



**City of Phoenix**  
PLANNING AND DEVELOPMENT DEPARTMENT

**Staff Report Z-13-23-7**  
May 15, 2023

**Estrella Village Planning Committee** Meeting Date: May 16, 2023

**Planning Commission** Hearing Date: June 1, 2023

**Request From:** S-1 (Ranch or Farm Residence) (25.97 acres) and R-2 (Multifamily Residence District) (0.11 acres)

**Request To:** CP/GCP (Commerce Park District, General Commerce Park Option) (8.03 acres) and A-1 (Light Industrial District) (18.05 acres)

**Proposal:** Office, fabrication, and vehicle maintenance

**Location:** Southwest corner of 51st Avenue and Broadway Road

**Owner:** FPE51, LLC

**Applicant:** Fisher Sand and Gravel

**Representative:** Adam Baugh, Withey Morris Baugh, PLC

**Staff Recommendation:** Approval, subject to stipulations

<u>General Plan Conformity</u>			
<u>General Plan Land Use Map Designation</u>		Current: Residential 10 to 15 dwelling units per acre Proposed: Mixed Use (Industrial / Commerce/Business Park)	
<u>Street Map Classification</u>	51st Avenue	Major Arterial	33-foot west half street
	Broadway Road	Arterial	55-foot south half street

**CONNECT PEOPLE AND PLACES CORE VALUE; OPPORTUNITY SITES; LAND USE PRINCIPLE: Support reasonable levels of increased intensity, respectful of local conditions and surrounding neighborhoods.**

The proposal will allow for office, fabrication, and other employment-generating land uses in a location that is appropriate due to its proximity to two arterial streets, and its proximity to the Loop 202 Freeway.

**Connect people and places core value; complete streets; design principle: In order to balance a more sustainable transportation system, development should be designed to include increased amenities for transit, pedestrian and bicyclists such as shade, water, seating, bus shelters, wider sidewalks, bike racks, pedestrian scale lighting and way-finding.**

Located at the junction of two arterial streets, the proposal, as stipulated, will provide elements for transit, pedestrians, and bicyclists in order to promote walking and alternative transportation. These elements include shaded detached sidewalks along public streets and bicycle parking located on site.

**BUILD THE SUSTAINABLE DESERT CITY CORE VALUE; TREES AND SHADE; DESIGN PRINCIPLE: Integrate trees and shade into the design of new development and redevelopment projects throughout Phoenix.**

The proposal, as stipulated, will be required to provide shade along the adjacent public sidewalks and amenity areas. This will help to encourage walking and to mitigate the urban heat island effect by covering hard surfaces, thus cooling the micro-climate around the project vicinity.

### Applicable Plans, Overlays, and Initiatives

[Estrella Village Plan](#): Background Item No. 5.

[Estrella Village Arterial Street Landscaping Program](#): Background Item No. 6.

[Complete Streets Guiding Principles](#): Background Item No. 7.

[Comprehensive Bicycle Master Plan](#): Background Item No. 8.

[Transportation Electrification Action Plan](#): Background Item No. 9.

[Phoenix Climate Action Plan](#): Background Item No. 10.

[Tree and Shade Master Plan](#): Background Item No. 11.

[Monarch Butterfly](#): Background Item No. 12.

[Zero Wase PHX](#): Background Item No. 13.

<b>Surrounding Land Uses/Zoning</b>		
	<b><u>Land Use</u></b>	<b><u>Zoning</u></b>
<b>On Site</b>	Vacant land	S-1 and R-2
<b>North (across Broadway Road)</b>	Vacant land, single-family residential	C-2 and R-2
<b>East (across 51st Avenue)</b>	Vacant land, mining	A-1 and A-1 SP
<b>South</b>	Mining	Maricopa County RU-43
<b>West</b>	Vacant land	Maricopa County RU-43

<b>Commerce Park / General Commerce Park Option</b>		
<b><u>Standards</u></b>	<b><u>Requirements</u></b>	<b><u>Provisions on the Proposed Site Plan</u></b>
<i>Minimum Building Setbacks</i>		
Perimeter Street (51st Avenue) (East)	30 feet	197 feet 2.5 inches (Met)
Perimeter Street (Broadway Road) (North)	30 feet	110 feet 6 inches (Met)
Perimeter not on a street (West)	20 feet	295 feet 7 inches (Met)
Perimeter not on a street (South)	20 feet	146 feet 1.25 inches (Met)
<i>Minimum Landscaped Setbacks</i>		
Perimeter Street (51st Avenue) (East)	30 feet	30 feet (Met)
Perimeter Street (Broadway Road) (North)	30 feet	30 feet (Met)
Perimeter not on a street (West)	5 feet	5 feet (Met)
Perimeter not on a street (South)	5 feet	5 feet (Met)
Maximum Lot Coverage	50%	Not specified

<b>Commerce Park / General Commerce Park Option (Continued)</b>		
<b><u>Standards</u></b>	<b><u>Requirements</u></b>	<b><u>Provisions on the Proposed Site Plan</u></b>
Maximum Building Height	18-foot maximum height is permitted within 30 feet of the perimeter lot line, then one-foot of additional height is allowed for every 3 feet of additional setback, maximum 56 feet to 80 feet with a use permit and site plan.	30 feet (Met)
Minimum Parking Requirements	Office building(s) with less than 50,000 square feet of gross building area, 1 space per 300 square foot floor area 133 required spaces	Not Specified

\*Variance or site plan modification required

<b>A-1 (Light Industrial District)</b>		
<b><u>Standards</u></b>	<b><u>Requirements</u></b>	<b><u>Provisions on the Proposed Site Plan</u></b>
<i>Minimum Building Setbacks</i>		
Street (51st Avenue) (East)	25 feet	274 feet 8 inches (Met)
Street (Broadway Road) (North)	25 feet	Not specified
Rear (South property line)	30 feet; closed building 150 feet; open building/use	52 feet; closed building (Met) 30 feet; open building (Not met)
Side (West property line)	30 feet; closed building 150 feet; open building/use	300; closed building (Met) 30 feet; open building/use (Not specified)
<i>Outdoor Storage</i>		
Street (51st Avenue) (East)	75 feet	Not specified
Street (Broadway Road)	75 feet	Not specified

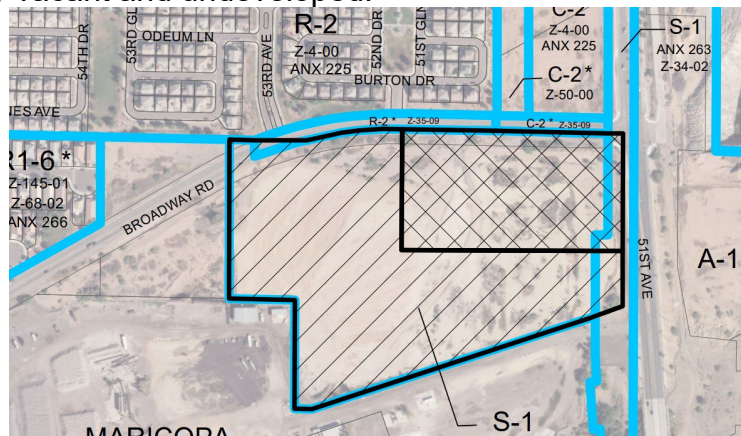
<i>Minimum Landscaped Setbacks</i>		
Street (51st Avenue) (East)	8 times the lot frontage, measured in square feet (Minimum 5 feet)	30 feet (Met)
Street (Broadway Road) (North)	8 times the lot frontage, measured in square feet (Minimum 5 feet)	30 feet (Met)
Rear (South property line)	Not required	0 feet (Met)
Side (West property line)	Not required	0 feet (Met)
Maximum Lot Coverage	No maximum	Not specified
Maximum Building Height	56 feet, up to 80 feet with use permit	56 feet (Met)
Minimum Parking	1 space per 300 square feet of office and 1 parking space per 1.5 warehouse or production workers.	No specified

\*Variance or site plan modification required

**Background/Issues/Analysis**

**SUBJECT SITE**

1. This request is to rezone 26.08 acres located at the southwest corner of the 51st Avenue and Broadway Road from 25.97 acres of S-1 (Ranch or Farm Residence) and 0.11 acres of R-2 (Multifamily Residence District) to 8.03 acres of CP/GCP (Commerce Park, General Commerce Park Option) and 18.05 acres of A-1 (Light Industrial District) to allow office, fabrication, and vehicle maintenance. The subject site is currently vacant and undeveloped.



Existing Aerial Map

Source: City of Phoenix Planning and Development Department

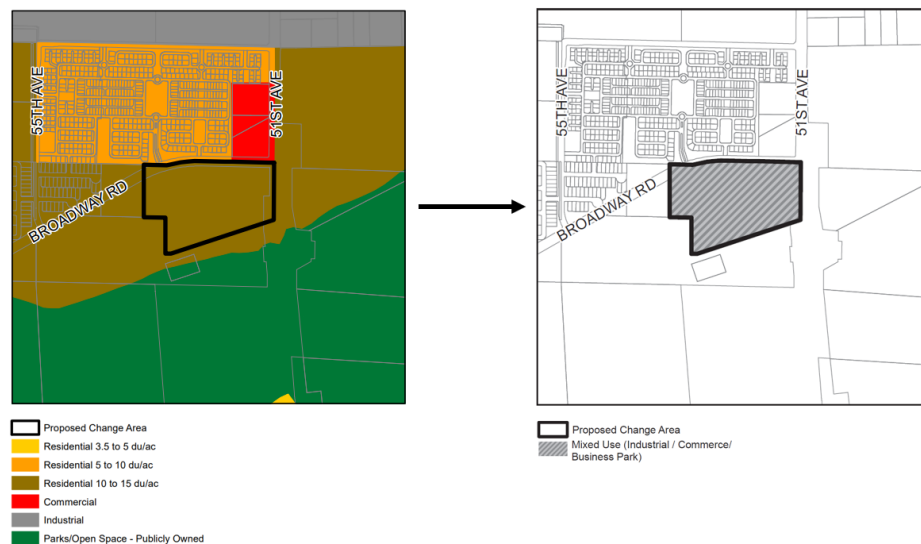
## SURROUNDING LAND USES AND ZONING

- The properties to the north, across Broadway Road, are zoned R-2 (Multifamily Residence District) and C-2 (Intermediate Commercial) and consists of single-family residential development and vacant land. To the east, across 51st Avenue, is vacant land zoned A-1 (Light Industrial District) and A-1 SP (Light Industrial District, Special Permit). The mining property to the west and south of the subject site is within the Maricopa County jurisdiction and is zoned RU-43 (One-Family Residence).

## GENERAL PLAN LAND USE MAP DESIGNATION

- The General Plan Land Use Map designation for the subject site is Residential 10 to 15 dwelling units per acre. North of the subject site, across Broadway Road, is designated Commercial and Residential 5 to 10 dwelling units per acre. West, south, and east of the subject site is designated Residential 10 to 15 dwelling units per acre. Further south of the site is designated Parks/Open Space – Publicly Owned.

A concurrent minor General Plan Land Use Map amendment case, GPA-EST-1-23-7, proposes to change the land use map designation to Mixed Use (Industrial / Commerce/Business Park). The requested CP/GCP and A-1 zoning is consistent with the proposed General Plan Land Use Map designation.



General Plan Land Use Map

Source: City of Phoenix Planning and Development Department

## PROPOSAL

### 4. Site Plan

The conceptual site plan, attached as an exhibit, proposes an approximate 57,000-square foot, two-story office building on the northeast portion of the subject site.

The south portion of the subject site will have an approximate 76,800-square foot shop building where fabrication and vehicle maintenance is proposed. Furthermore, the northwest portion of the site will be utilized for truck parking.

In order for the proposed development to remain compatible with the surrounding zoning to the north and south, staff is recommending Stipulation No. 2 which would require conformance to the proposed building locations and sizes as shown on the site plan. If any changes are proposed, any new addition would be required to go through the PHO process. This would allow staff to ensure that additions or modifications are compatible with the surrounding land uses and zoning.

Two access points are located along both 51st Avenue and Broadway Road. Employee and customer parking on the site is located on the northeast portion of the site along the street frontages. Staff is not recommending a stipulation requiring general conformance to the conceptual site plan as the site may not meet open storage setback standards.

The conceptual site plan shows several landscaped portions on the site. Staff recommends Stipulation No. 5 to ensure a 30-foot landscape setback along the north and east perimeters of the site. Stipulation No. 6 incorporates enhanced landscaping along Broadway Road and 51st Avenue. The proposed stipulations will ensure shading and enhance the street frontages.

Staff also recommends an employee resting or recreation area with pedestrian seating benches and shade. The recommended employee resting area would provide employees with a place outdoors during their workday. This is addressed in Stipulation No. 10.

### **Elevations**

The conceptual office building elevations depict architectural features that include variation in colors, building articulation, and emphasizes on the building facades. The proposal elevations also include four-sided architecture and durable materials. Staff is recommending general conformance to the office building elevations per Stipulation No. 1.



Conceptual Building Renderings  
Source: LGE Design Group

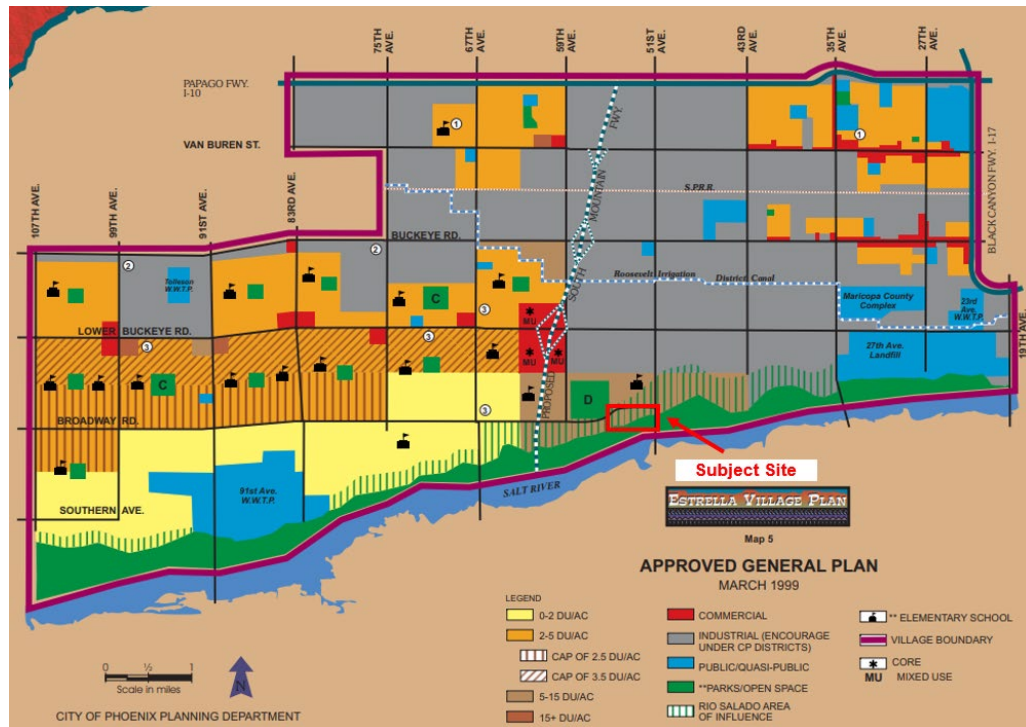
## AREA PLANS, OVERLAY DISTRICTS, AND INITIATIVES

### 5. [Estrella Village Plan](#)

The Estrella Village Plan adopted in 1999, outlines a vision for developing the Estrella Village through five main goals that include:

1. Orderly growth;
2. Identifiable village core;
3. Strong residential neighborhoods;
4. Variety of homes and jobs; and
5. Consistent streetscapes and trail linkages.





Estrella Land Use Map

Source: Planning and Development Department

Goal 1, “Growth”, recommends industrial development to utilize commerce park development standards. The proposal consists of CP/GPC zoning to the north and A-1 to the south. The proposed CP/GCP zoning will act as a buffer between the residential uses to the north and the industrial uses on the south portion of the site and in the County to the south. The proposal will also include enhanced street frontages and enhanced building elevations facing the public street. This is addressed in Stipulation No. 1, 3, 5 and 6. Lastly, Stipulation Nos. 12 and 17 includes provisions for a detached sidewalk along 51st Avenue and Broadway Road with enhanced landscaping between the back of the curb and sidewalk.

Goal 5, “Urban Design”, Objective D, “Street Appearance” recommends industrial properties along major streets and adjoining residential neighborhoods to be well landscaped and open storage and activity screened from view. Several stipulations as recommended by staff and would promote enhanced urban design along the streetscapes. Lastly, Stipulation Nos. 5 and 6 recommend enhanced landscaping along 51st Avenue and Broadway Road to promote a positive character of the village.

6. **Estrella Village Arterial Street Landscaping Program**

The Estrella Village Arterial Street Landscaping Program adopted in 1999, provides a landscape palette for arterial streets within the Estrella Village to help establish the community’s character. In addition to providing planning guidelines,

the plan also indicates the locations to establish entry gateways that welcome individuals entering the village with an entry sign and an enhanced landscape area of 75 feet by 75 feet in size.

The subject site is adjacent to Broadway Road, an arterial street, and 51st Avenue, a major arterial. Thus, staff recommends Stipulation No. 3 to require adherence with the Estrella Village Arterial Street Landscaping Program requirements along the street frontage to promote the community's character.

7. **Complete Streets Guidelines**

In 2014, the City of Phoenix City Council adopted the Complete Streets Guiding Principles. The principles are intended to promote improvements that provide an accessible, safe, connected transportation system to include all modes, such as bicycles, pedestrians, transit, and vehicles. To provide a safe pedestrian environment staff is recommending enhanced pavement treatment for the on-site pedestrian walkways that cross vehicular drive aisles. This is addressed in Stipulation No. 9. This development will help pedestrianize the immediate street frontage by providing a detached sidewalk along 51st Avenue, Broadway Road and a shared use path along the small portion of the subject site along the north side of Broadway Road. In addition, a multi-use trail is required along 51st Avenue to further pedestrianize the street. This is addressed in Stipulation No. 4, 12, 17 and 18. Furthermore, bicycle parking will be required on the site encourage alternative transportation. This is addressed in Stipulation No. 11. In addition, any street improvements must be completed to City of Phoenix and ADA standards. These are addressed in Stipulations No. 20.

8. **Comprehensive Bicycle Master Plan**

The City of Phoenix adopted the Comprehensive Bicycle Master Plan in 2014 to guide the development of its Bikeway System and supportive infrastructure. The Comprehensive Bicycle Master Plan supports options for both short- and long-term bicycle parking as a means of promoting bicyclist traffic to a variety of destinations. As stipulated, the project will provide bicycle parking spaces, installed per the requirements in the city's Walkable Urban (WU) Code. This is addressed in Stipulation No. 11.

9. **Transportation Electrification Action Plan**

In June 2022, the Phoenix City Council approved the Transportation Electrification Action Plan. The current market desire for the electrification of transportation is both a national and global phenomenon, fueled by a desire for better air quality, a reduction in carbon emissions, and a reduction in vehicle operating and maintenance costs. Businesses, governments and the public are signaling strong future demand for electric vehicles (EVs), and many automobile manufacturers have declared plans for a transition to fully electric offerings within the coming decade. This Plan contains policy initiatives to prepare the City for a future filled

with more EVs, charging infrastructure and e-mobility equity, and outlines a roadmap for a five-step plan to prepare for the EV infrastructure needs of 280,000 EVs in Phoenix by 2030. One goal of the Plan to accelerate public adoption of electric vehicles through workplace, business, and multifamily charging infrastructure recommends a standard stipulation for rezoning cases to provide EV charging infrastructure. This is addressed in Stipulation No. 14.

10. **[Phoenix Climate Action Plan](#)**

In October 2021, the Phoenix City Council approved the Climate Action Plan. The Climate Action Plan will serve as a long-term plan to achieve greenhouse gas emissions reductions and resiliency goals from local operations and community activities as well as prepare for the impacts of climate change. This plan contains policy and initiatives regarding stationary energy, transportation, waste management, air quality, local food systems, heat, and water. Goal W2 (Water), Action W2.4, pertains to the implementation of the [Greater Phoenix Green Infrastructure \(GI\) and Low Impact Development Details for Alternative Stormwater Management](#) to benefit the environment, promote water conservation, reduce urban heat, improve the public health, and create additional green spaces. This goal is addressed in Stipulation No. 15, which requires a minimum of two GI techniques for stormwater management to be implemented in this development.

11. **[Tree and Shade Master Plan](#)**

The Tree and Shade Master Plan encourages treating the urban forest as infrastructure to ensure the trees are an integral part of the City's planning and development process. Sidewalks on the street frontages should be detached from the curbs to allow trees to be planted on both sides of the sidewalk to provide thermal comfort for pedestrians and to reduce the urban heat island effect. Staff is recommending stipulations designed to provide trees and enhance shade within the development.

Staff is recommending the following stipulations for parking lot and sidewalk shading:

- The landscape setback along 51st Avenue and Broadway Road shall contain 50 percent two-inch caliper trees and 50 percent three-inch caliper trees (Stipulation No. 6).
- Uncovered surface parking lot areas shall be landscaped with minimum two-inch caliper drought-tolerant shade trees to achieve a minimum of 25 percent shade (Stipulation No. 8).

12. **[Monarch Butterfly](#)**

In April 2021, Mayor Kate Gallego signed the [National Wildlife Federation's Mayor's Monarch Pledge](#). This pledge commits the city to take action to support the monarch butterfly population. In the United States, loss of milkweed habitat is a

major factor in the decline of the monarchs. Arizona has at least 29 species of milkweed native to the state. Adult monarchs feed on the nectar of many flowers, but they breed only where milkweeds are found. To support the monarch butterfly population, Stipulation No. 7 will require the planting of milkweed shrubs, or other native nectar plant species on the subject site.

13. **Zero Waste PHX**

The City of Phoenix is committed to its waste diversion efforts and has set a goal to become a zero-waste city, as part of the City's overall 2050 Environmental Sustainability Goals. One of the ways Phoenix can achieve this is to improve and expand its recycling and other waste diversion programs. Section 716 of the Phoenix Zoning Ordinance establishes standards to encourage the provision of recycling containers for multifamily, commercial, and mixed-use developments meeting certain criteria. The provision of recycling containers was not addressed in the applicant's submittals.

COMMUNITY CORRESPONDENCE

14. At the time this staff report was written, no correspondence from the public had been received.

INTERDEPARTMENTAL COMMENTS

15. **Fire Department**

The Fire Department indicated there are no problems anticipated with the case and that the site and/or buildings shall comply with the International Fire Code with Phoenix Amendments. Further, the Department commented that they do not know the water supply at this site and noted that fire flow requirements may present a challenge for this site.

16. **Street Transportation Department**

The Street Transportation Department has indicated that the developer will be required to re-dedicate the existing right-of-way along Broadway Road and construct and landscape a 14-foot-wide median island on Broadway Road from 51st Avenue to 53rd Avenue. A detached sidewalk shall be constructed along Broadway Road and the developer shall maintain the existing detached sidewalk along 51st Avenue. Furthermore, a shared use path will be constructed along a small segment on the north side of Broadway Road, the streetscape along 51st Avenue is to be replenished with a water drip system, and all street improvements shall be constructed with all required elements and meet ADA standards. These are addressed in Stipulation No. 12, 13, 16 through 20.

17. **Flood Management**

The Floodplain Management Division of the Public Works Department commented that this project is in a Special Flood Hazard Area (SFHA) called Zone A, on panel 2705M of the Flood Insurance Rate Maps (FIRM) revised June 26, 2020. The applicant is required to submit a Grading and Drainage Plan to the Floodplain

Management section of Public Works Department. An Elevation Certificate (FEMA Form 086-0-33) and a FEMA approved CLOMR-F or CLOMR must be received and approved by Floodplain Management prior to issuance of a Grading & Drainage permit. This is addressed in Stipulation No. 21.

#### OTHER

18. The site is located in a larger area identified as being archaeologically sensitive. If further review by the City of Phoenix Archaeology Office determines the site and immediate area to be archaeologically sensitive, and if no previous archaeological projects have been conducted within this project area, it is recommended that archaeological Phase I data testing of this area be conducted. Phase II archaeological data recovery excavations may be necessary based upon the results of the testing. A qualified archaeologist must make this determination in consultation with the City of Phoenix Archaeologist. In the event archaeological materials are encountered during construction, all ground disturbing activities must cease within a 33-foot radius of the discovery and the City of Phoenix Archaeology Office must be notified immediately and allowed time to properly assess the materials. This is addressed in Stipulations No. 22 through 24.
19. Staff has not received a completed form for the Waiver of Claims for Diminution in Value of Property under Proposition 207 (A.R.S. 12-1131 et seq.), as required by the rezoning application process. Therefore, a stipulation has been added to require the form be completed and submitted prior to preliminary site plan approval. This is addressed in Stipulation No. 25.
20. Development and use of the site is subject to all applicable codes and ordinances. Zoning approval does not negate other ordinance requirements. Other formal actions such as, but not limited to, zoning adjustments and abandonments, may be required.

#### **Findings**

1. The proposal will develop a vacant property and as stipulated, will be compatible with the surrounding land uses.
2. The stipulated landscape and building elevation standards are above the required minimum Zoning Ordinance standards and will make the proposal a compatible addition to the neighboring area.
3. As stipulated, the proposed development will promote the vision of various policy plans including the Tree and Shade Master Plan, Estrella Village Area Plan and Estrella Village Arterial Street Landscaping Program.

## **Stipulations**

1. The office building as depicted on the site plan date stamped April 25, 2023, shall be in general conformance with the office building elevations date stamped April 3, 2023, with specific regard to the architectural feature on the north and south façade, glass and color pallet as modified by the following stipulations and approved by the Planning and Development Department.
2. The proposed building sizes and locations shall generally conform to the site plan date stamped April 25, 2023, as approved by the Planning and Development Department.
3. The development shall conform with the Estrella Village Arterial Street Landscaping Program landscape pallet and landscaping standards along arterial streets in the Estrella Village, except as otherwise noted herein, as approved by the Planning and Development Department.
4. A 30-foot-wide multi-use trail easement (MUTE) shall be dedicated along the west side of 51st Avenue and a minimum 10-foot-wide multi-use trail (MUT) shall be constructed within the easement in accordance with the MAG supplement detail and as approved by the Planning and Development Department.
5. A minimum 30-foot-wide landscape setback shall be provided along the north and east perimeter of the site.
6. The required landscape setbacks along 51st Avenue and Broadway Road shall be planted with minimum 50% 2-inch caliper and 50% 3-inch caliper size trees, and five 5-gallon shrubs per tree, as approved by the Planning and Development Department. Where utility conflict exists, the developer shall work with the Planning and Development Department on alternative design solutions consistent with a pedestrian environment.
7. A minimum of 10% of the required shrubs, shall be a milkweed or other native nectar species, and shall be planted in groups of three or more, as approved by the Planning and Development Department.
8. All uncovered employee and customer surface parking lot areas shall be landscaped with minimum 2-inch caliper large canopy drought tolerant shade trees. Landscaping shall be dispersed throughout the employee and customer parking area and achieve a minimum 25% shade at maturity, as approved by Planning and Development Department.

9. Where pedestrian walkways cross a vehicular path, the pathway shall be constructed of decorative pavers, stamped or colored concrete, or other pavement treatments that visually contrast parking and drive aisle surfaces, as approved by the Planning and Development Department.
  10. One outdoor employee resting or recreation area of no less than 400-square feet or two 200-square foot areas shall be provided on site. Each required pedestrian area shall include a minimum of two pedestrian seating benches, a table, and constructed of quality and durable materials, and shaded to a minimum of 50 percent using minimum 2-inch caliper large canopy drought-tolerant shade trees and/or architectural shade, as approved by the Planning and Development Department.
  11. A minimum of 12 bicycle parking spaces shall be provided through Inverted U and/or artistic racks installed per the requirements of Section 1307.H. of the Phoenix Zoning Ordinance and or within a secure bicycle storage room, as approved by the Planning and Development Department.
  12. The existing detached sidewalk landscape area located between the back of curb and sidewalk shall be maintained along 51st Avenue and planted to the following standards, as approved by the Planning and Development Department.
    - a. Minimum 2-inch caliper single-trunk large canopy drought-tolerant shade trees to provide a minimum 75% shade.
    - b. Drought tolerant vegetation maintained no higher than 24 inches to provide a minimum of 75% live coverage at maturity.
- Where utilities conflicts arise, the developer shall work with the Planning and Development Department on an alternative design solution consistent with a pedestrian environment.
13. The existing streetscape along 51st Avenue shall be replenished with appropriate water drip system, as approved by Planning and Development.
  14. A minimum of 10% of the required employee and customer parking shall include EV capable infrastructure.
  15. A minimum of two green infrastructure (GI) techniques for stormwater management shall be implemented per the Greater Phoenix Metro Green Infrastructure and Low Impact Development Details for Alternative Stormwater Management, as approved or modified by the Planning and Development Department.

16. The developer shall re-dedicate existing right-of-way easement, dedicated by MCR 87-372362, along Broadway Road as fee title to the City of Phoenix.
17. A minimum 6-foot-wide detached sidewalk and a minimum 10-foot-wide landscape strip between the back of curb and sidewalk shall be provided along the south side of Broadway Road, planted to the following standards as approved by the Planning and Development Department.
  - a. Minimum 2-inch caliper single-trunk large canopy drought-tolerant shade trees to provide a minimum 75% shade.
  - b. Drought tolerant vegetation maintained no higher than 24 inches to provide a minimum of 75% live coverage at maturity.

Where utilities conflicts arise, the developer shall work with the Planning and Development Department on an alternative design solution consistent with a pedestrian environment.

18. A minimum 8-foot-wide detached shared use path (sidewalk) separated by a minimum 8-foot-wide landscape strip between the back of curb and sidewalk shall be provided along the north side of Broadway Road, connecting the existing shared use path (sidewalk) to the subject site's western property line for the small portion of the subject site along the north side of Broadway Road, as approved by the Planning and Development Department.
19. A 14-foot-wide median island shall be constructed and landscaped in Broadway Road from 51st Avenue to the 53rd Avenue. A full access median opening shall be provided at 52nd Avenue. All other access points to be median restricted or as approved by the Street Transportation Department. Coordinate median island and openings design with the Street Transportation Department.
20. The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.
21. This parcel is in a Special Flood Hazard Area (SFHA) called Zone AE, on panel 2705L of the Flood Insurance Rate Maps (FIRM) dated June 26, 2020. The following requirements shall apply, as approved by the Planning and Development Department:



- a. The Architect/Engineer is required to show the floodplain boundary limits on the Grading and Drainage plan and ensure that impacts to the proposed facilities have been considered, following the National Flood Insurance Program (NFIP) Regulations (44 CFR Paragraph 60.3). This includes, but not limited to provisions in the latest versions of the Floodplain Ordinance of the Phoenix City Code.
  - b. A copy of the Grading and Drainage Plan needs to be submitted to the Floodplain Management section of Street Transportation Department for review and approval of Floodplain requirements.
  - c. The developer shall provide a FEMA approved CLOMR-F or CLOMR prior to issuance of a Grading and Drainage permit.
22. If determined necessary by the Phoenix Archaeology Office, the applicant shall conduct Phase I data testing and submit an archaeological survey report of the development area for review and approval by the City Archaeologist prior to clearing and grubbing, landscape salvage, and/or grading approval.
  23. If Phase I data testing is required, and if, upon review of the results from the Phase I data testing, the City Archaeologist, in consultation with a qualified archaeologist, determines such data recovery excavations are necessary, the applicant shall conduct Phase II archaeological data recovery excavations.
  24. In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground-disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.
  25. Prior to preliminary site plan approval, the landowner shall execute a Proposition 207 waiver of claims form. The waiver shall be recorded with the Maricopa County Recorder's Office and delivered to the City to be included in the rezoning application file for record.

**Writer**

Nayeli Sanchez Luna

May 15, 2023

**Team Leader**

Racelle Escolar

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**Exhibits**

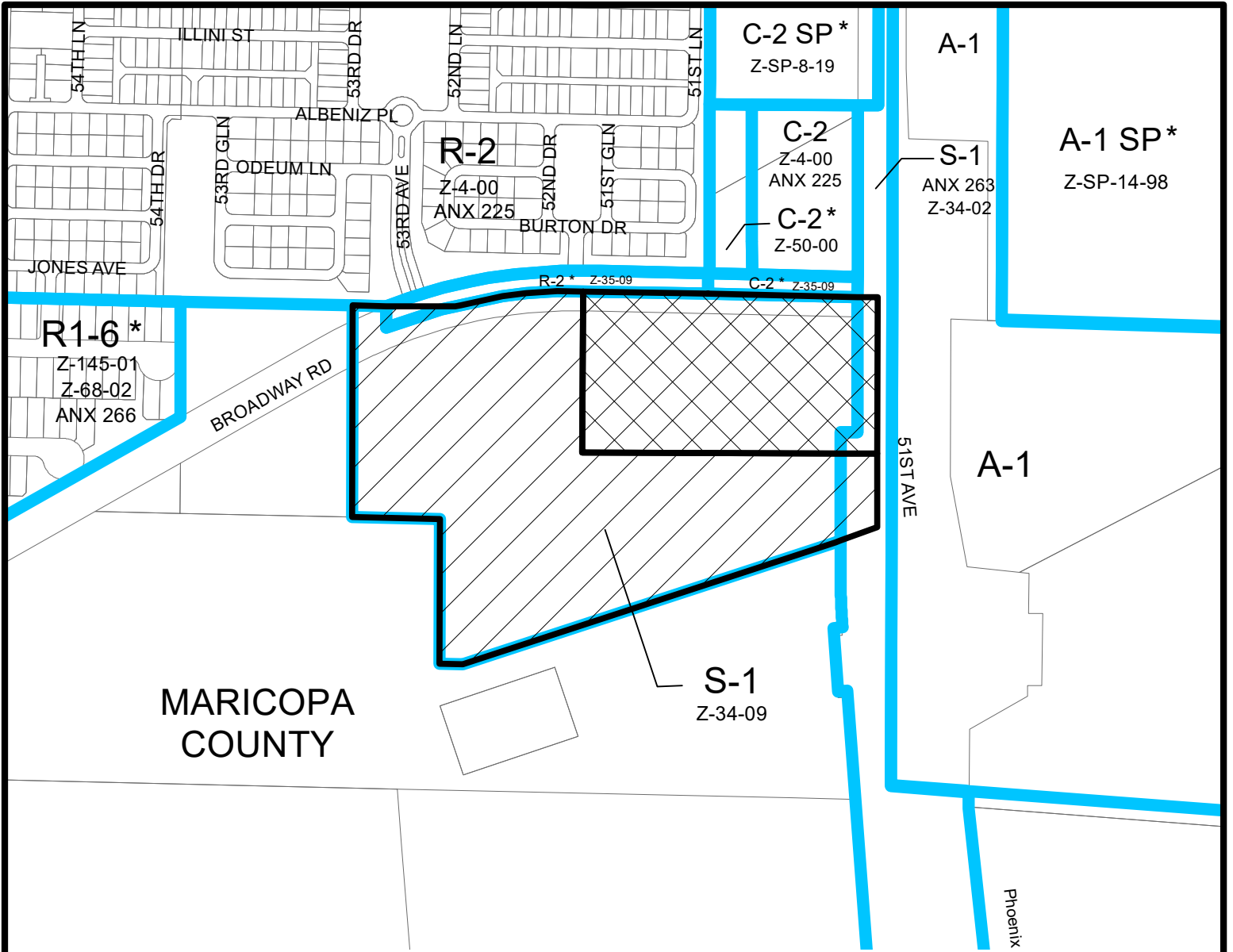
Sketch map

Aerial map

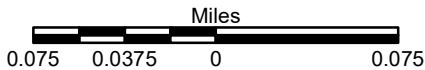
Conceptual Site Plan date stamped April 25, 2023

Elevations date stamped April 3, 2023

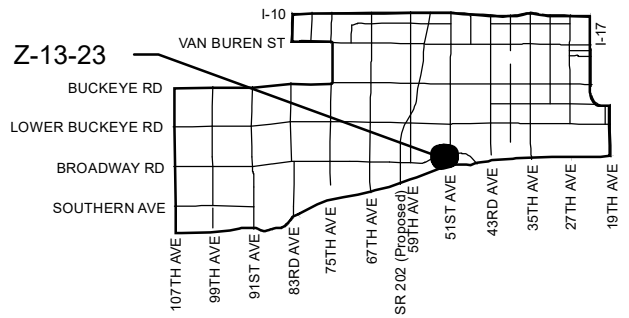
Renderings date stamped April 3, 2023 (2 Pages)





MARICOPA COUNTY

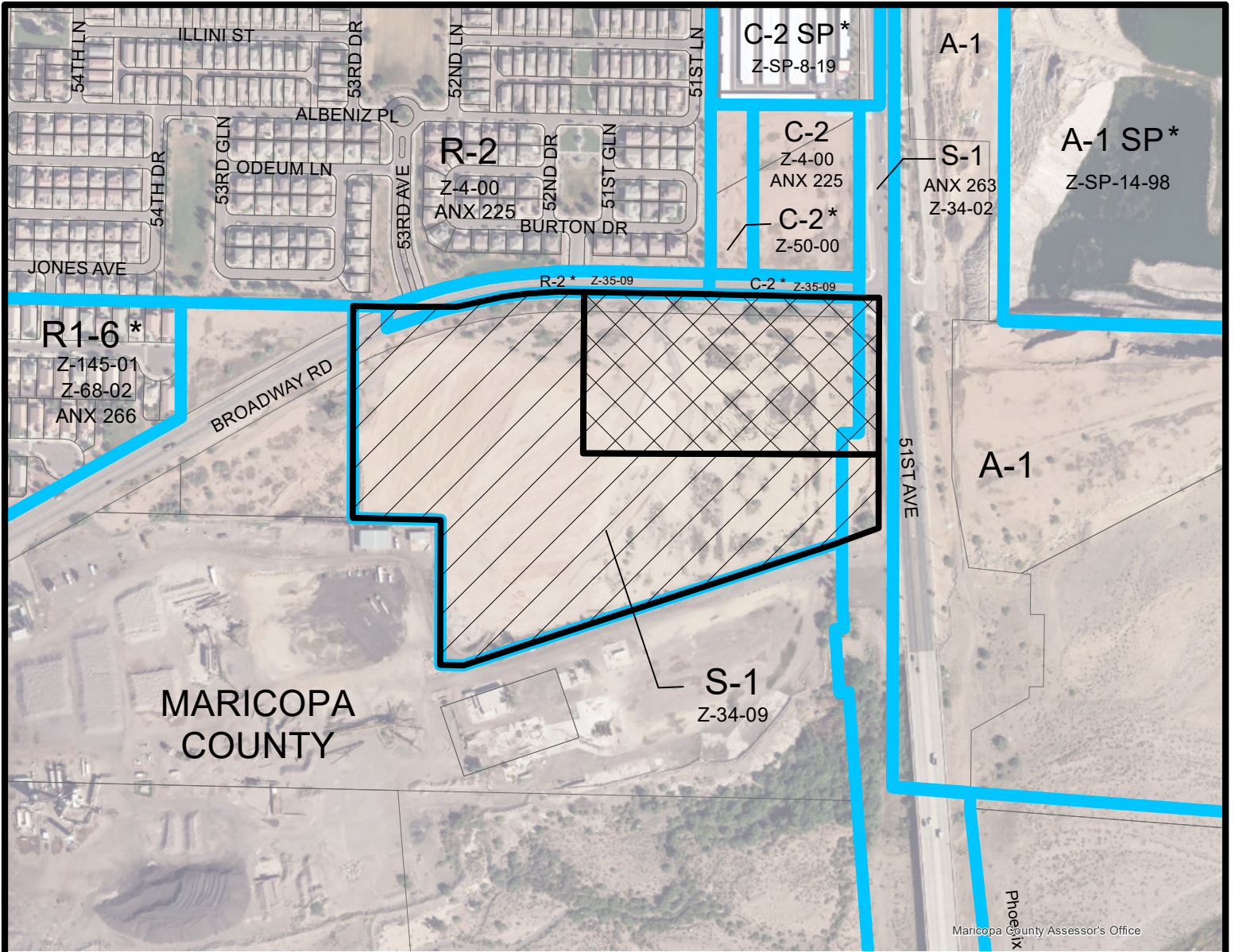


**ESTRELLA VILLAGE**  
CITY COUNCIL DISTRICT: 7



<b>APPLICANT'S NAME:</b> Fisher Sand and Gravel		<b>REQUESTED CHANGE:</b>	
<b>APPLICATION NO.</b> Z-13-23	<b>DATE:</b> 3/29/2023 <b>REVISION DATES:</b> 4/21/2023	<b>FROM:</b> R-2 ( 0.11 a.c.) S-1 ( 25.97 a.c.)	
GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX.  <b>26.08 Acres</b>	<b>AERIAL PHOTO &amp; QUARTER SEC. NO.</b> QS 5-16	<b>ZONING MAP</b> E5	<b>TO:</b> A-1 ( 18.05 a.c.)  CP/GCP ( 8.03 a.c.) 
<b>MULTIPLES PERMITTED</b> R-2, S-1 A-1, CP/GCP	<b>CONVENTIONAL OPTION</b> 1, 25 N/A, N/A		<b>* UNITS P.R.D. OPTION</b> 1, N/A N/A, N/A

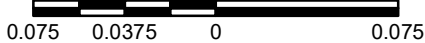
\* Maximum Units Allowed with P.R.D. Bonus



Maricopa County Assessor's Office

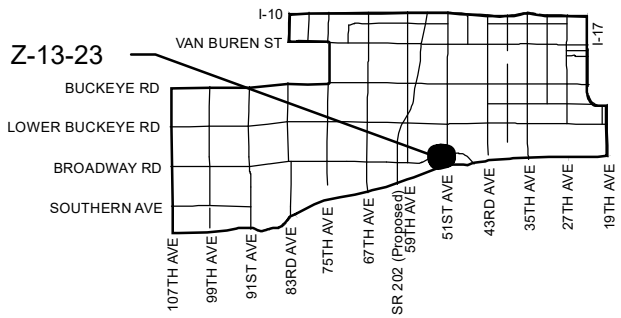


Miles



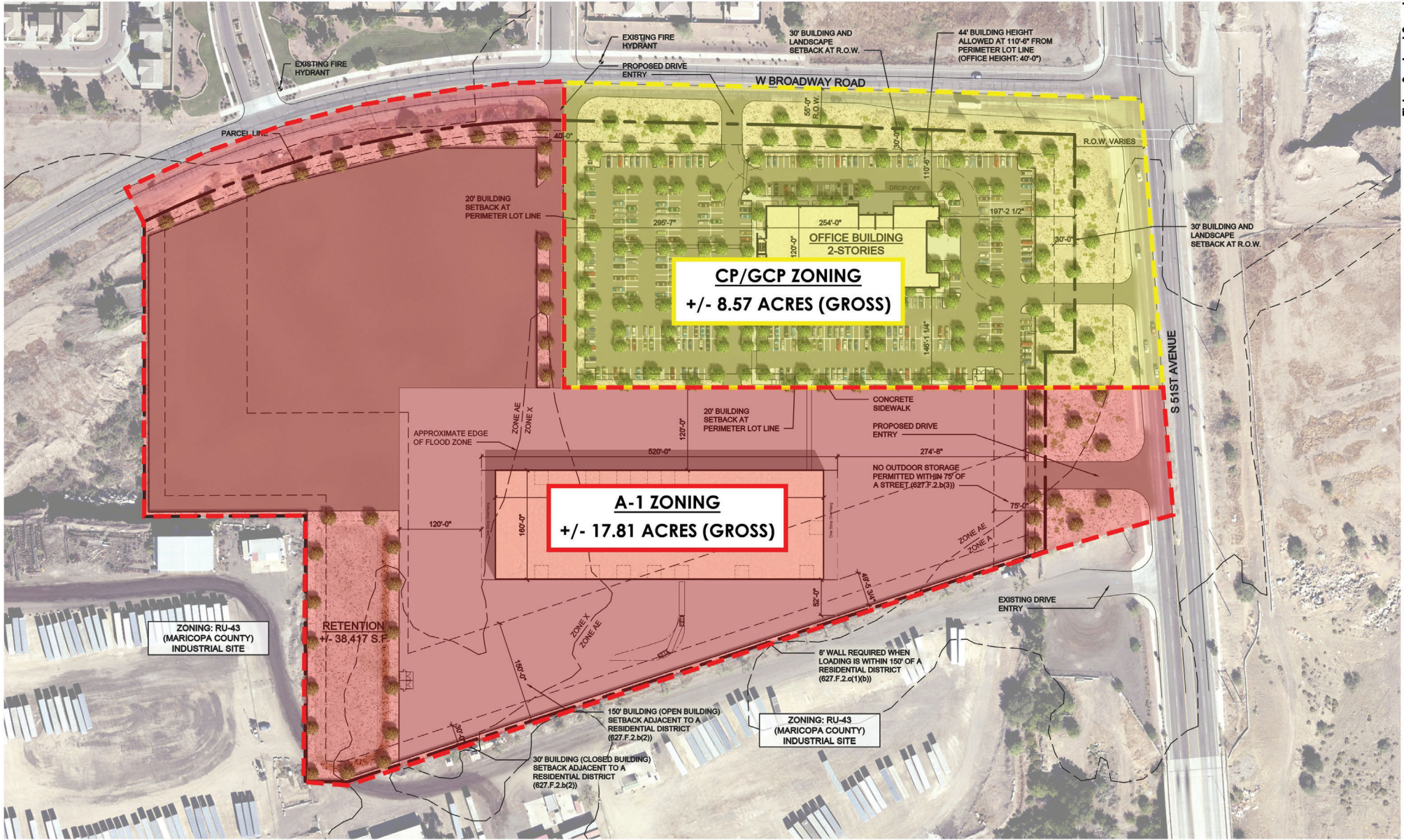
**ESTRELLA VILLAGE**

CITY COUNCIL DISTRICT: 7



<b>APPLICANT'S NAME:</b> Fisher Sand and Gravel		<b>REQUESTED CHANGE:</b>	
<b>APPLICATION NO.</b> Z-13-23	<b>DATE:</b> 3/29/2023 <b>REVISION DATES:</b>	<b>FROM:</b> R-2 ( 0.11 a.c.) S-1 ( 25.97 a.c.)	
<b>GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX.</b> 26.08 Acres	4/21/2023	<b>TO:</b> A-1 ( 18.05 a.c.) CP/GCP ( 8.03 a.c.)	
<b>MULTIPLES PERMITTED</b> R-2, S-1 A-1, CP/GCP	<b>CONVENTIONAL OPTION</b> 1, 25 N/A, N/A	<b>* UNITS P.R.D. OPTION</b> 1, N/A N/A, N/A	

\* Maximum Units Allowed with P.R.D. Bonus



Fisher Sand and Gravel

**Fisher Sand and Gravel** Phoenix, Arizona  
2023 . 04 . 17

**LGE DESIGNGROUP**

**CITY OF PHOENIX**

APR 25 2023  
Planning & Development  
Department

**PRELIMINARY SITE PLAN**

1"=60'-0"  
0 30 60 120



**LGE DESIGNBUILD**

This artist rendering is for conceptual design only, was done without benefit of a survey and should not be referred to as a construction document. THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE AND THE PROPERTY OF LGE DESIGN GROUP AND LGE DESIGN BUILD AND SHALL REMAIN THEIR PROPERTY. THE USE OF THIS DRAWING SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH IT WAS PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH.

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**MATERIAL/FINISH SCHEDULE:**

KEY:	DESCRIPTION:
EXTERIOR WALLS:	
BF	BOARD FORMED CONCRETE WALL
W1	MASONRY - 4" x 8" x 16" SMOOTH FACE, STACK BOND PATTERN, INTEGRAL COLOR - TRENNWYR TRENDSTONE GROUND FACE MASONRY UNIT - SOUTHWEST GOLD
W2	MASONRY - 4" x 8" x 16" SMOOTH FACE, STACK BOND PATTERN, INTEGRAL COLOR - TRENNWYR TRENDSTONE GROUND FACE MASONRY UNIT - HOPI SANDSTONE
MP	ALUMINUM COMPOSITE METAL (ACM) SMOOTH FINISH WITH CONCEALED FASTENERS
MF	EXTRUDED ALUM. ANGLE, EXTEND 6" FROM BUILDING
MC	MECHANICAL SCREEN WALL, METAL DECK

**CANOPY KEY:**

MATERIAL:	DESCRIPTION:
CC	METAL CANOPY - OPEN TRESSIS STEEL CANOPY WITH STEEL ANGLES
SB	STEEL BALCONY - STEEL CHANNELS WITH STEEL FRAMED INFILL OVER PLYWOOD DECKING WITH EIFS SOFFIT AND SMOOTH FINISHED FLOOR

**GLAZING KEY:**

MATERIAL:	DESCRIPTION:
FRAMES	ALUMINUM STOREFRONT - 4 1/2" (SEALANT JOINT VERTS) BLACK ANODIZED (AB-8)
EXTERIOR GLAZING	SOLARBAN 60 1" INSULATED GLAZING LOW-E SOLARCOOL SOLARBLUE
G1	SPANDREL GLASS
G2	SPANDREL GLASS

**PAINT KEY:**

KEY:	DESCRIPTION:
P1	DUNN EDWARDS (DARK GREY) DARK ENGINE' DE630 (LRV 5)
P2	DUNN EDWARDS (FISHER ORANGE) TANGERINE TANGO' DES194 (LRV 46)

**LGE DESIGN GROUP**  
1200 N. 52nd Street Phoenix, AZ 85008  
P: 480.966.4001

**FISHER SAND & GRAVEL**  
S.W.C 51ST AVE. AND BROADWAY ROAD  
PHOENIX, AZ

**LGE DESIGN GROUP**

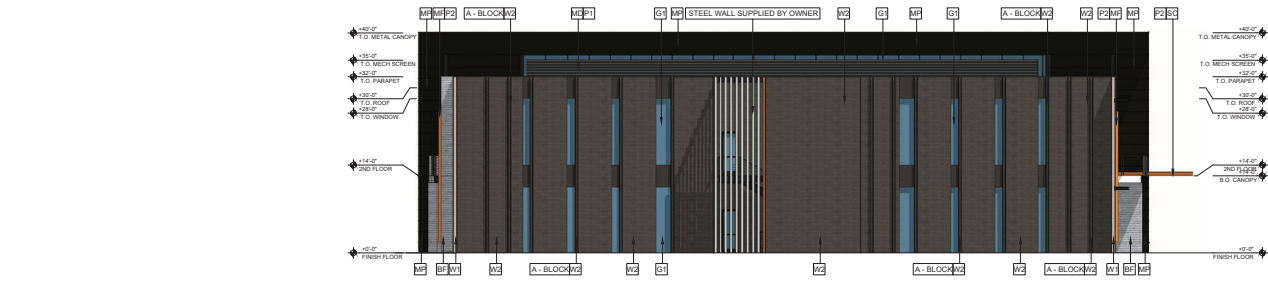
NUMBER	REVISION	DATE

SHEET TITLE:	EXTERIOR ELEVATIONS
ISSUE DATE:	08/04/2021
DRAWN BY:	M.R. GJ
CHECKED BY:	B.M.
PROJECT NO.:	
SHEET:	A4.1.1



**EAST ELEVATION**

SCALE: 3/32" = 1'-0"



**WEST ELEVATION**

SCALE: 3/32" = 1'-0"



**NORTH ELEVATION**

SCALE: 3/32" = 1'-0"



**SOUTH ELEVATION**

SCALE: 3/32" = 1'-0"



1.1

NORTH EAST CORNER



1.3

NE CORNER ENTRY



1.2

NORTH ENTRY PERSPECTIVE



1.4

EAST ELEVATION PERSPECTIVE

CONCEPTUAL RENDERING VIEWS

CITY OF PHOENIX

APR 03 2023

Planning & Development  
Department

NOT TO SCALE

NUMBER	REVISION	DATE

SHEET TITLE	CONCEPTUAL RENDERING VIEWS
ISSUE DATE	08/04/2021
DRAWN BY	MJR, SJ
CHECKED BY	B.M.
PROJECT No.	

SHEET: **G1**



1.1 EAST ELEVATION PERSPECTIVE



1.3 EAST EXTERIOR PATIO VIEW



1.2 SE CORNER PERSPECTIVE



1.4 SOUTH ENTRY PERSPECTIVE

CONCEPTUAL RENDERING VIEWS

CITY OF PHOENIX

APR 03 2023

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NOT TO SCALE

NUMBER	REVISION	DATE

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DRAWN BY	MJR, SJ
CHECKED BY	SJM
PROJECT No.	