhibit 12 and Exhibit 13.

Policy 5-30 – Circulation and Parking Plan, On Site Parking

Establish design standards for new above ground parking structures that requires active uses at the ground level where adjacent to the street.

Policy 5-31 – Circulation and Parking Plan, On Site Parking

Encourage parking be provided in the rear of the property, underground or wrapped with other uses.

The parking standards of the PUD address both of the above policies. Currently, each Block envisions some measure of below grade parking, except for Block 6. For portions above ground, structures are required to be wrapped with habitable spaces (exclusive of ingress/egress), at the ground level, and the 2nd floor and above must be wrapped for a minimum of 60% of the street frontage.

Policy 6-2 – Zoning and Urban Form Standards, Urban Design Standards

Develop standards that will support, enhance and balance new development with historic properties within the Downtown Urban Form Area.

There are two (2) properties with Historic Preservation zoning within the PUD area; the El Fresnal Grocery Store, 310 E. Buchanan St., and the Gerardo’s building, 421 S. 3rd St., both located on Buchanan Street between 3rd and 4th Streets. The PUD upgrades the zoning designation for these two (2) properties from HP to HP-L (Landmark). (See Section M Historic Preservation for more detail). Additionally, the PUD places Historic Preservation (HP) zoning on two (2) additional buildings which were previously undesignated – the Fuller Paint/Beacon Upholstery building, 117 E. Jackson St., and the Graham Paper Company Warehouse, 521 S. 3rd St./310 E. Lincoln St.. The PUD calls for the rehabilitation of these four (4) structures under strict development standards set forth by the Historic Preservation Office, including the allowable colors, the allowable articulation of building elements such as doors and windows, and the allowable design elements such as materials and building form. In order to support, enhance, and balance these standards, design standards for new construction creates a counter point by enabling and encouraging variety and flexibility in new building design, form, and materials.

Policy 7-6 – Implementation Plan, Sustainability Coordinator

Develop a “green roof” program to encourage the use of roof tops in Downtown as usable open space and an amenity for resident, employees, and visitors.

The PUD, as currently envisioned, places a priority on the development and use of roof top areas. In support of the above policy, the development of these spaces could serve as a case study for the City’s “green roof” program, as well as a showcase for other downtown projects.

E. ZONING AND LAND USE COMPATIBILITY

1. Describe Existing Zoning

Existing (Euclidian Zoning)

The entire site is within the Warehouse Overlay (see Exhibit 5). North of the rail road tracks the zoning is Downtown Core. South of the rail road tracks the zoning is A-1 and two (2) properties have Historic Preservation Overlays on them. To the north of the site is Downtown Core. To the immediate east is A-1/Downtown Core zoning and Warehouse Overlay. To the south is more A-1 zoning. To the west is more A-1/Downtown Core zoning and Warehouse Overlay.

Objectives and Policies

The objective of the A-1 zoning is to allow for industrial uses and activity that is inoffensive to nearby commercial and residential uses. The A-1 zoning, while still applicable to some properties in the area, is somewhat of a remnant to the area's industrial past. Its objectives are therefore outdated and not applicable to the site in question. This is further evidenced by the City's placement of the Warehouse Overlay upon the area in the mid-1990's. The objective of the Warehouse Overlay is to "preserve the unique character, promote the mixed vitality and ensure a mix of land uses appropriate to a pedestrian entertainment environment." It goes on to state that a vertical mix of uses is encouraged over other uses to increase the intensity, vitality, and viability of the area. The objectives of Downtown Core zoning are to implement the Downtown Plan and to encourage a variety of uses of sufficiently significant scale and intensity to provide a focus for the region.

Conformance

The PUD does not conform to the objectives of the A-1 zoning. Industrial uses will not be employed in the area. The proposal will conform to the objectives of the Downtown Core as well as several Warehouse Overlay objectives.

As noted in Section M Historic Preservation, four (4) properties within the PUD will be adaptively reused with modern uses and conservation easements will be sought. This is in keeping with the preservation aspect of the Warehouse Overlay. Furthermore, the PUD injects vitality and a mix of uses appropriate for a pedestrian entertainment environment through the variety of proposed projects and the emphasis on entertainment retail.

However, some conflicts do exist between the Warehouse Overlay and the PUD. For example, a bar or lounge requires a Use Permit in the Overlay. The PUD allows this by right. Outdoor dining in the Overlay is also subject to a Use Permit. The PUD again, allows this by right.

Building height is another area of conflict with the Warehouse Overlay. Building height above 80 feet in the Overlay is discouraged through the use of conservation easements and a square footage formula to get to a height of 140 feet or beyond. This also has the result of discouraging density. The PUD enables and encourages density by allowing building height of 140 feet as a matter of right. For reference, it should be noted that 140 feet is substantially less than several existing structures in the area including: the Ballpark (220 feet), the Summit

Condo (260 feet), Colliers Center (360 feet), and even the existing historic Luhrs Tower (185 feet). (See Exhibit 15 for reference). A City Council approved height waiver is required for any height above 140 feet, furthermore, no building height greater than that allowed by the Sky Harbor Airport Zoning ordinance is allowed.

It should also be noted that the Warehouse Overlay as currently written, is set up to eventually allow building height of 140 feet as a matter of right once 90% of the “historic properties” have conservation easements. It is obvious from this provision that “greater” building height is expected and considered acceptable for the character of the area. However, building height is currently artificially suppressed below 80 feet. This PUD simply enables height now for pioneering development that can occur today, as opposed to rewarding some future development that may, or may not, occur down the road.

Other discrepancies are seen in the design guidelines section. For example, the Warehouse Overlay requires muted, earth tone colors and materials consistent with nearby structures, and states that new construction should use concrete, brick, or other materials found on structures “determined to have character value”. While these provisions may be appropriate in the rehabilitation of historic structures, the PUD seeks to develop new, modern structures and to clearly delineate them from the old. Therefore, a wider variety of colors and material is allowed for new construction under the PUD.

The PUD conforms to the objectives of the Downtown Core. The PUD encourages greater intensity and density of uses, improves the visual quality of the area, and includes desired standards for a pedestrian-oriented environment; all specifically stated goals of the Downtown Core district.

2. Describe Land Uses

Existing

The vast majority of existing land uses within the PUD area includes surface parking, dilapidated and/or vacant structures, or significantly underutilized sites. One functioning retail use exists (Jackson’s on 3rd), but it is primarily dependent upon pedestrian traffic from sporting events. One functioning residential use exists; The Summit. Properties with structures that are being utilized are primarily used for storage or some light industrial work.

The land uses surrounding the PUD are much the same to the west, south, and east. They are primarily surface parking, some light industrial uses, and the occasional retail (Coach and Willies, Tee Pee Tap Room), residential (Stadium Lofts), or office use (CCBG Architects). A large County parking structure exists to the east while the Job Corps program occupies a lot of property to the west. The uses along the northern edge of the proposed PUD vary greatly from the other edges. They include such uses as the Arena and Ballpark, the recently expanded Convention Center, the Heritage and Science Center, Colliers Center, Symphony Hall, and other nearby theaters. The light rail is also to the north, as well as the large, mixed-use CityScape project.

Considering the PUD site is located in the downtown of the 5th largest City, and the 4th largest county in the nation, it is safe to say that the existing land uses within the PUD and to the East, West, and South of the PUD are underutilized to the detriment of an economically healthy and sustainable urban core.

Proposed in PUD

The land uses of the PUD are those expected for an entertainment area in the heart of the 5th largest city in the nation. Retail and entertainment retail is the primary ground level use. Office, residential, and hotel uses sit atop the retail. See Section F List of Uses for more detail.

3. Describe Character

Existing

The character of the area is a product of the existing land uses described above. The Character of the east, west, and south is mostly surface parking lots dispersed around low strung buildings. Brick, concrete, metal, and stucco appear to be the pervasive materials.

The northern edge of the area has the beginnings of an entertainment zone with a variety of character seen in building materials, building forms, and building heights. This includes the modern metal canopy of the Arena Paseo, the vibrant color of the Summit condo project, the brick and metal of the Ballpark, and the brick and dock height aspects of the Beacon and Sun Merc buildings. Height is also dispersed in this area. In addition to some one and two story buildings are a variety of other building heights, including the arena at roughly 115 feet, the ballpark at roughly 220 feet, Colliers building at roughly 360 feet, The Summit at roughly 260 feet, the Convention Center at roughly 110 feet, and Cityscape, which calls for building around 400 feet. (See exhibit 15 for a comparative view of height).

Proposed in PUD

The character of the PUD is probably best described as a vibrant, mixed-use and entertainment district with a “creative class” atmosphere. The PUD produces a development environment derived from the intent of this statement, while simultaneously forging a sense of a new urban community and place currently lacking in the area. Properties with Historic Preservation zoning will be preserved and readapted with modern uses, while maintaining their visual character. New buildings will be constructed in a character of today, with modern materials and design. The character of the PUD is described as a place for the pedestrian, with courtyards, plazas, occupiable roof spaces, and balconies.

F. LIST OF USES

1. Permitted Uses

A. Residential Uses

1. Multi-family Dwelling, ground level and above
2. Live-work Units

B. Public and Civic Uses

1. Community Center
2. Cultural Institutions
3. Private Clubs and Lodges
4. Schools, Colleges and Trade Schools, Public or Private

C. Commercial / Retail Uses

1. Artist's Studios / Galleries
2. Art Galleries
3. Arts & Craft Fabrication
4. Automatic Teller Machines
5. Business Services
6. Commercial Recreation (<10,000 sf), indoors.
7. Cultural Events
8. Day Spas
9. Financial Institutions
10. Flower and Plant Shops
11. Health Clinics and Offices
12. Health Clubs
13. Hotel / Motels
14. Liquor, Retail Sales
15. Lounges, Bars, Night Clubs
16. Medical / Dental Offices
17. Mobile Vending, on private property, subject to City Code
18. Nurseries / Garden Centers (<5,000 sf)
19. Outdoor Events*
20. Outdoor Markets*
21. Public and Farmer's Market*
22. Parking, Commercial
23. Pet Stores (<5,000 sf)
24. Professional Offices
25. Restaurants, Coffee Shops, Cafes
26. Retail Sales, New and Second Hand, excluding automotive-related sales such as auto parts and tires.

- 27. Theaters, Concert Halls
- 28. Veterinary Office / Hospital (<5,000 sf)

* For these outdoor uses the following standards shall apply: Uses may be conducted between the following hours:

8am and 10pm Monday through Thursday
8am and 2am Friday through Saturday
10am and 10pm Sunday

Odor, dust, gas, heat, smoke, glare or vibration shall not be emitted at any time by the use that exceeds the general or ambient level by uses immediately off-site as compared at the parcel boundary.

2. Accessory Uses

- A. Auto Rentals; Accessory to:
 - a. Hotels
- B. Live Entertainment, One or More Entertainers; Accessory to:
 - a. Art Galleries
 - b. Lounges, Bars, or Night Clubs
 - c. Public or Farmers' Market
 - d. Restaurants, Coffee Shops, or Cafés
- C. Outdoor Dining, Liquor Served; Accessory to:
 - a. Art Galleries
 - b. Lounges, Bars, or Night Clubs
 - c. Public or Farmers' Market
 - d. Restaurants, Coffee Shops, or Cafés
- D. Outdoor Display; accessory to:
 - a. Art Galleries
 - b. Retail Sales
- E. Patron Dancing; Accessory to:
 - a. Art Galleries
 - b. Lounges, Bars, or Night Clubs
 - c. Restaurants

3. Temporary Uses, subject to the City permitting process for a Temporary Use Permit.

- A. Concerts
- B. Civic Events
- C. Outdoor Showcase Displays

4. Definitions

- A. Arts & Crafts Fabrication – Manufacture of crafts, art, sculpture, stained glass, jewelry, custom apparel, and similar items using hand tools and small mechanical devices. Must comply with current Building Code.
- B. Commercial Recreation – The provision of facilities, equipment, and/or programs designed for the enjoyment of leisure activities. Examples include Rock Climbing Gyms, Video Arcades, Bowling Alleys, and Entertainment Complexes.
- C. Cultural Events – Festivals, parades, or other such programs that celebrate, highlight, or commemorate the heritage, diversity, and/or customs of one or more ethnicity or region.
- D. Live-work units – A residential unit that is also used for commercial purposes within the same structure as the residential component.
- E. Outdoor Showcase Displays - The temporary promotion of products via outdoor staging including the use of lighting, signage, temporary structures, video displays, etc.

G. DEVELOPMENT STANDARDS

1. Development Standards Table

The provisions below shall apply to all land uses within the PUD be they Commercial, Residential, Office, or other, unless otherwise noted.

Projects for portions of a Block will be required to submit conceptual plans to the Development Services Department for the remainder of the Block showing how the required Development Standards can be adequately met for the entire Block at full build-out.

DEVELOPMENT STANDARD	BLOCK 6	BLOCK 7	BLOCK 8	BLOCK 11	BLOCK 12
Density	Minimum of 50 units per acre No maximum density			Minimum of 50 units per acre No maximum density	
Open Space	None Required	10% of lot area minimum	5% of lot area minimum	Open space and amenities outlined in the occupiable rooftop section of the development standards table.	
	Open Space may be provided via Courtyards, Occupiable Rooftops, and/or Balconies A minimum of 10% of the required Open Space must be provided via Courtyards accessed at ground level No portion of any area contributing to the required amount of Open Space may be smaller than two hundred square feet, or less than ten feet in width				
Minimum Lot Width/Depth	None				
Lot Coverage	No Maximum				

DEVELOPMENT STANDARD	BLOCK 6	BLOCK 7	BLOCK 8	BLOCK 11	BLOCK 12
Building Height	140 feet max, No more than 90% of the Block area may exceed 80 feet	140 feet max, No more than 80% of the Block area may exceed 80 feet		140 feet max, No more than 70% of the Block area may exceed 80 feet	
<p>Minimum height for new construction = 30 feet</p> <p>Note: For the purpose of this PUD, height shall be measured by the traditional definition of Building Height found in the City of Phoenix Zoning Ordinance Definition Section 202, in which the top height is the highest level of the roof surface for flat roofs, or the mean height between eaves and ridge for gable, gambrel, or hip roofs</p> <p>Note: The “Sky Harbor Airport Zoning Ordinance” map bisects Blocks 6, 7, and 8. In no instance shall any building or protrusion there from exceed the “Maximum Height of Development” as defined in the Airport Height Zoning Ordinance</p> <p>Note: Requests to exceed the 140 feet height limit (subject to the Sky Harbor Airport Zoning Ordinance) may be granted by the City Council upon recommendation from the Planning Commission and in accordance with Section 506 of the Phoenix Zoning Ordinance upon a finding that such additional height is not detrimental to adjacent property or the public welfare in general</p>					
Building Separation	Per Building Code				
Building Setbacks / Build to Lines	<p>Front and Side: Maximum 5 feet from property line for buildings up to 40 feet in height. Portions of buildings above 40 feet may be stepped back</p> <p>Rear: None</p> <p>Ground Floor Corner Lots: Buildings shall maintain a 33 feet by 15 feet visibility triangle at the intersection measured from the face of curb, unless otherwise approved by the Phoenix Development Services or Street Transportation Departments</p>				
Landscape Setbacks	None				

DEVELOPMENT STANDARD	BLOCK 6	BLOCK 7	BLOCK 8	BLOCK 11	BLOCK 12
Occupiable Rooftops	None Required	There will be an open space pool area in both phases of the project. Northern courtyard amenities will include an open air ramada, fire-pit and/or outdoor fireplace, with seating areas, and two passive recreational areas. The north half will also accommodate a clubhouse with a social gathering area and a fitness center at the occupiable rooftop area. Southern courtyard podiums will feature an open ramada with barbeques, spa or a small pool (spool), fire-pit, and/or outdoor fireplace and on-deck landscaping.			
		Minimum 10% of new rooftop area per block shall be occupiable or “green”. In developments consisting of multiple buildings, overall occupiable or “green” roof areas can be combined into only one building’s rooftop area. This applies only to Blocks 11 & 12.			
Division of Land Uses	<p>Below Grade: No residential units allowed</p> <p>Ground Floor: No residential units allowed within Blocks 6, 7 & 8. Residential units allowed with pedestrian street access only within Blocks 11 & 12.</p> <p>2nd and 3rd Floors: All uses allowed</p> <p>4th Floor and above: No retail as primary use allowed</p>				

2. Landscaping Standards

LANDSCAPING PLANS	
Right-of-way	<p>See Exhibit 9, Exhibit 11, and Exhibit 12 for general layout and locations</p> <p>Right-of-way plans shall be submitted to the Development Services Department concurrent with preliminary site plan submittal</p> <p>Right-of-way improvements will be required at the time the property adjacent to that right-of-way is redeveloped or earlier</p>

LANDSCAPING PLANS	
Courtyards	<p>See Exhibit 9 and Exhibit 11 for general locations (centrally located within Block 11, and centrally located within Block 12)</p> <p>See Exhibit 16 for precedent images of the type of space sought after through the Courtyard Development Standards and Design Guidelines contained herein</p> <p>Courtyard plans shall be submitted to the Development Services Department concurrent with preliminary site plan submittal</p>
Occupiable Rooftops	<p>See Exhibit 17 for precedent images of the type of space sought after through the Occupiable Rooftops Development Standards and Design Guidelines contained herein</p> <p>Occupiable Rooftop plans shall be submitted to the Development Services Department concurrent with preliminary site plan submittal</p>

STANDARDS RIGHT-OF-WAY	Jackson St (West of 2nd St)	Jackson St (East of 2nd St)	Buchanan St	Lincoln St	Third St	Fourth St
Shade Tree Frequency	<p>Consistent with existing historically-established conditions for the western 150' of the Block 6 frontage onto Jackson Street. Existing conditions feature trees planted approximately every 30 Feet on center.</p>	<p>Shade trees shall be spaced at regular intervals of 25 feet on center, or less. Except for Buchanan Street where shade trees may be spaced at regular intervals of 66 feet on center or less. See Exhibit 12 for thematic street cross sections</p>				

STANDARDS RIGHT-OF-WAY	Jackson St (West of 2 nd St)	Jackson St (East of 2 nd St)	Buchanan St	Lincoln St	Third St	Fourth St
Type of Tree	Compliance with Sections 1207.H and 1207.I.2.a of the Zoning Ordinance (Downtown Code).	Evergreen Elm Tree (minimum 2-inch caliper)			Sissoo or Oak (minimum 2-inch caliper)	
Shade (see Exhibit 23)	Compliance with Section 1207.E of the Zoning Ordinance (Downtown Code).	<p>Sidewalks up to 8 feet wide shall be shaded a minimum of 75%</p> <p>Sidewalks greater than 8 feet wide shall be shaded a minimum 75% of an 8 foot wide sidewalk area</p> <p>Shade calculations shall be measured at summer solstice at 12:00pm</p> <p>Shade provided by means of arcades, projections, awnings, trees or vegetation (as measured at maturity), shade fabric, and buildings shall count towards shade calculations</p> <p>Palm trees do not count towards shade calculations</p> <p>A shade study shall be submitted to the Development Services Department concurrent with a preliminary site plan submittal</p>				

<p>Gathering Areas*</p>	<p>Minimum 1 gathering area</p>	<p>These areas will include, at a minimum three amenities which could include benches, bike racks, and landscaping which may meet or exceed the minimum standards, and/or other amenities with the approval of the Planning and Development Department. Proposed improvements to Buchanan Street are subject to approval by the Street Transportation Department, including:</p> <ul style="list-style-type: none"> a. Enhanced paving treatments at the 3rd Street and 4th Street intersection b. A pedestrian crosswalk midblock that
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		<p>connects the north/south parcels</p> <p>c. Street furniture on both sides of Buchanan Street</p>
<p>Amenities</p>	<p>At Gathering Areas a minimum of two (2) of the following amenities shall be provided:</p> <p>Bench or other seating options Bicycle Rack Decorative Paving Enhanced Landscaping</p>	<p>At Gathering Areas a minimum of three (3) of the following amenities shall be provided: (See Exhibit 12.11 for a sample layout of a typical Gathering Area)</p> <p>Bench or other seating options Water features Artwork Landscaping above the required minimum Informational Kiosk Bicycle racks</p> <p>Other amenities may be substituted as approved by the Development Services Department</p> <p>Amenities proposed for gathering areas located within the right-of-way are subject to review and approval by the Street Transportation Department</p>
	<p>Other amenities may be substituted as approved by the Development Services Department</p> <p>Amenities proposed for gathering areas located within the right-of-way are subject to review and approval by the Street Transportation Department</p>	
	<p>Waste receptacles shall be required in all Gathering Areas</p> <p>Street furniture shall be permanently fixed</p> <p>Single benches facing the street shall be prohibited</p> <p>Bench advertising shall be prohibited</p>	

* For the purpose of this ordinance, Gathering Areas shall mean areas within the right-of-way in which multiple amenities (furniture, landscaping, etc) are grouped. Gathering Areas promote pedestrian interaction by providing places of rest, information, waiting areas, etc.

<p>STANDARDS: COURTYARDS</p>	<p>Where courtyards are provided, the following standards shall apply</p>
<p>Plantings</p>	<p>10% minimum of courtyard areas shall be unpaved</p> <p>The unpaved portions of courtyards shall be landscaped with inorganic ground cover and a minimum of 50% living plant material</p> <p>All courtyards shall be planted with trees at a minimum ratio of one (1) tree (minimum 2-inch caliper) per 500 square feet</p> <p>All courtyards greater than 5,000 square feet shall be a minimum 30% unpaved or submerged in water as part of a water feature</p> <p>Planting shall be native or desert adaptive plants, low water use shrubs, trees accents, groundcovers and vines</p>
<p>Shade</p>	<p>Minimum 50% of courtyard area shall be shaded</p> <p>Shade provided by means of arcades, projections, awnings, trees vegetation (as measured at maturity), shade fabric, and buildings shall count towards shade calculations</p> <p>Palm trees do not count towards shade calculations</p> <p>Shade calculations shall be measured at summer solstice at 12:00pm</p> <p>A shade study shall be submitted to the Development Services Department concurrent with a preliminary site plan submittal</p>
<p>Amenities</p>	<p>Courtyards shall provide a minimum of four (4) of the following amenities shall be provided:</p> <ul style="list-style-type: none"> Bench or other seating options Water features Artwork Landscaping above the required minimum Informational Kiosk Bicycle racks Drinking fountains Fire Elements or Fireplace Public Restrooms <p>Other amenities may be substituted as approved by the Development Services Department</p>

STANDARDS: COURTYARDS	Where courtyards are provided, the following standards shall apply
	<p>Waste receptacles shall be required in all Courtyards</p> <p>Courtyard furniture shall be permanently fixed unless supplied by adjacent retail uses, in which case furniture must be secured during closed hours</p> <p>Bench advertising shall be prohibited</p>

STANDARDS: OCCUPIABLE ROOFTOPS	Where occupiable rooftops are provided, the following standards shall apply
Planting	<p>All occupiable roof areas shall be a minimum of 500 square feet and shall be planted with trees at a ratio of one (1) tree (minimum 2-inch caliper) per 500 square feet</p> <p>Planting shall be native or desert adaptive plants, low water use shrubs, trees accents, groundcovers and vines</p>
Shade	<p>A minimum of 50% of the occupiable roof area shall be shaded</p> <p>Shade provided by means of projections, awnings, trees or vegetation (as measured at maturity), shade fabric, photovoltaic panels, and buildings shall count towards shade calculations</p> <p>25% of the required shade shall come from trees, trellis vines, or other vegetation</p> <p>Palm trees do not count towards shade calculations</p> <p>Shade calculations shall be measured at summer solstice at 12:00pm</p> <p>A shade study shall be submitted to the Development Services Department concurrent with a preliminary site plan submittal</p>

STANDARDS: OCCUPIABLE ROOFTOPS	Where occupiable rooftops are provided, the following standards shall apply
Amenities	<p>A minimum of four (4) of the following amenities shall be provided:</p> <ul style="list-style-type: none"> Bench or other seating options Water features Artwork Landscaping above the required minimum Bicycle racks Drinking fountains Pool or Jacuzzi BBQ's Fire Element or Fireplace Observational telescope/binoculars <p>Other amenities may be substituted as approved by the Development Services Department</p>

3. Parking Standards

Note: Similar to the existing standards found in the Downtown Core and the Warehouse Overlay, no mandatory amount of required parking is specified for the PUD. However, this does not mean that the development will provide no new parking spaces. A two level below grade garage is proposed under Blocks 6 and 7 and multiple projects within the development will have garages to satisfy their market demand for parking. Additionally, numerous underutilized garages exist in the area as well as metered street parking and surface parking lots. Public and mass transit options are also easily available.

PARKING ACCESS	
Alleys shall be preserved for parking ingress and egress when possible	
Alley access and maneuverability shall be permitted by right	
From Alley	Primary parking access shall be provided from alley when available
From Street	When required, maximum one curb cut per Block on street frontage
Residential Garages	Shall be rear-loaded with access through alley or interior driveway

PARKING SPACE DIMENSIONS	
Garage Parking	<p>100% of garage parking spaces will have a minimum dimension of 8'6"X18'.</p> <p>Any further reduction in dimension or amount of full size spaces provided must be approved by the Development Services Department</p> <p>Parking spaces shall be double striped with a minimum of 8 (eight) inches between striping</p> <p>A minimum of twelve (12) inches setback from any interior wall or column shall be provided</p> <p>Tandem parking shall be allowed by right, minimum dimension of tandem spaces to be nine (9) feet by eighteen (18) feet</p> <p>If individual garages for residential are provided, a minimum unencumbered width of nine (9) feet six (6) inches per space and an unencumbered depth of eighteen (18) feet must be provided</p>
Surface Parking	<p>Parking spaces to be a minimum dimension of eight (8) feet six (6) inches by eighteen (18) feet, unless otherwise approved by the Development Services Department</p> <p>Tandem parking shall be allowed by right, minimum dimension of tandem spaces to be nine (9) feet by eighteen (18) feet</p>

SURFACE PARKING REQUIREMENTS	
As Primary Use	<p>Use permit required. Use permits for parking as a primary use may be granted in accordance with the standards of Section 307 for a maximum of three years on a portion of a block or an entire block. One time extension of the use permit may be granted for no more than three years</p>
As Accessory Use	Permitted
Screening of Surface Parking	<p>If surface parking is allowed through a Use Permit process, screening of the parking via a three (3) foot wall around the perimeter of the parking area shall be required</p> <p>No surface parking permitted between the building frontage and the public sidewalk</p>

PARKING GARAGE SCREENING	
Ground Floor	100% wrapped with occupiable space, exclusive of ingress/egress and emergency exits. Within Blocks 11 and Block 12 only, parking garage screening can also include an exterior wall or façade matching those of occupiable space above, so as to appear contiguous.
2nd Floor and Above	Minimum 60% of street frontage shall be wrapped with habitable space. Sloped floors shall be screened from public view by architectural façade. Vehicles shall be screened from view by a minimum of a three (3) foot wall, or vine covered scrim

PARKING SPACES NUMBER OF SPACES	
Parking must comply with Americans with Disabilities Act requirements: 1 ADA stall per every 25 parking spaces up to the 100 spaces, 1 space per every 50 spaces up to 200 spaces, 1 space per every 100 spaces up to 500 spaces	
Residential Uses	No minimum amount required
Commercial, Office, Retail, and Dining Uses	No minimum amount required

PARKING GARAGE ABOVE GROUND / UNDERGROUND	
Above Ground Parking Levels:	Below Ground Parking Required:
One to Three	None
Four	Minimum One Level
Five or More	Minimum of Two Levels

OFF STREET LOADING	
Loading spaces shall be a minimum of ten (10) feet x thirty (30) feet	
Two standard (10 feet x 30 feet) loading spaces will be provided at the street, one for the northern phase and one for the southern phase of Block 11 and 12.	
Loading spaces shall be screened from view from Jackson Street via landscaping, solid wall, or a mesh or perforated wall. Mesh or perforated walls shall be a minimum of 50% opaque.	
As an infill urban development, the use of off-street loading spaces by multiple tenants and structures is allowed and encouraged	
Loading spaces shall be located behind structures and accessed through the alley when possible	
Block #	Minimum Number of Spaces
6	None Required
7	4
8	2
11	1
12	1

4. Lighting Standards

Photometric plans shall be submitted to the Development Services Department concurrent with preliminary site plan submittal.

Lighting shall comply with City Code Section 23-100 Shielding and Filtering Outdoor Lighting (a.k.a. Dark Sky Ordinance) current version.

Lighting shall be designed with the intent to create both a sustainable and an interesting nighttime urban environment. A variety of lighting effects is encouraged. The effects of the light itself shall be given primary consideration in addition to the aesthetics of the luminaries. All lighting systems shall be architecturally integrated and coordinated with other design components such as landscaping, graphics, signage, etc.

Lighting systems shall be designed in accordance with accepted standard industry practice guidelines, according to the most recent publications of the Illuminating Engineering Society of North America (IESNA). Energy efficient high color rendering sources shall be used, and designs shall incorporate control systems to reduce light levels during low-usage times wherever possible without sacrificing safety.

Reinforcement of visual hierarchies within the district and wayfinding shall be encouraged along with opportunities to create temporal hierarchies (lights that may be

turned on as an expression of weekends only, or seasonally tuned). Opportunities for the display of temporary and/or permanent “light art” shall also be considered.

LIGHTING LEVELS	The following lighting levels, or lighting levels recommended by the Illumination Engineering Society of North America (IESNA) and approved by the Development Services Department, shall apply.		
	Minimum	Maximum	Avg. to Minimum ratio
Surface Parking	.5 FC	5 FC	5:1
Garage Parking	1 FC	3 FC	4:1
Right of Way	.5 FC	3 FC	4:1
Courtyards and other publicly accessible open space areas	1 FC	3 FC	4:1

H. DESIGN GUIDELINES

The design guidelines and standards contained herein reflect the desire for a high quality, pedestrian oriented project fitting of a downtown urban location. The general guidelines for design review as found in Section 507 Tab A of the Phoenix Zoning Ordinance shall apply. If the guidelines of this section conflict with the guidelines of Section 507 Tab A, the provisions of this PUD shall prevail.

Building form, materials and design elements shall be selected to ensure a variety of architectural styles and expressions. This includes references to the existing historic structures in the area as well as embracing modern materials and design appropriate for Phoenix's climate and status as an innovative 21st century city.

Building facades shall be designed to provide a sense of human scale at the ground level by providing a clear architectural distinction between at least the ground floor and all additional stories.

The term "Historic Properties" as referenced in these guidelines refers to the two properties within the PUD that have Historic Zoning Designations or any future building which would receive such designations.

BUILDING FORM GENERAL	Block 6	All Other Blocks
<p>Building Articulation (up to 48 feet in height) (See Exhibits Figure 21 for images of prohibited and encouraged wall articulation)</p>	<p>In order to preserve the historic character of Block 6, building articulation shall be complementary to the existing historic structure on the site and in compliance with Section 1222.C.4 of the Zoning Ordinance (Downtown Code).</p>	<p>Building articulation shall be used on all sides of buildings Maximum wall length without articulation / modulation shall be 20 linear feet Facades > 20 feet long shall be articulated or treated with any of the following methods, or methods otherwise approved by the Development Services Department:</p> <ul style="list-style-type: none"> a) Changes in vertical wall plane (2 feet minimum) b) Changes in horizontal wall plane (5 feet minimum) c) Projecting or recessed architectural elements, minimum 6 inches (not including windows and doors) d) Varying rooflines – either through projecting or recessed architectural elements (6 inches minimum) or through change in height or horizontal location (4 feet minimum) of the roof line. e) Display windows, graphics, signage, architectural features, landscaping
<p>Building Articulation Exceptions</p>	<p>Instances when development is phased and a subsequent structure will conceal a façade by being attached to, or immediately adjacent to (less than 3 feet), to said façade. In such cases, similar building materials and/or paint colors shall be used to ensure that the building appears “finished” in the interim period.</p>	
<p>Roofs/tops of Buildings</p>	<p>Steeply pitched roof lines (greater than 30 degrees) shall be prohibited</p>	
<p>Sidewalks</p>	<p>Along Jackson Street, new construction shall provide a minimum fifteen (15) foot wide sidewalk and a minimum eight (8) foot unobstructed sidewalk when including streetscape amenities, except for the length of Block 6, where the sidewalk shall be permitted to remain at its historically established width.</p> <p>Along other streets, new construction shall provide a minimum eight (8) foot wide sidewalk with a minimum four (4) foot unobstructed sidewalk when including streetscape amenities.</p>	

BUILDING FORM GENERAL	Block 6	All Other Blocks
Entrances	<p>Single entrances to buildings should be avoided, except for hotel uses on Block 6.</p> <p>Additional entrances to existing structures should be considered at the time of reuse or remodeling</p> <p>Courtyards may be extended through the building to provide access or passage from the rear parking areas</p>	
Materials: New Construction	<p>An eclectic and varied palette of materials shall be employed for new construction. Primary building materials shall be selected from the following list unless otherwise approved by the Development Services Department:</p> <ul style="list-style-type: none"> • Glass • Stucco or artificial stucco • Natural or synthetic stone • Clay brick and pre-assembled clay brick panels • Metal panels and trim • Concrete, precast or poured-in-place • Decorative precast concrete block <p>Stucco finishes shall be limited to no more than 25% of street-facing facades for a height of 26 feet. At greater than 26 feet, the stucco finish for street-facing facades may be increased to 50% provided that materials elements from the lower level are incorporated in a manner to provide articulation/modulation per the building articulation requirements.</p>	
Windows: New Construction	Mirrored glass shall be prohibited	

BUILDING FORM RECESSED & PROJECTED ELEMENTS	
<p>Galleries, canopies, awnings and similar devices that extend into or over the public right-of-way shall be permitted only upon issuance of a lease agreement or a revocable permit as administered by the City of Phoenix</p>	

BUILDING FORM RECESSED & PROJECTED ELEMENTS	
Awnings and Canopies	<p>Canopies and awnings extending over the public sidewalk should be incorporated into the design of new buildings</p> <p>All canopies shall be suspended or cantilevered from the buildings and shall provide a minimum of eight (8) feet high clearance above finished grade</p> <p>Pole mounted entrance canopies shall not be permitted since the support poles may impede pedestrian movement and detract from the appearance of the area</p>
Arcade	Minimum clearance width of ten (10) feet required. Minimum of eight (8) feet high clearance above finished grade
Gallery	May project up to twelve (12) feet into the right-of-way but no closer than two (2) feet from the curb. Minimum of eight (8) feet high clearance above finished grade
Bay windows, balconies, 3 rd story and above	Up to 20 feet wide may project up to ten (10) feet into the right-of-way, but no closer than two (2) feet from the curb. Minimum of ten (10) feet high clearance above finished grade

BUILDING FORM BLANK WALL STANDARDS	Block 6	All Other Blocks
<p>Streets lined with long stretches of blank walls at ground level, especially if under an arcade or gallery, are not pedestrian-oriented, do not support commerce, and do not promote a sense of safety. These streets lack natural surveillance, and with no “eyes on the street”, they become an invitation to vandalism and graffiti. Blank walls shall be limited by the standards listed below.</p>		

BUILDING FORM BLANK WALL STANDARDS	Block 6	All Other Blocks
Street facing, Ground floor	No continuous length of blank wall shall exceed 30 linear feet.	No continuous length of blank wall shall exceed 20 linear feet Blank walls shall be limited to a maximum of 40% of total ground floor street frontage Architectural details and themes shall be carried to all sides of buildings. Exceptions include instances when development is phased and a subsequent structure will conceal a façade by being attached to, or immediately adjacent (less than 3 feet), to said façade
Blank wall exceptions	Blank walls under canopies and awnings, are permitted up to 40 linear feet, provided that the blank walls are limited to a maximum of 40% of the total ground floor street frontage Architectural details and themes shall be carried to all sides of buildings. Exceptions include instances when development is phased and a subsequent structure will conceal a façade by being attached to, or immediately adjacent (less than 3 feet), to said façade	
Blank wall treatments	Change in materials, colors, textures, plantings, or other architectural features Artwork, graphics, display windows, and interactive displays, shall also be considered as treatments Note: Wall plane articulation and structural columns shall not count as the sole treatments	

BUILDING FORM GROUND FLOOR	Block 6	All Other Blocks
Ground floor Commercial Floor Depth	Minimum 30 feet	

BUILDING FORM GROUND FLOOR	Block 6	All Other Blocks
Ground floor Street Front Transparency		In lieu of 50% of the ground floor street front facade being developed as transparent, residential street fronts will have private patios with metal railings, and individual sidewalk connections where possible. The patios will have fenestration directed toward the street front, consistent with the remaining façade fenestration.
Ground floor Street Front Transparency Exceptions	Entertainment Venues, (as defined in Signage Section I.4.B.2.a), which by their nature required greater control of visual access Historic Properties or existing storage buildings which, by their nature have a greater amount of non-transparent facades	

RIGHT-OF-WAY	
Furniture	Furniture must be permanently fixed unless supplied by adjacent retail uses, in which case furniture must be removed or secured during closed hours Single benches facing the street shall be prohibited
Planting	Trees and vegetation shall not interfere with the required visibility triangle Trees planted in the right-of-way shall use a minimum 16 square feet tree holes with no side smaller than a four (4) foot dimension, except for Block 6. Tree holes must be covered with flush-to-grade tree grates (which can be counted as walking area), except for Block 6. The planting of palm trees within the right-of-way is prohibited
Amenities	All gathering areas shall include waste receptacles

COURTYARDS	
Furniture	Furniture must be permanently fixed unless supplied by adjacent retail uses, in which case furniture must be removed or secured during closed hours Advertising on furniture is strictly prohibited

COURTYARDS	
Planting	Plantings shall use native or desert adaptive plants that are heat tolerant No plants or shrubs with thorns at maturation to be placed in courtyards
Amenities	All courtyard areas shall include waste receptacles
Visual and Physical Access	Where Courtyards are adjacent to the public right-of-way, fences or walls which inhibit visual or physical access shall be prohibited. Standard bollards, planters, or other similar design features may be incorporated along the perimeters, but Courtyard must be physically accessible to the general public during daylight hours Courtyards within residential developments will be permitted to be controlled for resident safety and security. Residential courtyards will be required to maintain a visual connection to the public right-of-way, unless completely enclosed by structure.
Building Projection	Building projections, such as balconies and architectural features may project above 25% of the courtyard provided the projections are above the 2nd story

OCCUPIABLE ROOFTOPS	
Planting	Plantings shall use native or desert adaptive plants that are heat tolerant No plants or shrubs with thorns at maturation to be placed in courtyards
Amenities	All occupiable rooftops shall include waste receptacles

BUILDING WALLS	
Below 90 feet	Minimum 50% light colored, smooth, high mass materials with a minimum reflective index of 0.4, except for Block 6.
Above 90 feet	Utilize light colored, smooth textured, low mass or thin, high density materials
Green Walls	Green walls, including trellises are encouraged to reduce excessive radiant heat accumulation in pedestrian areas receiving excessive sunlight

ROOFS		
<p>Roof mounted equipment such as elevator shafts, mechanical equipment, and satellite dishes shall be screened from view from adjacent public right-of-way by any of the following methods: Structural screening, vegetative screening, painted and/or integrated into the design of the building</p> <p>Roofing surface to have a Solar Reflective Index (SRI) equal to or greater than the values in the table below for a minimum of 75% of the roof surface. A vegetative roof can be used in lieu of an SRI roof.</p>		
<u>Roof Type</u>	<u>Slope</u>	<u>Solar Reflective Index</u>
Low sloped	>2:12	78
Steep sloped	<2:12	29

PAVING MATERIALS / DESIGN	Block 6	All Other Blocks
Parking Areas and Access Drives		<p>Shall be paved with permeable concrete or interlocking pavers with a minimum open area of 12% and a minimum SRI of 35</p> <p>Alleys used for parking ingress and egress only, not as a public access lane, will be exempt from this requirement.</p>
Public Spaces and Plazas	<p>Shall be paved with permeable concrete or interlocking pavers with a minimum open area of 12% and a minimum SRI of 35 or sand set, per-cast concrete pavers or brick (2-inch thick, 5,000 psi) with a minimum SRI of 35</p>	
Design	<p>Sidewalks shall be simple scored concrete</p>	

I. SIGNS

1. Intent

The intent of these provisions is to enable the creation of a vibrant, dynamic, and creative signage and sponsorship program appropriate for an emerging Entertainment District. The program should help distinguish the area as a unique place, not only within the City of Phoenix, but throughout the region. The provisions are also meant to ensure a consistency in signage that protects the District's visual identity and integrity.

Consistent with entertainment districts in other cities, the District will be highly promotional for businesses and events and signs will be conspicuous. Signs will engage the public at street level and from a distance with various forms of lighting and visual devices consistent with the active nature of the District and its entertainment-based uses.

This section shall not apply to signs erected or maintained by a governmental body including, but not limited to, traffic signs, warning signs, railroad crossing signs, and signs of a noncommercial nature required by public laws, ordinances, or statutes.

Interior signs will not be regulated, unless otherwise specified herein, except to the extent that an electrical permit may be required by the City of Phoenix. Exterior signs shall generally conform to the requirements of Section 705 of the Phoenix Zoning Ordinance, except where modified by the regulations contained herein.

2. Sign Package Approval and Submittals

Plans for proposed signs or proposed modifications to existing signs, shall be submitted to the Planning Department prior to, or concurrent with, the Development Services Department Preliminary Site Plan Package submittal. Authorization from the property owner(s) on which the signs are proposed shall also be included with this submittal. If Sponsorship Program Signs are proposed, a list of approved Sponsors shall be included in the submittal to be kept on file with the Planning Department and may be amended as necessary.

3. Allowable Signs

Except as otherwise stated in the Prohibited Sign Section (provision 6 of this section), the following signs, as well as signs otherwise permitted by the City of Phoenix, shall be permitted. See Exhibit 22 for definitions and sample images:

- A. Fascia-mounted Signs
- B. Full Color Printed Media Signs
- C. Blade Signs
- D. Street Banner Signs

- E. Painted Wall Signs
- F. Window Graphic Signs
- G. Pan Channel Lettering
- H. Electronic Message Center
- I. Kinetic Signs
- J. Sculptural Signs
- K. Neon Signs
- L. Translucent/mesh Material Signs
- M. Marquee Signs
- N. Projected Light Signs
- O. Signs with 3D Extension
- P. Monument or Kiosk Signs
- Q. Aerial View Signs
- R. Awning Signs
- S. Roof Signs

4. Sign Size and Standards

- A. The following signs shall be limited to an area of one (1) square foot per each linear foot of street frontage. The calculation shall apply to any individual sign listed below or any combination thereof. In instances where a tenant has the principal entrance on a side, rear, or courtyard façade, said façade may be counted as the street frontage. If a tenant’s primary entrance is internalized through a lobby or other means, they are limited to an area of one (1) square foot per each linear foot of the exterior facing façade that is occupied by the tenant, or 50 square feet, whichever is larger:

- Fascia-mounted Signs
- Window Graphics
- Pan Channel Lettering
- Kinetic Signs
- Awning Signs

- B. The following signs shall be limited to an area of 2500 square feet maximum per elevation, except that one (1) elevation per building may be used in its entirety and the graphic types below expanded to fill an entire elevation area. The calculation shall apply to any individual sign listed below or any combination thereof, however, only one (1) subject may be promoted within the allowable area. For example, a 1000 square feet image may promote the launch of a new name brand item; the remaining 1500 square feet may not promote subjects other than that name brand.
- Full Color Printed Media
 - Painted Wall Signs
 - Translucent /mesh Material Signs
- C. The following signs shall be limited to an area of 2500 square feet maximum per elevation, except that one (1) elevation per building may be used in its entirety and the graphic type below expanded to fill an entire elevation area. The calculation shall apply to any individual sign listed below or any combination thereof. Only one (1) subject may be promoted at a time, these signs are designed for continuous change and thus multiple subjects may be promoted within any allotted time.
- Electronic Message Center
- D. The following signs shall be limited to an area of 2500 square feet maximum per elevation and are further limited only to Entertainment Venues as defined in provision 5.B.2.a of this section. These signs shall not occur above a height of 40 feet and may only promote events occurring within the building on which they are applied or event occurring within the District itself.
- Marquee Signs
- E. The following signs shall be limited as follows:
- Roof Signs – Maximum 1000 square feet of area per elevation. Maximum two (2) elevations. Maximum one (1) subject.
 - Blade Signs – Shall be regulated by the size standards of provision 4.A of this section (1 square foot per each linear foot of street frontage), except that Entertainment Venues (as defined in provision 5.B.2.a of this section) and Hotels shall be allowed 200 square feet of area per elevation or one (1) square foot of area per each linear foot of street frontage; whichever is greater. Maximum one (1) subject.
 - Street Banner Signs – Maximum 28 square feet of area per sign. Engineering stating the capacity of light poles to support such banners is required.

- Monument or Kiosk Signs – Maximum 28 square feet of area per sign per elevation.
- Projected Light – No size restrictions.
- Aerial View Sign – No size restrictions. May not be visible from the public right-of-way. Maximum one (1) subject.
- Sculptural Sign – As Sculptural signs vary so greatly, a Use Permit is required and may be granted in accordance with City of Phoenix Zoning Ordinance Section 307.

F. The following allowable signs are technologies incorporated into signs and therefore shall be regulated as to their size and application under the sign category in which they are incorporated:

- Neon Signs
- Signs with 3D Extensions

5. Sign Categories

Exterior signs within the District will primarily fall into two (2) categories: Sponsorship Program signs and On-Site signs.

Sponsorship Program signs

A sponsorship, as it relates to signage within the District, is the specific promotion of products or services by entities selected by JSED, LLC or its approved Assignee or Successor. A sponsorship may or may not be on-site businesses. Sponsorship signs may utilize any sign listed in the Allowable Signs section (provision 3 of this section) and will fall under the size standards set forth in the Sign Size and Standards section (provision 4 of this section). Temporary sponsorship signage shall be permitted as delineated through the attached exhibits or specific property locations within the PUD area. Temporary sponsorship signage is subject to all design and administration criteria of non-temporary sponsorship signage.

On-site signs (Non-Sponsorship)

On-site signs are signs which promote on-site businesses, products, events, or services within the District, identify specific structures within the District, promote the District itself, or provide wayfinding within the District. On-site Signs may utilize any sign listed in the Allowable Signs section (provision 3 of this section) and will fall under the standards set forth in the Sign Size and Standards section (provision 4 of this section).

A. Sponsorship Program Signs

The District will have advertising signs for sponsors placed in key locations throughout the District. Sponsorship Program signs will be subject to the following regulations:

1. Sponsorship Program signs shall be allowed in general locations as shown in the attached Sign Plan exhibits (Exhibit 14).
2. Sponsorship Program signs may be internally illuminated or externally illuminated provided the source of illumination is screened from street level. Media elements may utilize electronic message center signs and direct illumination.

B. On-Site Signs (Non-Sponsorship)

On-Site Signs will fall primarily into three (3) categories: 1) Business Identification & Descriptive Signs, 2) Marquee Signs, and 3) Wayfinding & District signs.

1. *Business Identification & Descriptive signs* – Graphics or text materials that promote on-site products or services and identify business venues. Subject to the following regulations:
 - a. Business Identification & Descriptive signs may utilize any of the listed Allowable Signs, except Street Banner Signs and Monument or Kiosk Signs.
 - b. Business Identification & Descriptive signs shall be permitted on any portion of a building’s exterior façade as long as the business being promoted is located behind or below that portion of the façade. In the event that a tenant is completely internalized without an exterior façade wall, they shall still be allowed signs on the exterior of the building in which they occupy.
 - c. Business Identification & Descriptive signs may be mounted internally and visible from the exterior.
 - d. Signs for residential uses shall be limited to the standards set forth herein for Business Identification and Descriptive signs.
 - e. Signs which project or overhang into the public right-of-way or pedestrian areas are permitted provided:
 1. No portion of any sign shall be less than eight (8) feet above the level of the sidewalk or other pedestrian-accessible surface over which it projects.
 2. No portion of any sign may project over public right-of-way accessible by vehicles.
 - f. Signs identifying hours of operation shall be limited to two (2) square feet.
 - g. Business Identification and Descriptive signs may project above the top of the building at any location where the façade of the building is underlying the sign.

6. Prohibited Signs

The following shall be prohibited:

- A. Internally illuminated awnings
- B. A-frame signs
- C. Painted window
- D. Luminous vacuum formed letters
- E. Odor-producing signs
- F. Any signs preventing outward views from windows
- G. Pole signs
- H. Signs which occupy or project into the public right-of-way, unless an easement allowing such projection is issued by the City of Phoenix
- I. Projecting signs lower than eight feet above grade
- J. Freestanding signs, other than Wayfinding and District signs provided throughout the District, shall not be permitted
- K. Signs on doors, except for pedestrian signs

7. Signage – General Requirements

- A. Illuminated Signs – Signs may be illuminated by either internal or external means. Illuminated signs shall be designed, located, or screened so as to limit direct light sources on to residential units. Methods of signage illumination include:
 - 1. Electric lamps, such as neon tubes
 - 2. Fiber optics
 - 3. Incandescent lamps
 - 4. Cathode ray tubes exposed directly to view
 - 5. Shielded spot lights and wall wash fixtures
- B. Building Identification Signs - Building Identification signs are permitted to break above the plane of the roof line granted that any portion above the roof line consists of freestanding letters or characters which are not applied or attached

to any background structure, building, or material, except those necessary for support.

- C. Inlatable Signs – Inlatable signs shall only be allowed on a temporary basis and shall be equipped with a rapid deflation device. Inlatable signs may not cover doors, vents, rescue windows, or other openings that serve occupants of the building. Inlatable signs may not project above the roof line nor may they be placed upon roof tops. Inlatable signs may not be placed within the public right-of-way. Inlatable signs may not include any text message except for the name of the business or event for which it is displayed.
- D. Signs comprised of vinyl or other material may be attached to a wall with an adhesive. Signs shall not cover doors, vents, rescue windows, or other openings that serve occupants of the building. Signs comprised of mylar or other film-like transparent material, such as perforated vinyl, may be applied directly to windows.
- E. Any new signage proposed for Historic Preservation designated buildings is subject to the approval of the Historic Preservation Office.

J. SUSTAINABILITY

1. Intent

It is the Developer's intent to strive for a high level of sustainability and to employ a variety of sustainable techniques, including methodologies identified by Energy Star, Leadership in Energy & Environmental Design (LEED), or other reputable programs that promote sustainability. This section is meant as a beginning framework to identify some potential techniques; however, as the project progresses additional and varied methodologies may be identified.

2. Practices and Techniques

The Developer recognizes that many methods of sustainability cannot and will not be enforced or regulated by this PUD or by the City of Phoenix. To that end, this section is divided into two segments – (A) Practices and Techniques which can be measured and enforced by the City and (B) Practices and Techniques which the Developer intends to pursue.

A. Practices enforceable by the City

1. No new parking shall be required for rehabilitation projects.
2. No minimum parking levels shall be required for new developments.
3. A minimum of 70% of new parking spaces shall be provided underground or within structured parking, except for Block 6.
4. Shading shall be required for 75% of public sidewalks.
5. Permeable paving or interlocking pavers shall be required for ground level parking areas, access drives, and public courtyards.
6. Minimum 10% of new rooftop area per block shall be occupiable or "green," except for Block 6.

B. The Developer endeavors to adhere to these practices.

1. Implementing a stormwater management plan to reduce the rate and quantity of existing stormwater runoff by 25% or more.
2. Engaging a LEED Accredited professional for the development team.
3. Designing buildings to comply with ASHRAE/IESNA Standard 90.1-1999.
4. Meeting the minimum requirements of voluntary consensus standard ASHRAE 62-1999, Ventilation for Acceptable Indoor Air Quality.
5. Eliminating CFC-based refrigerants in new building HVAC&R systems. Phasing out CFC-based refrigerants HVAC equipment in existing buildings.
6. Prohibiting smoking indoors for commercial buildings (unless allowed by City code for such uses as cigar lounges, smoke shops, etc.) and locating any exterior areas designated for smoking away from entries and operable windows.

7. Reducing energy cost by a minimum of 15% as compared to the energy cost budget for energy systems regulated by ASHRAE/IESNA Standard 90.1-1999.
8. Supplying at least 5% of new building's energy use through the use of on-site renewable energy systems.
9. Providing at least 50% of the building's electricity from renewable sources as defined by the Center for Resource Solutions (CRS).
10. Designing HVAC and refrigeration equipment and fire suppression systems that do not contain HCFC's or Halons.
11. Using high-efficiency irrigation technology or use of captured rain or recycled site water to reduce potable water consumption for irrigation.
12. Providing easily accessible areas for entire buildings to enable the separation, collection, and storage of materials for recycling.
13. For building rehabilitation, maintaining at least 75% of existing building structure and shell (excluding window assemblies and non-structural roofing material).
14. Employing a waste management plan to recycle or salvage at least 50% of construction, demolition, and land clearing waste.
15. Using salvaged, refurbished, or reused material products and furnishings for at least 5% of building materials.
16. Using materials with recycled content for at least 5% of the total value of materials used in the project.
17. Employing 20% of building materials and products manufactured regionally within 500 miles of the project.
18. Using products certified in accordance with the Forest Stewardship Council's Principles and Criteria for 50% of the wood-based materials and products.
19. Meeting or exceeding the requirements of the Carpet and Rug Institute's Green Label Indoor Air Quality Test Program for Carpet systems.
20. Providing at least an average of one (1) operable window and one (1) lighting control zone per 200 square feet for all regularly occupied areas within 15 feet of the perimeter wall for office buildings.

K. INFRASTRUCTURE

1. Circulation System:

A grid of streets spaced at roughly 300 feet provides an abundance of vehicular roadway options in the area of the project. The major north-south thoroughfares nearest the site are 7th Street and 7th Avenue. Both are easily accessible from the project. The major east-west thoroughfares are Washington Street and Jefferson Street to the north and Buckeye Road to the south. All three (3) of these roads are easily accessible from the project.

The site is no more than two (2)miles from a freeway in any direction, with Interstate 17 to the west and south, and Interstate 10 to the north and east. Bus routes, both City-wide and local are available near the site, and a light rail stop is only 1 block away to the north.

A traffic study was included with the original submittal and a revised and updated study will be forthcoming.

- | | |
|---------------------------------|---|
| A. Streets: | See Exhibit L Circulation. |
| B. Pedestrian circulation plan: | See Exhibit L Circulation |
| C. Trails / trailheads: | N/A |
| D. Bicycle paths: | There are no separate, delineated bicycle paths within the PUD area |

2. Grading and Drainage

Non-applicable

3. Water and Wastewater Services

Non-applicable

L. PHASING PLAN

Development will occur dependent upon timing of the ultimate end users, market conditions, and available financing. The concepts in this PUD will not have formal phasing.

M. HISTORIC PRESERVATION

1. Intent

It is the Developer's intent to develop a district in which the buildings support the unique region, climate, and culture of the area while showcasing Phoenix's role as an innovative, 21st century city of planning and design. Part of this approach is in the adaptation of key older buildings which is further outlined below. It is not the Developer's intent however to construct new "faux" historic buildings that mimic the few existing buildings in scale, materials, or design. Although the lower levels of new construction may incorporate the scale and rhythm of nearby older buildings, a clear delineation will be seen between old and new. Many of the older structures in the area were used as storage facilities and are windowless, elevated and isolated from the street. They were purposely designed to have no direct interaction with the public. In contrast, the new structures of the District will be designed for maximum public interaction, and will use materials and techniques for sustainable design not incorporated in the building systems of the existing storage buildings that remain.

Building height for new construction will be greater than existing buildings. Because of this, care will be taken not to "overpower" Historic Properties. New construction will not cantilever over nor protrude through the roof of Historic Buildings, unless otherwise approved through the Historic Preservation Office.

2. Properties

Within the PUD boundaries are two (2) properties with Historic Preservation zoning - the El Fresnal Grocery Store property, 310 E. Buchanan St., and the Gerardo's Building property, 421 S. 3rd St., both located along Buchanan Street. The PUD upgrades these designations from HP to HP-L (Landmark) status. The PUD also places Historic Preservation zoning on two (2) additional buildings which were previously undesignated – the Fuller Paint/Beacon Upholstery building, 117 E. Jackson St., and the Graham Paper Company Warehouse, 521 S. 3rd St./310 E. Lincoln St. The PUD calls for the rehabilitation of these four (4) structures under strict development standards set forth by the Historic Preservation Office. These Historic Preservation zoning designations are to remain as part of this PUD and any modification and/or new construction to occur on these lots will be subject to the Historic Preservation Office review process.

There are no conservation easements on any of the buildings within the PUD boundaries. It is the Developer's intent to seek long term conservation easements in the rehabilitation and adaptation of all four (4) of the above mentioned buildings.

The Design Guidelines section of this proposed PUD has been crafted to highlight and clearly delineate Historic Properties from new construction to occur within the PUD. Any existing or any future Historic Preservation designated properties must receive approval from the Historic Preservation Office for rehabilitation or modifications. Additionally, any new signage proposed for HP or HP-L designated buildings must first be approved by the Historic Preservation Office.

N. EXHIBITS

Submitted Under This Cover

- | | |
|---------------------------------------|------------|
| • Comparative Zoning Table | Exhibit 1 |
| • Legal Description | Exhibit 2 |
| • Area Vicinity Map | Exhibit 3 |
| • Adjacent Developments & Aerial Map | Exhibit 4 |
| • Zoning Map | Exhibit 5 |
| • Existing Conditions - Context Plan | Exhibit 6 |
| • General Plan Map | Exhibit 7 |
| • Land Use Plan | Exhibit 8 |
| • Conceptual Site Plan | Exhibit 9 |
| • Conceptual Elevations / Sections | Exhibit 10 |
| • Conceptual Landscape Plan | Exhibit 11 |
| • Thematic Street Cross Sections | Exhibit 12 |
| • Circulation Plan | Exhibit 13 |
| • Sign Plan | Exhibit 14 |
| • Comparative Building Height | Exhibit 15 |
| • Precedent Courtyard Images | Exhibit 16 |
| • Precedent Occupiable Rooftop Images | Exhibit 17 |
| • Wall Articulation Sample Images | Exhibit 18 |
| • Sign Definitions and Sample Images | Exhibit 19 |
| • Typical Shade Performance | Exhibit 20 |

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• Sign Definitions and Sample Images	Exhibit 19
• Typical Shade Performance	Exhibit 20

EXHIBIT 1

comparative zoning table

	* Existing Zoning (Various Zoning Districts Apply)	Proposed in PUD
Setbacks		
Front and Side facing street	W 5' build-to line from 0' to 80', 10' minimum setback required above 80'	5' build-to line from 0' to 40', Setbacks may occur above 40'
Side Interior	W Silent DC If adjacent to a residential use, 20' setback A-1 If adjacent to a residential district, 30' setback.	5' build-to line for buildings up to 40'; Setbacks may occur above 40'
Rear	W If fronting a public street, 5' build to line from 0' to 80', 10' minimum setback required above 80' DC If not fronting a public street and if adjacent to a residential use, 20' setback A-1 If not fronting a public street and if adjacent to a residential district, 30' setback	None
Lot Coverage		
	W Silent DC 100% A-1 Silent	100%; With block by block standards restricting lot coverage above 80'.
Density		
	W Silent DC Silent A-1 Use Permit Required for Residential	No maximum density
Height		
	W 80'; 140' or up to Sky Harbor allowable with HP easement and/or City Council approval	140'. Height Waiver required for greater height. No heights above Sky Harbor limits
Lot Size		
	W Silent DC Silent A-1 Silent	None
Parking		
	W Silent DC None A-1 Varies greatly per use	None

*All property lies within the Warehouse Overlay.

*Portions of the property have Downtown Core Zoning, portions of the property have A-1 Zoning.

*2 properties have Historic Preservation Overlays

Jackson Street Entertainment District
sojac

EXHIBIT 2.1

legal description

LEAGL DESCRIPTION

Jackson Street Entertainment District Boundary

That portion of the East half of Section 8, Township 1 North, Range 3 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, described as follows:

BEGINNING at the intersection of Lincoln Street and 4th Street;

Thence Westerly a distance of 380 feet, more or less, to the intersection of Lincoln Street and 3rd Street;

Thence Northerly along the centerline of 3rd Street a distance of 697.4 feet, more or less, to a point on the South line of the "Original Townsite of Phoenix" as recorded in Book 2 of Maps, Page 51, Records of Maricopa County;

Thence Westerly along said South line a distance of 4.7 feet, more or less;

Thence Northerly along the centerline of 3rd Street a distance of 155 feet, more or less;

Thence Westerly along the centerline of a 25 foot alley lying within Block 47 and Block 48 of the aforementioned "Original Townsite of Phoenix", a distance of 641 feet, more or less, to a point lying on the projection of the West line of Tract 'A' as shown on the final plat for "Abromovitz" as recorded in Book 478, Page 14, Records of Maricopa County, Arizona;

Thence Northerly along said projection and the West line of said Tract 'A' a distance of 190 feet, more or less, to the centerline of Jackson Street;

Thence Easterly along said centerline a distance of 1021 feet, more or less to the intersection of Jackson Street and 4th Street;

Thence Southerly along the centerline of 4th Street a distance of 347 feet, more or less, to a point on the South line of the aforementioned "Original Townsite of Phoenix";

Thence Easterly along said South line a distance of 4.5 feet, more or less;

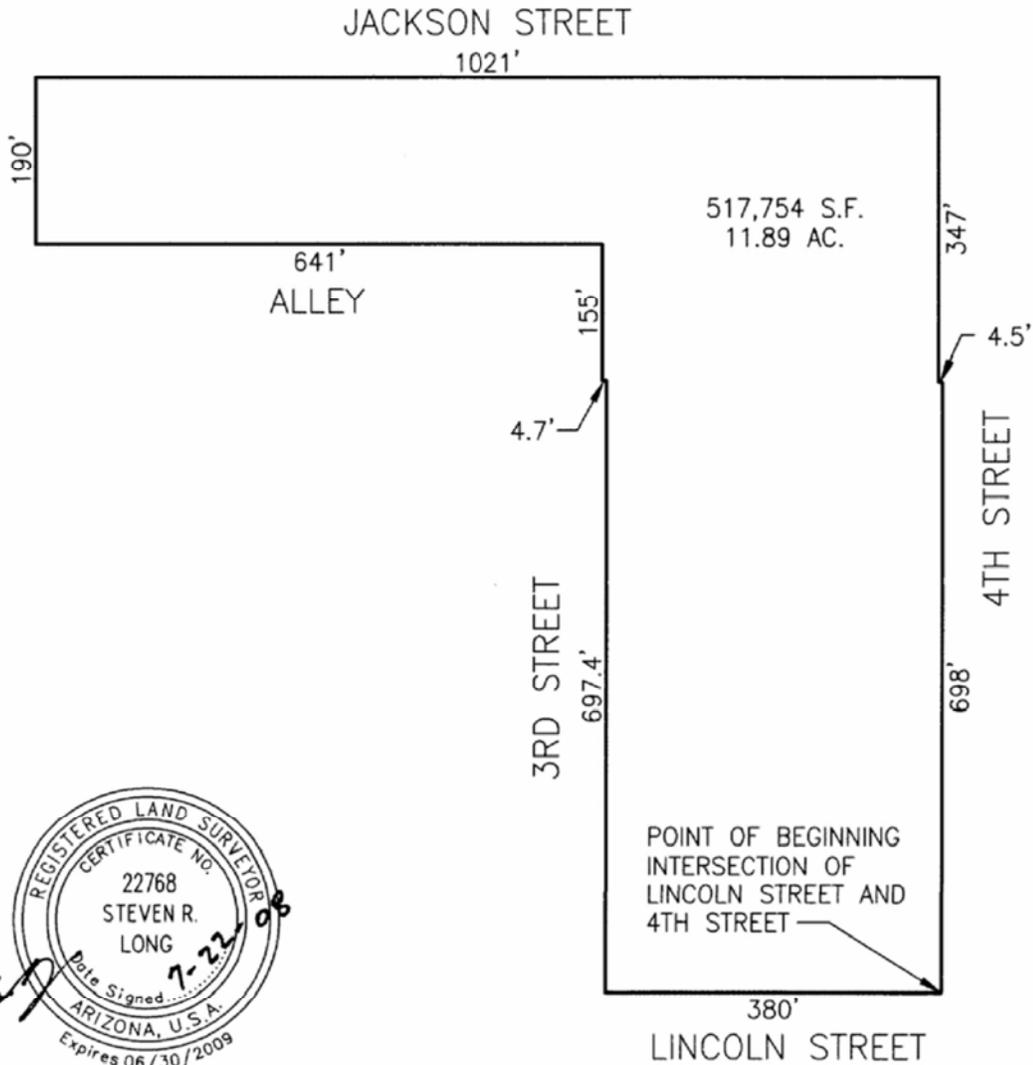
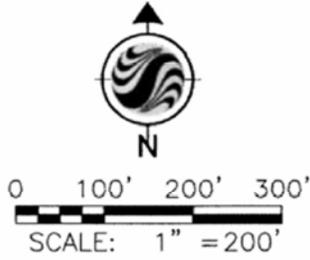
Thence Southerly along the centerline of 4th Street a distance of 698 feet, more or less, to the POINT OF BEGINNING.

Area contains 517,750 square feet (11.9 Acres), more or less, and is subject to all easements and restrictions of record.



EXHIBIT 2.2

legal description



V:\52819\active\181760190\Drawings\190c101e.dwg

CLIENT/PROJECT

JACKSON STREET
ENTERTAINMENT DISTRICT BOUNDARY

FIGURE NO.

1

TITLE

**EXHIBIT TO ACCOMPANY
LEGAL DESCRIPTION**

07/16/08
181760190

EXHIBIT 3

area vicinity map

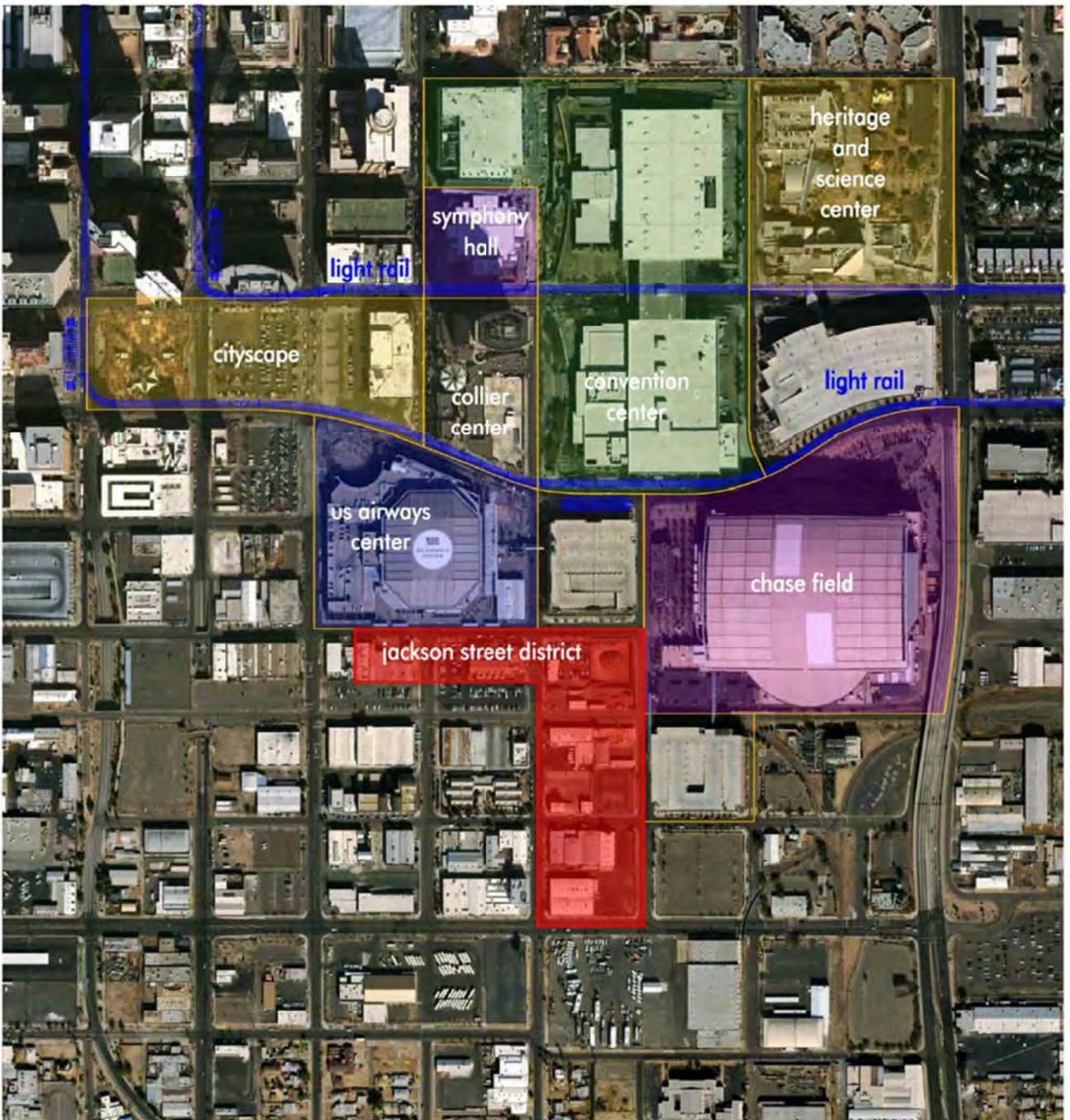


Jackson Street Entertainment District
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10 december 2008



EXHIBIT 4.1 adjacent developments



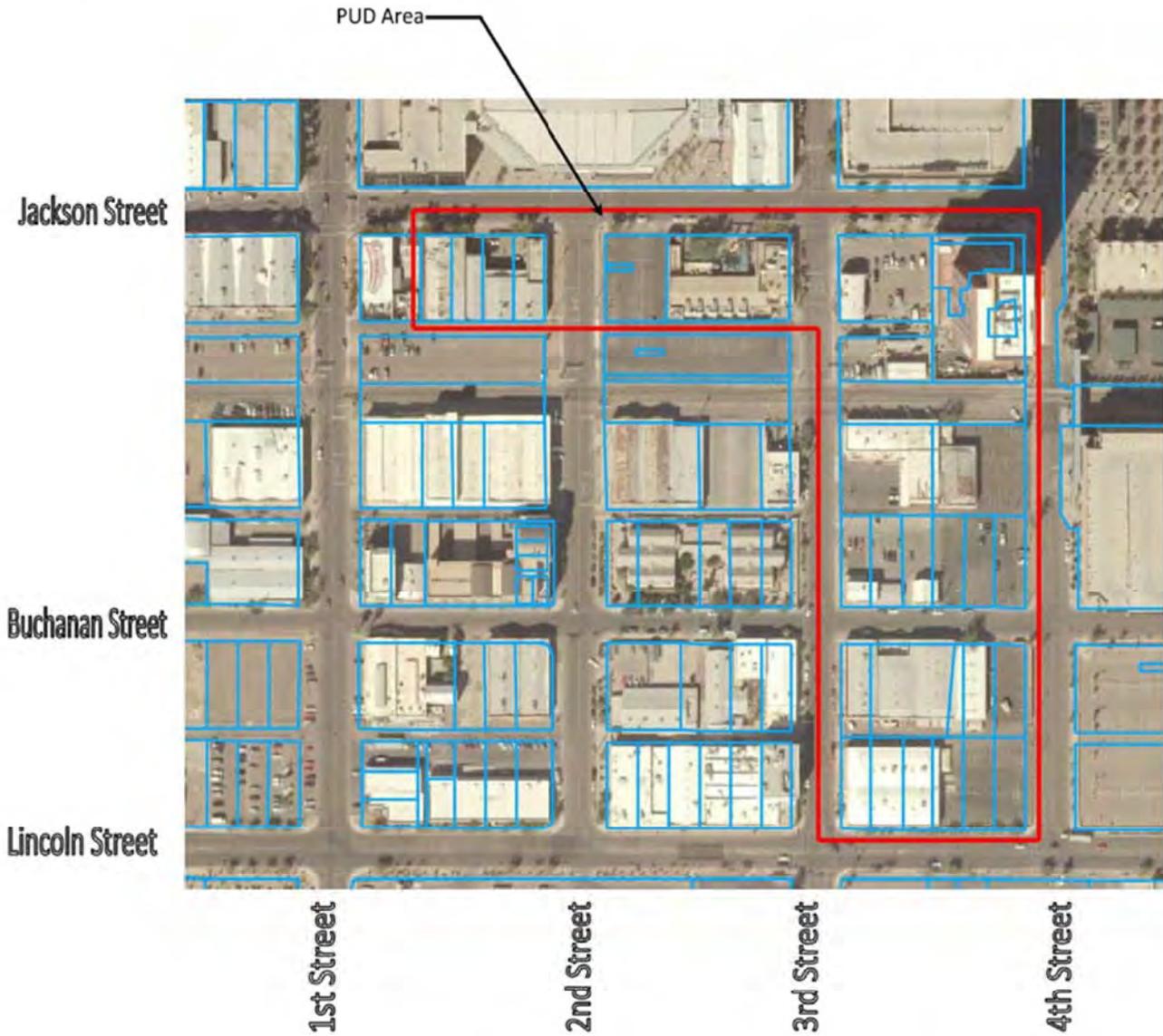
Jackson Street Entertainment District
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10 december 2008



EXHIBIT 4.2

aerial map



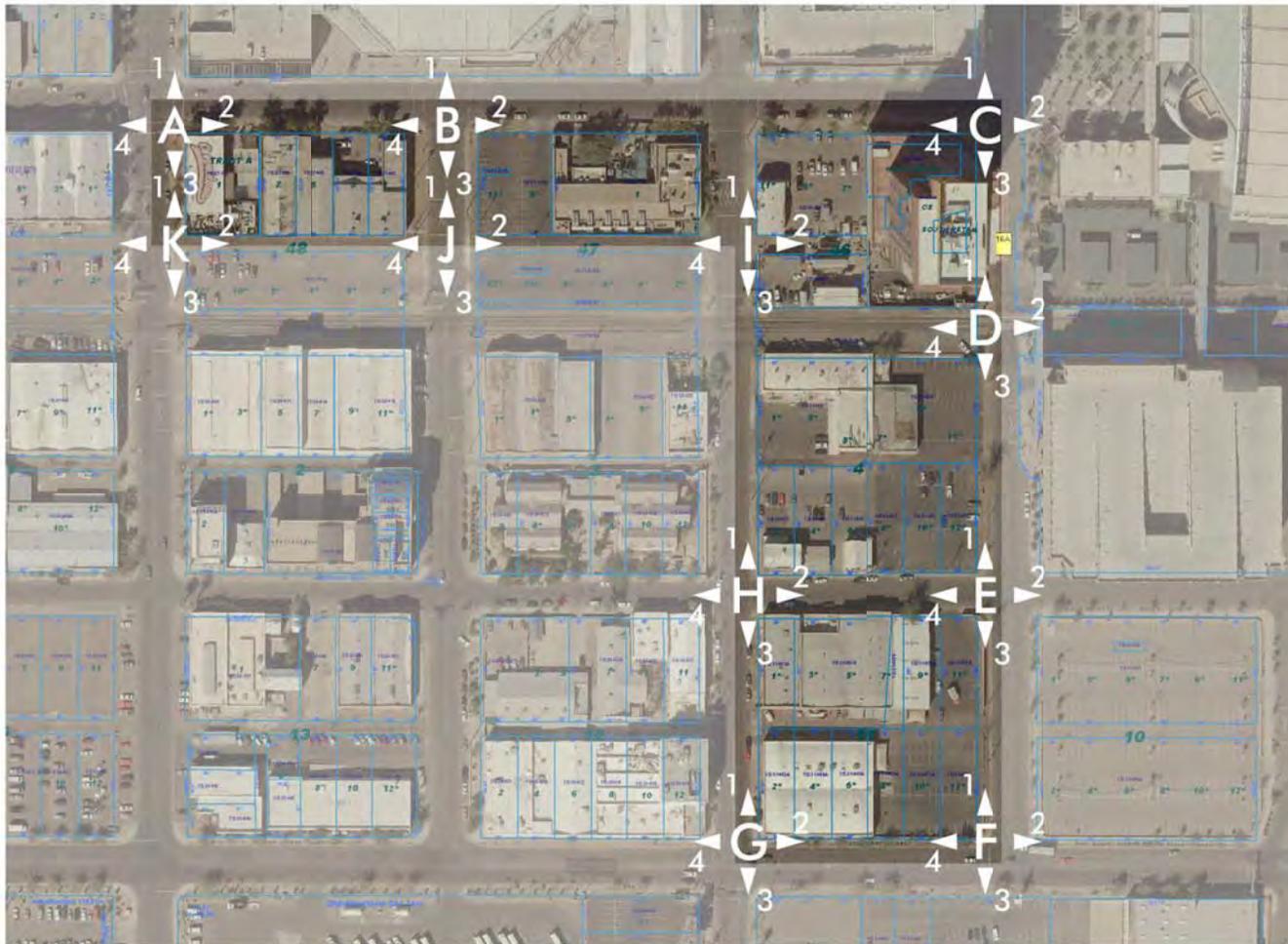
Jackson Street Entertainment District
sojac

10 december 2008



existing conditions

EXHIBIT 6.1 context plan



Jackson Street Entertainment District
sojac

9 June 2008

existing conditions

EXHIBIT 6.2 context plan photos



A-1



A-2



A-3



A-4



Jackson Street Entertainment District
sojac

9 June 2008

existing conditions

EXHIBIT 6.3 context plan photos



B-1



B-2



B-3



B-4



existing conditions

EXHIBIT 6.4 context plan photos



C-1



C-2



C-3



C-4



Jackson Street Entertainment District
sojac

9 June 2008

existing conditions

EXHIBIT 6.5 context plan photos



D-1



D-2



D-3



D-4



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9 June 2008

existing conditions

EXHIBIT 6.6 context plan photos



E-1



E-2



E-3



E-4



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existing conditions

EXHIBIT 6.7 context plan photos



F-1



F-2



F-3



F-4



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existing conditions

EXHIBIT 6.8 context plan photos



G-1



G-2



G-3



G-4



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existing conditions

EXHIBIT 6.9 context plan photos



H-1



H-2



H-3



H-4



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existing conditions

EXHIBIT 6.10 context plan photos



I-1



I-2



I-3



I-4



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existing conditions

EXHIBIT 6.11 context plan photos



J-1



J-2



J-3



J-4



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existing conditions

EXHIBIT 6.12 context plan photos



K-1



K-2



K-3



K-4



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9 June 2008

existing conditions

EXHIBIT 6.13 context plan photos



L-1



L-2



L-3



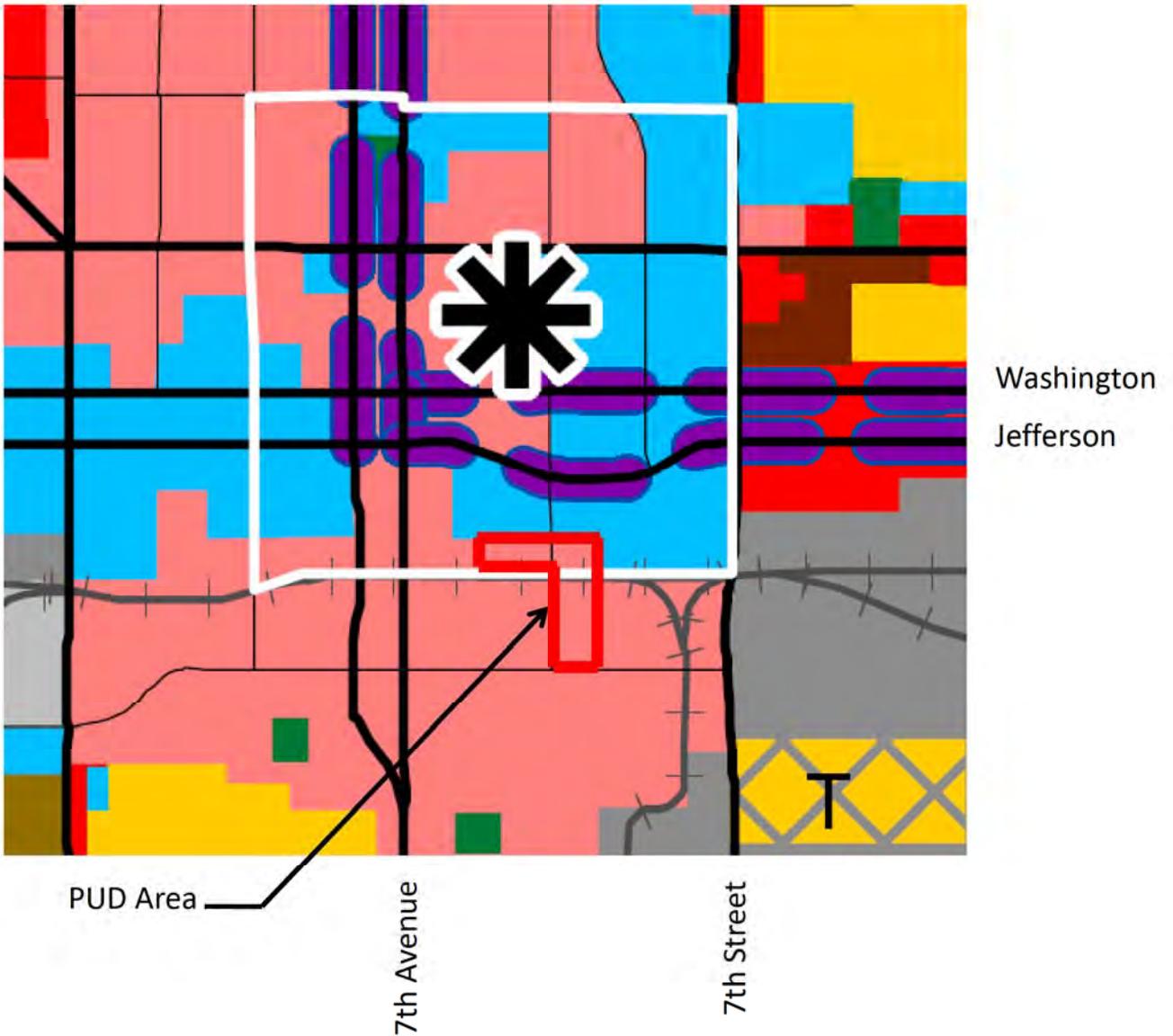
L-4



EXHIBIT 7

general plan map

General Plan Designation: Mixed-Use (MU)



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01 July 2009



EXHIBIT 8 land use map



See Exhibit 9A

See Exhibit 9A

block 6
 lots 1,2,3,4,5,6,7,8,9,10,11,12
 lot size 328x237' 75,650sf

block 7 (CDP block 417)
 lots 1,2,3,4,5,6,7,8,9,10,11,12
 lot size 328x237' 75,650sf

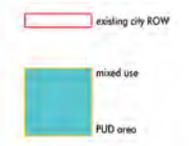
block 8 (CDP block 418)
 lots 1,2,3,4,5,6,7,8,9,10,11,12
 lot size 328x237' 75,650sf

block 11 (CDP block 419)
 lots 1,2,3,4,5,6,7,8,9,10,11,12
 lot size 328x237' 75,650sf

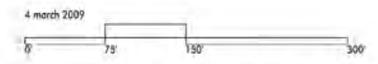
block 12 (CDP block 420)
 lots 1,2,3,4,5,6,7,8,9,10,11,12
 lot size 328x237' 75,650sf



vicinity plan



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4 march 2009

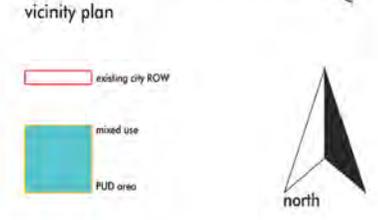
EXHIBIT 9 conceptual site plan



Block 6 (ICOP block 4)	block 11 (ICOP block 4)
lots: 1,3,5,7 abandoned 2nd street	lots: 1,2,3,4,5,6,7,8,9,10,11,12
lot size: 230x137.5 340x75d	lot size: 300x277 83,154d
gross building area: 200,204d	gross building area: 452,100d
lot coverage: 100%	lot coverage: 78%
FAR: 3.3	FAR: 3.8
residential units: 232	residential units: 220
height varies 1 stories 12 to 12 stories 140	height varies 1 stories 18 to 12 stories 140
building setback: 5 build to line	building setback: 5 build to line
landscape setback: 0	landscape setback: 0
parking spaces: 130	parking spaces: 180
no parking required in downtown core	required parking varies per use

block 7 (ICOP block 47)	block 12 (ICOP block 11)
lots: 1,0,11 abandoned 2nd street	lots: 1,2,3,4,5,6,7,8,9,10,11,12
lot size: 320x137.5 48,125d	lot size: 300x200.4 90,117d
gross building area: 349,729d	gross building area: 471,700d
lot coverage: 72%	lot coverage: 76%
FAR: 3.3	FAR: 2.9
residential units: 140	residential units: 200
height varies 1 stories 22 to 12 stories 140	height varies 1 stories 18 to 12 stories 140
building setback: 5 build to line	landscape setback: 0
landscape setback: 0	parking spaces: 110
parking spaces: 130	required parking varies per use
no parking required in downtown core	

block 8 (ICOP block A4)
lots: 1,2,7,8,11
abandoned 3rd street
abandoned alley
lot size: 220x237 73,820d
gross building area: 700,200d (123,000d aerial)
lot coverage: 74%
FAR: 8.5
residential units: 232 (165 existing)
height varies 3 stories 82 to 12 stories 140
building setback: 2.5d existing; 5 build to line
landscape setback: 0
parking spaces: 315 (185 existing)
no parking required in downtown core

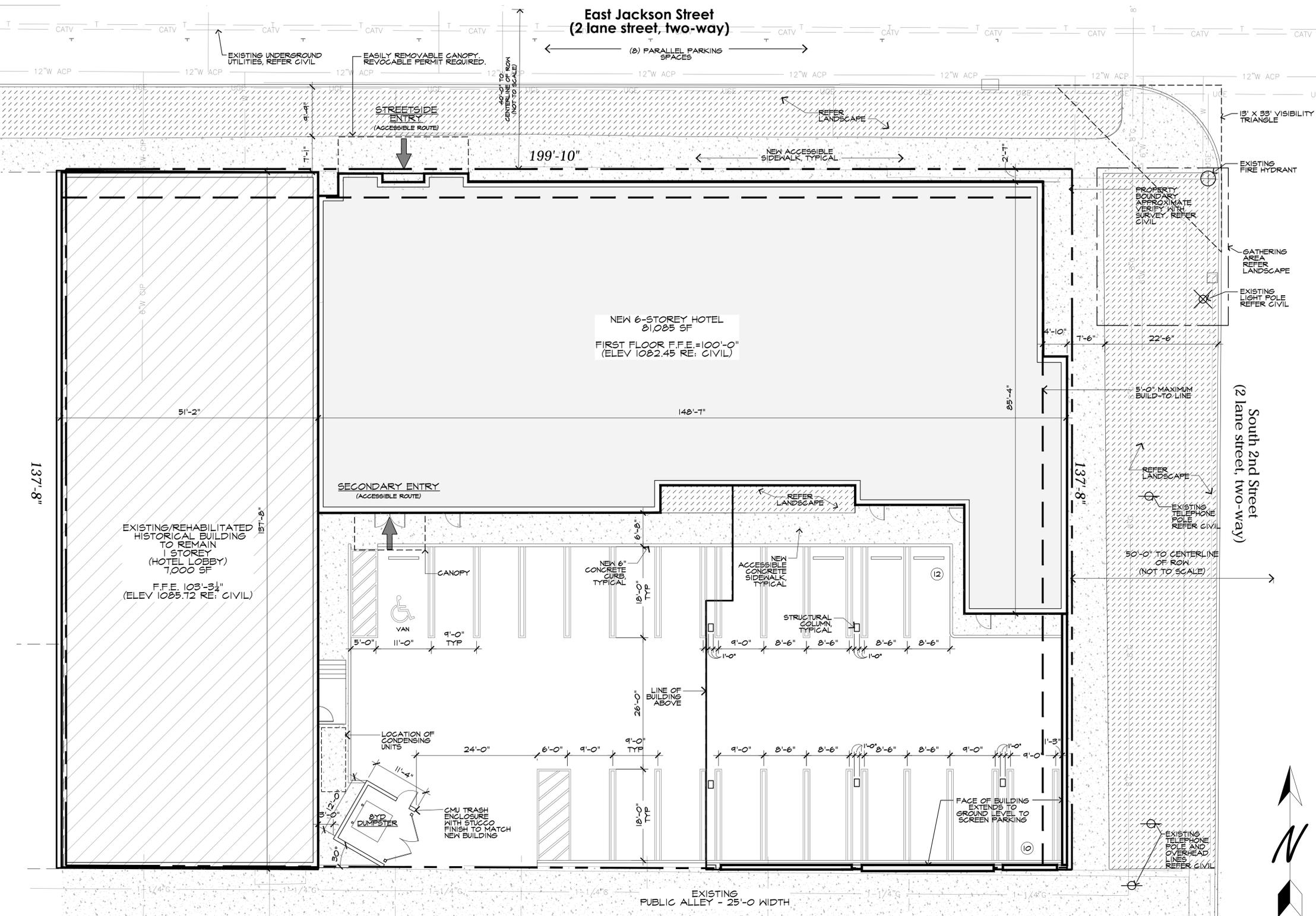


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4 march 2009

0 75 150 300

FUTURE CITIES® JSED®



1 SITE PLAN
SCALE: 1" = 10'-0"
01 5 10 20 FEET

Property Information

OWNER: ANISH HOTELS GROUP
205 N 5TH STREET
TULSA, OK 74103
(918) 252-1868
andy@anishhotels.com

ARCHITECT: SQD ARCHITECTS, LLC
9726 E 42ND STREET, SUITE 212
TULSA, OK 74146
(918) 877-0320
carrie@sqdarchitects.com

PROPERTY ADDRESS: 117, 125, 133 and 144 E JACKSON STREET

PARCEL NUMBERS: 112-21-100, 112-21-099, 112-21-098, 112-21-097

LEGAL DESCRIPTION: LOTS 1, 3, 5, AND 7, BLOCK 48, ORIGINAL TOWNSITE OF PHOENIX, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 2 OF MAPS, PAGE 51.

ZONING SUMMARY:
EXISTING ZONING: FUD (NO PROPOSED CHANGE)
PROPOSED ZONING: FUD
REZONING CASE #: Z-18-08-B

PROJECT DESCRIPTION:
EXISTING USE: VACANT LOT AND VACANT EXISTING BUILDING.
PROPOSED USE: 6 STORY HOME2 SUITES BY HILTON HOTEL, WITH A NEW TOWER HOUSING 149 GUESTROOMS, AND ASSOCIATED LOBBY AREAS LOCATED IN THE EXISTING BUILDING.

SITE ACREAGE:
GROSS: 1.07 ACRES
NET: 0.63 ACRES

GENERAL NOTES

1. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
2. ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
3. GROUND CORNER LOT. BUILDING SHALL MAINTAIN 33' X 33' VISIBILITY TRIANGLE AT THE INTERSECTION MEASURED FROM THE FACE OF CURB, UNLESS OTHERWISE APPROVED BY PHOENIX DEVELOPMENT SERVICES OR STREET TRANSPORTATION DEPARTMENTS.
4. ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ONE FOOT CANDLE AT THE PROPERTY LINE. NO NOISE, ODOR, OR VIBRATION WILL BE EMITTED AT ANY LEVEL EXCEEDING THE GENERAL LEVEL OF NOISE, ODOR, OR VIBRATION EMITTED BY USES IN THE AREA OUTSIDE OF THE SITE.
5. OWNERS OF PROPERTY ADJACENT TO PUBLIC RIGHTS-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING LOCATED WITHIN THE RIGHTS-OF-WAY, IN ACCORDANCE WITH APPROVED PLANS.
6. ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT.
7. ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTERS, OR OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
8. BARBED, RAZOR, OR CONCERTINA WIRE (OR SIMILAR) SHALL NOT BE USED ON THIS SITE WHERE VISIBLE FROM PUBLIC STREETS OR RESIDENTIAL AREAS.
9. ALL SIGNAGE REQUIRE SEPARATE REVIEWS, APPROVALS, AND PERMITS. NO SIGNS ARE APPROVED PER THIS PLAN.
10. I CONSENT TO THE REPRODUCTION OF THIS SITE PLAN PROVIDED THAT IF MODIFICATIONS ARE MADE, THE PROFESSIONALS WHO MAKE SUCH CHANGES ASSUME FULL RESPONSIBILITY AND LIABILITY FOR THE MODIFIED PORTIONS OF THE PLAN.

GARRIE SHELL, #64085, 2/21/2020



sqd architects
9726 E 42nd Street, Suite 212
Tulsa, OK 74146
918.877.0320
www.sqdarchitects.com



carrie shell
architect of record
license: #00085
drawn by:
checked by:
project number:
17-014

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Phoenix, Arizona
Architectural
Site Plan

ISSUED/REVISION:
02.27.20
Pre-Application Submittal
sheet number:

A050

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SITE INFORMATION	
• SIZE OF PARCEL:	27,525 SQUARE FEET (0.63 ACRE)
• BOUNDARIES:	NORTH: EAST JACKSON STREET EAST: SOUTH 2ND STREET SOUTH: EXISTING PARKING LOT WEST: EXISTING MEDICAL BUSINESS
• HEIGHT LIMITATION:	MAXIMUM 140'-0" WITH NO MORE THAN 90% OF BUILDING EXCEEDING 80'-0".
• TRAFFIC:	MAJORITY OF TRAFFIC WILL APPROACH THE SITE FROM WEST OR EAST ALONG JACKSON STREET
• HIGHWAY:	NEAREST ADJACENT HIGHWAY IS INTERSTATE 49 APPROXIMATELY 1/4 MILE WEST OF THE SITE
• FEATURES:	SITE IS DIRECTLY ACROSS JACKSON STREET FROM TALKING STICK RESORT ARENA (NBA PHOENIX SUNS) AND TWO BLOCKS WEST OF CHASE FIELD (MLB ARIZONA DIAMONDBACKS)
• LOT COVERAGE:	61%

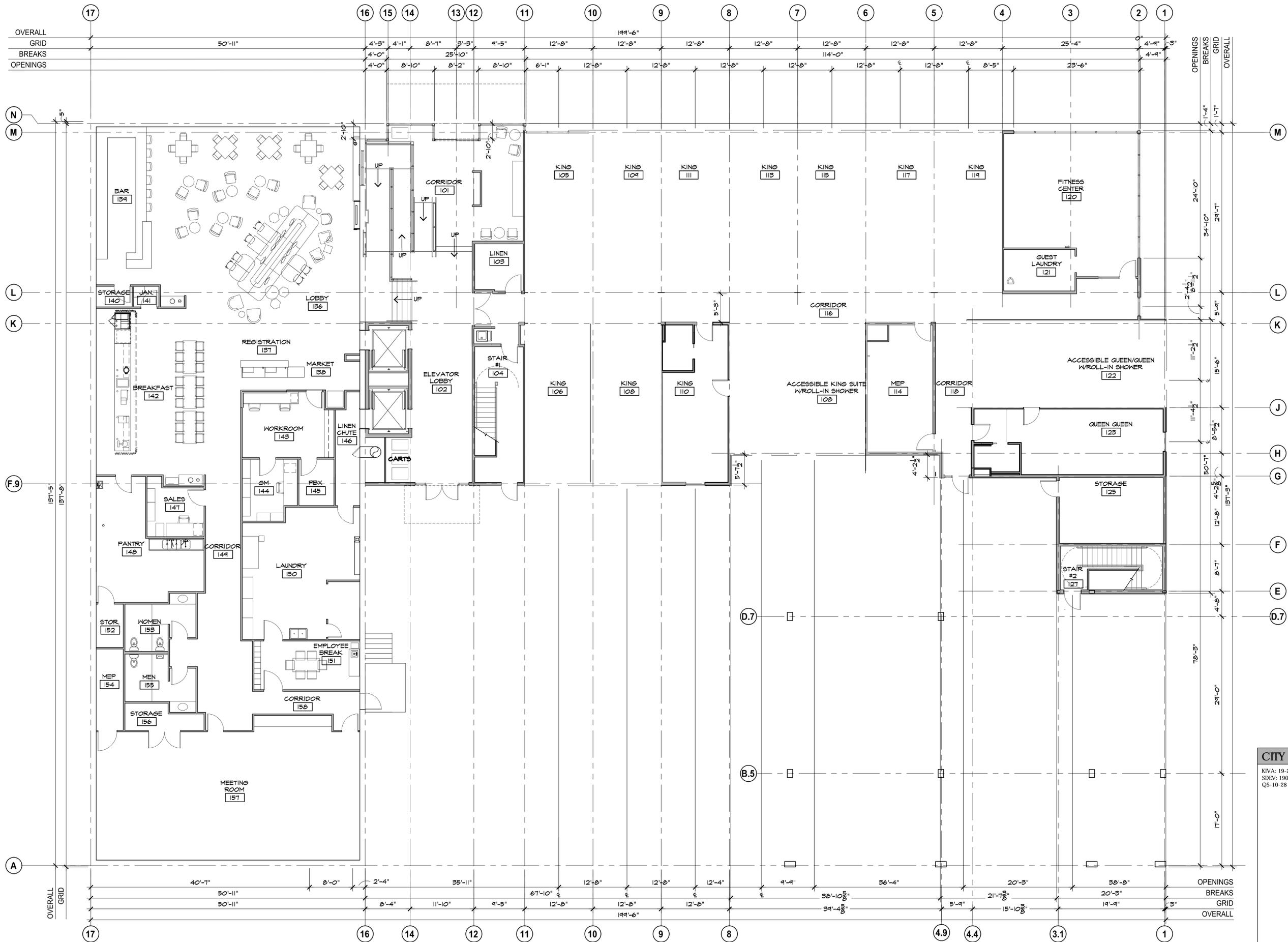
BUILDING INFORMATION	
• SQUARE FOOTAGE:	88,085 TOTAL (7,000 EXISTING, 81,085 NEW)
• BUILDING HEIGHT:	80'-0" TO TOP OF TOWER 54'-0" TO HIGHEST FLOOR
• TOTAL GUESTROOMS:	148
• CONSTRUCTION TYPE:	1-B
• FIRE SPRINKLER SYSTEM:	NFPA 13

PARKING COUNT	
• PARKING REQUIRED:	0 SPACES
• ACCESSIBLE PARKING REQUIRED:	1 (PER ADA: 1-25 PARKING SPACES IN LOT = 1 ACCESSIBLE REQUIRED)
• SURFACE PARKING PROVIDED:	21 STANDARD SPACES 1 ACCESSIBLE SPACE
TOTAL:	22 PARKING SPACES

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RVA: 19-2727
SDEV: 1900450
QS-10-28

CITY OF PHOENIX
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1 FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 NORTH



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 architect of record
 license: #00065
 drawn by:
 project number:
 17-014

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 Phoenix, Arizona
 First Floor Plan**

issued/revision:
 02.27.20
 Pre-Application Submittal
 sheet number:

A101
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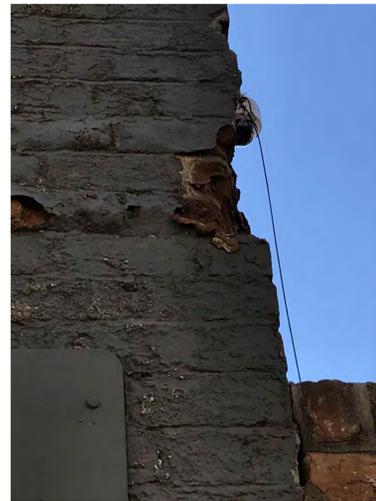
DETERIORATED BRICK AT CORNER



DETERIORATED BRICK AT CORNER



DETERIORATED BRICK PILASTER (WEST ELEVATION)



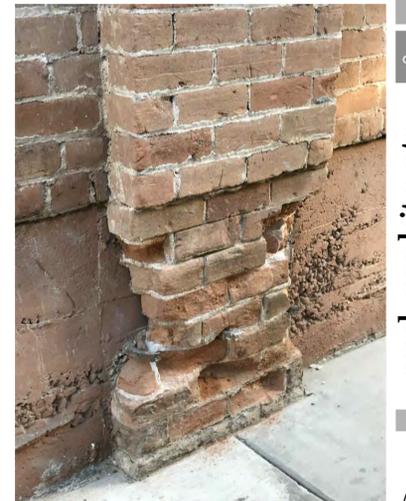
DETERIORATED BRICK AT CORNER



PAINTED/DETERIORATED BRICK (EAST ELEVATION)



DETERIORATED BRICK (WEST ELEVATION)

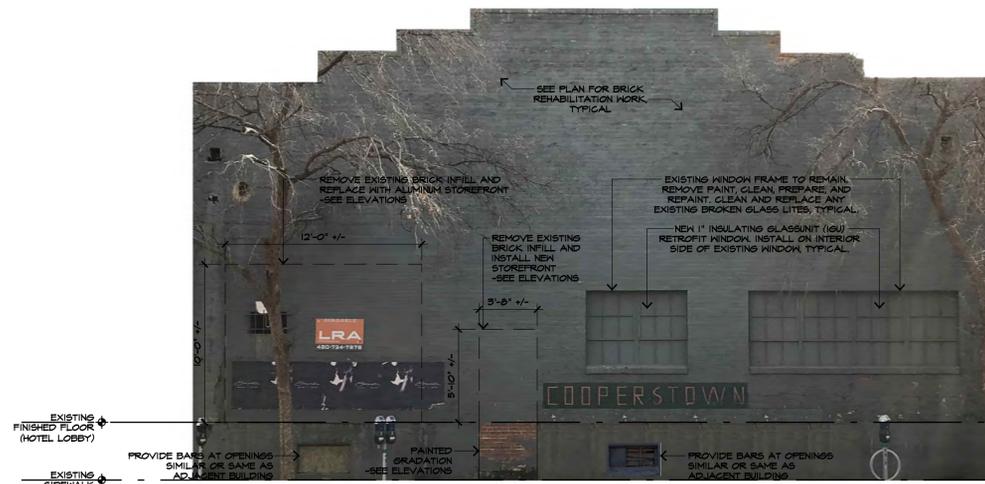


BRICK PILASTER AT GRADE

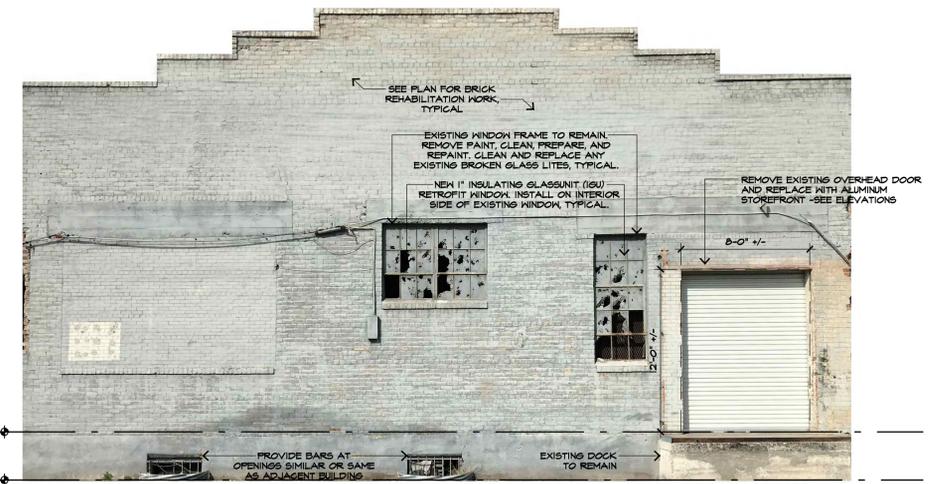
5 EXISTING BRICK CONDITION (FOR REFERENCE PURPOSES ONLY - SEE NOTE #6)
NOT TO SCALE



4 WINDOW BARS AT ADJACENT BUILDING
NOT TO SCALE



3 EXISTING SOUTH ELEVATION
NOT TO SCALE



2 EXISTING SOUTH ELEVATION
NOT TO SCALE



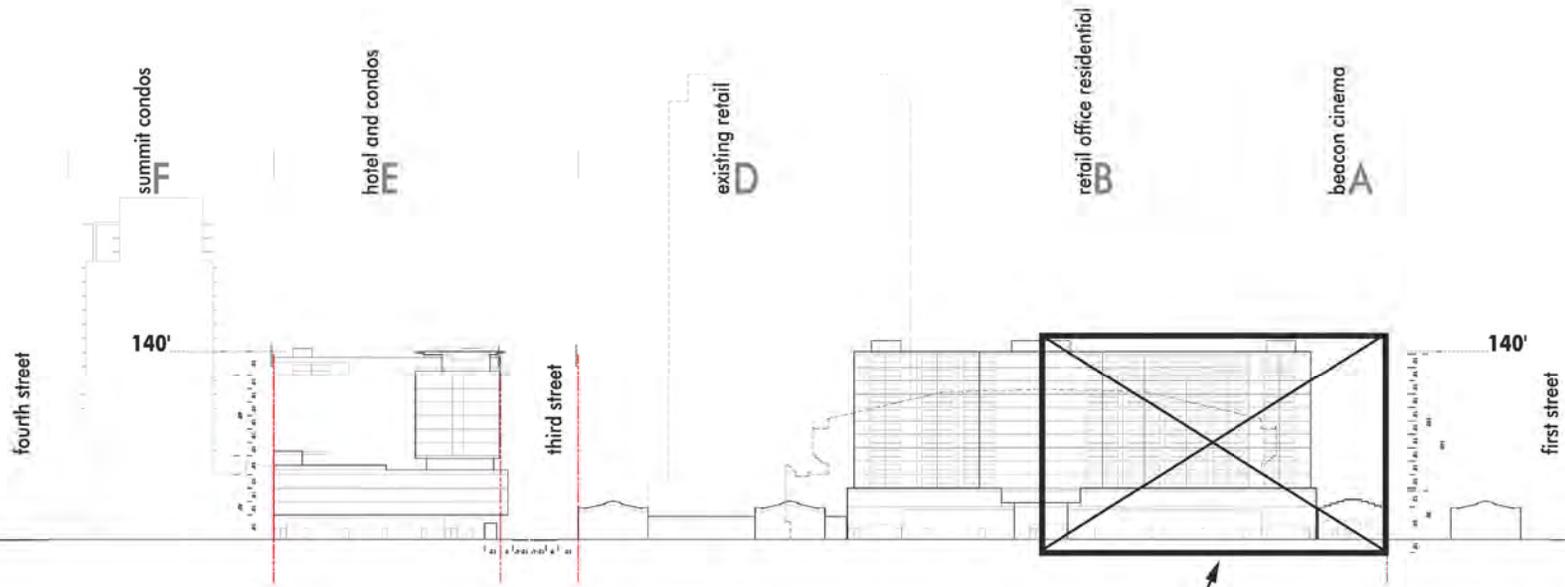
1 EXISTING EAST ELEVATION
NOT TO SCALE

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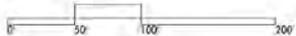
north elevations along jackson street

EXHIBIT 10.1 conceptual elevations



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26 february 2009



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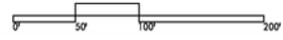
south elevation along buchanan street

EXHIBIT 10.2 conceptual elevations



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south elevation along lincoln street

EXHIBIT 10.3 conceptual elevations



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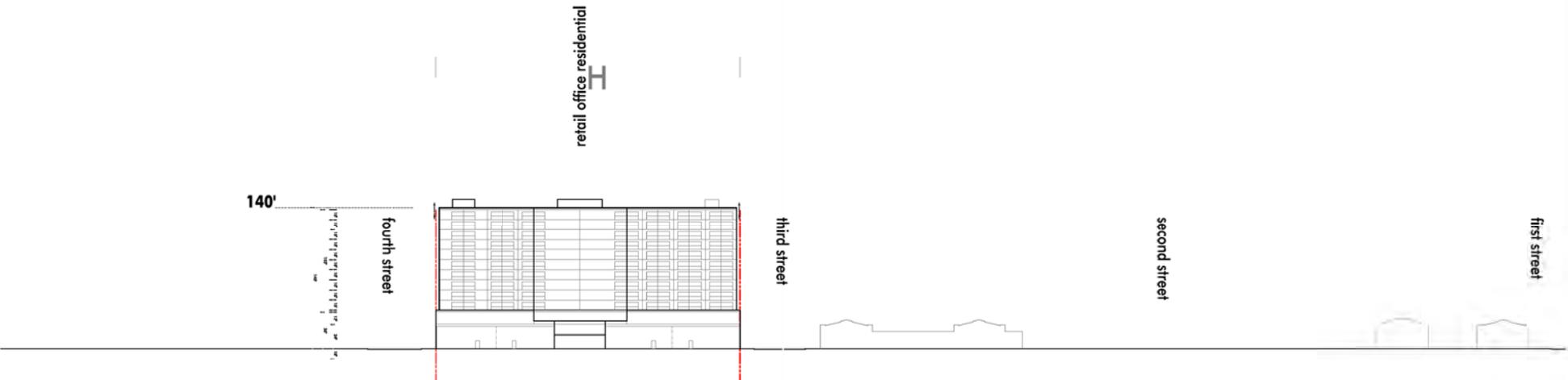


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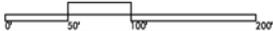
north elevation along buchanan street

EXHIBIT 10.4 conceptual elevations

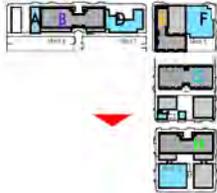


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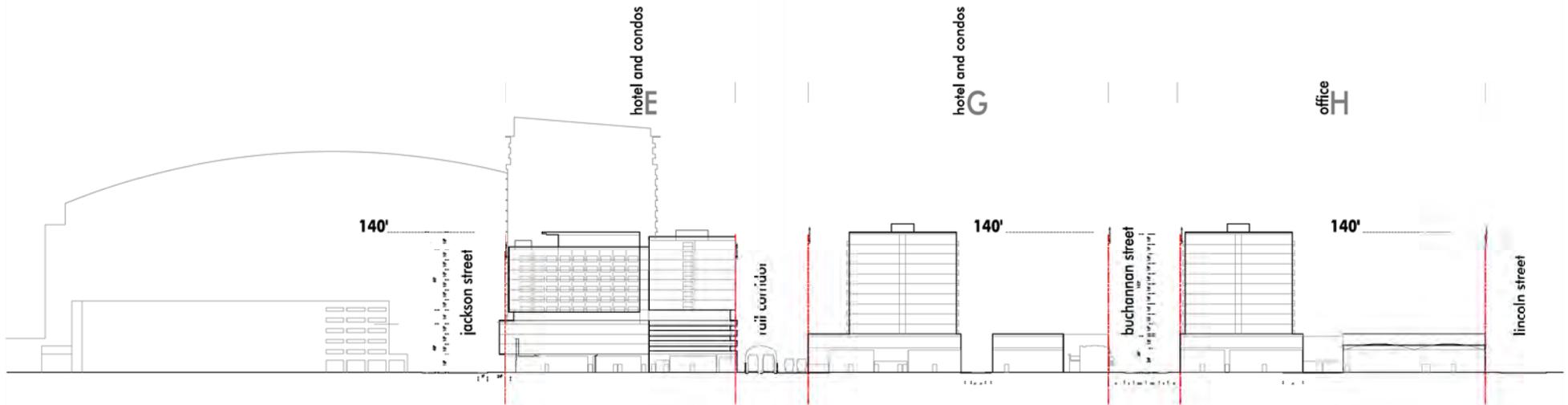


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west elevation along third street

EXHIBIT 10.5 conceptual elevations

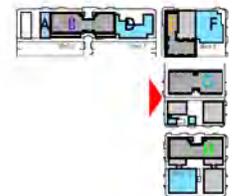


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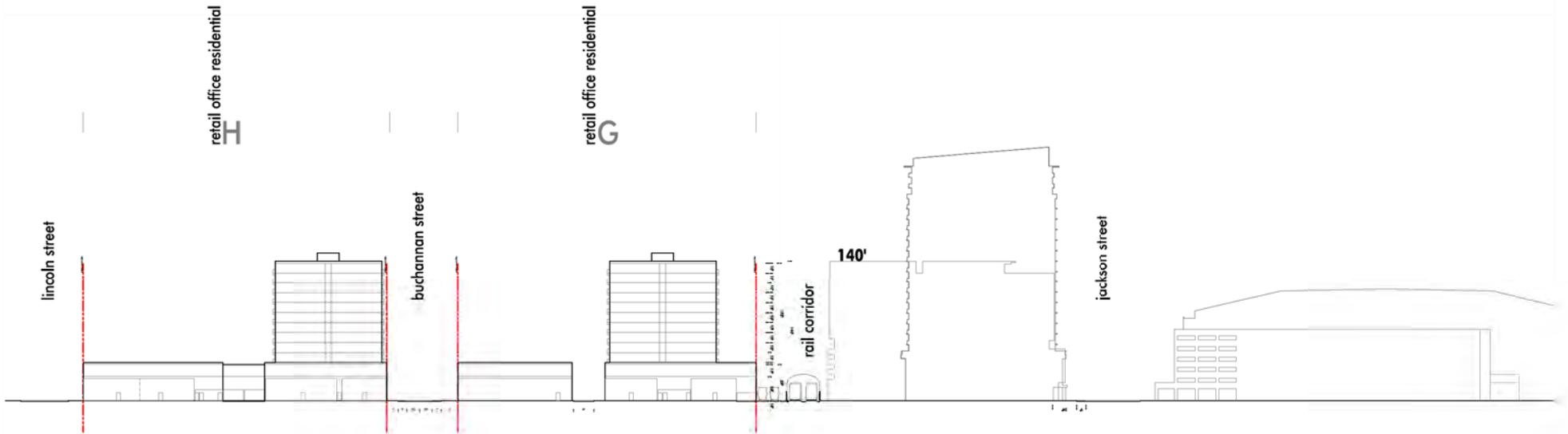


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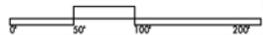
elevations along fourth street

EXHIBIT 10.6 conceptual elevations



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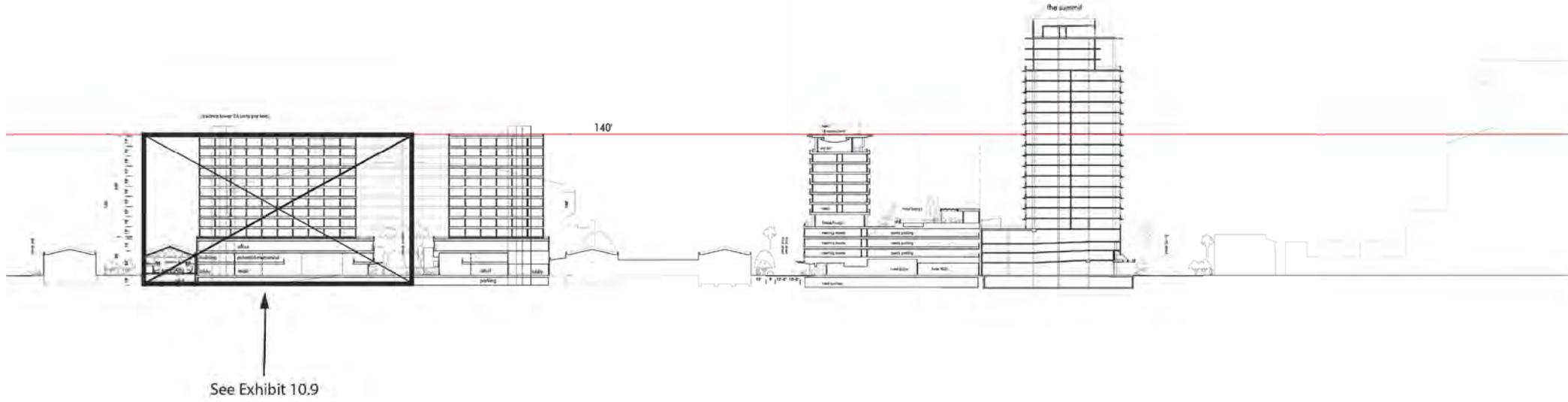


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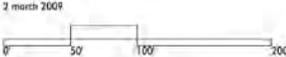


sections along jackson street

EXHIBIT 10.7 conceptual sections



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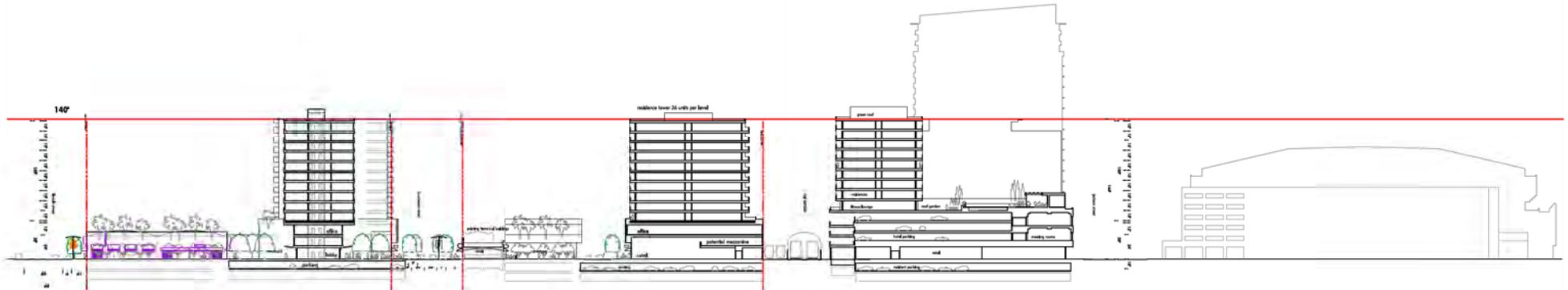


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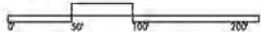
sections between third and fourth streets

EXHIBIT 10.8 conceptual sections

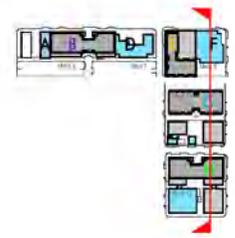


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9 June 2008



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3 VIEW FROM 2ND & JACKSON
SCALE: 3/32" = 1'-0"



2 EAST ELEVATION
SCALE: 3/32" = 1'-0"



1 NORTH ELEVATION
SCALE: 3/32" = 1'-0"

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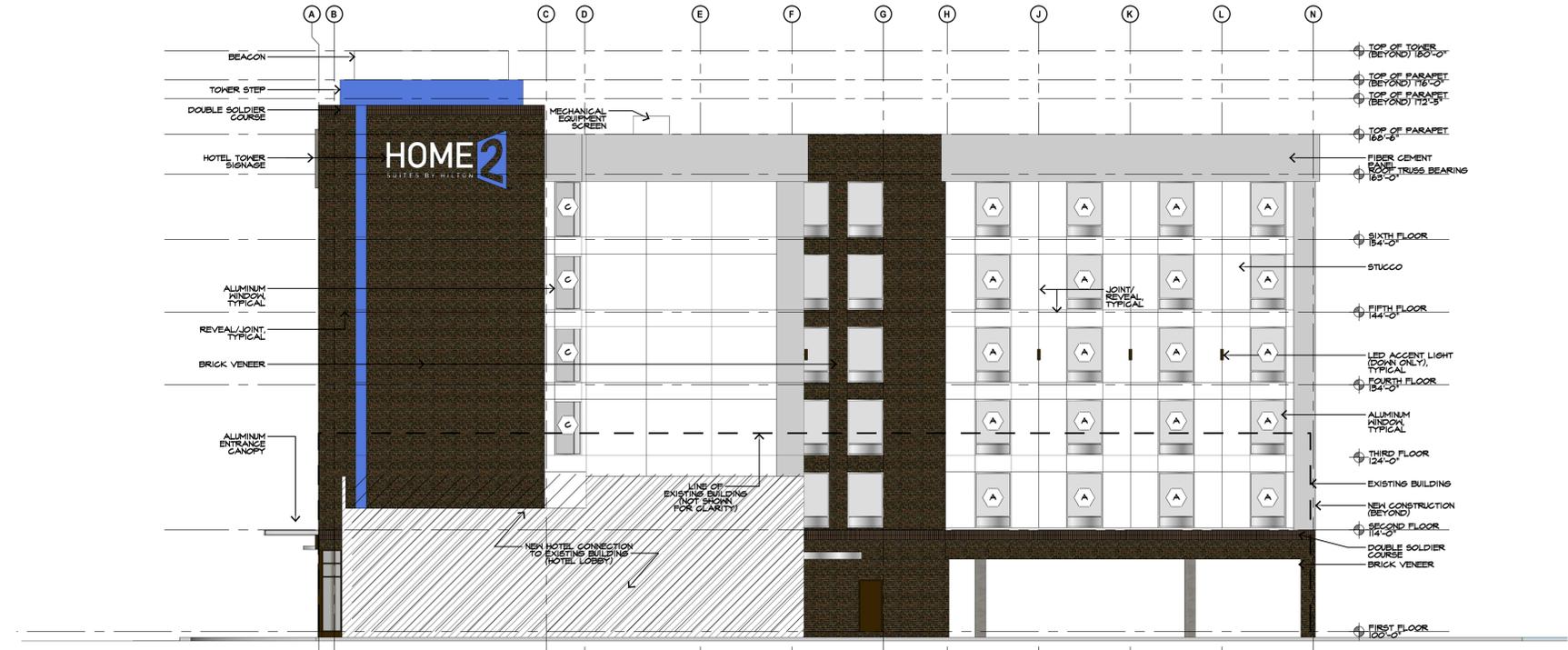
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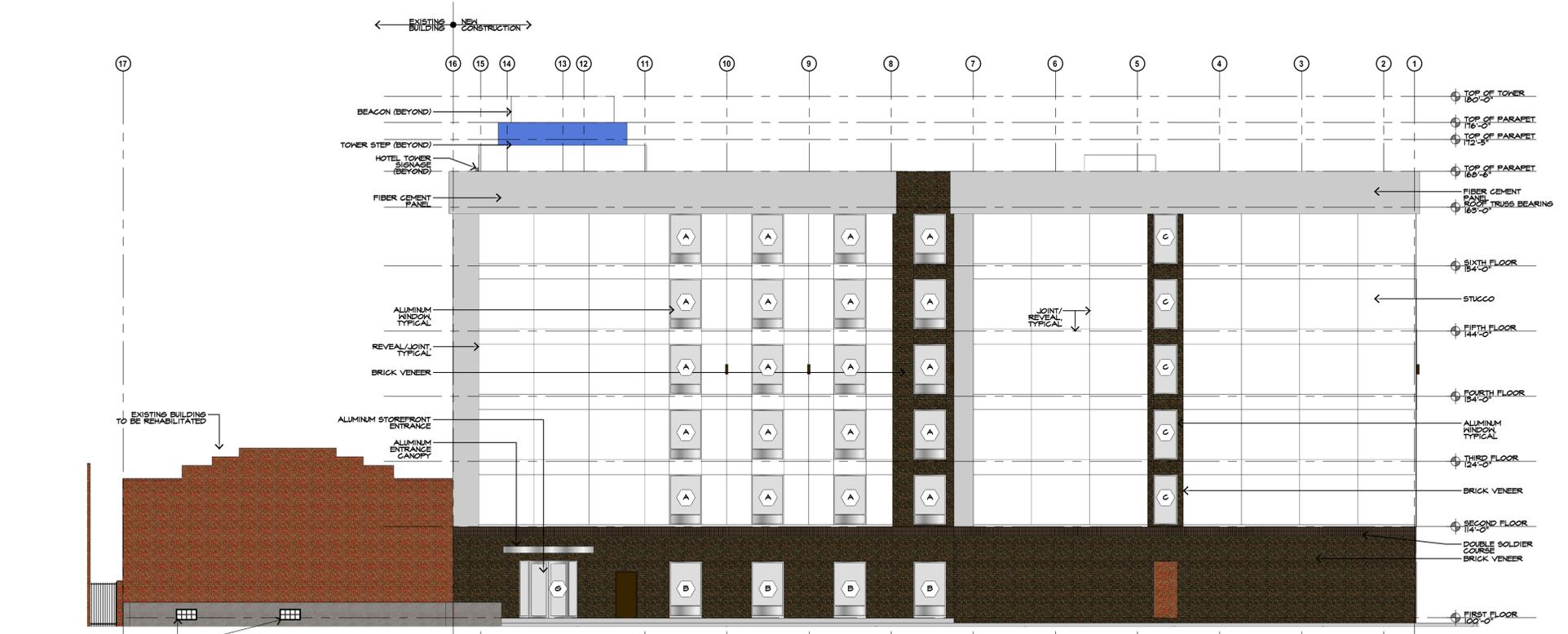
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2 WEST ELEVATION
SCALE: 3/32" = 1'-0"

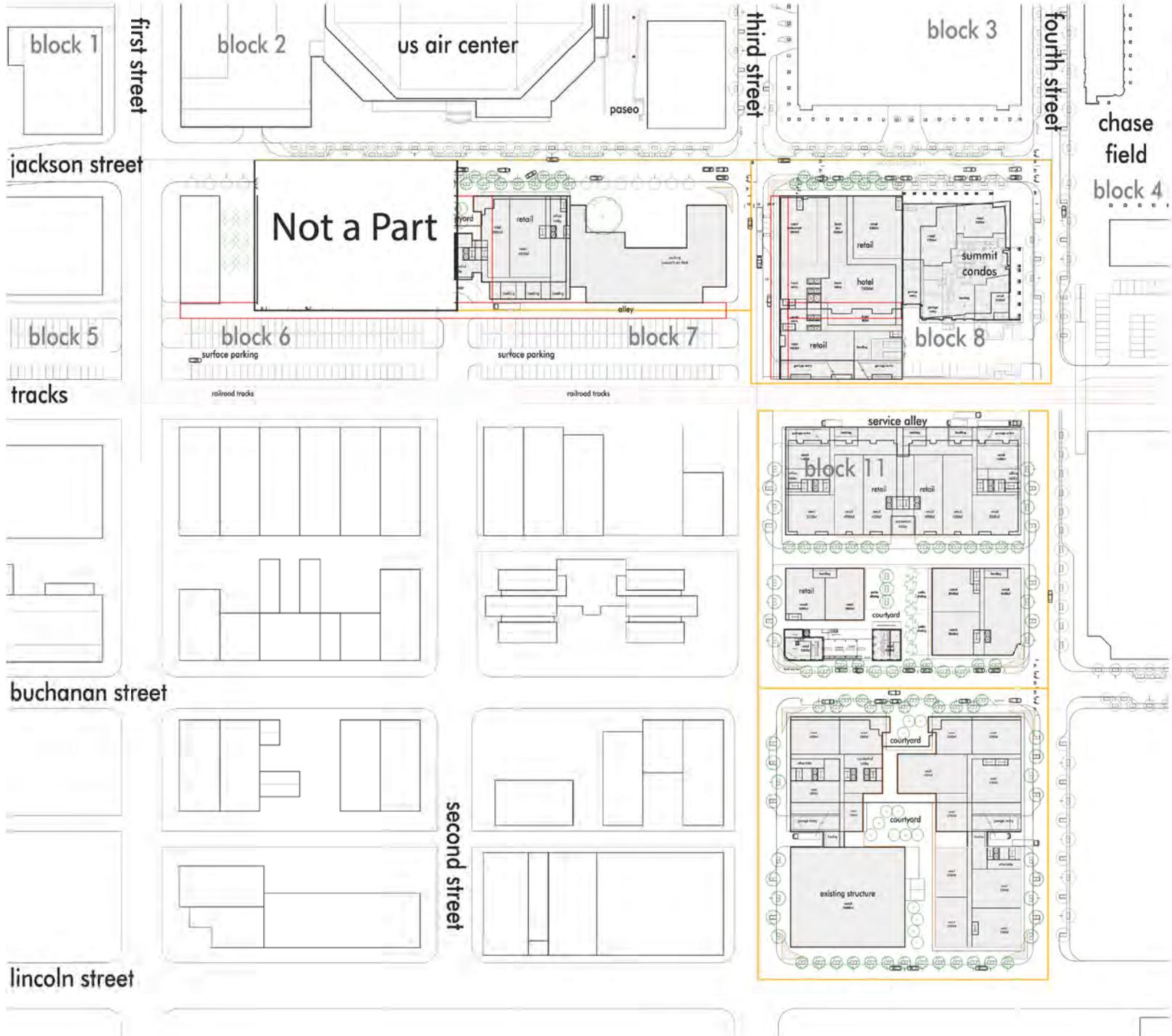


1 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

NEW BARS AND WINDOW TREATMENT OR VENTILATION BASED ON RESULTS OF OWNER'S PHASE II ENVIRONMENTAL SURVEY

EXHIBIT 11

conceptual landscape plan



- * work outside PUD boundaries to be performed by others
- evergreen elm trees on east-west streets
- plano or oak trees on north-south streets
- existing city ROW
- mixed use
- PUD area
- work outside PUD boundaries to be performed by others



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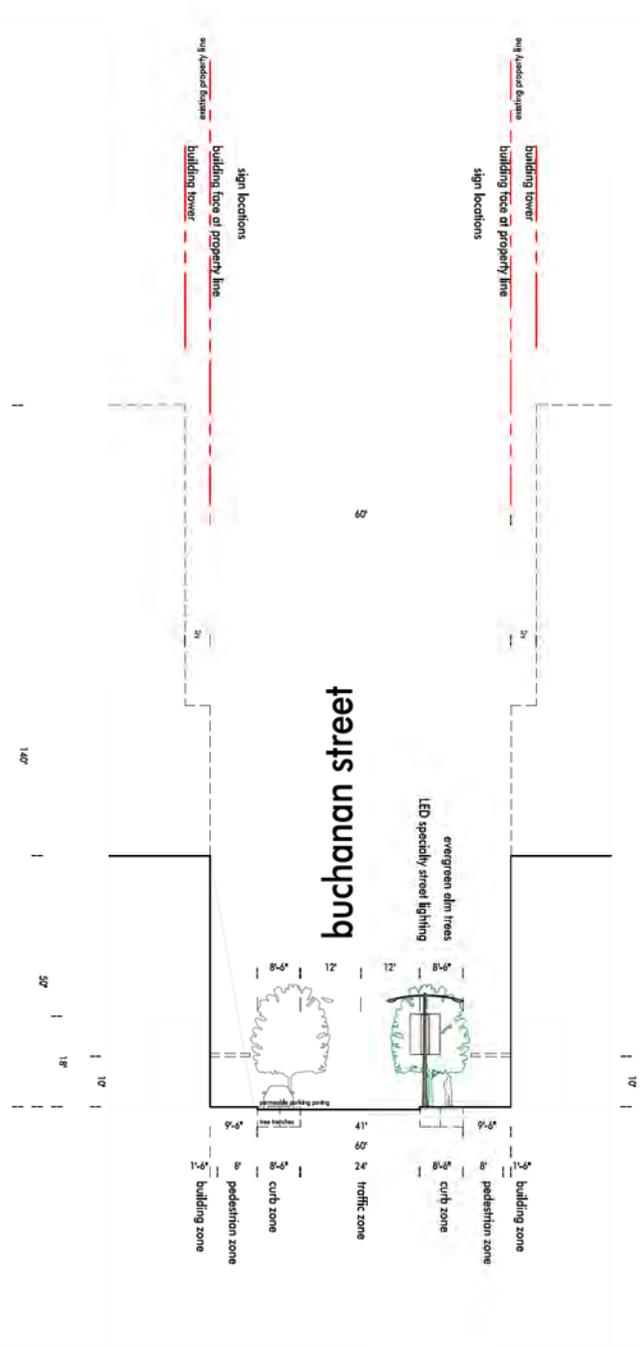
4 march 2009

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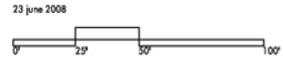
INSERT LANDSCAPE PLAN HERE

buchanan street

EXHIBIT 12.1 thematic street cross sections



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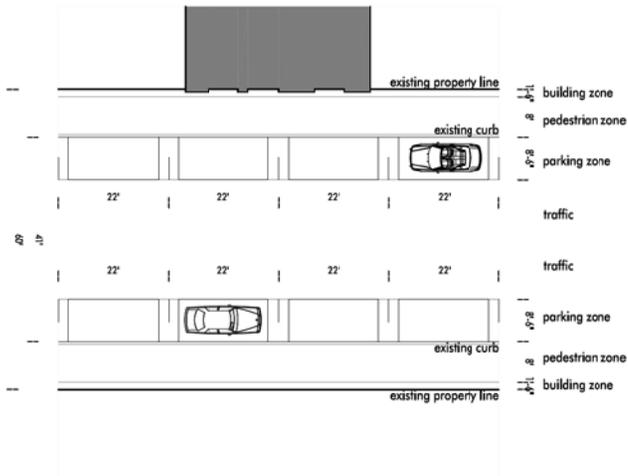


23 June 2008

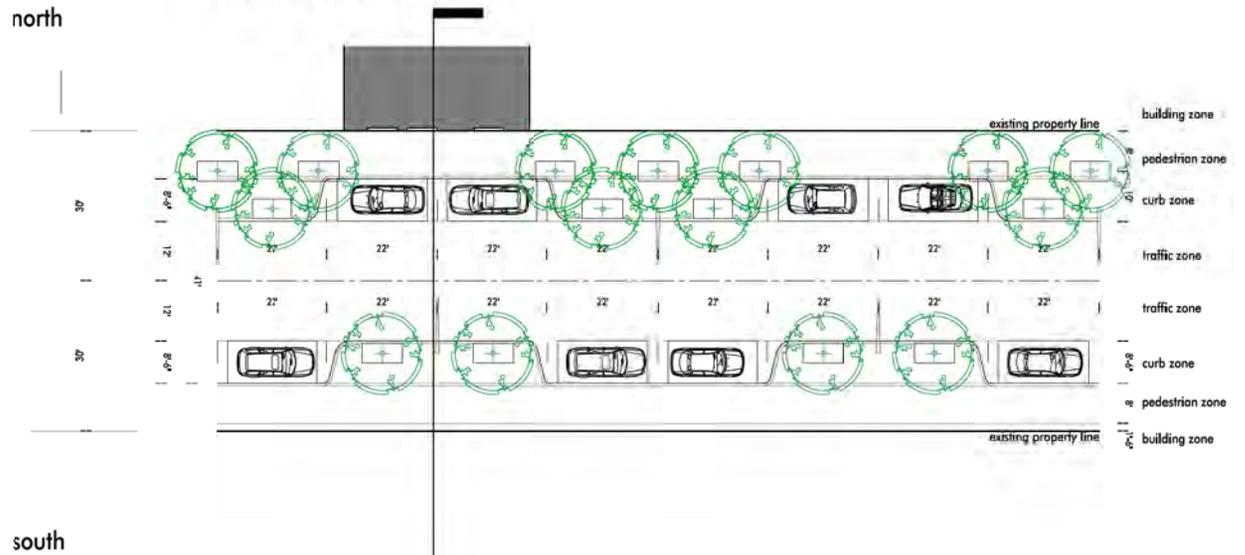
buchanan street

EXHIBIT 12.2 thematic street cross sections

existing buchanan street



proposed buchanan street



conceptual section through buchanan street

- pedestrian zone
clear area for path of pedestrian travel
- curb zone
area reserved for streetscape amenities
trees, street lighting, parking, district directories, etc.
- building zone
remaining area for adjacent owner's use
during hours of operation
sandwich signs, cafe seating, queuing, display, etc.

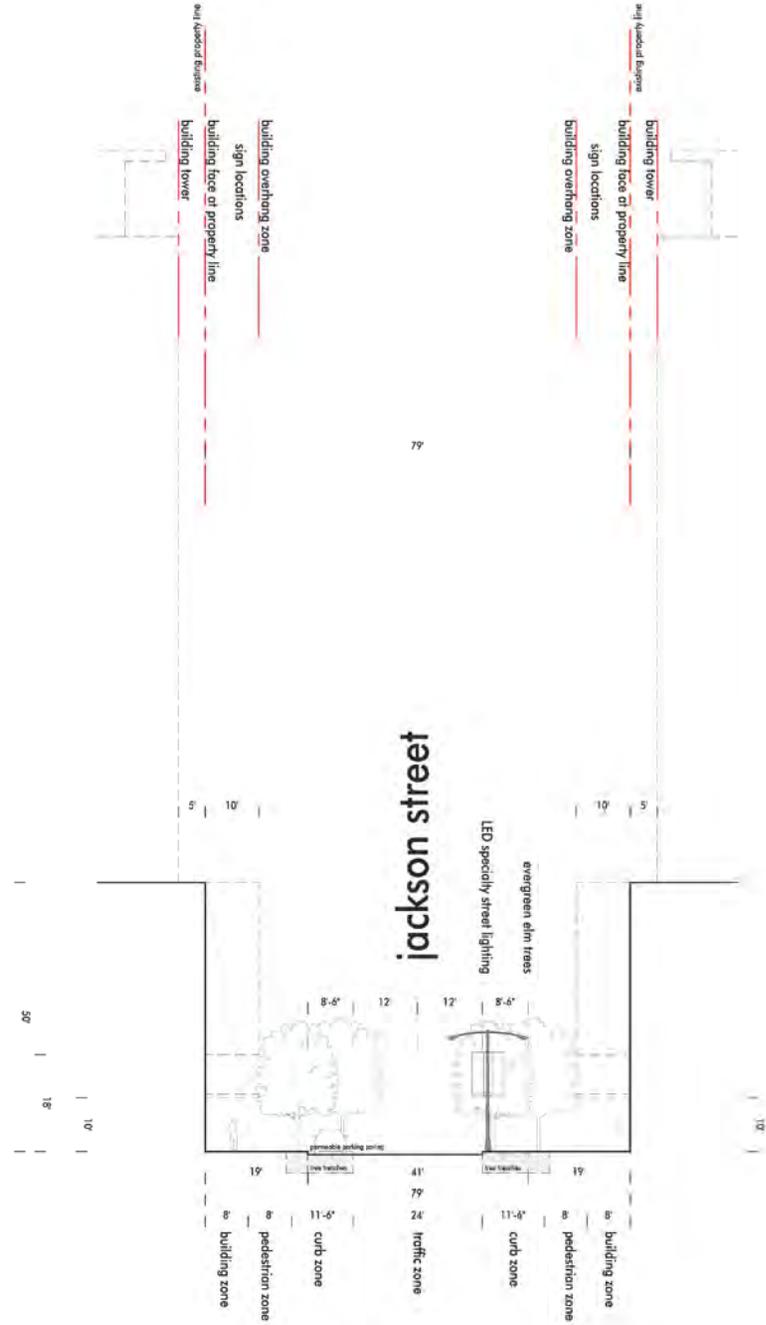
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23 June 2008



jackson street

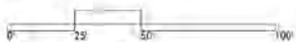
EXHIBIT 12.3 thematic street cross sections



Applicable to Street East of 2nd Street

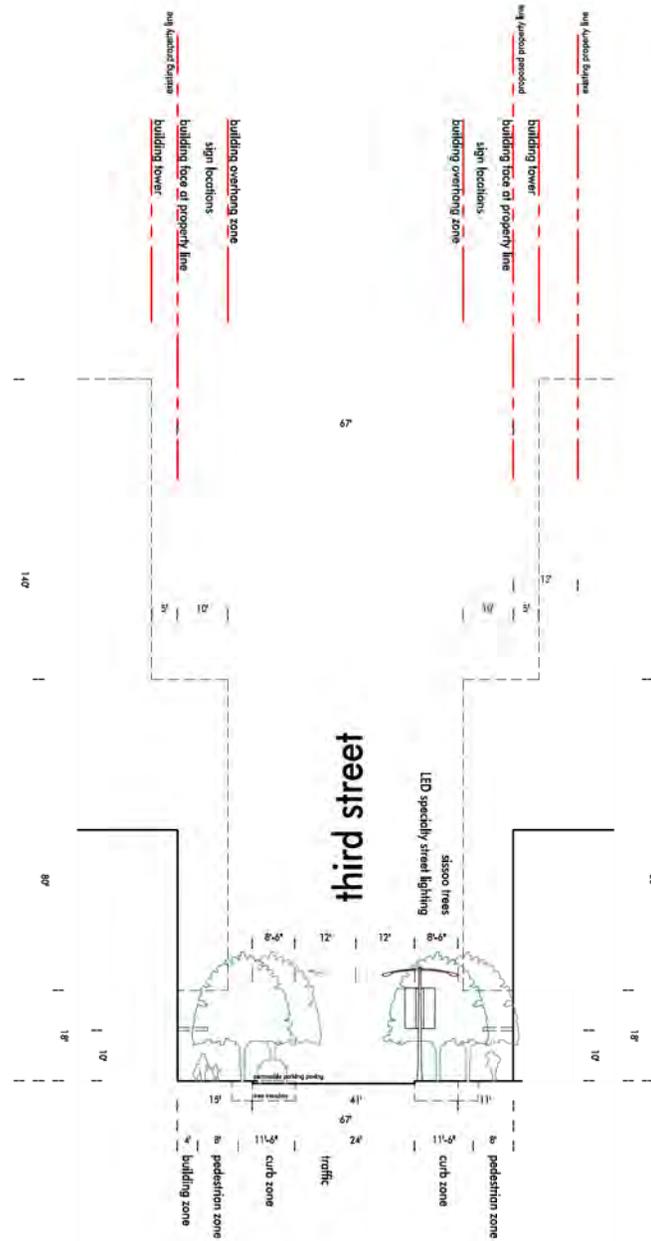
Jackson Street Entertainment District
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23 June 2008



third street

EXHIBIT 12.5 thematic street cross sections



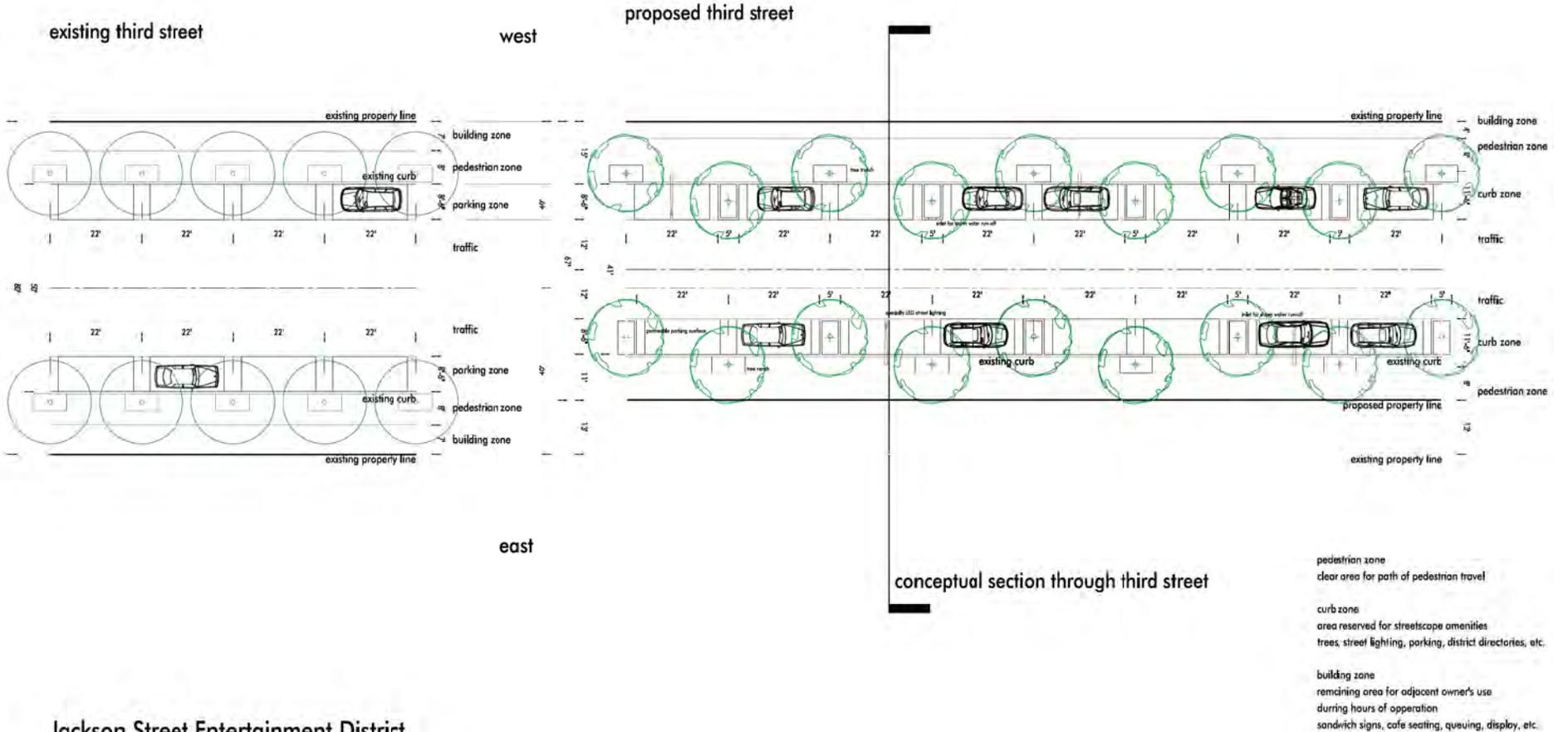
Jackson Street Entertainment District
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23 June 2008

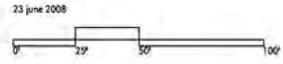


third street

EXHIBIT 12.6 thematic street cross sections

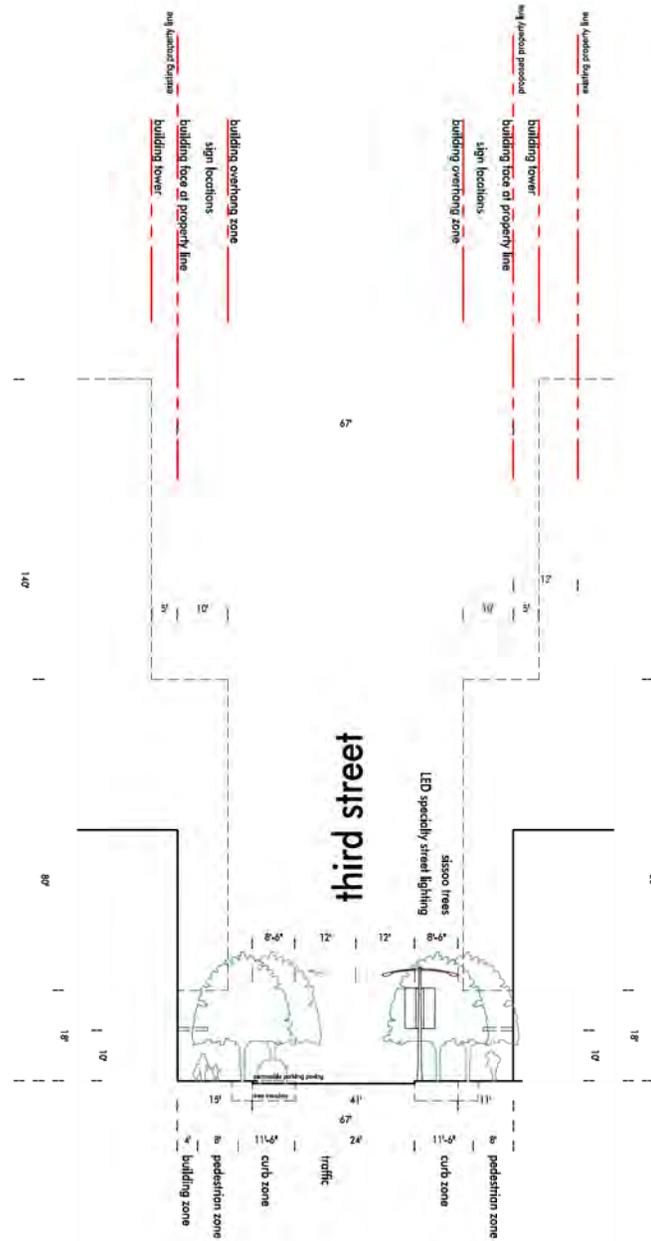


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fourth street

EXHIBIT 12.7 thematic street cross sections



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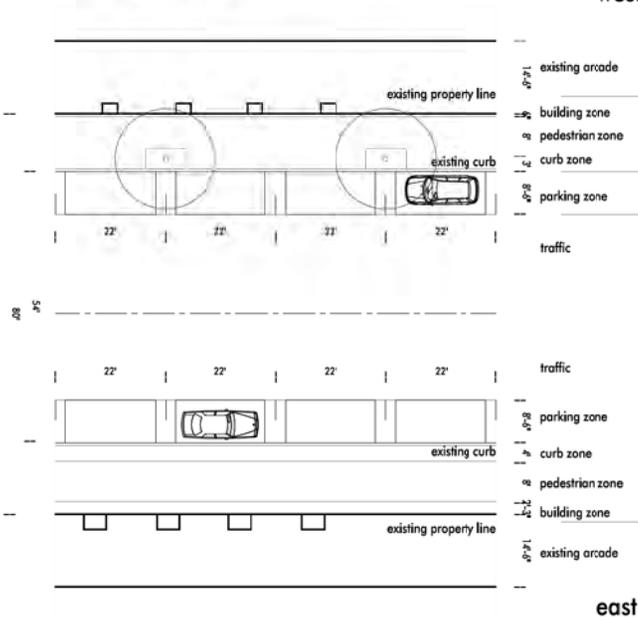
23 June 2008



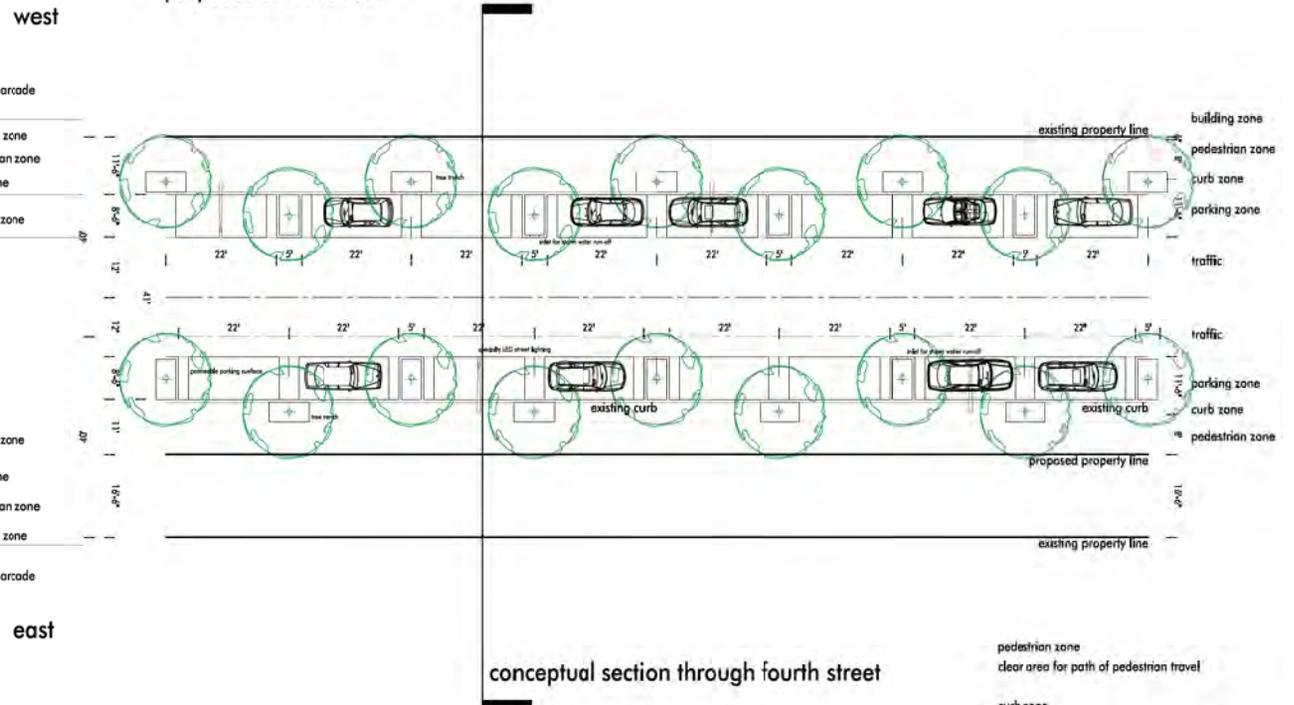
fourth street

EXHIBIT 12.8 thematic street cross sections

existing fourth street



proposed fourth street



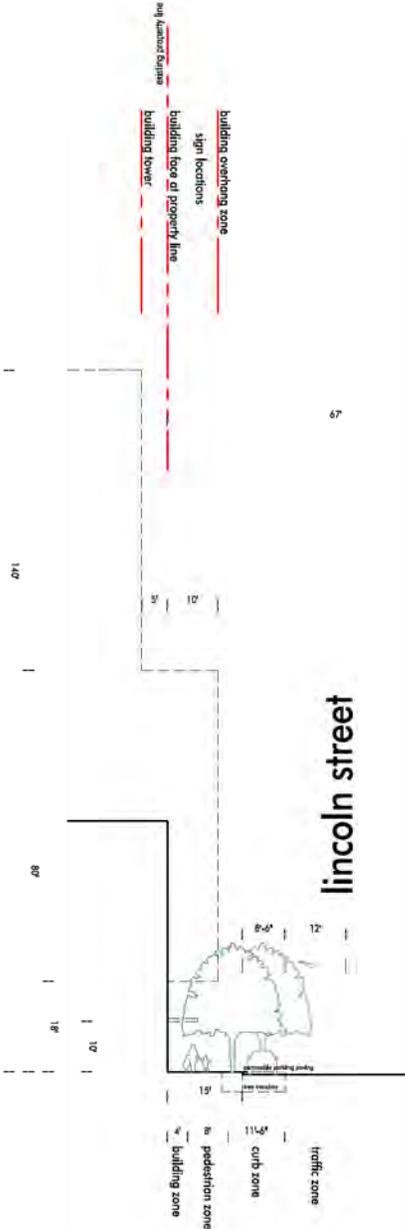
- pedestrian zone
clear area for path of pedestrian travel
- curb zone
area reserved for streetscape amenities
trees, street lighting, parking, district directories, etc.
- building zone
remaining area for adjacent owner's use
during hours of operation
sandwich signs, cafe seating, queuing, display, etc.

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lincoln street

EXHIBIT 12.9 thematic street cross sections



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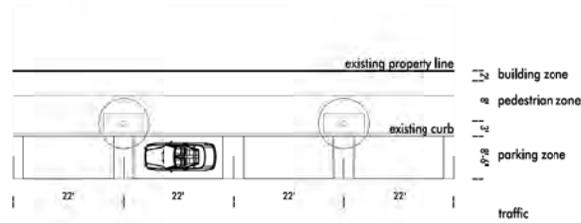


23 June 2008

lincoln street

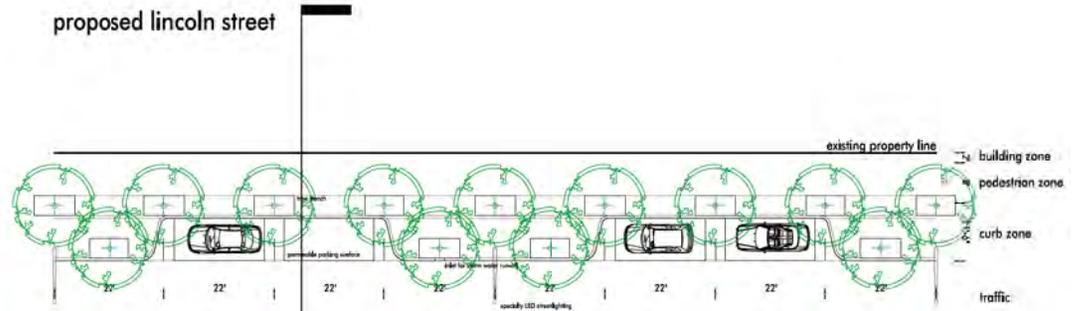
EXHIBIT 12.10 thematic street cross sections

existing lincoln street



north

proposed lincoln street



conceptual section through third street

- pedestrian zone
clear area for path of pedestrian travel
- curb zone
area reserved for streetscape amenities
trees, street lighting, parking, district directories, etc.
- building zone
remaining area for adjacent owner's use
during hours of operation
sandwich signs, cafe seating, queuing, display, etc.

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23 June 2008



jackson street

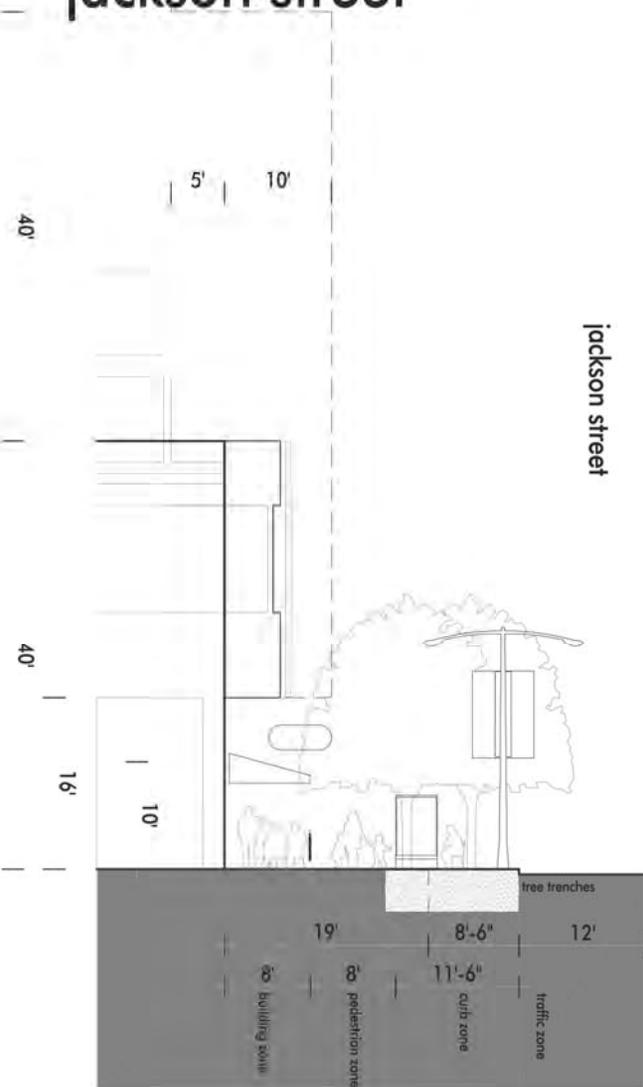
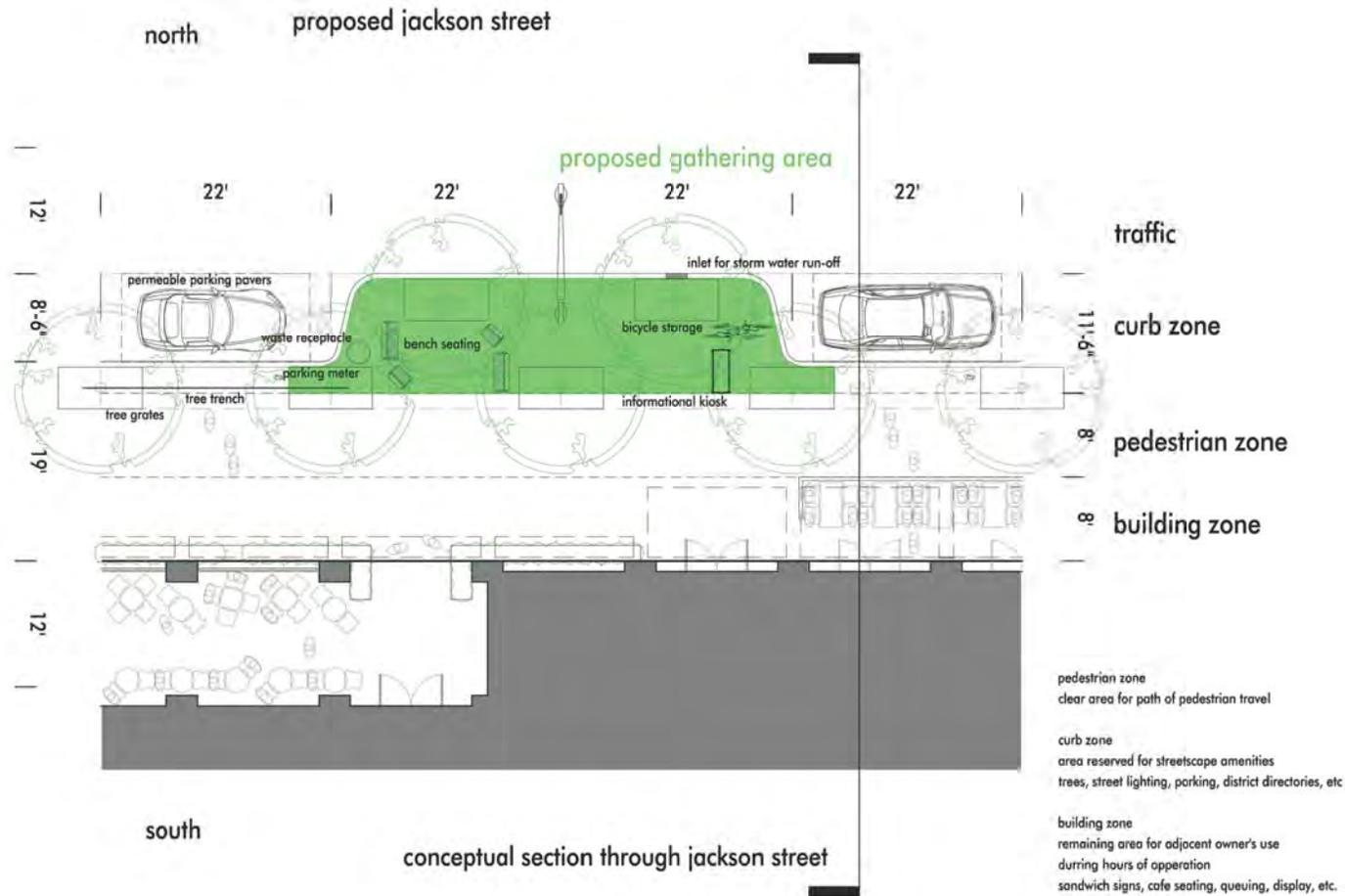
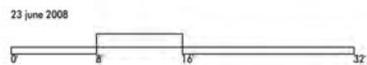


EXHIBIT 12.11 typical gathering area



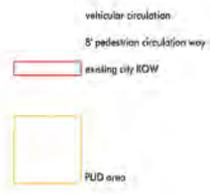
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Applicable to Street East of 2nd Street

EXHIBIT 13

circulation plan



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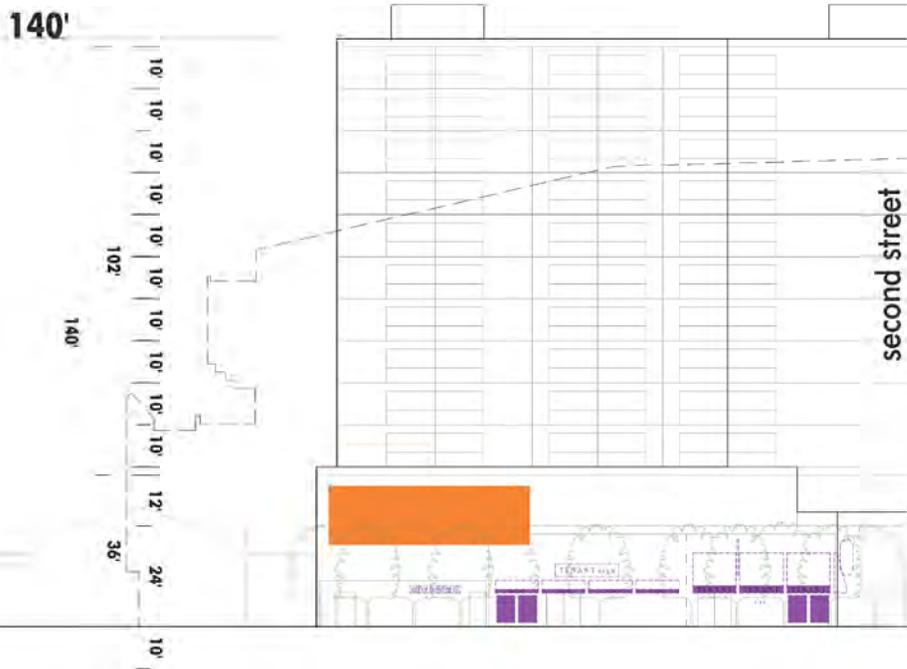
4 march 2009

0 75 150 300

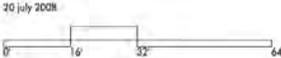
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buildings A and B north elevations
typical signs and locations

EXHIBIT 14.1
conceptual signage elevations



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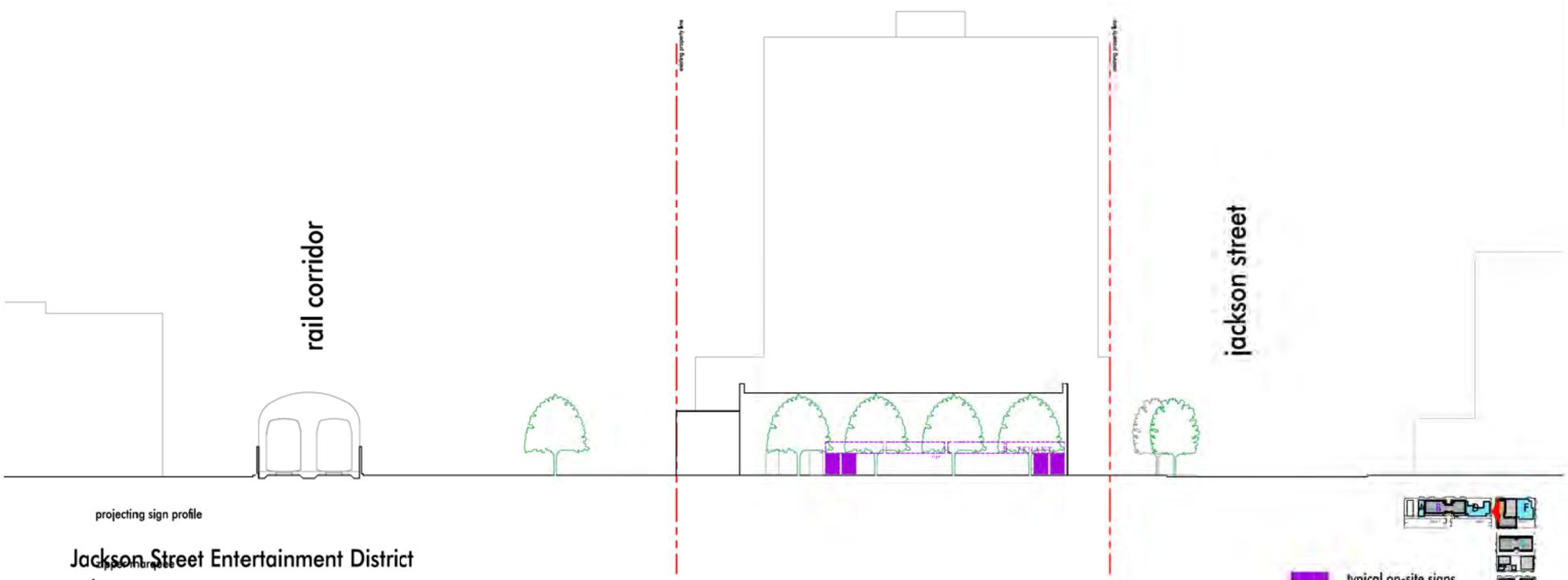
FUTURE CITIES® JSED®



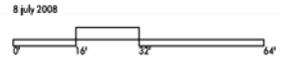
typical on-site signs
sponsorship sign areas

building D east elevation
typical signs and locations

EXHIBIT 14.4
conceptual signage elevations



projecting sign profile
Jackson Street Entertainment District
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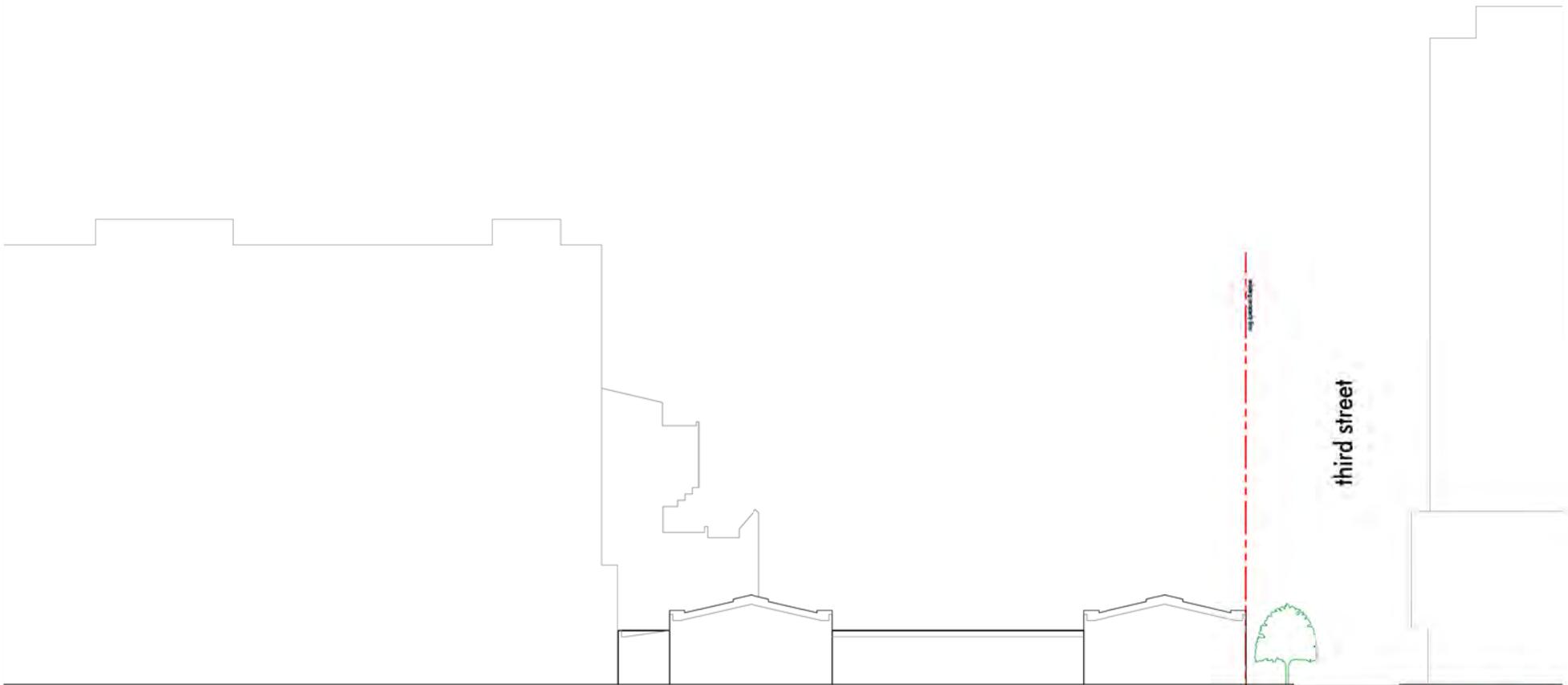
FUTURE CITIES® JSED®

- typical on-site signs
- sponsorship sign areas



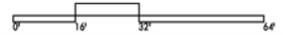
building D south elevation
typical signs and locations

EXHIBIT 14.5
conceptual signage elevations



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28 february 2009



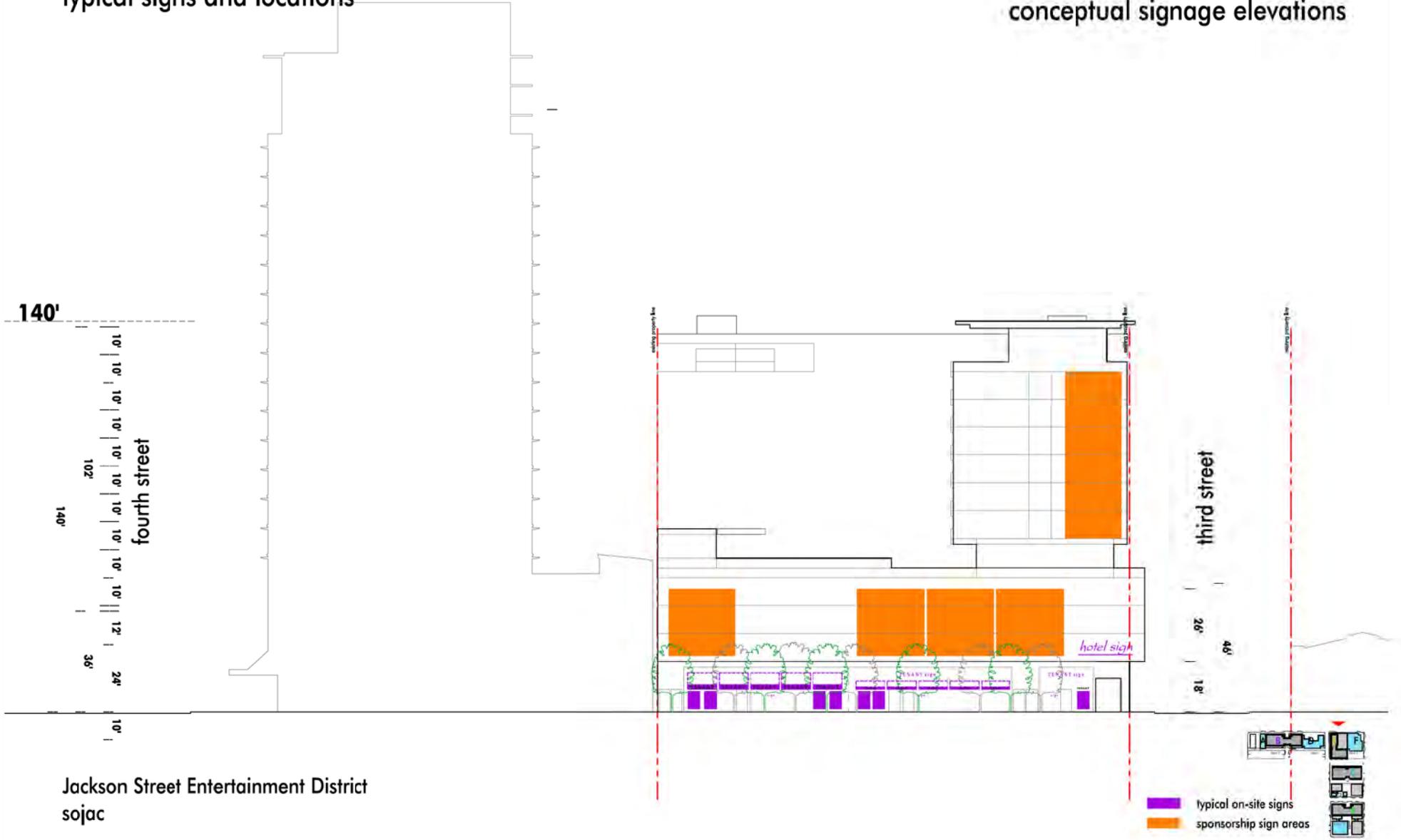
FUTURE CITIES[®] JSED[®]



- typical on-site signs
- sponsorship sign areas

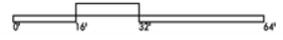
building E north elevation
typical signs and locations

EXHIBIT 14.6
conceptual signage elevations



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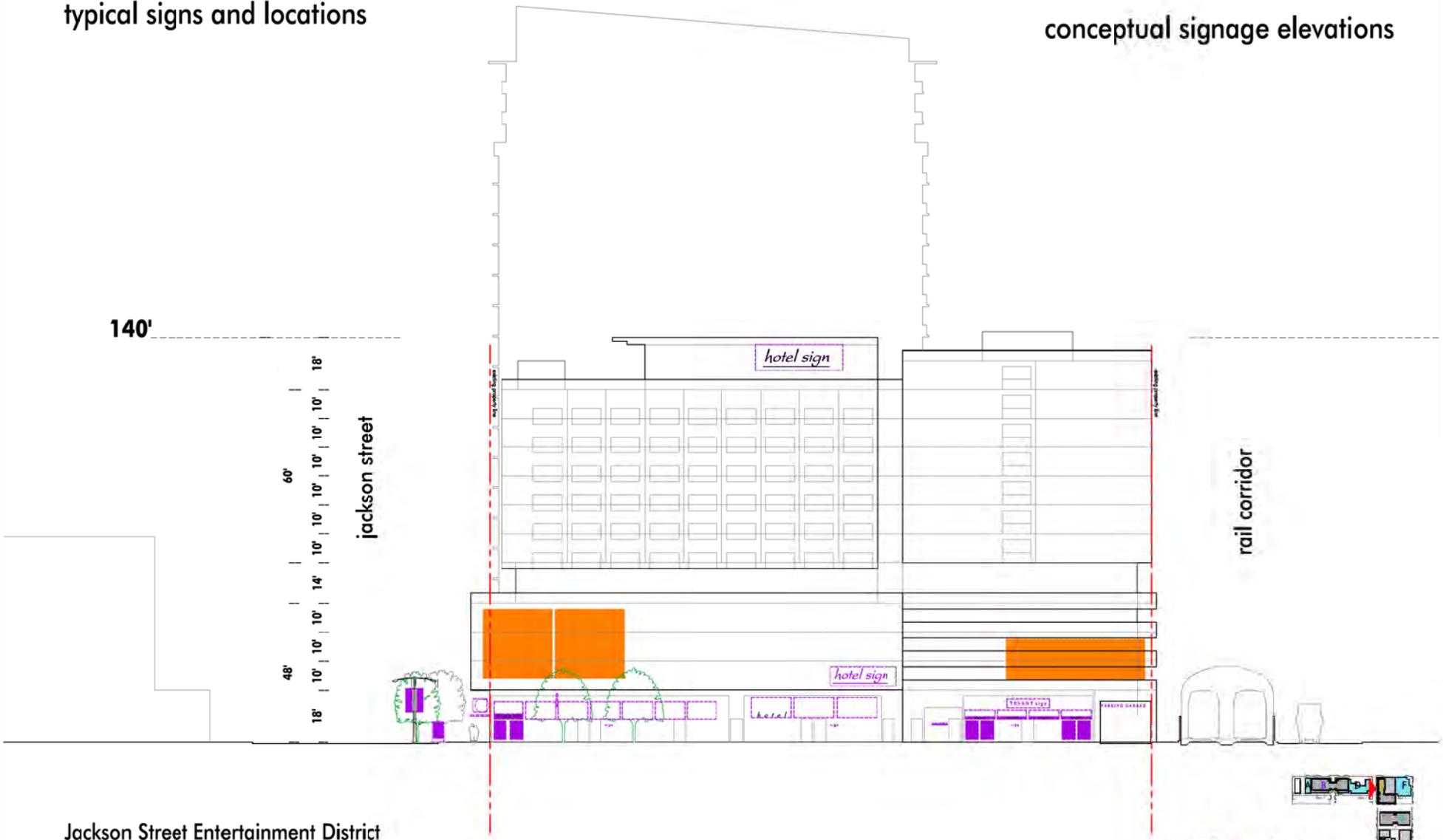
FUTURE CITIES® JSED®

- typical on-site signs
- sponsorship sign areas



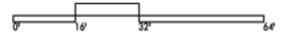
building E west elevation
typical signs and locations

EXHIBIT 14.7
conceptual signage elevations



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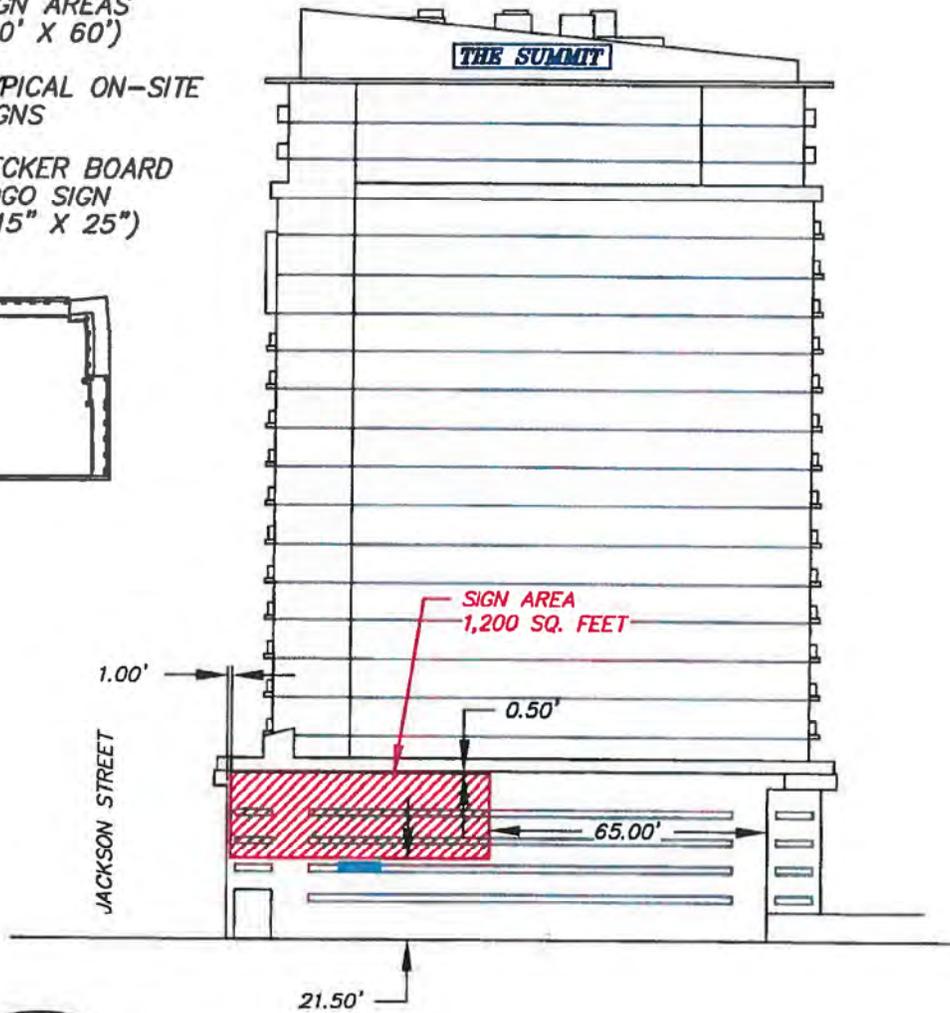
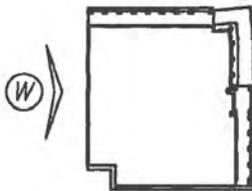
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EXHIBIT 14.7-A

CONCEPTUAL SIGNAGE ELEVATIONS
BUILDING "F" WEST ELEVATION OF
TYPICAL SIGN AND LOCATION

-  SPONSORSHIP SIGN AREAS (20' X 60')
-  TYPICAL ON-SITE SIGNS
-  BECKER BOARD LOGO SIGN (115" X 25")



JACKSON STREET ENTERTAINMENT DISTRICT



David S. Klein

EXPIRES 3/31/14

SUPERIOR
SURVEYING SERVICES, INC.

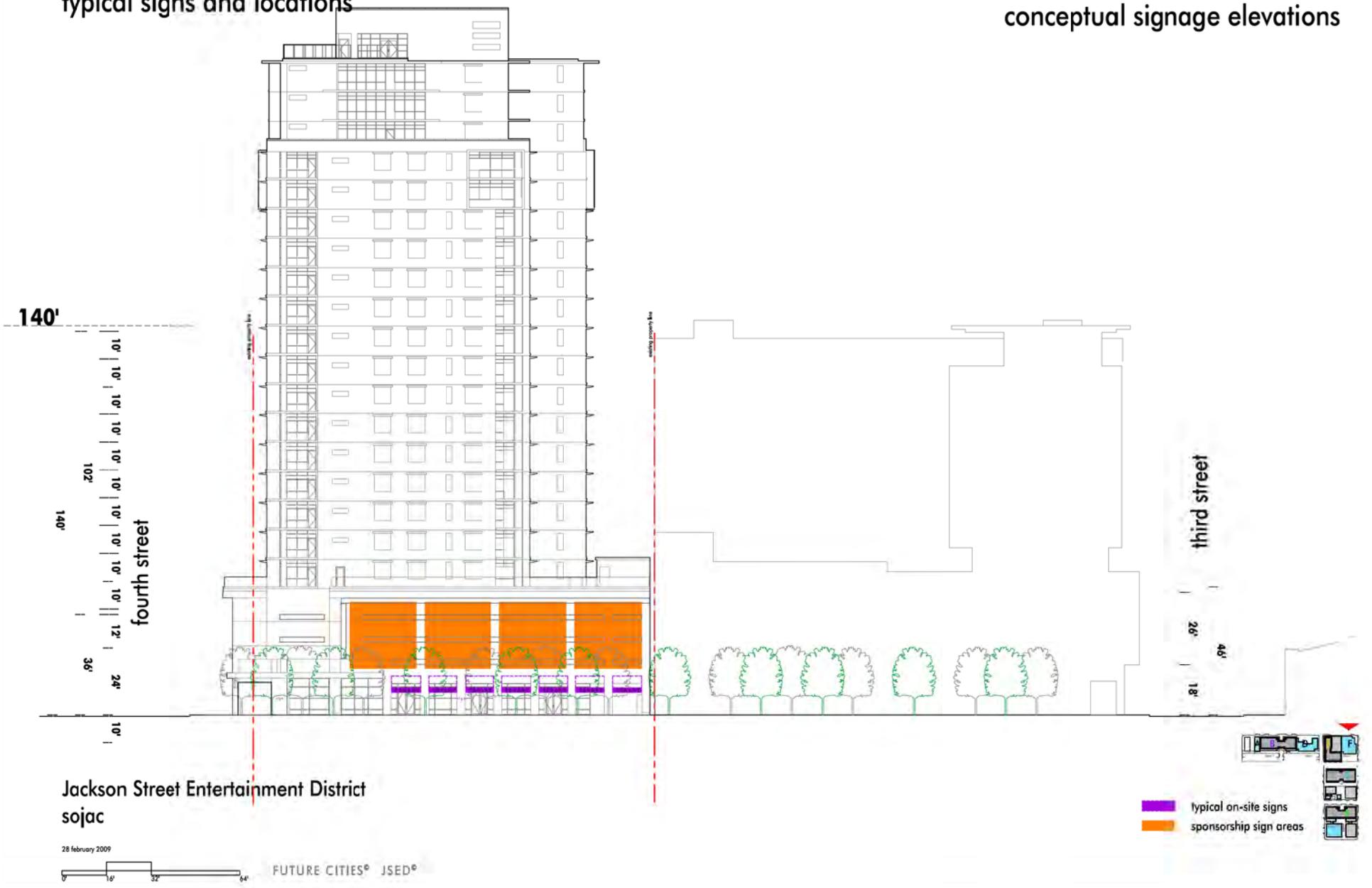
21415 N. 23rd Avenue
Phoenix, AZ 85027
623-869-0223 (office)
623-869-0726 (fax)
www.superiorsurveying.com
info@superiorsurveying.com

DATE: 6/7/13

JOB NO.: 120409EX

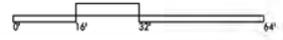
building F north elevation
typical signs and locations

EXHIBIT 14.9
conceptual signage elevations



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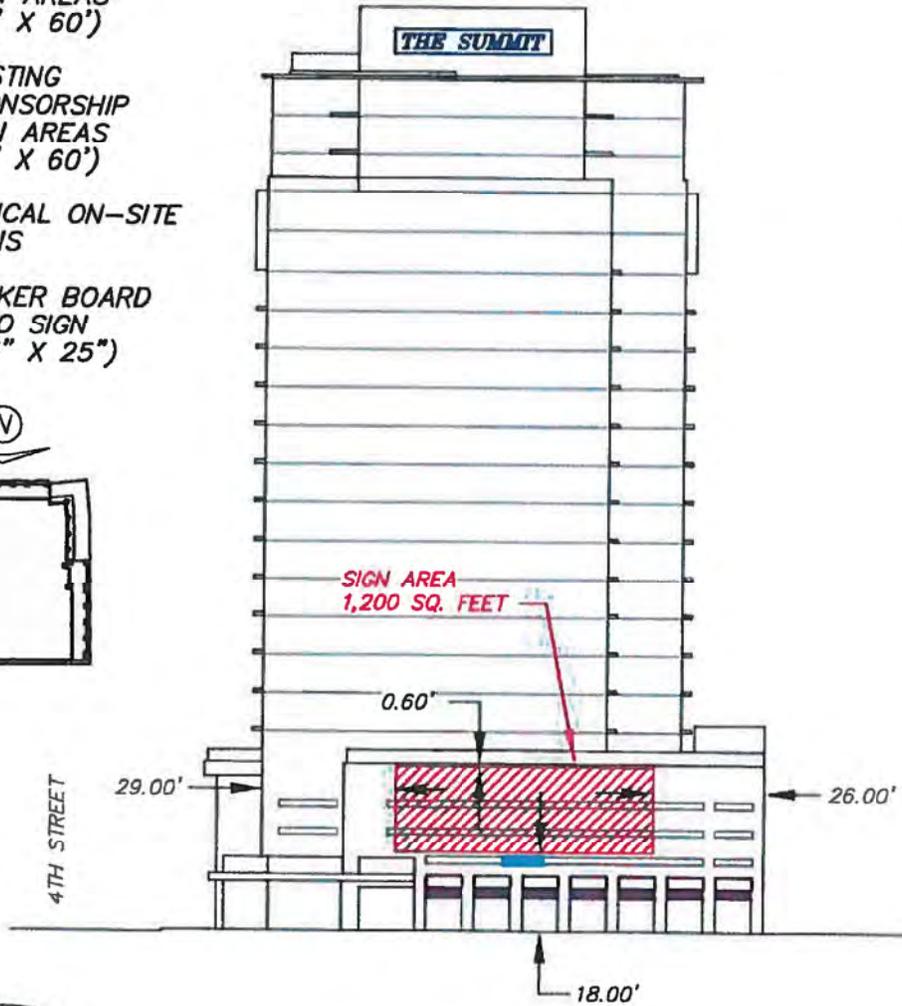
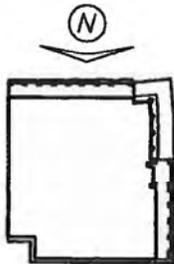
- typical on-site signs
- sponsorship sign areas



EXHIBIT 14.9-A

CONCEPTUAL SIGNAGE ELEVATIONS
 BUILDING "F" NORTH ELEVATION OF
 TYPICAL SIGN AND LOCATION

-  SPONSORSHIP SIGN AREAS (20' X 60')
-  EXISTING SPONSORSHIP SIGN AREAS (20' X 60')
-  TYPICAL ON-SITE SIGNS
-  BECKER BOARD LOGO SIGN (115" X 25")



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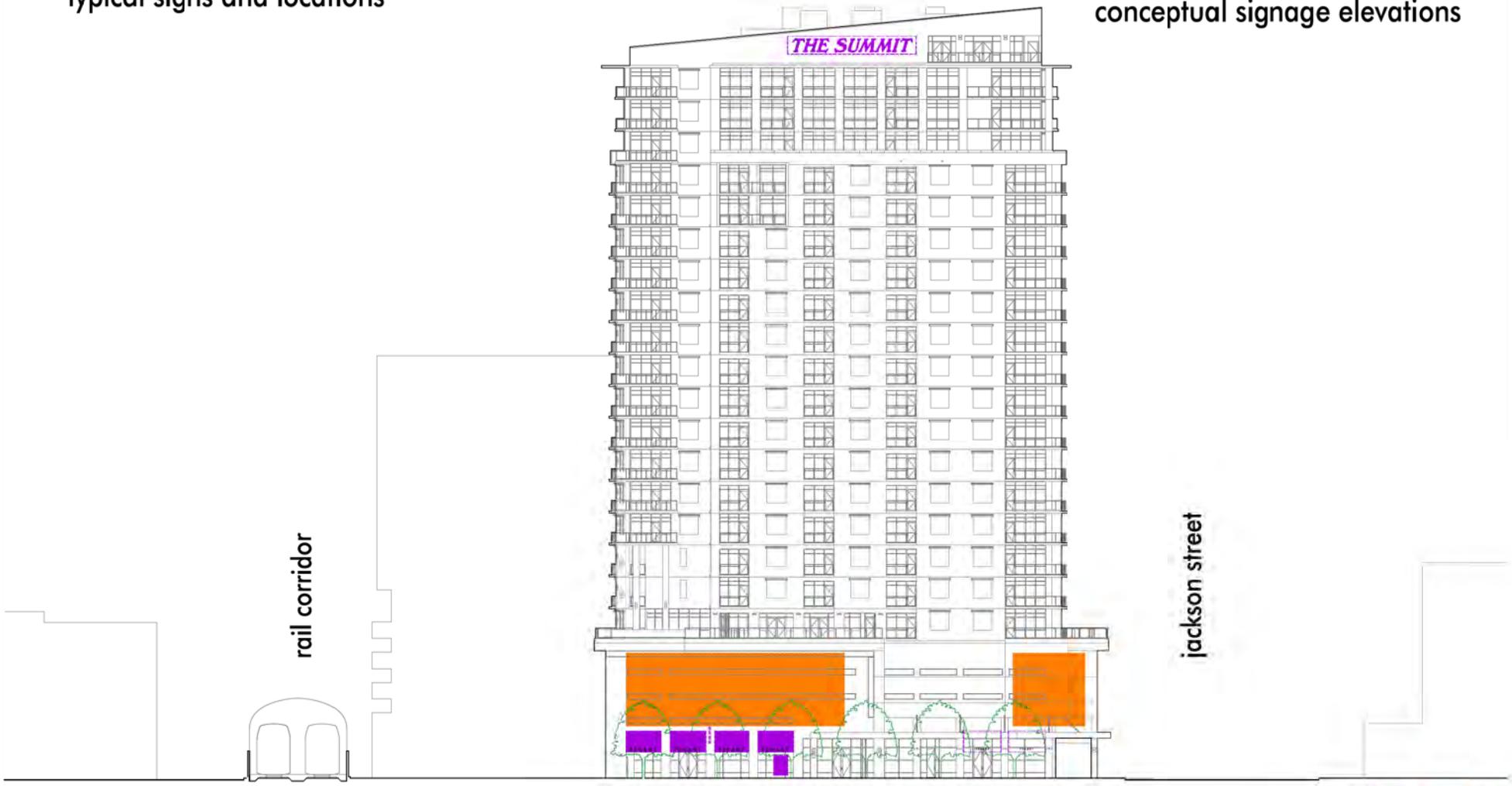
21415 N. 23rd Avenue
 Phoenix, AZ 85027
 623-869-0223 (office)
 623-869-0726 (fax)
 www.superiorsurveying.com
 info@superiorsurveying.com

DATE: 6/7/13

JOB NO.: 120409EX

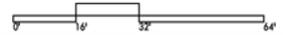
building F east elevation
typical signs and locations

EXHIBIT 14.10
conceptual signage elevations



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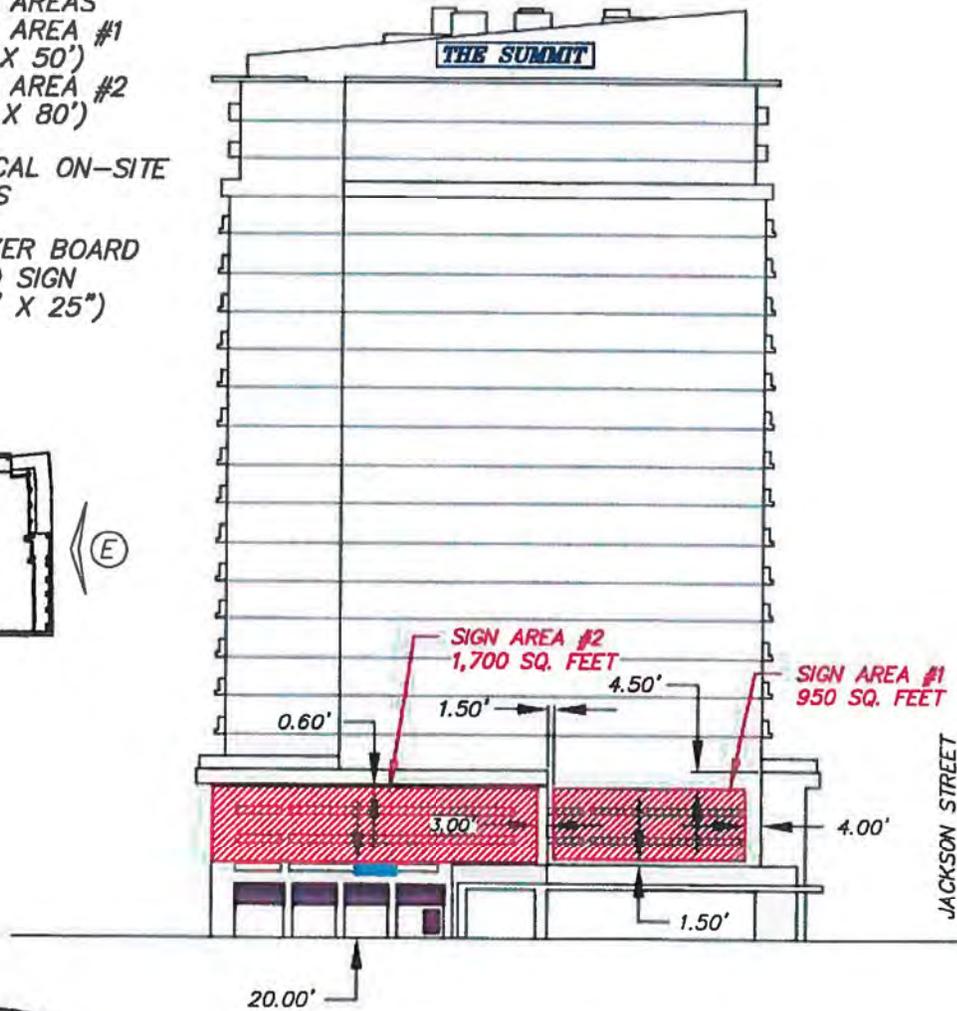
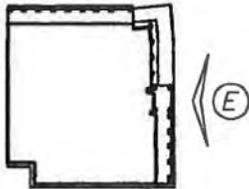
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EXHIBIT 14.10-A

CONCEPTUAL SIGNAGE ELEVATIONS
 BUILDING "F" EAST ELEVATION OF
 TYPICAL SIGN AND LOCATION

-  SPONSORSHIP SIGN AREAS
 SIGN AREA #1 (19' X 50')
 SIGN AREA #2 (20' X 80')
-  TYPICAL ON-SITE SIGNS
-  BECKER BOARD LOGO SIGN (115" X 25")



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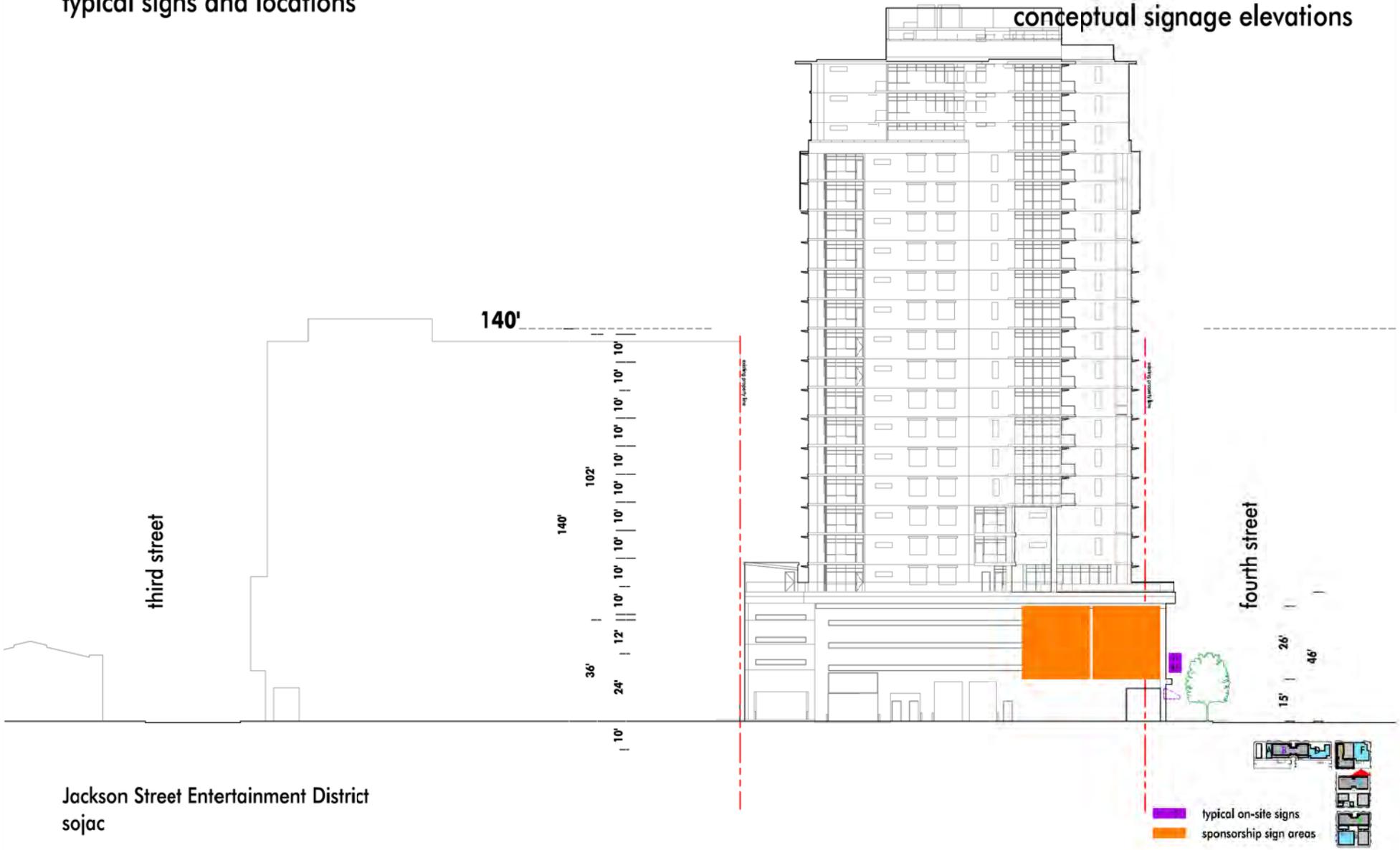
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building F south elevation
typical signs and locations

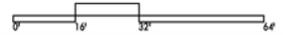
EXHIBIT 14.11

conceptual signage elevations



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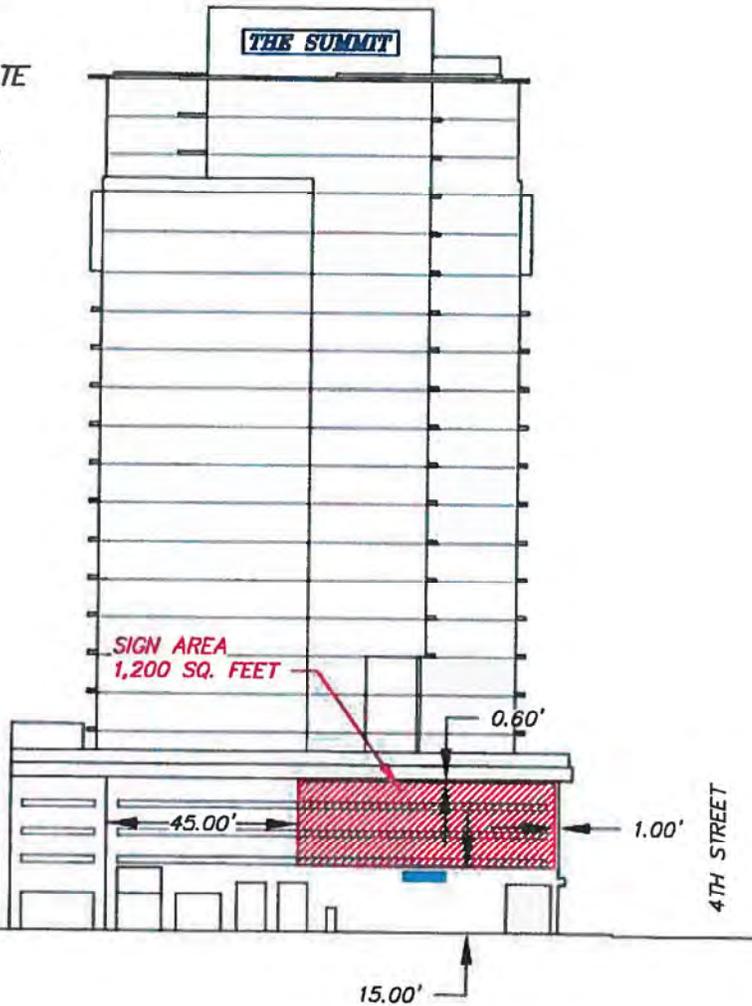
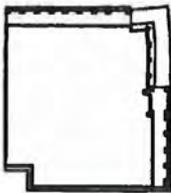
- typical on-site signs
- sponsorship sign areas



EXHIBIT 14.11-A

CONCEPTUAL SIGNAGE ELEVATIONS
 BUILDING "F" SOUTH ELEVATION OF
 TYPICAL SIGN AND LOCATION

-  SPONSORSHIP SIGN AREAS (20' X 60')
-  TYPICAL ON-SITE SIGNS
-  BECKER BOARD LOGO SIGN (115" X 25")



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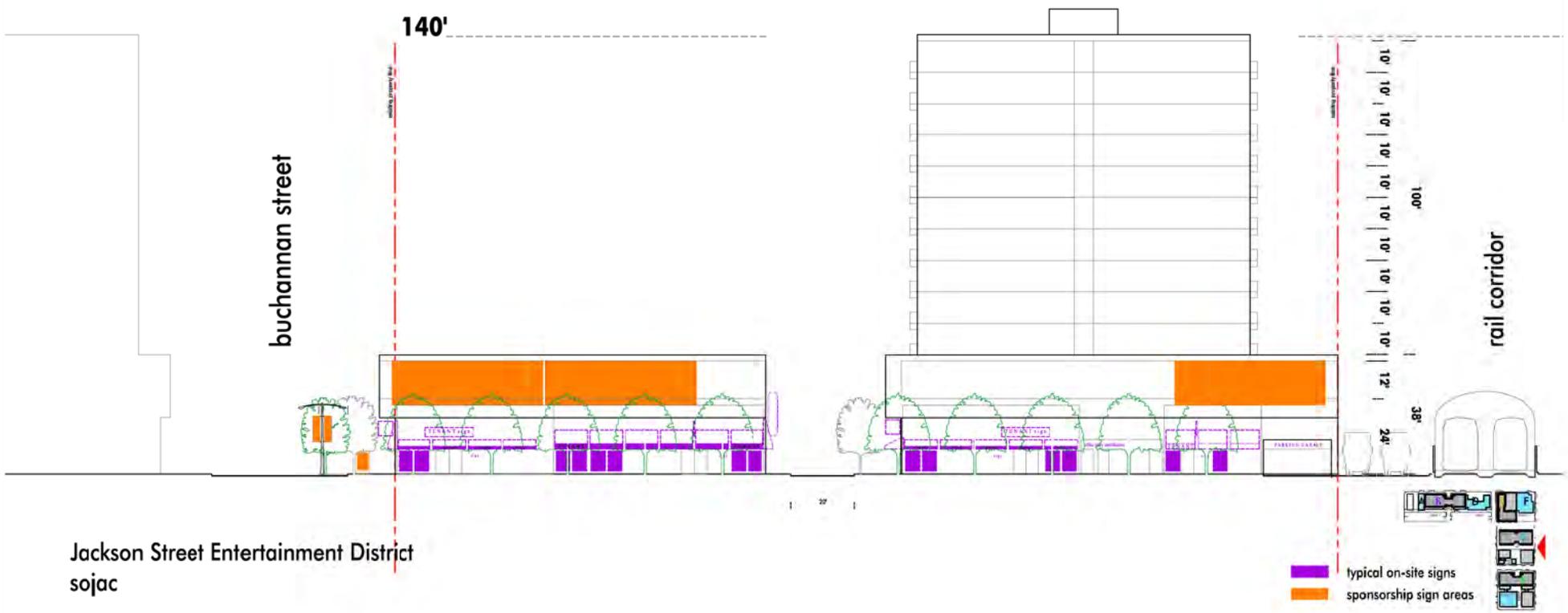
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 Phoenix, AZ 85027
 623-869-0223 (office)
 623-869-0726 (fax)
 www.superiorsurveying.com
 info@superiorsurveying.com

DATE: 5/14/13

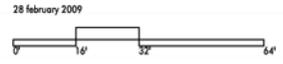
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building G east elevation
typical signs and locations

EXHIBIT 14.12
conceptual signage elevations



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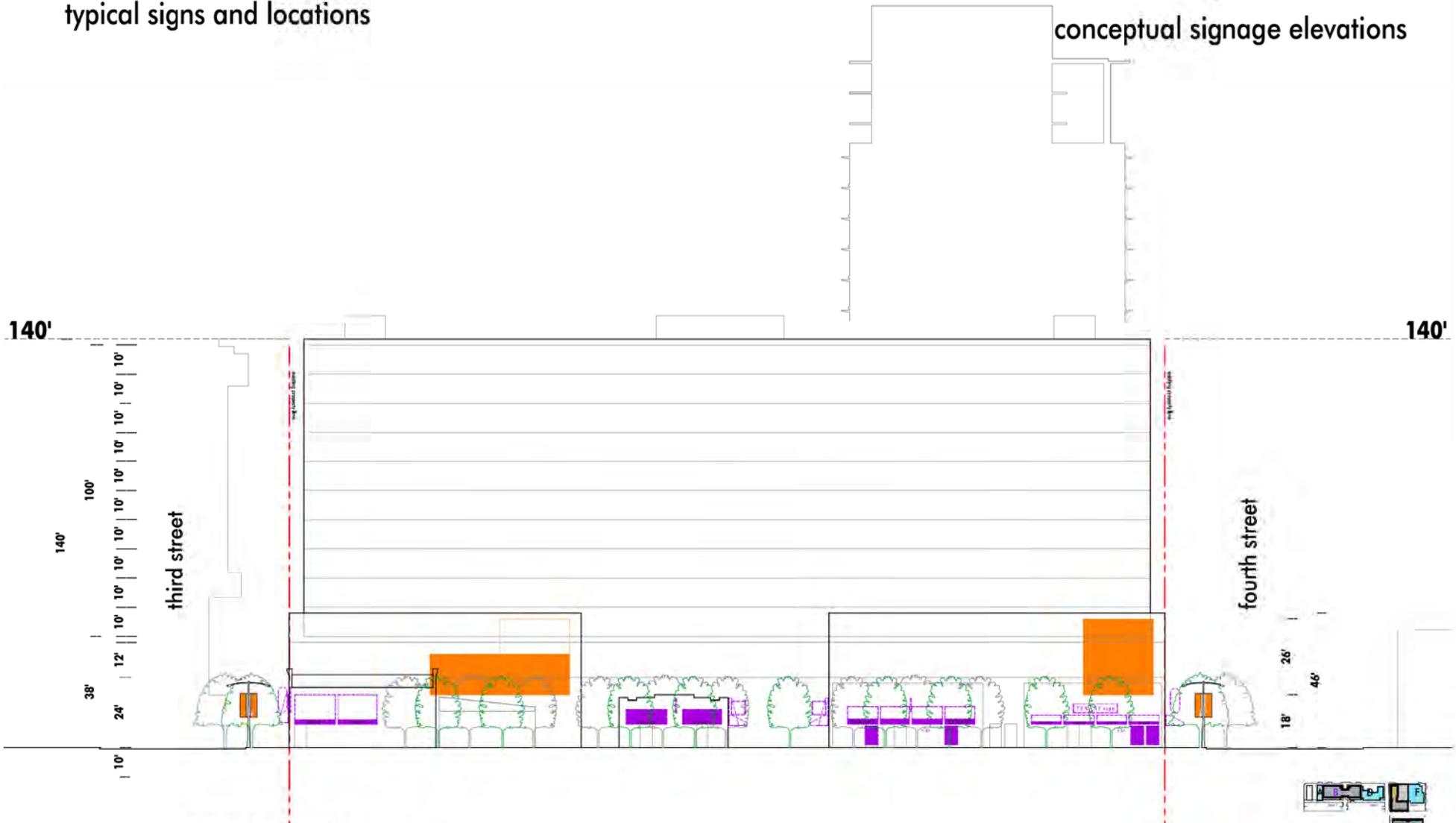
- typical on-site signs
- sponsorship sign areas



28 february 2009

building G south elevation
typical signs and locations

EXHIBIT 14.13
conceptual signage elevations



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28 february 2009

0' 16' 32'

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- typical on-site signs
- sponsorship sign areas



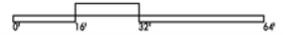
building G west elevation
typical signs and locations

EXHIBIT 14.14
conceptual signage elevations



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20 July 2008



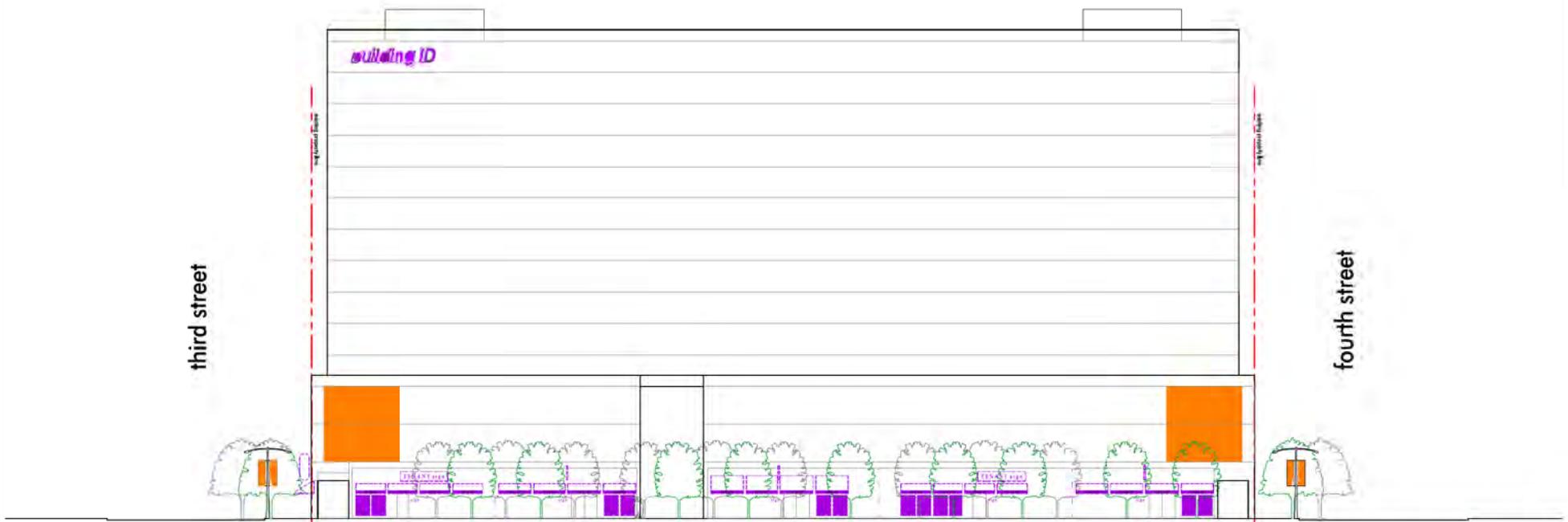
FUTURE CITIES[®] JSED[®]

- typical on-site signs
- sponsorship sign areas



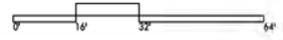
building H north elevation
typical signs and locations

EXHIBIT 14.15
conceptual signage elevations



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20 July 2008

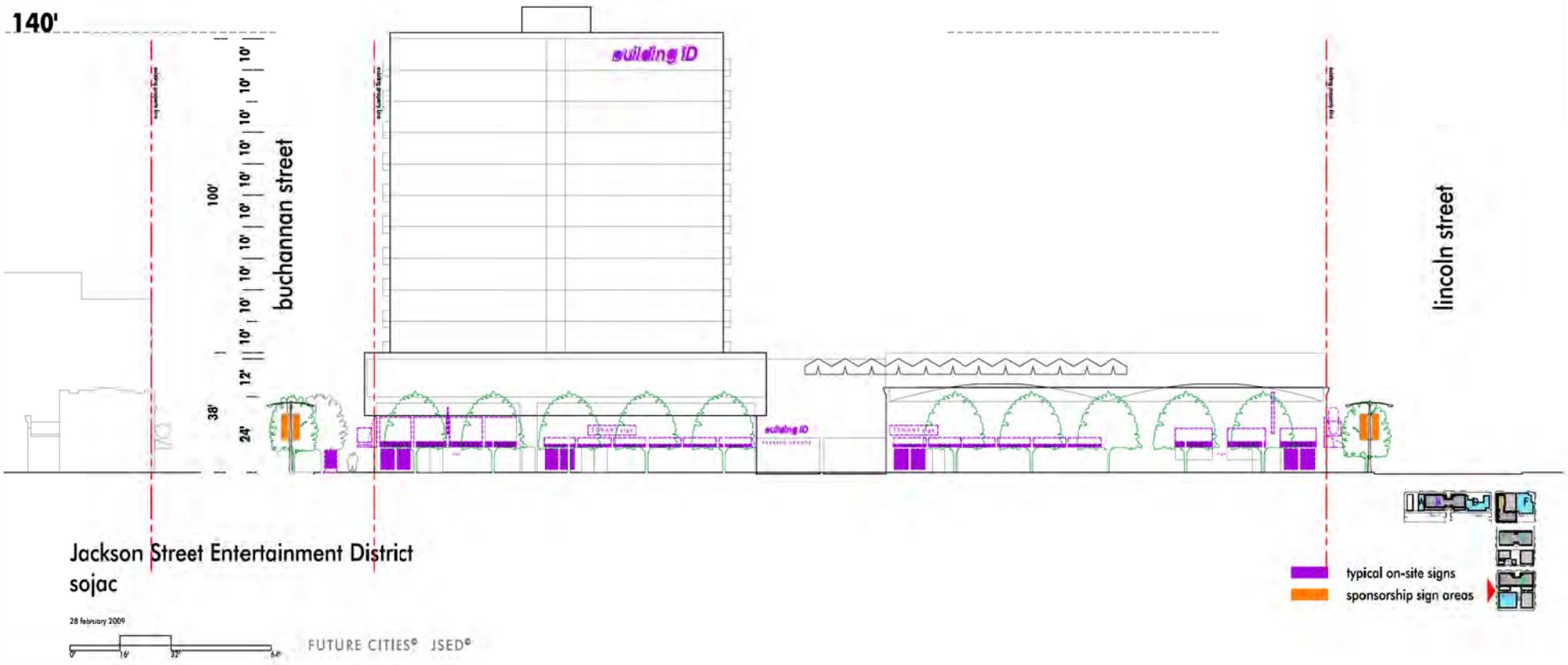


FUTURE CITIES® JSED®



building H west elevation
typical signs and locations

EXHIBIT 14.18
conceptual signage elevations



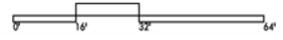
building B east elevation
typical signs and locations

EXHIBIT 14.19
conceptual signage elevations



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28 february 2009

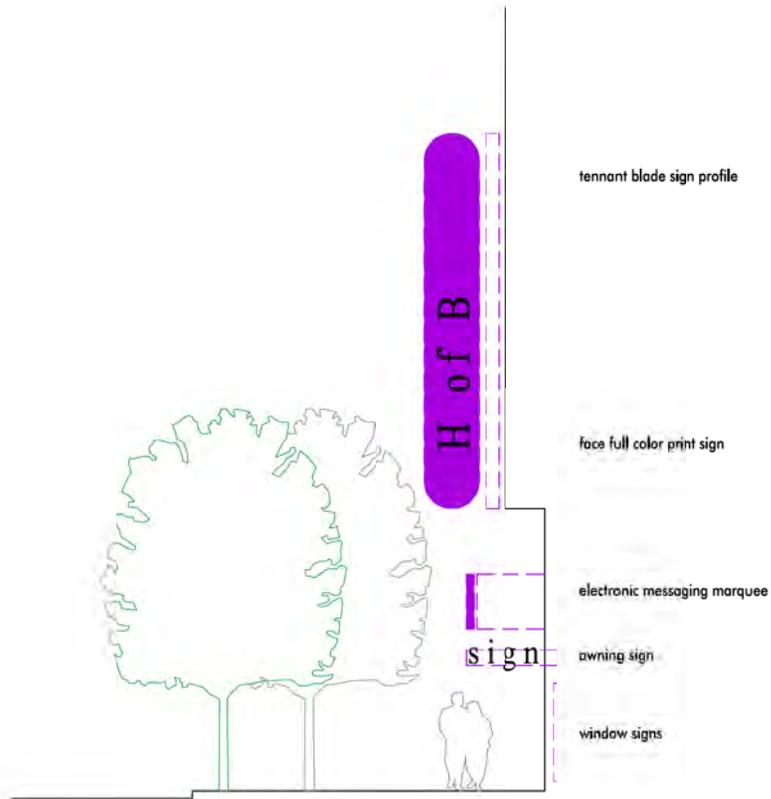


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- typical on-site signs
- sponsorship sign areas

concept sections

EXHIBIT 14.20
sign type concept sections



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4 november 2008

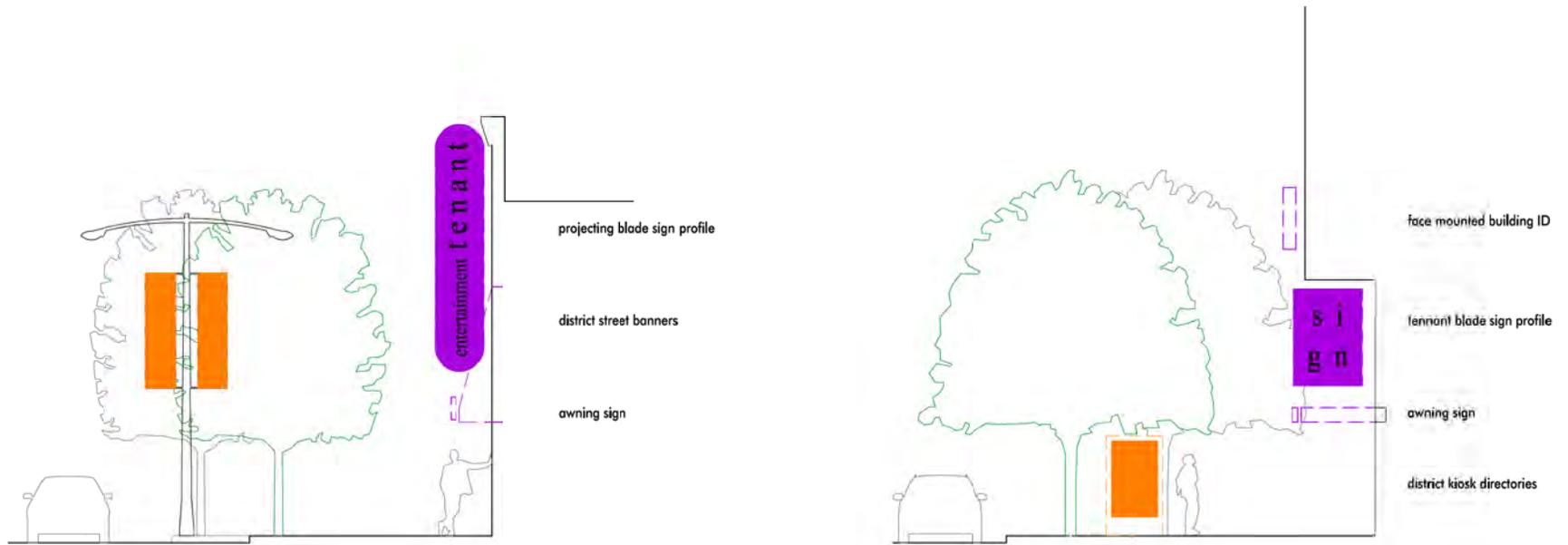


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- typical on-site signs
- sponsorship sign areas

concept sections

EXHIBIT 14.21
sign type concept sections



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4 november 2008



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■ typical on-site signs
■ sponsorship sign areas

district sponsor standard sizes
typical sign types and sizes

EXHIBIT 14.22
conceptual signage elevations



supergraphic vinyl sizes
standard 20'x60' (1200sf)
max 2000sf



premiere square vinyl sizes
standard 24'x26'
624sf up to 800sf



outdoor poster sizes
standard 12'x24'
288sf up to 300sf



outdoor bulletin sizes
standard 14'x48'
672sf up to 1200sf



large blade signs
standard 4'x24'
82sf up to 100sf



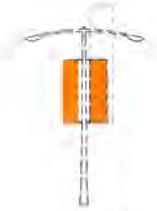
transit sizes
standard 44"x65"
20sf up to 28sf



blade signs
standard 4'x6'
20sf up to 40sf



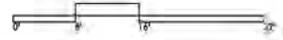
LCD directory sizes
standard 42" to 72" diagonal
5sf up to 15sf



street banners
standard 2'x8'
20sf up to 45sf

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6 november 2008

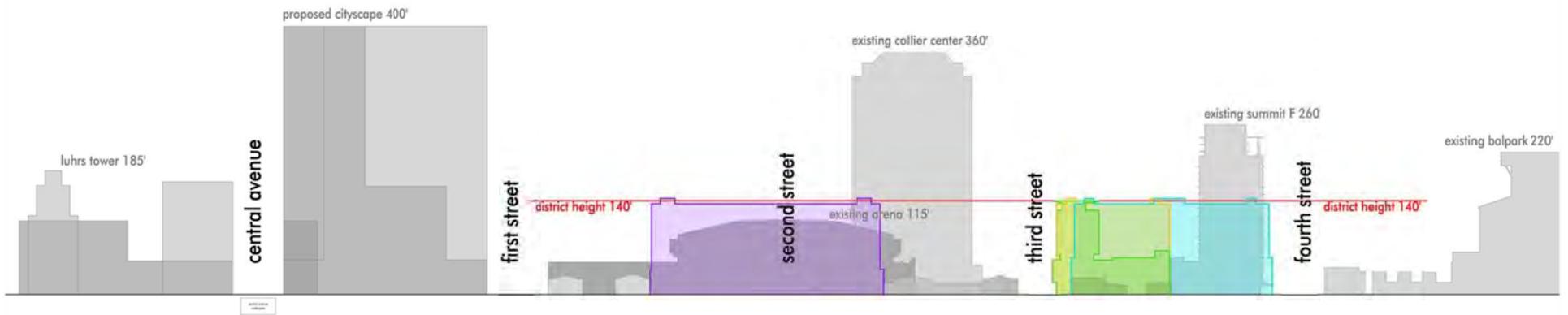


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- typical on-site signs
- sponsorship sign areas

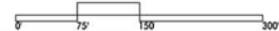
east west building elevations along jackson street

EXHIBIT 15.1 comparitive building heights



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26 february 2009



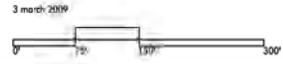
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east west building elevations along jackson street

EXHIBIT 15.2 building heights



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EXHIBIT 16

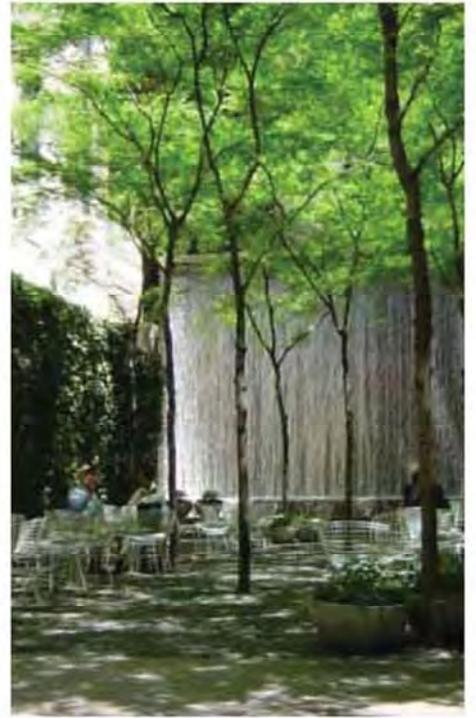
precedent courtyard images

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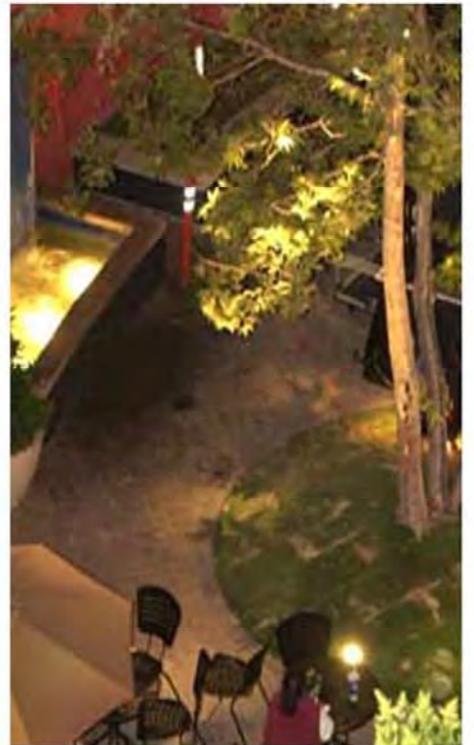
Jackson Street Entertainment District
JSED® Future Cities®

Courtyard Precedent



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Courtyard Precedent



Jackson Street Entertainment District
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Courtyard Precedent

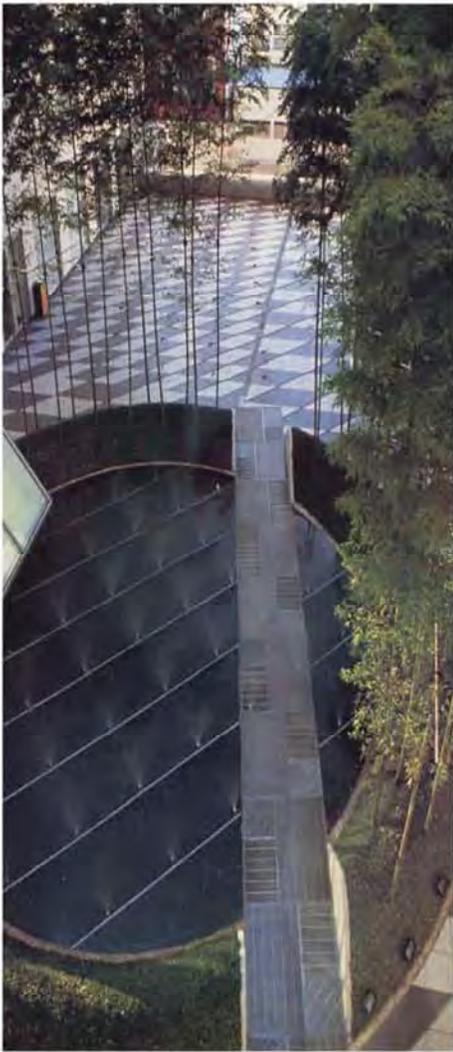
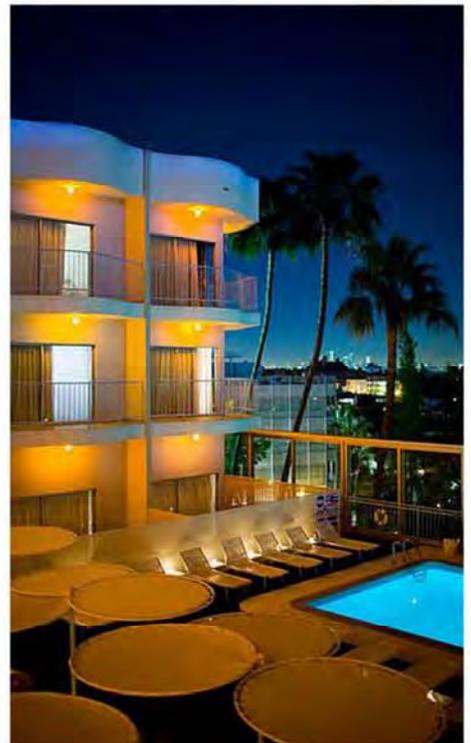


EXHIBIT 17

precedent occupiable rooftop images

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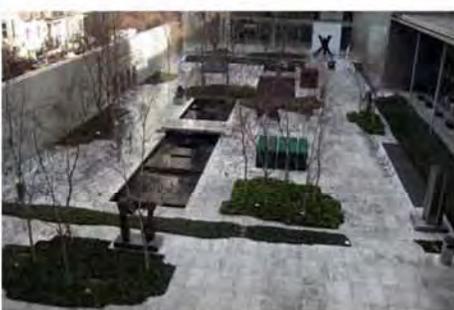
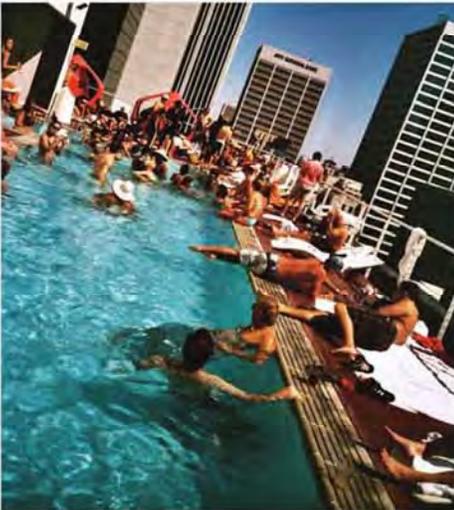
Jackson Street Entertainment District
JSED® Future Cities®

Roof Garden Character



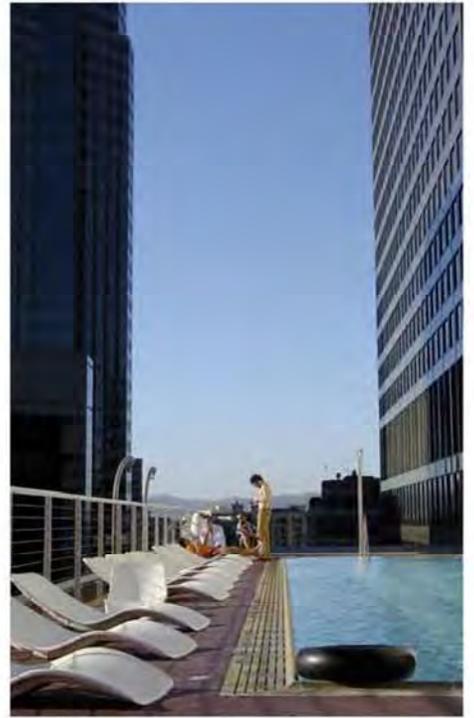
Jackson Street Entertainment District
JSED® Future Cities®

Roof Garden Character



Jackson Street Entertainment District
JSED® Future Cities®

Roof Garden Character



Jackson Street Entertainment District
JSED® Future Cities®

Roof Garden Character





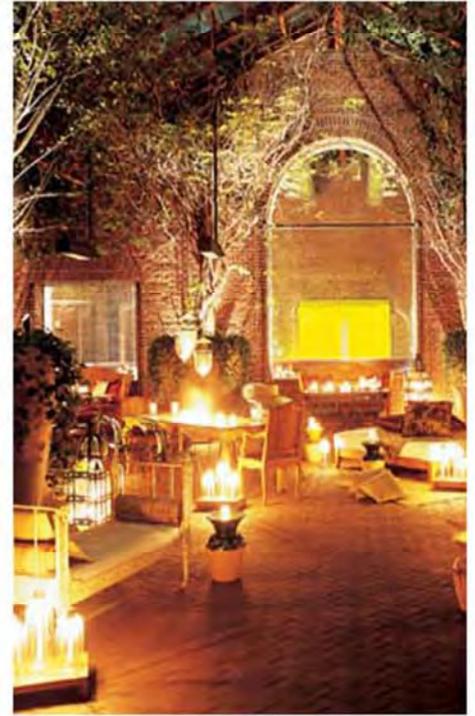
Jackson Street Entertainment District
JSED® Future Cities®

Roof Garden Character



Jackson Street Entertainment District
JSED® Future Cities®

Roof Garden Character



Jackson Street Entertainment District
JSED® Future Cities®

Roof Garden Character

EXHIBIT 18

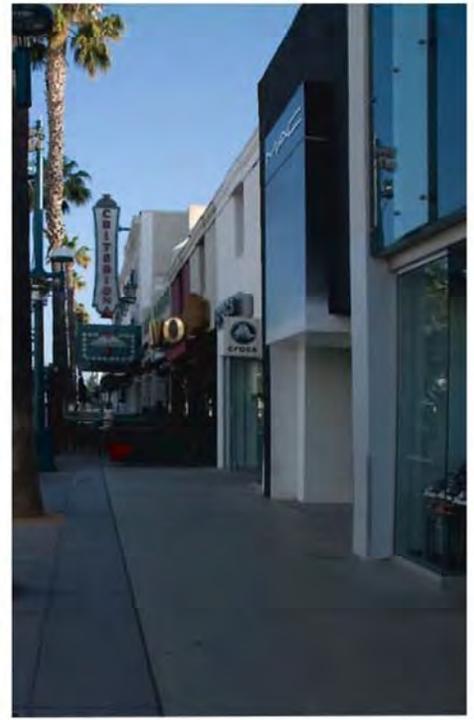
wall articulation samples

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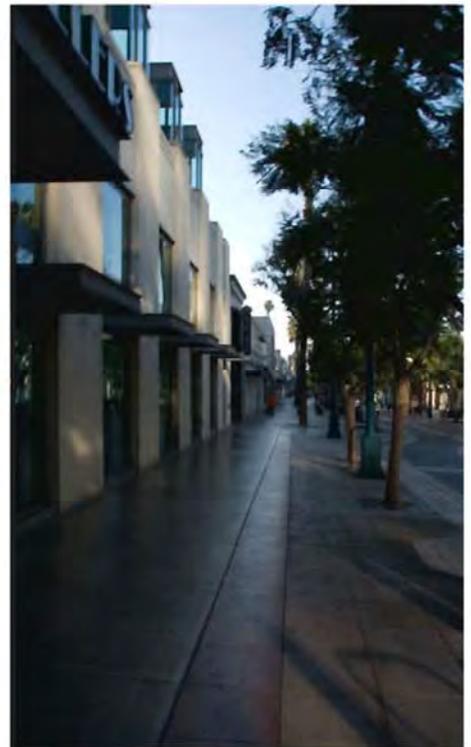
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JSED° Future Cities°

PROHIBITED EXAMPLES
street wall articulation



Jackson Street Entertainment District
JSED° Future Cities°

ENCOURAGED EXAMPLES
street wall articulation



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ENCOURAGED EXAMPLES
street wall articulation

EXHIBIT 19

sign definitions and sample images

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A. Facia-mounted Sign

A flat sign that is mounted on a wall and whose face runs parallel to the wall. A facia-mounted sign might project from the wall on which it is mounted. Can be made from a variety of materials and forms including cast aluminum, bronze, acrylic, or resin, individual letters/numerals or plaque or sculptural element.



B. Full Color Printed Media

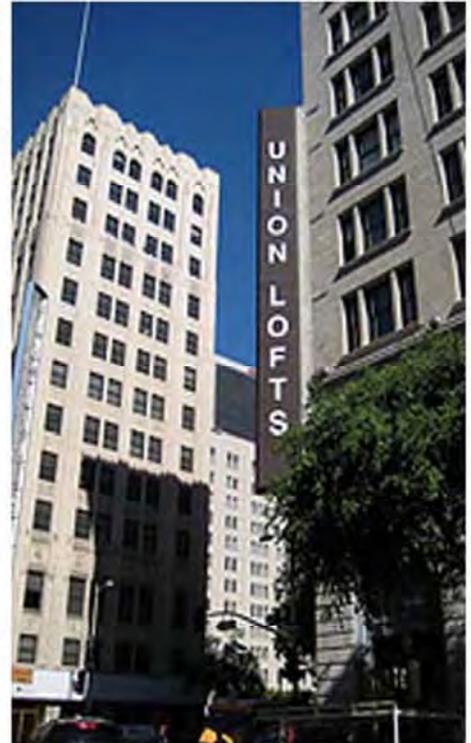
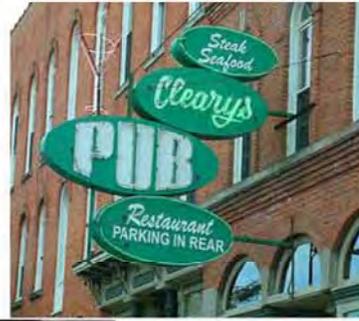
Banner type signs made of fabric, plastic, mesh, perforated scrim or other non rigid material which has no enclosing framework. Finished include buy are not limited to painting, screen print, digital print or vinyl graphics.



FULL COLOR PRINTED MEDIA
signage examples

C. Blade Sign

A type of projecting sign mounted on a building façade or storefront pole or attached to a surface perpendicular to the sign's surface and the normal flow of traffic. May be three-dimensional.



D. Street Banner Signs

A sign, usually constructed of fabric, canvas, or similar material, that is attached to a pole or building. For the purpose of this section these signs shall be limited to district promotion and identification.



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STREET BANNERS
signage examples

E. Painted Wall Signs

Any sign which is applied with paint or similar substance directly to the face of a wall or building and contains no structural framework other than the wall or façade.



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PAINTED WALL SIGN
signage examples

F. Window Graphics

Vinyl imagery applied directly to store or building front windows. Graphics may be opaque or semi-opaque.



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WINDOW GRAPHICS
signage examples

G. Pan Channel Lettering

Letters, numerals, or imagery made of formed metal pans attached either directly to a building face or installed with a raceway. Pan Channel Lettering can be open face, internally illuminated, or halo lit.



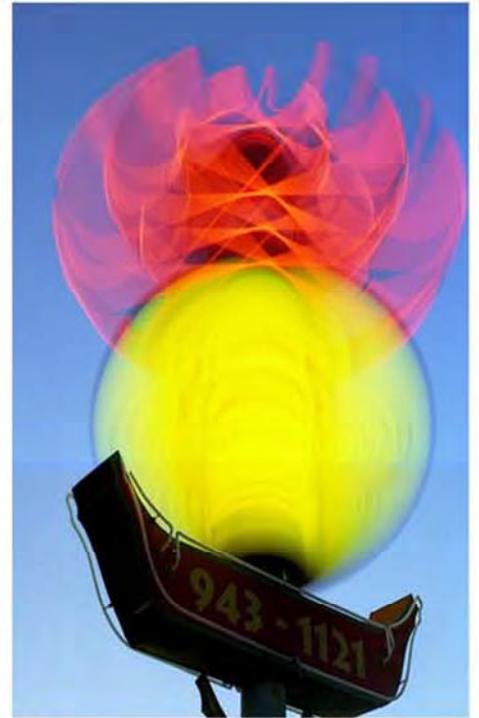
H. Electronic Message Center

A sign that utilized computer-generated messages or other electric means of changing text or images. Changeable message displays/signs may use incandescent lamps, light emitting diode (LEDs), liquid crystal display (LCDs), flat-panel displays, fiber optics, and other technologies. Can also include LED Reader Boards.



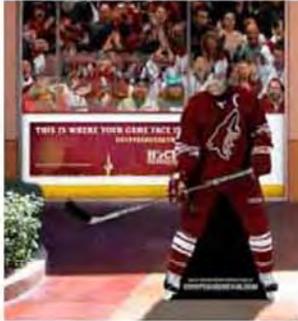
J. Kinetic sign

A sign that has the ability to move up to 360 degrees because of either the presence of an electric motor to drive its moveable parts, or environmental (wind, gravity) catalyst. All or a portion of the sign may revolve / animate at a steady a variable speed.



K. Sculptural Sign

A sign that has a three dimensional/iconic form.

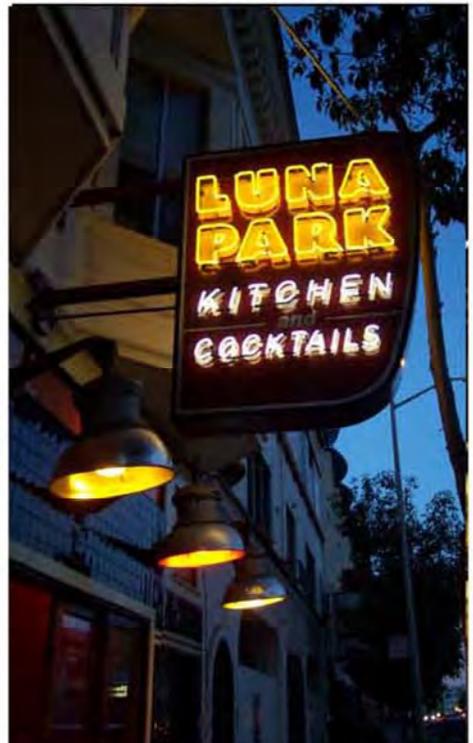
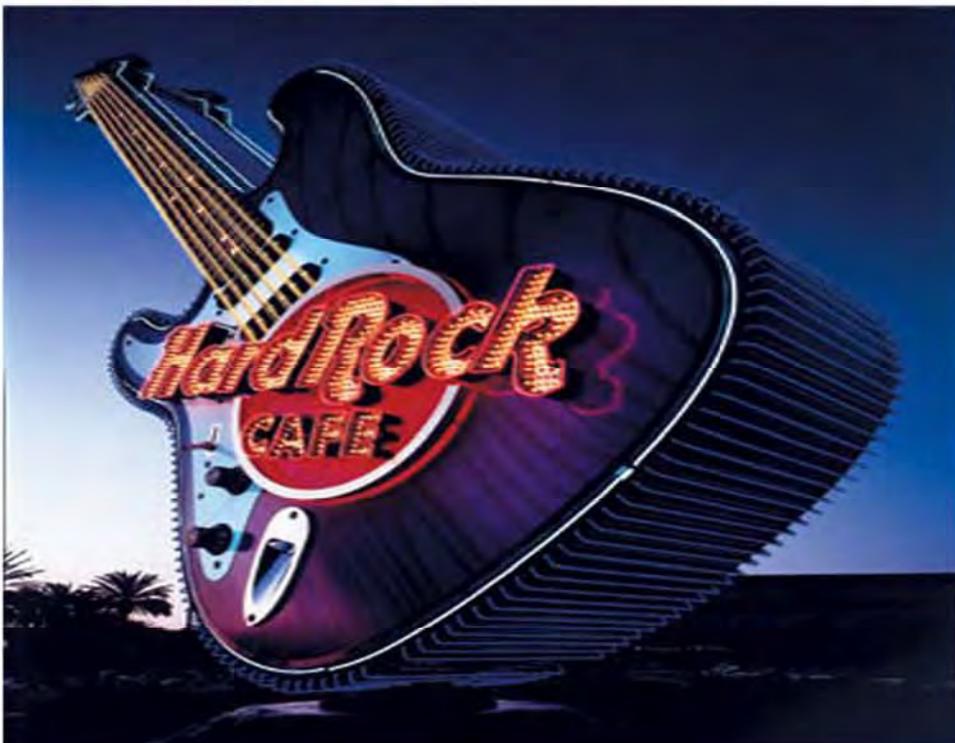


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SCULPTURAL SIGNS
signage examples

L. Neon Sign

Luminous-tube signs that contain neon or other inert gases at a low pressure that glow when powered.



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NEON SIGNS
signage examples

M. Translucent/mesh material

Ideal for placement over windows; result is a viewable message from a distance while maintaining unobstructed visibility from behind windows.



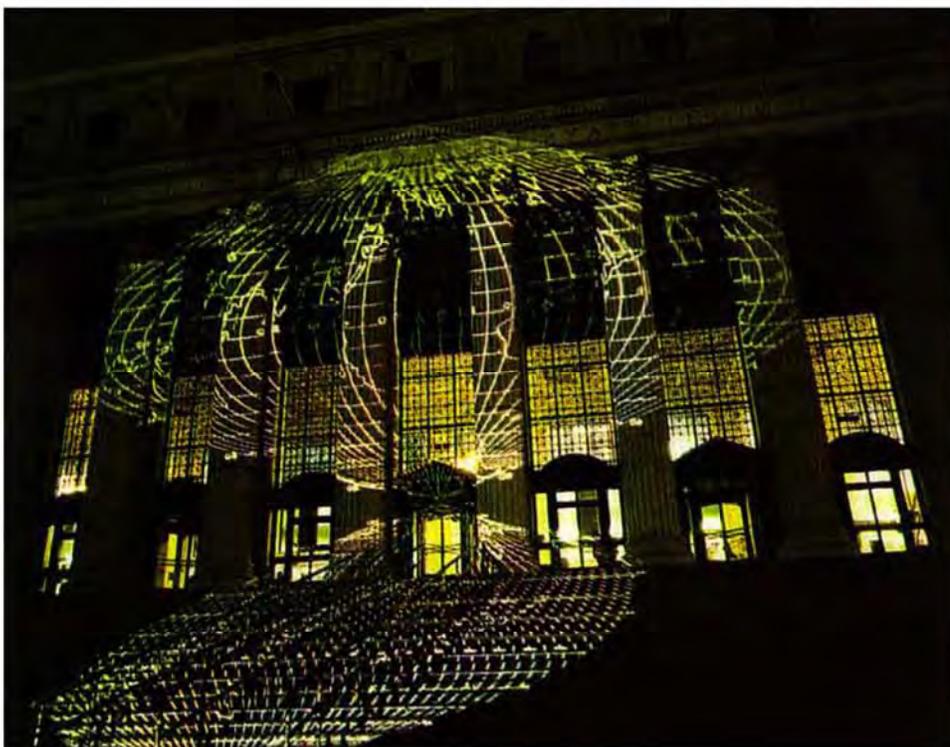
N. Marquee Sign

A sign or structure displaying content which promotes events occurring within the venue on which the sign is placed. Marquee signs convey information through a variety of methods and may be static, digital, projection, LED, or other means, and are intended to be updated regularly.



O. Projected light

A sign that is projected from an external light source onto a message surface. Such external light source may consist of a high intensity beam.



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PROJECTED LIGHT
signage examples

Q. Sign with 3D extension

Printed signs with added three-dimensional sculptural objects.



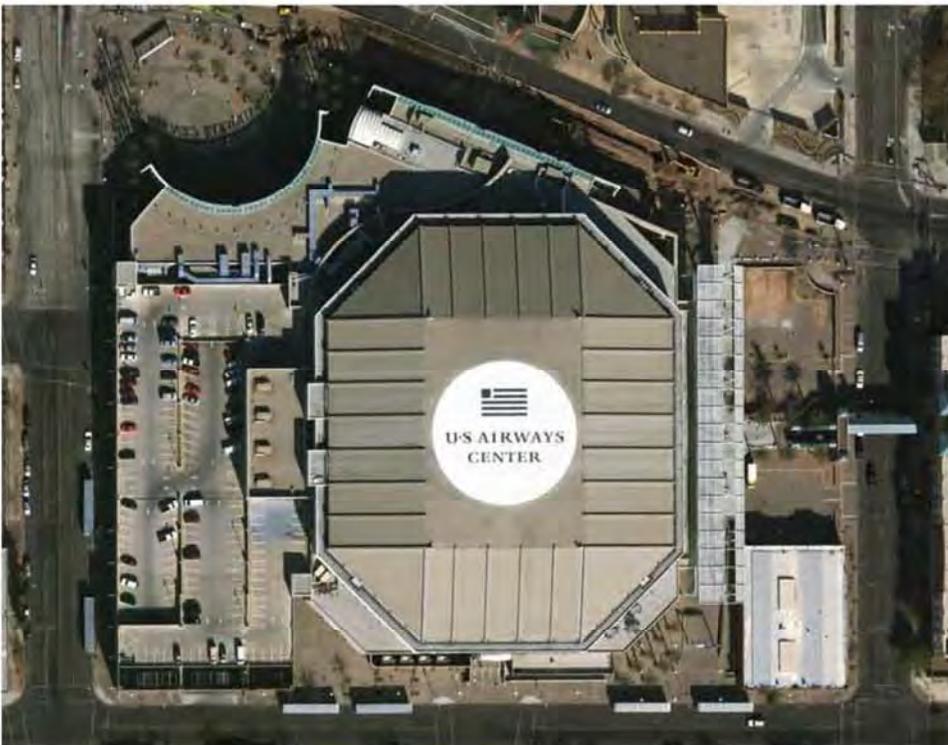
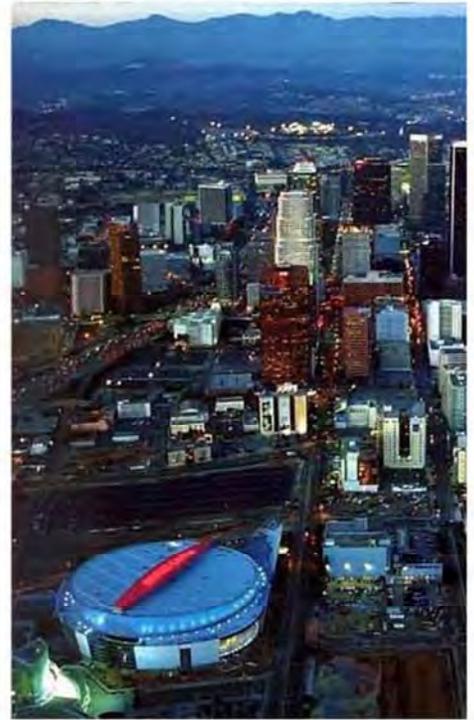
R. Monument or Kiosk Sign

A sign that is free standing or building-mounted at a pedestrian level and contains or dispenses information about a district or area, such as maps, pamphlets, and/or other literature. Kiosk or monument signs may contain motion videos, sound, touchscreens, or other interactive communication means.



S. Aerial View Signs

A sign that is applied or placed upon a roof surface, parallel with the roof plane, intended to be viewed from above. An aerial view sign shall not be visible from any adjacent public right-of-way.



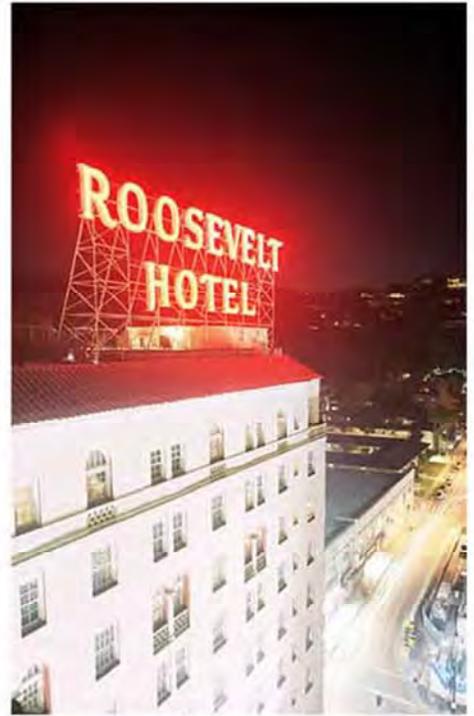
T. Awning Signs

A sign located anywhere on the surface of an awning



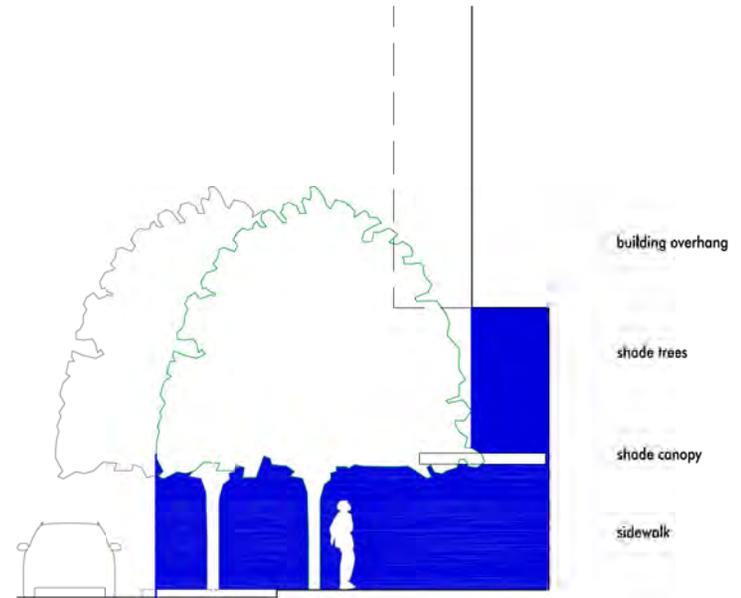
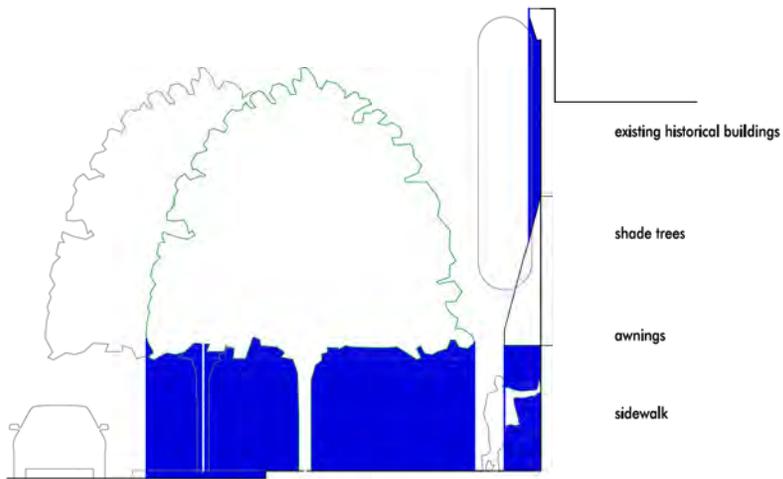
U. Roof Signs

Any sign erected, constructed or maintained wholly or partially upon or over the roof line of any building with the principal support on the roof or building structure.



east and west facing sidewalks

EXHIBIT 20.1
street shading concept sections



Jackson Street Entertainment District
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4 november 2008

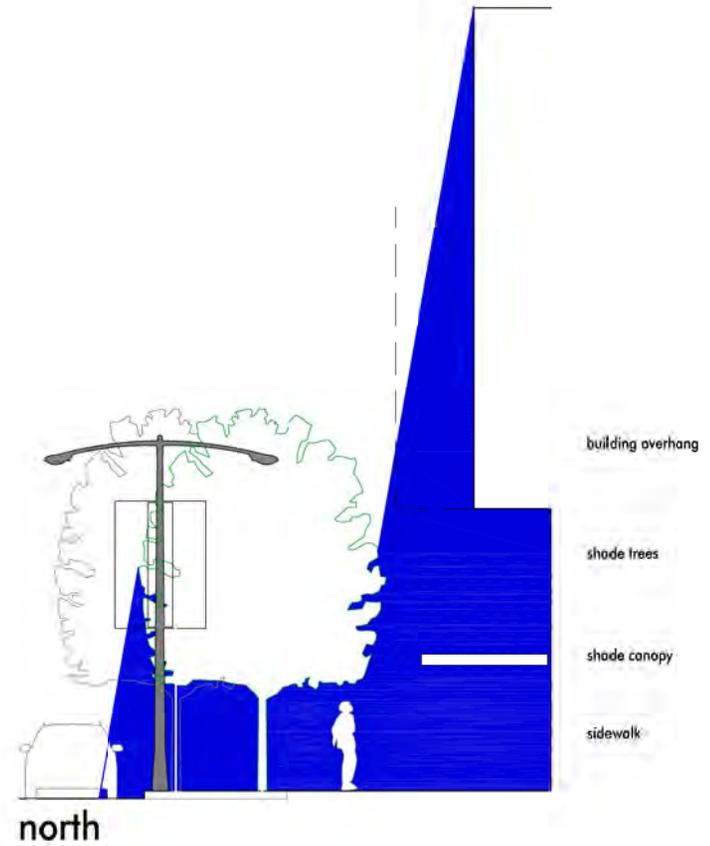
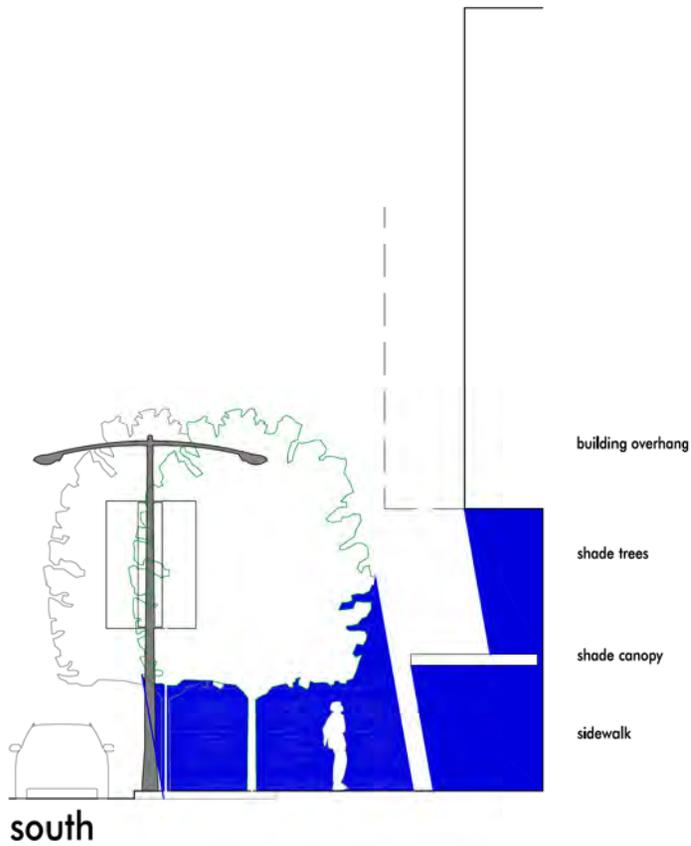


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■ shade area at noon june 21

north and south facing sidewalks

EXHIBIT 20.2
street shading concept sections



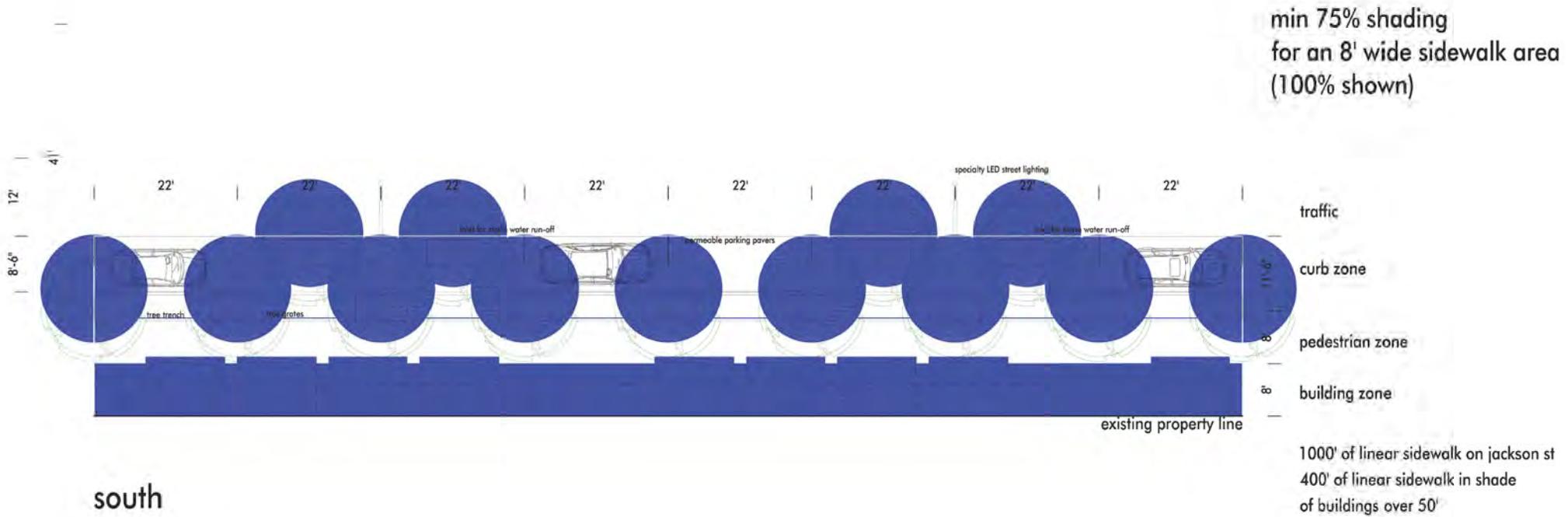
■ shade area

Jackson Street Entertainment District
sojac

4 november 2008



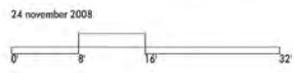
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south

Jackson Street Entertainment District
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Applicable to Street East of 2nd Street



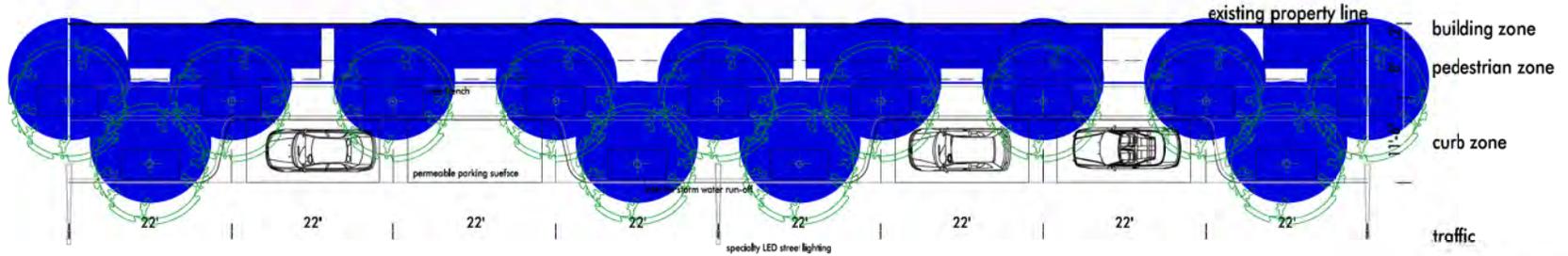
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shade area

lincoln street

EXHIBIT 20.5 typical street shading concept plan

north



min 75% shading
for 8' pedestrian zone
(85% shown)

 shade area

Jackson Street Entertainment District
sojac

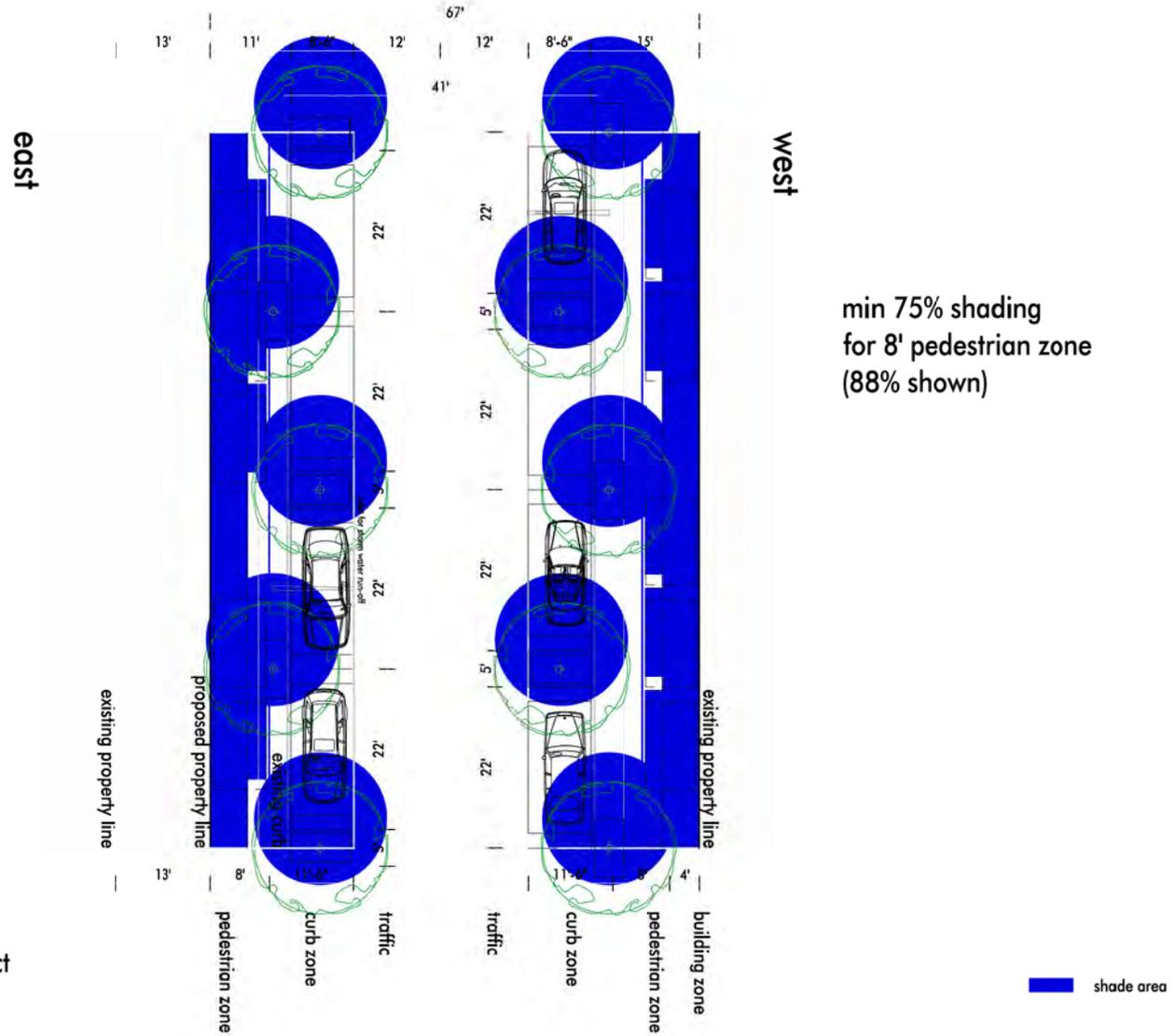
24 november 2008



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third and fourth streets

EXHIBIT 20.6 typical street shading concept plan



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Jackson Street

JACKSON STREET ENTERTAINMENT DISTRICT, LLC