



**City of Phoenix**  
 PLANNING AND DEVELOPMENT DEPARTMENT

**Staff Report: Z-19-15-6**  
 August 20, 2015

**Camelback East Village Planning Committee Hearing Date** September 1, 2015  
**Planning Commission Hearing Date** September 8, 2015

**Request From:** RE-35 (2.29 acres)  
**Request To:** R1-10 (2.29 acres)  
**Proposed Use** Single Family Residential  
**Location** Approximately 198 feet east of the southeast corner of 37<sup>th</sup> Street and Orange Drive

**Owner** Robert Thompson  
**Applicant's Representative** ACT Two, LLC: Marc Nassos  
**Staff Recommendation** Approval, subject to stipulations

General Plan Conformity			
<b>General Plan Land Use Designation</b>		Residential 3.5 to 5 du / acre	
<b>Street Map Classification</b>	Orange Drive	Local	40 foot north half street / 40 foot south half street
<p><b><i>NEIGHBORHOOD ELEMENT, GOAL 2: COMPATIBLE NEIGHBORHOOD DEVELOPMENT: NEW DEVELOPMENT AND EXPANSION OR REDEVELOPMENT OF EXISTING DEVELOPMENT IN OR NEAR RESIDENTIAL AREAS SHOULD BE COMPATIBLE WITH EXISTING USES AND CONSISTENT WITH ADOPTED PLANS.</i></b></p> <p>As stipulated, the project will include increased setbacks, and reduced heights to be compatible with the surrounding neighborhood.</p>			
<p><b><i>RECREATION ELEMENT, GOAL 3: A FUNCTIONAL NETWORK OF SHARED URBAN TRAILS THAT ARE ACCESSIBLE, CONVENIENT, AND CONNECTED TO PARKS, MAJOR OPEN SPACES, AND VILLAGE CORES, SHOULD BE DEVELOPED THROUGHOUT THE CITY. THE TRAILS SHOULD CONNECT WITH FUTURE REGIONAL TRAIL SYSTEMS WHEREVER POSSIBLE.</i></b></p> <p>The development will establish a neighborhood connection to the trail system along the Arizona Canal.</p>			

<b>Surrounding Land Uses/Zoning</b>		
	<b><u>Land Use</u></b>	<b><u>Zoning</u></b>
<b>On Site</b>	Single Family Residential	RE-35
<b>North</b>	Single Family Residential / Government Flood Control Infrastructure	R1-6 / Town of Paradise Valley
<b>South</b>	Single Family Residential	R1-10
<b>East</b>	Office / Single Family Residential	C-2 / R1-10
<b>West</b>	Single Family Residential	R1-10

<b>R1-10 (Single Family Residence District), Table A – Conventional Option</b>		
<b><u>Standards</u></b>	<b><u>Requirements</u></b>	<b><u>Proposed</u></b>
<i>Minimum Perimeter Building Setbacks</i>		
Front	15 feet	N/A
Rear	15 feet (1 story), 20 feet (2 story)	Met – 15 feet (1 story), N/A (2 story)
Side	10 feet (1 story), 15 feet (2 story)	Met – 10 feet (1 story), N/A (2 story)
<i>Minimum Interior Building Setbacks</i>		
Front	10 feet	Met – 25 feet
Rear	10 feet	Met – 15 feet
Combined Front and Rear	35 feet	Met – 40 feet
Street Side:	10 feet	N/A
Side	13 feet total (3 feet minimum, unless 0 feet)	Met – 10 feet each side
Lot Coverage	Primary structure, not including attached shade structures: 40% Total 50%	Met – Primary structure, not including attached shade structures: 40% Total 50%
Building Height	Maximum 30 feet	Met – 20 feet

**Background/Issues/Analysis**

1. This is a request to rezone a 2.29 acre parcel from RE-35 (Single Family Residence) to R1-10 (Single Family Residence) to allow for single family residential.
2. The site is currently developed with a single home. Several accessory structures including a tennis court exist on the property in addition to the home, all of which are utilized by the property owner.

3. The General Plan designation for the parcel is Residential 3.5 to 5 du / acre. The proposal is consistent with the General Plan designation and the land uses in the area.
4. The property is located at the end of a cul-de-sac developed with single family homes zoned R1-10. Lots along the street are generally between 20,000 and 25,000 square feet. The homes are developed with single story ranch homes with large front and side yard setbacks and garages set back from the front of the homes. Staff recommends reduced height, increased main building and garage setbacks, minimum lot size, and limitations on the height of fences for the proposed development to be compatible with the surrounding neighborhood. Stipulations have been added to address these requirements.
5. The property is adjacent to the trail system along the Arizona Canal. The proximity to the trail has created the opportunity to create a neighborhood connection to the trail system as a benefit to the larger neighborhood. A stipulation has been included to address this requirement.
6. The City of Phoenix Floodplain Management division of the Street Transportation Department has determined that this parcel is not in a Special Flood Hazard Area (SFHA), but is located in a Shaded Zone X, on panel 1745 L of the Flood Insurance Rate Maps (FIRM) dated October 16, 2013.
7. Development and use of the site is subject to all applicable codes and ordinances. Zoning approval does not negate other ordinance requirements. Other formal actions such as, but not limited to, zoning adjustments and abandonment may be required.

### **Findings**

1. The proposal is consistent with the Residential 3.5 to 5 du / acre General Plan Land Use designation and surrounding entitlements.
2. As stipulated, the proposal is consistent with the surrounding land uses.
3. The development will create a new neighborhood connection to the Arizona Canal.

### **Stipulations**

1. The development shall be in general conformance with the site plan and elevations date stamped April 27, 2015 except as modified by the following stipulations and approved by the Planning and Development Department.
2. Individual lots shall be a minimum 15,000 square feet.
3. Individual lots shall maintain a minimum front yard setback of 25-feet.

4. The minimum side yard setbacks for individual lots shall be 10-feet.
5. The development shall be limited to a maximum building height of one-story and 20-feet.
6. Front loaded garages shall be setback a minimum of 35-feet from the front property line.
7. Walls or fences in the front yard shall be limited to a maximum height of 30 inches.
8. The applicant shall provide public pedestrian access to the Arizona Canal trail system through the development along Orange Drive as approved by the Planning and Development Department.

**Writer**

Xandon Keating

06/23/15

**Team Leader**

Joshua Bednarek

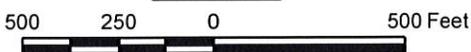
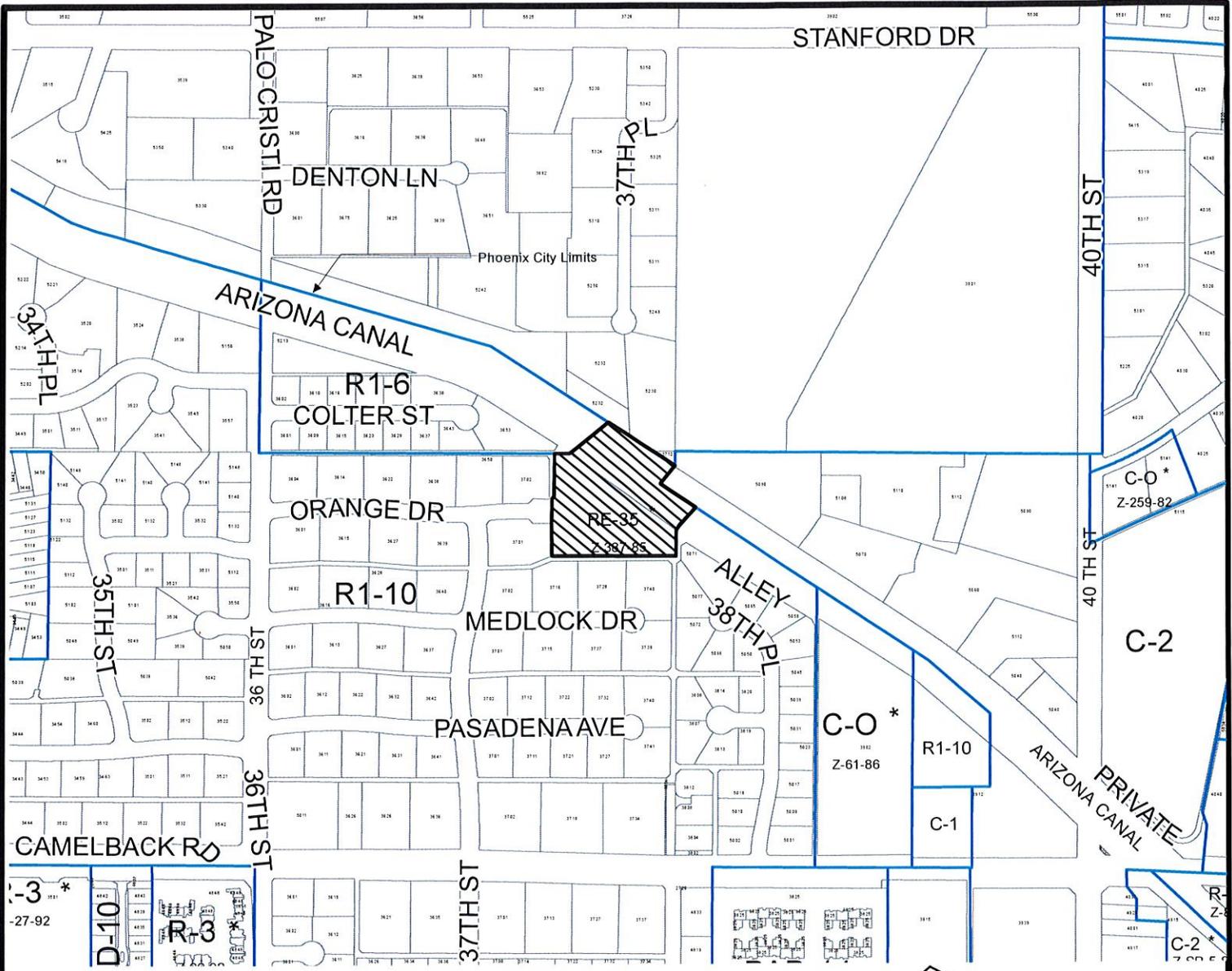
**Attachments**

Sketch Map

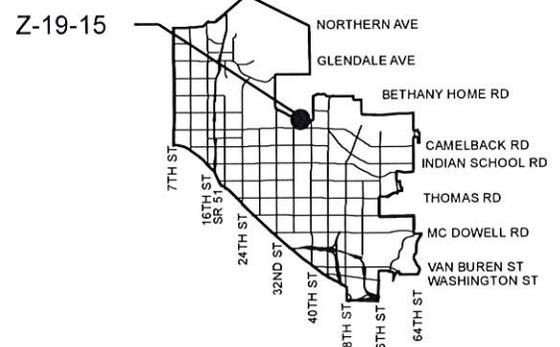
Aerial

Site Plan (date stamped 4/27/15)

Elevations (date stamped 4/27/15) (5 pages)



CITY OF PHOENIX PLANNING DEPARTMENT  
**CAMELBACK EAST VILLAGE**  
 CITY COUNCIL DISTRICT: 6

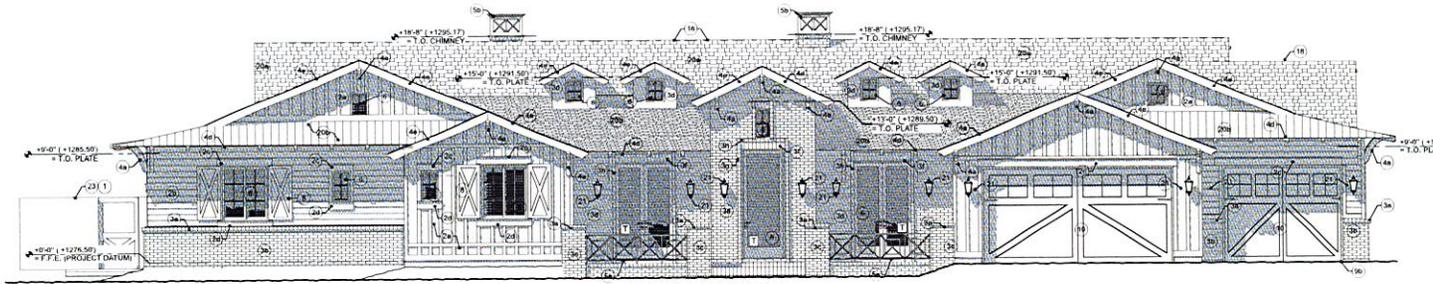


APPLICANT'S NAME: <b>ACV Two, LLC: Marc Nassos</b>		REQUESTED CHANGE:	
APPLICATION NO. <b>Z-19-15</b>		FROM <b>RE-35, (2.29 a.c.)</b>	
DATE: <b>6/8/15</b> <small>REVISION DATES:</small>		TO <b>R1-10, (2.29 a.c.)</b>	
GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX. <b>2.29 Acres</b>		AERIAL PHOTO & QUARTER SEC. NO. <b>QS 19-36</b>	ZONING MAP <b>H-10</b>
<b>MULTIPLES PERMITTED</b>		<b>CONVENTIONAL OPTION</b>	
<b>RE-35</b>		<b>2</b>	
<b>R1-10</b>		<b>7</b>	
		<b>* UNITS P.R.D. OPTION</b>	
		<b>3</b>	
		<b>9</b>	

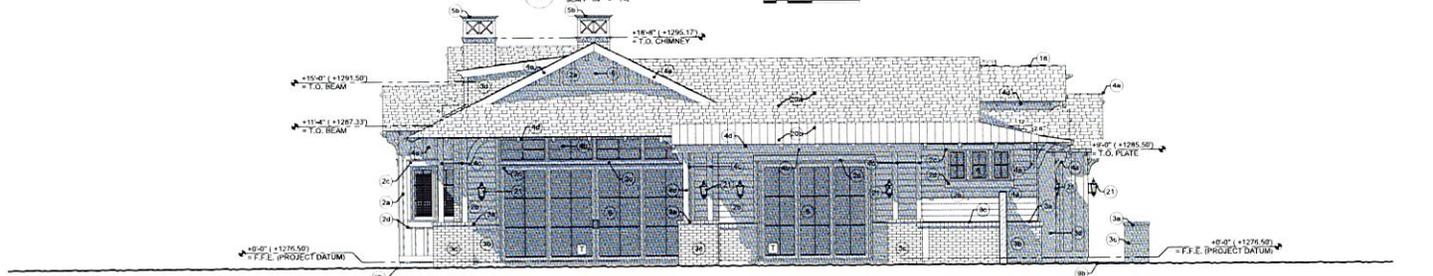
\* Maximum Units Allowed with P.R.D. Bonus



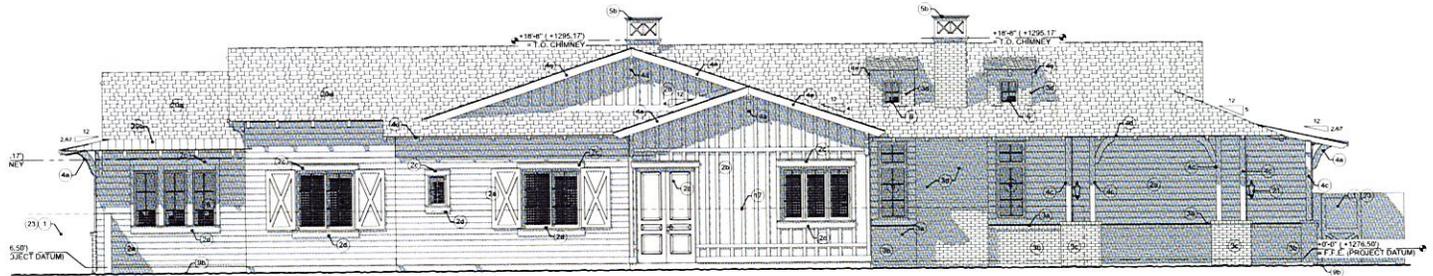




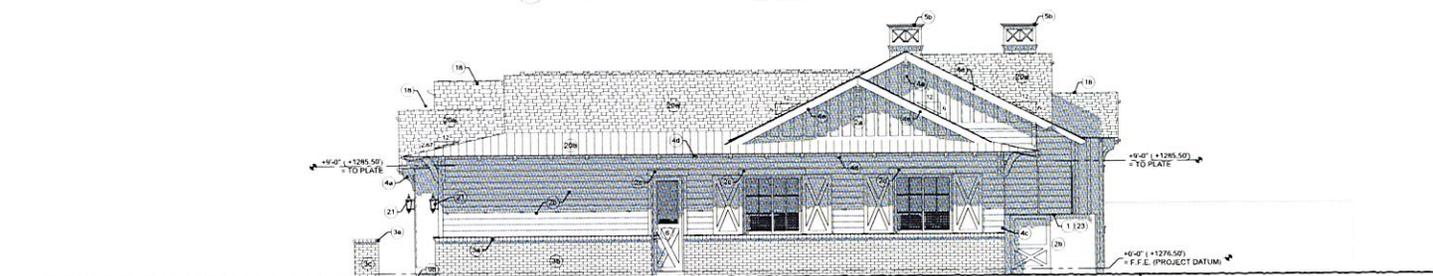
1 NORTH ELEVATION (FRONT)  
SCALE 1/4" = 1'-0"



2 EAST ELEVATION (SIDE)  
SCALE 1/4" = 1'-0"



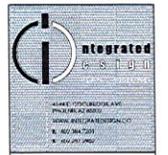
3 SOUTH ELEVATION (REAR)  
SCALE 1/4" = 1'-0"



4 WEST ELEVATION (SIDE)  
SCALE 1/4" = 1'-0"

- ### GENERAL ELEVATION NOTES
- A. STUCCO FINISH SYSTEM AT NEW ADDITION SHALL BE STD COMP. WE STERN H-0171-ICC #18-000-000
  - B. SEE FLOOR PLAN FOR WINDOW AND DOOR SIZES
  - C. INDICATES TEMPERED GLASS LOCATIONS - SEE ALSO REMODELED FLOOR PLAN
  - D. WINDOW SHALL BE OBTAINED AS AN EARTHQUAKE WINDOW MEETING THE REQUIREMENTS AS SPECIFIED IN THE BUILDING DEPARTMENT OF BUREAU OF CONSTRUCTION AND SPEC. 18-01

- ### ELEVATION / SECTION KEYNOTES
1. STUCCO SYSTEM H-0171, COMP. WE STERN H-0171-ICC #18-000-000
  2. FIBER CEMENT PANEL SIDING WITH 1/2" BATTENS @ 12" O.C. & 1/4" x 4" WIDE SOLID FASCIA @ TOP & BOTTOM OF WALL & CORNERS
  3. 1/4" FIBER CEMENT TRIM BOARD LAP HEADING 1/4" x 4" TRIM BOARD AT CORNER & OUTSIDE CORNERS AND TOP & BOTTOM
  4. FIBER CEMENT BUILT-UP HEADER TRIM
  5. FIBER CEMENT BUILT-UP TRIM
  6. MODULAR BRICK PAVING DOOR SILL PANEL CAP
  7. MODULAR BRICK VENEER PARAPET/CAP
  8. MODULAR BRICK VENEER
  9. 1/4" BRICK SPAN
  10. MODULAR BRICK VENEER PIER
  11. MODULAR BRICK VENEER COURSE - HEADER
  12. MODULAR BRICK VENEER COURSE - HEADER
  13. DECORATIVE SOLID WOOD BRACKET (CORNER)
  14. SOLID PAINTED WOOD BEAM W/ SHAPED END
  15. SOLID PAINTED WOOD POST
  16. EXTENDED WOOD PAPER TAIL WITH SHAPED END - SEE EXTERIOR H/F FINISHES & ARCHITECTURAL D/F 18-5
  17. BRICK-PAINTED WOOD FASCIA TRIM
  18. DECORATIVE BRICK BEAM - SEE FLOOR PLAN
  19. DECORATIVE WOOD FINISHES - SEE FLOOR PLAN
  20. PAINTED WOOD TRIM SURROUNDING GABLE AT ENTRY / OPENING PER INTERIOR DESIGNER - SEE GENERAL NOTES
  21. PAINTED WOOD TRIM SURROUNDING STUCCO AT WINDOWS PER INTERIOR DESIGNER - SEE GENERAL NOTES
  22. 2" HIGH DECORATIVE METAL RAILING AT ROOF DECK PROVIDE 2" HIGH GUARDRAIL
  23. CUSTOM DECORATIVE METAL SHROUD ARIZONA FIREPLACE WITH PLYWOOD AS SILL & TIE
  24. DOOR W/ BRIDGE WITH 1/2" DOOR PLY - SEE ARCHITECTURAL D/F 18-5
  25. NOT USED
  26. DECORATIVE CUSTOM PAINTED WOOD SHUTTER
  27. LINE OF FINISH GRADE
  28. STEEL OVERHEAD GARAGE DOOR W/ FAIR HANDRAIL
  29. CONCREDSLO ONE ON 4" x 4" x 4" THICK CONCRETE PAV. 1/2" SPANDED FLAM INSULATION TO INSIDE OF GUTTERING
  30. FURNITURE W/ ETP LATHING
  31. CONCRETE BRICK OVERSILL WITH BRICK PLYWOOD CHANNEL
  32. PAIR OF 4" x 4" WIDE x 1/2" THICK METAL GATES
  33. CUSTOM 3/4" x 4" x 1/2" DECORATIVE WOOD ENTRY GATE
  34. BRIDGE HOOD AS SET OFF WITH FINISH UP TO ROOF
  35. 4" DEEP PIECES AS N/A AS DIMENSIONED
  36. BUILDING REVISION
  37. DECORATIVE FINISH GRADE SURROUND PER INTERIOR DESIGNER - SEE GENERAL NOTES
  38. DIMENSIONAL LAMP/LED ASPHALT FINISH AS SELECTED ROOM # IN PLAN
  39. STANDING SEAM METAL ACCENT ROOF
  40. LIGHT FIXTURE AS SELECTED BY OWNER
  41. NOT USED
  42. NEW SET WALL
  43. NOT USED
  44. STRUCTURAL HEADER - SEE STRUCTURAL DRAWINGS
  45. STRUCTURAL BEAM - SEE STRUCTURAL DRAWINGS
  46. STRUCTURAL LATHING - SEE STRUCTURAL DRAWINGS
  47. 2" x 4" BRICK METAL GARAGE DOOR FINISH PER INTERIOR DESIGNER
  48. CUSTOM WELLSBARK KITCHEN ISLAND
  49. BUILT-IN CABINETRY - MILLWORK
  50. PAINT GARAGE CEILING
  51. PAINT INTERIOR WALL
  52. PAINT GARAGE BASE BOARD
  53. PAINT GARAGE DOWN WALLING

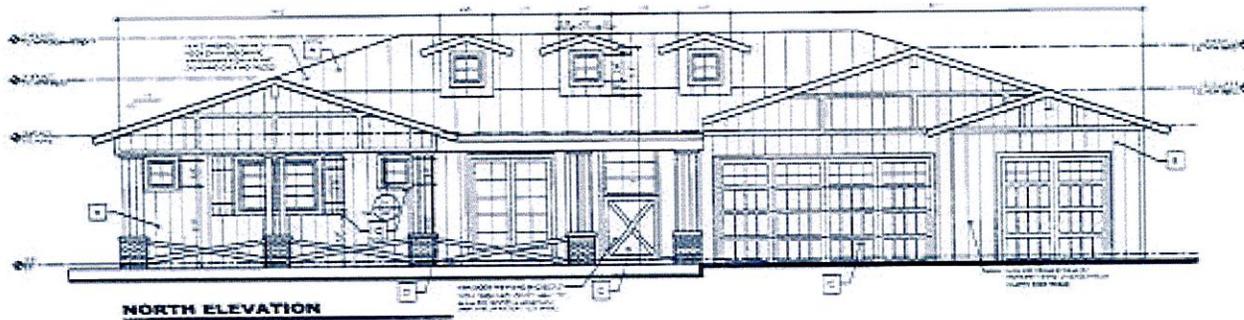


A NEW CUSTOM RESIDENCE FOR:  
 GREEN STREET COMMUNITIES, INC  
 6619 E. LAFAYETTE BOULEVARD  
 SCOTTSDALE, AZ 85251

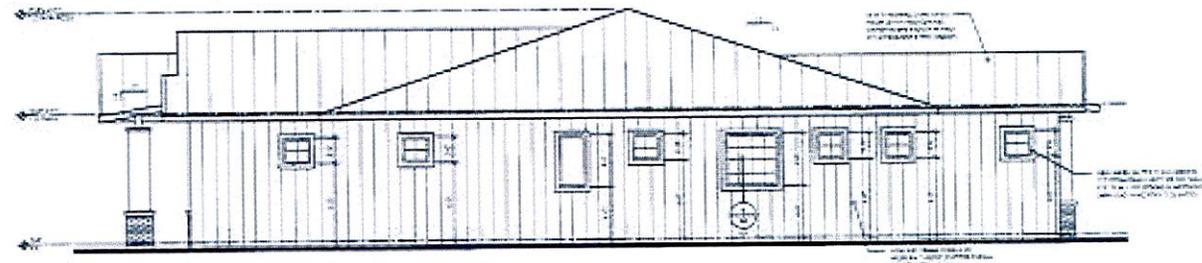
1419  
 THE SE DRAWINGS AND SPECIFICATIONS SHALL BE REPRODUCED OR DISSEMINATED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE DRAWINGS, SPECIFICATIONS AND USE OF THEM SHALL REMAIN THE PROPERTY OF INTEGRATED DESIGN, LLC, WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT. COPYRIGHT 2014

EXTERIOR ELEVATIONS

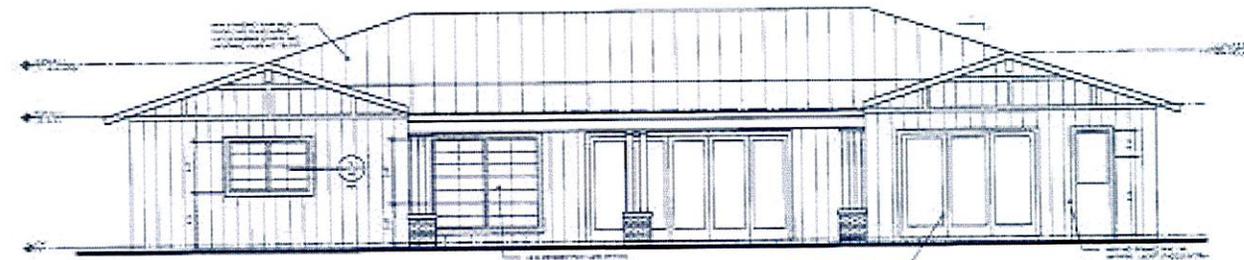




**NORTH ELEVATION**



**WEST ELEVATION**



**SOUTH ELEVATION**

- GENERAL NOTES**
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOKS AND ALL APPLICABLE LOCAL ORDINANCES.
  2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
  3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
  4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
  5. ALL UTILITIES SHALL BE LOCATED AND MARKED PRIOR TO CONSTRUCTION.
  6. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
  7. ALL FOUNDATION WORK SHALL BE COMPLETED PRIOR TO THE START OF SUPERSTRUCTURE CONSTRUCTION.
  8. THE CONTRACTOR SHALL MAINTAIN PROPER DRAINAGE AND EROSION CONTROL MEASURES.
  9. ALL EXTERIOR FINISHES SHALL BE COMPLETED PRIOR TO THE START OF INTERIOR FINISHES.
  10. THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORK SITE AT ALL TIMES.

- OWNER**  
 DONALD L. H. C.
- ARCHITECT**  
 J. D. CARROLL, ARCHITECT  
 1000 LAFAYETTE BLVD.  
 SCOTTSDALE, ARIZONA
- CONTRACT**  
 NUMBER 10-000
- DATE**  
 10-00-00
- SCALE**  
 AS SHOWN

**ENERGY MATERIAL PALETTE**

ITEM	DESCRIPTION	MANUFACTURER
1	WOOD Siding	Timberline
2	SHUTTERS	Timberline
3	DOOR	Timberline
4	WINDOW	Timberline
5	ROOFING	Timberline
6	CEILING	Timberline
7	FLOORING	Timberline

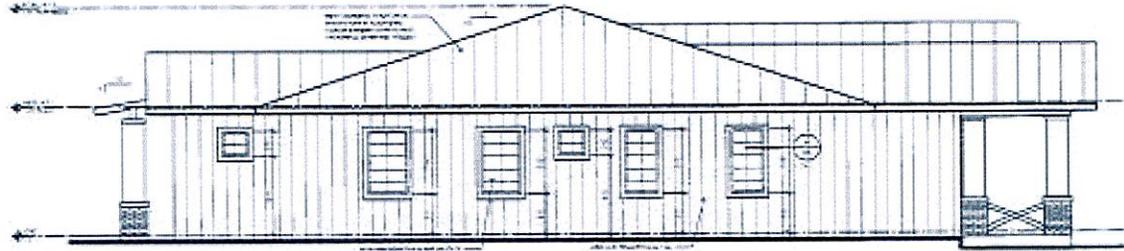


NO.	REVISION	DATE

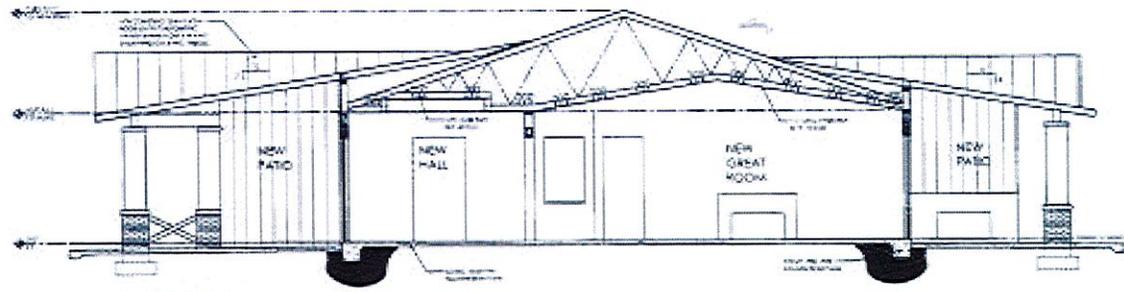
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REVISION  
 CONSTRUCTION  
 DOCUMENT

6625 e lafayette bl. d | scottsdale | az  
**LAFAYETTE RESIDENCE - NEW CUSTOM HOME**



**WEST ELEVATION**



**SECTION AA**

**GENERAL ELEVATION GENERAL NOTE**

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**OWNER**  
 CONSUMER, INC.

**ARCHITECT**  
 JEFFREY CHAMBERLAIN  
 JEFFREY CHAMBERLAIN ARCHITECTS, INC.

**Checklist**  
 Design Notes  
 Material Schedule  
 Construction Notes  
 Foundation Notes  
 Electrical Notes  
 Mechanical Notes  
 Plumbing Notes  
 HVAC Notes  
 Other Notes



**CONTRACT NOTES**

NO.	DESCRIPTION	REFERENCE
1	OWNER TO PROVIDE PERMITS	SECTION 101
2	OWNER TO PROVIDE CONTRACTOR	SECTION 101
3	OWNER TO PROVIDE SCHED. ROOMS	SECTION 101
4	OWNER TO PROVIDE MATERIALS	SECTION 101

**GENERAL NOTES**

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**A7.1**

Electrical Section

CONSTRUCTION DOCUMENTS



6629 E. Lafayette Boulevard Scottsdale 85251