



**City of Phoenix**  
PLANNING AND DEVELOPMENT DEPARTMENT

**Staff Report Z-2-20-7**  
**March 20, 2020**

**Laveen Village Planning Committee** Meeting Date: April 13, 2020  
**Planning Commission** Hearing Date: May 7, 2020  
**Request From:** S-1 (Ranch or Farm Residence District) (5.80 acres)  
**Request To:** R1-8 (Single-Family Residence District) (5.80 acres)  
**Proposed Use:** Single-family residential  
**Location:** Approximately 220 feet north of the northeast corner of 43rd Avenue and Vineyard Road  
**Owner:** Lueth Green Valley, LLC  
**Applicant:** Ethan Bindelglas, Trethan Goswick, LLC  
**Representative:** William F. Allison, Withey Morris, PLC  
**Staff Recommendation:** Approval, subject to stipulations

<u>General Plan Conformity</u>			
<u>General Plan Land Use Map Designation</u>		Residential 3.5 to 5 dwelling units per acre	
<u>Street Map Classification</u>	43rd Avenue	Arterial	50-foot east half street
<p><b><i>CONNECT PEOPLE AND PLACES CORE VALUE; OPPORTUNITY SITES; LAND USE PRINCIPLE: Support reasonable levels of increased intensity, respectful of local conditions and surrounding neighborhoods.</i></b></p> <p>The proposed development will contribute to the housing stock in the Laveen Village, with 23 new residential lots, which will be compatible with the surrounding area in scale and design, integrating well with what already exists in the area.</p>			

**CELEBRATE OUR DIVERSE COMMUNITIES AND NEIGHBORHOODS CORE VALUE; CERTAINTY AND CHARACTER; LAND USE PRINCIPLE: New development and expansion or redevelopment of existing development in or near residential areas should be compatible with existing uses and consistent with adopted plans.**

The project site is adjacent to single-family residential subdivisions to the east, west, and south, and near single-family residential to the north. The proposed residential development will be compatible with these existing neighborhoods and is consistent with the General Plan Land Use Map designation.

**CONNECT PEOPLE AND PLACES CORE VALUE; CANALS & TRAILS; DESIGN PRINCIPLE: Provide multi-use trail connections where appropriate.**

The proposed development will provide a multi-use trail along its western perimeter, connecting existing trails to the north and to the south along 43rd Avenue. This will help promote the connectivity of the overall trail system in the Laveen Village.

**BUILD THE SUSTAINABLE DESERT CITY CORE VALUE; TREES AND SHADE; DESIGN PRINCIPLE: Integrate trees and shade into the design of new development and redevelopment projects throughout Phoenix.**

As stipulated, the development will provide shade trees on both sides of detached sidewalks, along attached sidewalks at a rate of minimum two, two-inch caliper trees, and within all landscape setbacks. These standards will promote a shady, pedestrian-friendly environment within the subdivision and will help reduce the urban heat island effect in this area.

#### **Applicable Plans, Overlays and Initiatives**

[Laveen Southwest Growth Study](#) – See Background Item Nos. 3 and 4.

[Complete Streets Guiding Principles](#) – See Background Item No. 5.

[Tree and Shade Master Plan](#) – See Background Item No. 6.

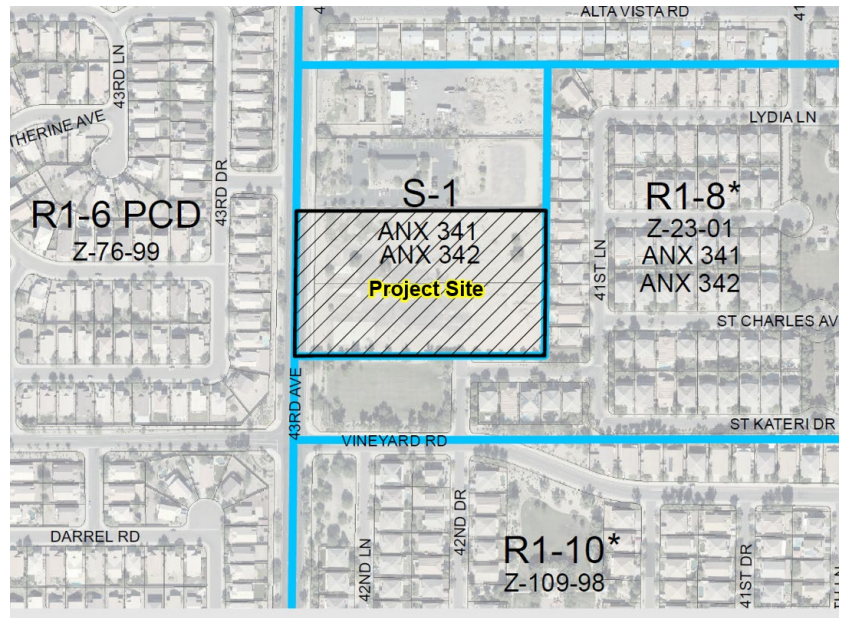
[Reimagine Phoenix](#) – See Background Item No. 7.

<b>Surrounding Land Uses/Zoning</b>		
	<b><u>Land Use</u></b>	<b><u>Zoning</u></b>
<b>On Site</b>	Vacant lot	S-1
<b>North</b>	Church and single-family residence	S-1
<b>South</b>	Single-family residences and open space tract	R1-8
<b>East</b>	Single-family residences	R1-8
<b>West (Across 43rd Avenue)</b>	Single-family residences	R1-6 PCD

<b>R1-8 Single Family (Planned Residential Development Option)</b>		
		<i>*if variance required</i>
<b><u>Standards</u></b>	<b><u>Requirements</u></b>	<b><u>Proposed Site Plan</u></b>
Gross Acreage	-	5.80
Maximum Total Number of Units	26; 32 with bonus	23
Maximum Density (du/ac)	4.5; 5.5 with bonus	3.97
Minimum lot width	45-foot minimum	50 feet – Met
Common landscaped setback adjacent to perimeter streets (43rd Avenue)	15 feet average, 10 feet minimum (30-foot minimum per Stipulation No. 11)	Not shown on site plan
Minimum Perimeter Setbacks	<u>Street (43rd Avenue):</u> 15 feet (in addition to landscape setback); <u>Rear:</u> 15 feet (1-story), 20 feet (2-story) <u>Side:</u> 10 feet (1-story), 15 feet (2-story)	<u>Street (43rd Avenue):</u> 15 feet – Met <u>Rear:</u> 15 feet (1-story) <i>Met</i> 20 feet (2-story) <u>Side:</u> 10 feet (1-story), <i>Met</i> 15 feet (2-story)
Minimum Interior Setbacks	<u>Front:</u> 10 feet <u>Rear:</u> none (established by Building Code);  <u>Street side:</u> 10 feet <u>Side:</u> None (established by Building Code)	<u>Front:</u> 10 feet – Met <u>Rear:</u> 5 feet – Met  <u>Street side:</u> Per Building Code – Not met <u>Sides:</u> Per Building Code – Met
Lot Coverage	40%; 50% including shade structures	Met
Common Areas	Minimum 5% of gross area	8.25 % – Met

## **Background/Issues/Analysis**

1. This is a request to rezone a 5.80-acre site located approximately 220 feet north of the northeast corner of 43rd Avenue and Vineyard Road from S-1 (Ranch or Farm Residence District) to R1-8 (Single-Family Residence District) to allow single-family residential. The vacant site is enveloped by existing single-family residential neighborhoods to the east, west, and south, and is within approximately 380 feet of a single-family residential subdivision to the north. The proposed zoning district is compatible with the districts that surround the site and will provide development standards that are consistent with the existing character of the area.



*Source: City of Phoenix Planning and Development Department*

2. The site has a General Plan Land Use Map designation of Residential 3.5 to 5 dwelling units per acre. At a proposed density of 3.97 dwelling units per acre, the project is consistent with the General Plan Land Use Map designation and will provide housing that is consistent with the surrounding area in scale and density.

The surrounding General Plan Land Use Map designations are also Residential 3.5 to 5 dwelling units per acre.



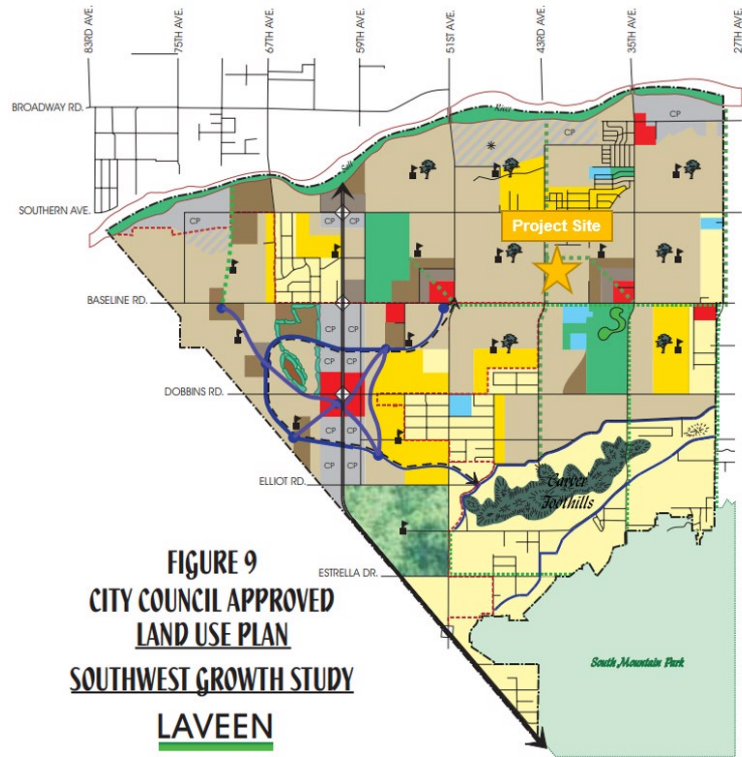
*Source: City of Phoenix Planning and Development Department*

- The site is located within the boundaries of the Laveen Southwest Growth Study, which was developed in 1997 to analyze the existing conditions of the Laveen Village and provide a land use and design planning framework to help shape the growth that Laveen was starting to experience, while accounting for newly-annexed farmland as well as the future development of the South Mountain Freeway Loop, which has since been completed.

This plan designates the project site as Residential 2 to 5 dwelling units per acre, similar to the General Plan Land Use Map designation of Residential 3.5 to 5 dwelling units per acre.

The Laveen Southwest Growth Study also provides a framework for an overall multi-use trail system which connects major community assets such as the Laveen Conveyance Channel, public parks and open space areas, and the South Mountain Preserve. This proposed development will provide a multi-use trail along the western perimeter of the site, bridging the gap between existing trails to the north and south of the site and promoting overall trail connectivity along 43rd Avenue. This is addressed in Stipulation No. 13.

The Laveen Southwest Growth Study outlines specific design policies and standards for various types of developments that will enhance Laveen’s built environment while remaining respectful of its agricultural heritage. The study encourages all new developments to use durable, high-quality building materials and to provide enhanced building design that will contribute to the character of the area. This is addressed in Stipulation Nos. 2 and 3, where staff is recommending that all elevations include architectural embellishments and detailing, as well as the use of at least three enhanced building materials. Further concerning residential building design, developments within



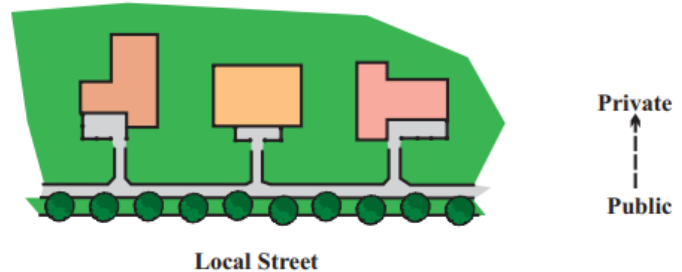
**FIGURE 9**  
**CITY COUNCIL APPROVED**  
**LAND USE PLAN**  
**SOUTHWEST GROWTH STUDY**  
**LAVEEN**  
 January, 1998

<u>LEGEND</u>	
<span style="display:inline-block; width:15px; height:15px; background-color:yellow; border:1px solid black;"></span> 0-1 DU/ACRE	<span style="display:inline-block; width:15px; height:15px; background-color:lightgreen; border:1px solid black;"></span> PARKS/OPEN SPACE
<span style="display:inline-block; width:15px; height:15px; background-color:orange; border:1px solid black;"></span> 0-2 DU/ACRE	<span style="display:inline-block; width:15px; height:15px; background-color:darkgreen; border:1px solid black;"></span> CONSERVATION COMMUNITY
<span style="display:inline-block; width:15px; height:15px; background-color:tan; border:1px solid black;"></span> 2-5 DU/ACRE	<span style="display:inline-block; width:15px; height:15px; background-color:gray; border:1px solid black;"></span> SCHOOL
<span style="display:inline-block; width:15px; height:15px; background-color:lightgray; border:1px solid black;"></span> 5-10 DU/ACRE	<span style="display:inline-block; width:15px; height:15px; background-color:blue; border:1px solid black;"></span> WATER COURSE/MULTI-USE TRAIL
<span style="display:inline-block; width:15px; height:15px; background-color:darkgray; border:1px solid black;"></span> 10-15 DU/ACRE	<span style="display:inline-block; width:15px; height:15px; border-top:1px dashed black;"></span> PARKWAY
<span style="display:inline-block; width:15px; height:15px; background-color:red; border:1px solid black;"></span> COMMERCIAL	<span style="display:inline-block; width:15px; height:15px; border-top:1px dotted black;"></span> PLANNED COMMUNITY
<span style="display:inline-block; width:15px; height:15px; background-color:lightblue; border:1px solid black;"></span> COMMERCE PARK	<span style="display:inline-block; width:15px; height:15px; border-top:1px dashed green;"></span> MULTI-USE TRAIL
<span style="display:inline-block; width:15px; height:15px; background-color:lightblue; border:1px solid black;"></span> PUBLIC/QUASI-PUBLIC	<span style="display:inline-block; width:15px; height:15px; border:1px solid black; border-radius:50%;"></span> Existing Sand & Gravel to transition to Residential
<span style="display:inline-block; width:15px; height:15px; background-color:darkgreen; border:1px solid black;"></span> HILLSIDE	<span style="display:inline-block; width:15px; height:15px; border:1px solid black; border-radius:50%;"></span> OPEN SPACE FEATURE

Source: City of Phoenix Planning and Development Department

the Growth Study are encouraged to emphasize the fronts of houses and minimize impacts of garage doors. To that end, staff is recommending that all garage doors have decorative embellishments, and that a minimum of 75 percent of the standard elevations provide a front patio feature, an element of residential design that is heavily emphasized in the Growth Study. These recommendations are addressed in Stipulations No. 4 and 5.

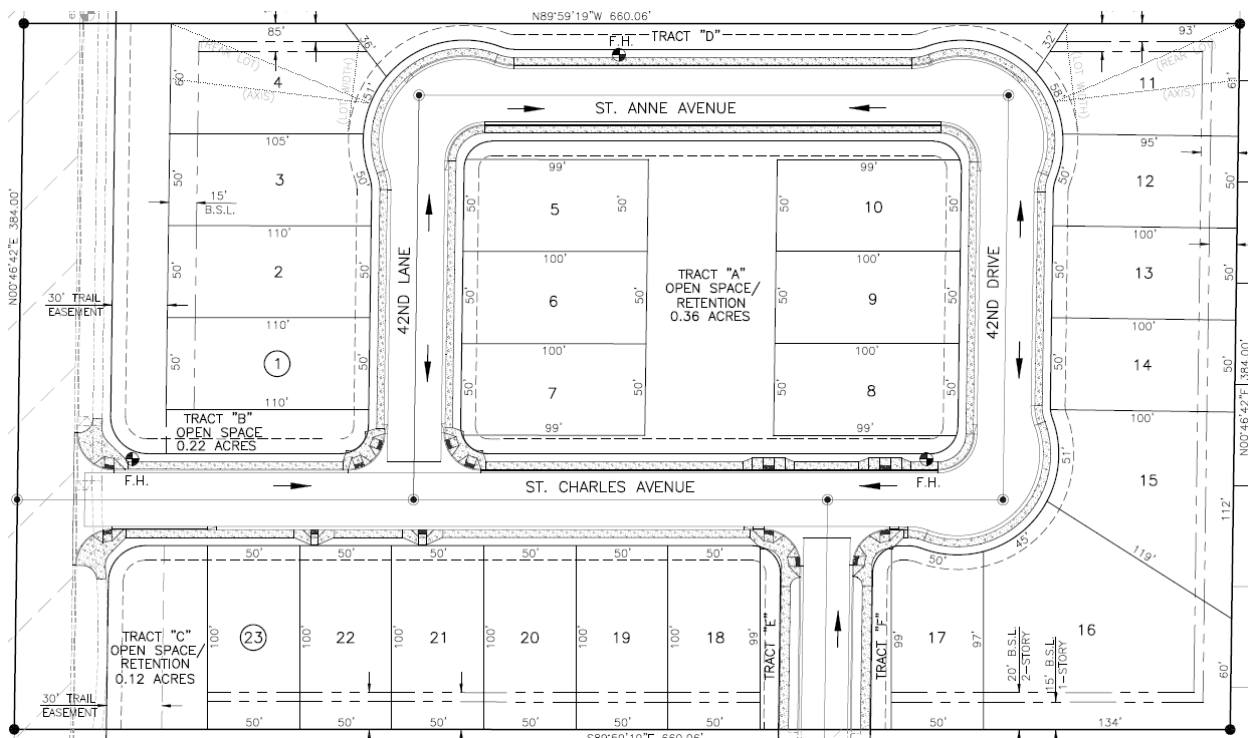
Include front porches and entry patios as part of residential design. These architectural features can serve as transitional elements from public street to private residence.



Source: City of Phoenix Planning and Development Department

Finally, the Laveen Southwest Growth Study calls for enhancements to perimeter walls that are visible from public rights-of-way. As such, staff is recommending that all perimeter walls adjacent to 43rd Avenue include material and textural differences, per Stipulation No. 12.

- The proposed site plan depicts 23 residential lots that have minimum widths of 50 feet and a typical lot size of 5,000 square feet. Staff is recommending general conformance to the site plan date stamped January 14, 2020, per Stipulation No. 1, with specific regard to the proposed lot widths, because of the layout of the subdivision with open space tracts throughout, enhances landscape setbacks along the 43rd Avenue frontage, and sizes of the lots. The proposed development will provide an open space area that is central to the subdivision, which staff is recommending be activated with a recreation option such as a shaded tot lot or picnic ramada, with a fully accessible pedestrian path connecting the streets to the amenity, per Stipulation No. 6. A 30-foot multi-use trail easement is shown along 43rd Avenue, which will provide trail connectivity within the existing trails system in the Laveen Area, as discussed in Item No. 3, and will further promote a more pedestrian, bicyclist, and equestrian-friendly environment.



Source: Clouse Engineering

- In 2014, the City of Phoenix City Council adopted the Complete Streets Guiding Principles. The principles are intended to promote improvements that provide an accessible, safe, connected transportation system to include all modes, such as bicycles, pedestrians, transit, and vehicles. To support these principles related to pedestrian connectivity and safety, staff is recommending that the developer provide detached sidewalks with a minimum 5-foot-wide landscape area between the sidewalk and back of curb that connect 42nd Drive to 43rd Avenue through St. Charles Avenue, per Stipulation No. 9, and along 43rd Avenue per Stipulation No. 8. This will ensure an enhanced pedestrian experience for residents and visitors that need access through the

neighborhood to 43rd Avenue. Further, the development will provide a multi-use trail along 43rd Avenue, which will generate multi-modal traffic from pedestrians, cyclists, equestrians, and more. To promote an environment that caters to the individuals utilizing different modes of transportation, staff is recommending that a publicly accessible gathering place such as a seating area be provided along this area, per Stipulation No. 7.

6. The Tree and Shade Master Plan has a goal of treating the urban forest as infrastructure to ensure that trees are an integral part of the city's planning and development process. By investing in trees and the urban forest, the city can reduce its carbon footprint, decrease energy costs, reduce storm water runoff, increase biodiversity, address the urban heat island effect, clean the air, and increase property values. In addition, trees can help to create walkable streets and vibrant pedestrian places. To support the City's urban forestry efforts, staff is recommending that the applicant provide robust streetscape landscaping with minimum three-inch caliper trees where detached sidewalks exist to provide minimum 75 percent shade at maturity, which is addressed in Stipulation No. 9.a. To further help combat the urban heat island effect, staff is recommending that landscape areas between detached sidewalks and back of curb be planted with drought-tolerant shrubs and vegetative groundcovers with a maximum mature height of 24 inches to provide a minimum 75 percent live coverage at maturity, per Stipulation No. 9.b. Along sidewalks that are attached, staff is recommending that minimum three-inch caliper trees be planted along the front yards of individual residential lots to ensure that shade is provided even where common landscape areas are not present. This is addressed in Stipulation No. 10.

Staff is also recommending that a minimum landscape setback of 30 feet be provided along 43rd Avenue, where the multi-use trail will be constructed, per Stipulation No. 11. Within this setback, as well as all landscape areas depicted on the site plan, staff is recommending planting standards that include 50 percent two-inch caliper trees and 50 percent three-inch caliper trees, planted in such a way as to provide shade for the Multi-Use Trail, which is addressed in Stipulation No. 12.

7. As part of the Reimagine Phoenix initiative, the City of Phoenix is committed to increasing the waste diversion rate to 40 percent by 2020 and to better manage its solid waste resources. The City of Phoenix offers recycling collection for all single-family residences. The provision of recycling containers was not addressed in the applicant's submittals; however, per City Code, the City provides recycling containers and services to all single-family residences.

#### COMMUNITY INPUT SUMMARY

8. At the time this staff report was written, the applicant has received one letter of concern regarding the materials that will be used for any proposed children's play areas.



#### INTERDEPARTMENTAL COMMENTS

9. The Street Transportation Department has required that the developer dedicate 50-feet of right-of-way for all local streets within the development and that these be built to local street standards, per Stipulation No. 15, and that all streets are constructed with all required elements and in compliance with ADA standards, which is addressed in Stipulation No. 16.
10. The site is located in a larger area identified as being archaeologically sensitive. If further review by the City of Phoenix Archaeology Office determines the site and immediate area to be archaeologically sensitive, and if no previous archaeological projects have been conducted within this project area, it is recommended that archaeological Phase I data testing of this area be conducted. Phase II archaeological data recovery excavations may be necessary based upon the results of the testing. A qualified archaeologist must make this determination in consultation with the City of Phoenix Archaeologist. In the event archaeological materials are encountered during construction, all ground disturbing activities must cease within a 33-foot radius of the discovery and the City of Phoenix Archaeology Office must be notified immediately and allowed time to properly assess the materials. This is addressed in Stipulation Nos. 17, 18, and 19.

#### OTHER

11. Development and use of the site is subject to all applicable codes and ordinances. Zoning approval does not negate other ordinance requirements. Other formal actions such as, but not limited to, zoning adjustments and abandonments, may be required

#### **Findings**

1. At a density of 3.97 dwelling units per acre, the proposed development is compatible with the General Plan Land Use Map designation of Residential 3.5 to 5 dwelling units per acre, as well as with the Laveen Southwest Growth Study Land Use Map designation of Residential 2 to 5 dwelling units per acre. It is also compatible in scale and design with the existing single-family residential developments directly adjacent to the east, west, and south.
2. As stipulated, the proposed project will incorporate development and design standards from the Laveen Southwest Growth Study and will enhance and preserve the character of the Laveen Village.
3. The development will include detached sidewalks and enhanced landscaping to create a pedestrian-friendly connection from 42nd Drive to 43rd Avenue, as well as a robustly-landscaped multi-use trail along 43rd Avenue. These features will create a more walkable environment as well as help reduce the urban heat island effect.

## **Stipulations**

1. The development shall be in general conformance to the site plan date stamped January 14, 2020, with specific regard to the minimum lot width of 50 feet, as modified by the following stipulations, and as approved by the Planning and Development Department.
2. All elevations of the buildings shall contain three of the following architectural embellishments and detailing: textural changes, pilasters, offsets, recesses, variation in window size and location, and overhang canopies, as approved by the Planning and Development Department.
3. All elevations shall incorporate at minimum three of the following building materials: native stone, burnt adobe, textured brick, wood (when shaded by overhangs or deep recesses), slump block, ceramic tile (matte finish), stucco, and exposed aggregate concrete, as approved by the Planning and Development Department.
4. All garage doors shall have decorative embellishments such as window panels, added materials surrounding the door, or trellises, as approved by the Planning and Development Department.
5. A minimum of 75 percent of the standard elevations provided shall include patios in the front yard at a minimum of 60 square feet in area and at a depth of at least six feet and clearly separated from the front yard with fencing subject to the Phoenix Zoning Ordinance, as approved by the Planning and Development Department.
6. The central open space area (Tract "A"), as depicted on the site plan date stamped January 14, 2020, shall contain at minimum one shaded active recreation amenity such as a tot lot, picnic ramada, or similar, and will contain a fully accessible pedestrian pathway connecting the amenity with St. Anne Avenue and St. Charles Avenue, as approved by the Planning and Development Department.
7. The development shall provide at minimum one gathering place such as a seating area that is accessible to the public along 43rd Avenue, as approved by the Planning and Development Department.
8. The sidewalk along 43rd Avenue shall be detached with a minimum five-foot-wide landscape area located between the sidewalk and back of curb and planted to the standards set forth in Stipulation No. 9, as approved by the Planning and Development Department.
9. The sidewalks on both sides of 42nd Drive and on the north side of St. Charles Avenue, as depicted on the site plan date stamped January 14, 2020, shall be detached with a minimum five-foot-wide landscape area located between the sidewalk and back of curb

and planted to the following standards, as approved by the Planning and Development Department.

- a. Minimum 3-inch caliper large canopy, single-trunk, shade trees placed a minimum of 25 feet on center or equivalent groupings to provide a minimum of 75 percent shade on adjacent sidewalks.
  - b. Drought tolerant shrubs and vegetative groundcovers with a maximum mature height of 24 inches to provide a minimum of 75 percent live coverage at maturity
10. Where sidewalks are attached, shade trees shall be planted at a maximum of 20 feet from sidewalks at a rate of a minimum of one, 3-inch caliper or greater shade tree within the front yard of each residential lot and, where sidewalks are adjacent to common area tracts, minimum 3-inch caliper or greater shade trees shall be planted 20 feet on center or in equivalent groupings, as approved or modified by the Planning and Development Department.
  11. A minimum landscape setback of 30 feet shall be provided along 43rd Avenue, as approved by the Planning and Development Department.
  12. All required common landscape setbacks along the perimeter of the site shall include 50 percent 2-inch caliper trees and a minimum 50 percent 3-inch caliper or multi-trunk, planted 20 feet on center, or in equivalent groupings, and positioned to shade multi-use trails (MUT) where present, as approved by the Planning and Development Department.
  13. The perimeter walls adjacent 43rd Avenue shall include material and textural differences, such as stucco and/or split face block with a decorative element, such as tile, tile insets, or stamped designs, as approved by the Planning and Development Department.
  14. The developer shall dedicate a 30-foot wide multi-use trail easement (MUTE) along 43rd Avenue and construct a minimum 10-foot wide multi-use trail (MUT) within the easement, in accordance with the MAG supplemental detail and as approved by the Parks and Recreation and Planning and Development Departments
  15. The developer shall dedicate 50 feet of right-of-way for all local streets within the development and build to local street standards, as approved the Planning and Development Department.
  16. The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals, as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.

17. If determined necessary by the Phoenix Archaeology Office, the applicant shall conduct Phase I data testing and submit an archaeological survey report of the development area for review and approval by the City Archaeologist prior to clearing and grubbing, landscape salvage, and/or grading approval.
18. If Phase I data testing is required, and if, upon review of the results from the Phase I data testing, the City Archaeologist, in consultation with a qualified archaeologist, determines such data recovery excavations are necessary, the applicant shall conduct Phase II archaeological data recovery excavations.
19. In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground-disturbing activities within a 33- foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.

**Writer**

Sofia Mastikhina

March 20, 2020

**Team Leader**

Samantha Keating

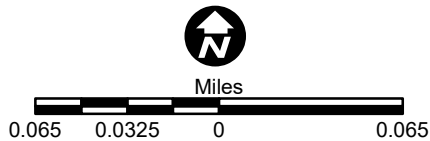
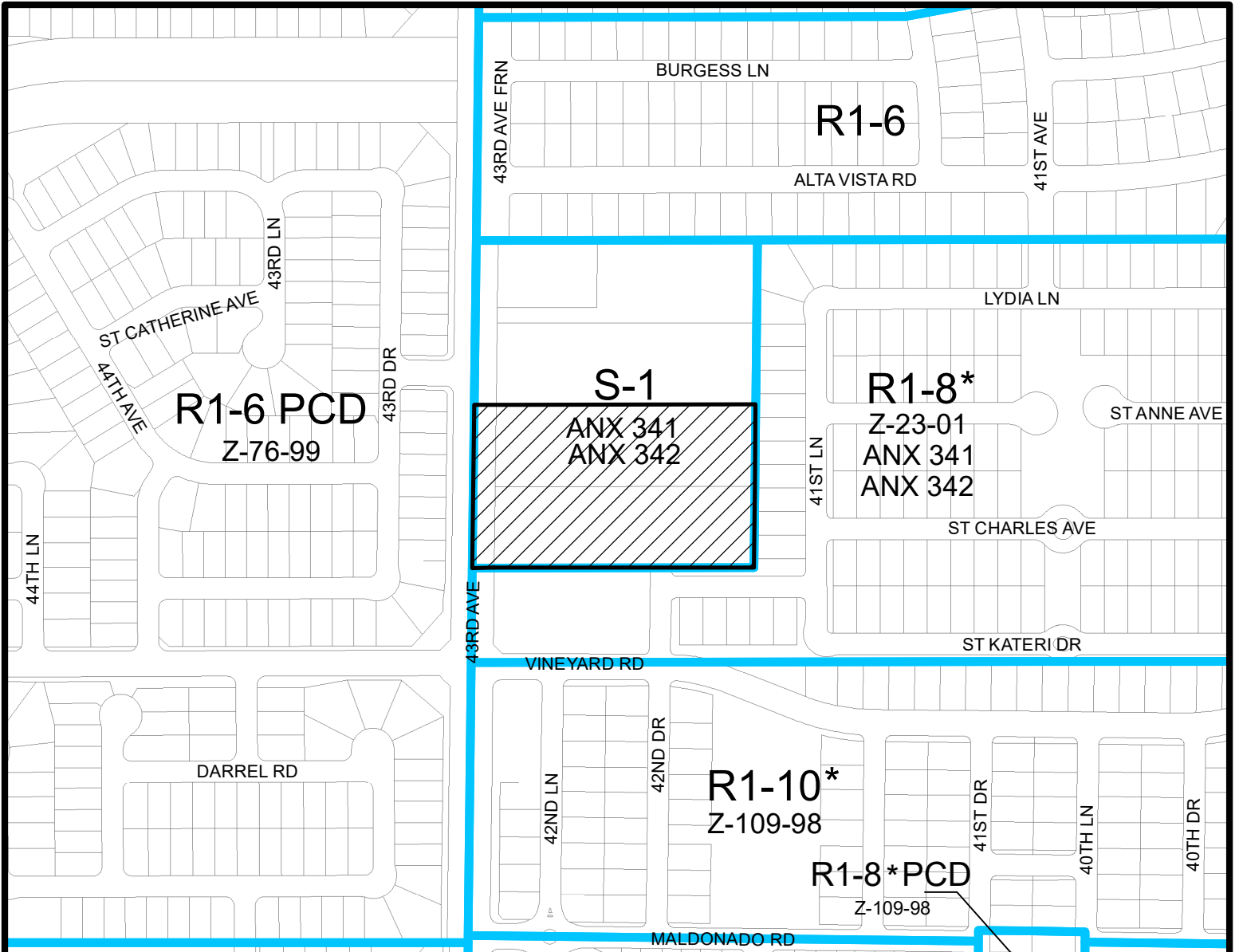
**Exhibits**

Sketch Map

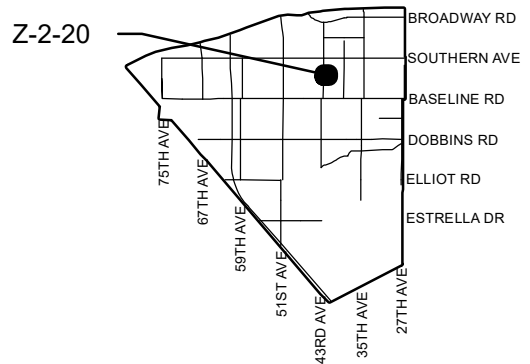
Aerial

Site plan date stamped January 14, 2020

Elevations date stamped January 14, 2020 (8 pages)

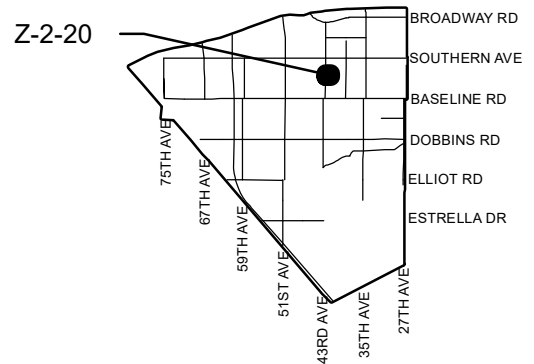
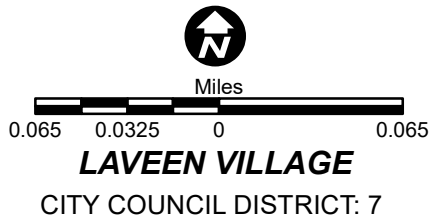
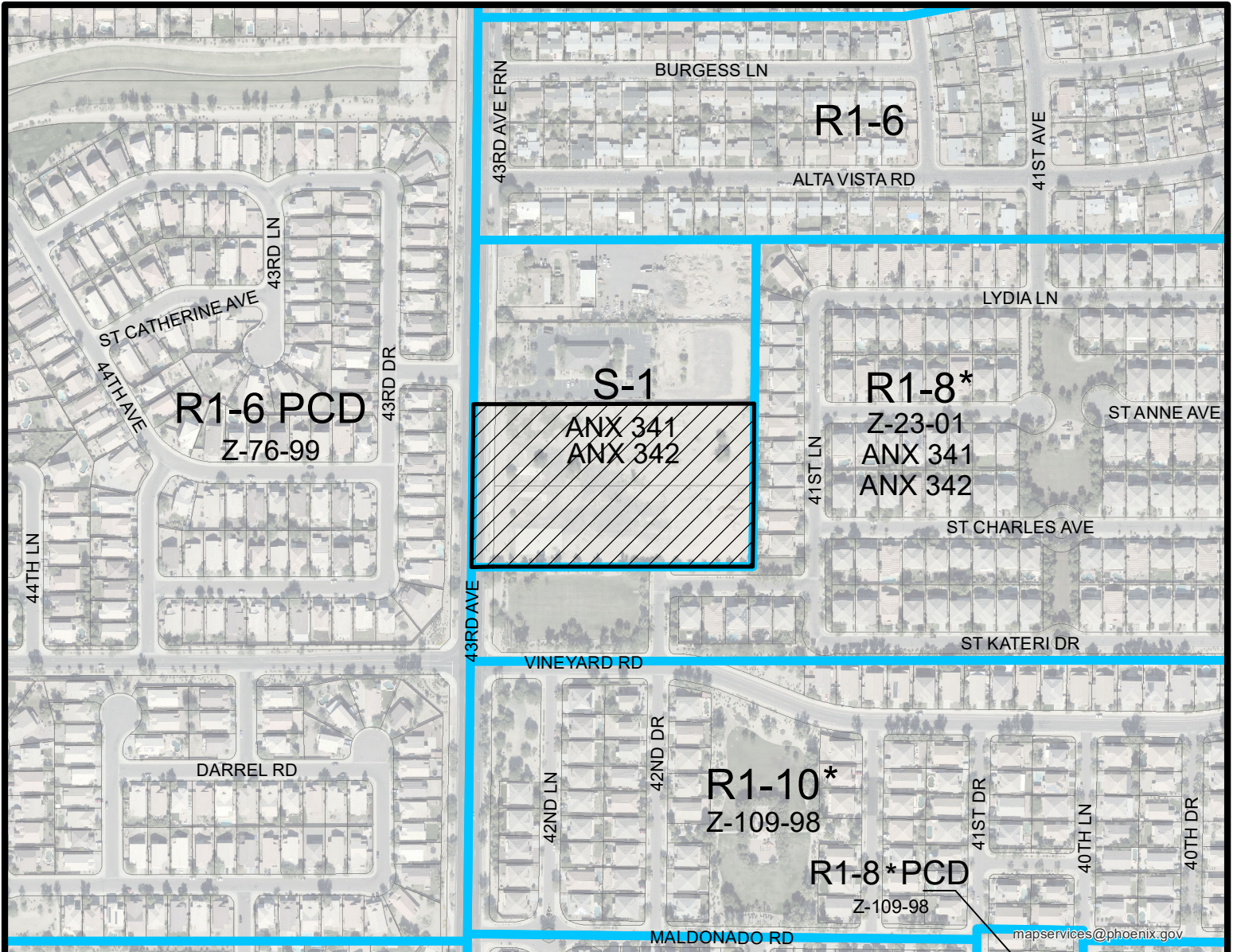


**LAVEEN VILLAGE**  
CITY COUNCIL DISTRICT: 7



<b>APPLICANT'S NAME:</b> Trethan Goswick, LLC/Ethan Bindelglas		<b>REQUESTED CHANGE:</b>	
<b>APPLICATION NO.</b> Z-2-20		<b>FROM:</b> S-1 ( 5.80 a.c.)	
<small>GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX.</small> <b>5.80 Acres</b>		<small>DATE:</small> 1/28/2020 <small>REVISION DATES:</small>	
<small>AERIAL PHOTO &amp; QUARTER SEC. NO.</small> <b>QS 2-19</b>		<small>ZONING MAP</small> <b>D-6</b>	
<b>MULTIPLES PERMITTED</b>		<b>TO:</b> R1-8 ( 5.80 a.c.)	
S-1 R1-8		<b>CONVENTIONAL OPTION</b> 5 25	
		<b>* UNITS P.R.D. OPTION</b> N/A 32	

\* Maximum Units Allowed with P.R.D. Bonus



<b>APPLICANT'S NAME:</b> Trethan Goswick, LLC/Ethan Bindelglas		<b>REQUESTED CHANGE:</b>	
<b>APPLICATION NO.</b> Z-2-20		<b>FROM:</b> S-1 ( 5.80 a.c.)	
<small>GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX.</small> <b>5.80 Acres</b>		<b>TO:</b> R1-8 ( 5.80 a.c.)	
<b>MULTIPLES PERMITTED</b>		<b>* UNITS P.R.D. OPTION</b>	
S-1		N/A	
R1-8		32	
<b>CONVENTIONAL OPTION</b>			
5			
25			

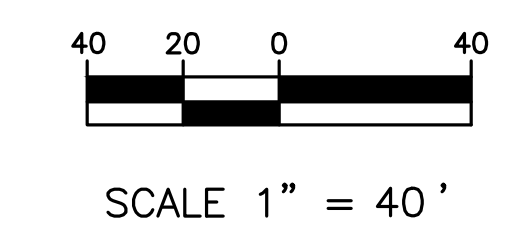
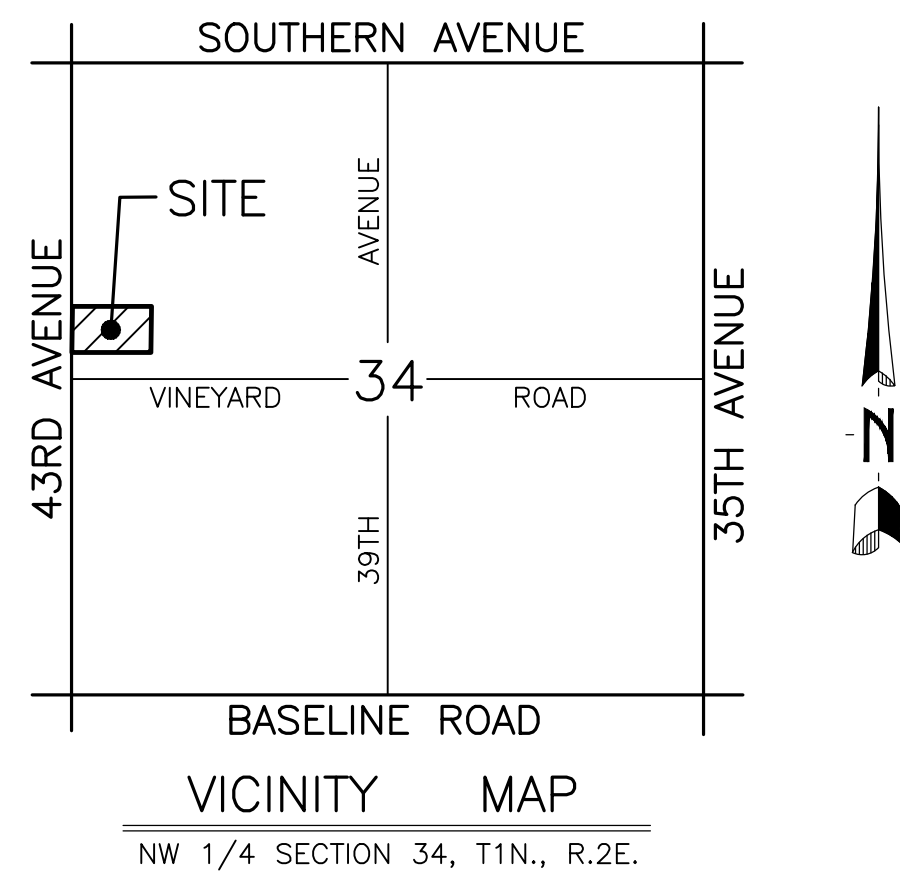
\* Maximum Units Allowed with P.R.D. Bonus

# PRELIMINARY SITE PLAN FOR 43RD AVENUE AND VINEYARD ROAD

"AN R1-8 PLANNED RESIDENTIAL DEVELOPMENT"

6625 S 43RD AVENUE

A PORTION OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 34,  
TOWNSHIP 1 NORTH, RANGE 2 EAST, OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

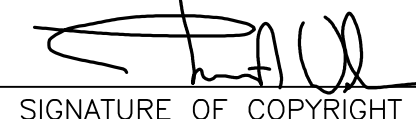


### PROJECT DESCRIPTION

A 23 LOT PLANNED RESIDENTIAL DEVELOPMENT WITHIN THE R1-8 ZONING DISTRICT.

### NOTES

- DEVELOPMENT AND USE OF THIS SITE WILL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES.
- STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURING 33' x 33' ALONG THE PROPERTY LINES AT FOUR-WAY INTERSECTIONS OF PUBLIC AND/OR PRIVATE STREETS WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.
- STRUCTURES AND LANDSCAPING AT "T"-TYPE INTERSECTIONS OF PUBLIC AND/OR PRIVATE STREETS WITHIN A TRIANGLE MEASURING 33' ALONG THE THROUGH STREET AND 15' ALONG THE TERMINATING STREET BOUNDARY LINES, WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.
- STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURED BACK 10' FROM THE PROPERTY LINE AND 20' ALONG THE PROPERTY LINE ON EACH SIDE OF THE DRIVEWAY ENTRANCES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.
- AN ASSOCIATION, INCLUDING ALL PROPERTY OWNERS IN THE DEVELOPMENT, WILL BE FORMED AND HAVE RESPONSIBILITY FOR MAINTAINING ALL COMMON AREAS NOTED AS "TRACTS" OR "EASEMENTS", INCLUDING PRIVATE STREETS, LANDSCAPED AREAS, AND DRAINAGE FACILITIES IN ACCORDANCE WITH APPROVED PLANS.
- ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ONE FOOT CANDLE AT THE PROPERTY LINE. NO NOISE, ODOR OR VIBRATION WILL BE EMITTED AT ANY LEVEL EXCEEDING THE GENERAL LEVEL OF NOISE, ODOR, OR VIBRATION EMITTED BY USES IN THE AREA OUTSIDE OF THE SITE.
- OWNERS OF PROPERTY ADJACENT TO PUBLIC RIGHTS-OF-WAY, OR A PROPERTY OWNER'S ASSOCIATION, WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING WITHIN THE RIGHTS OF WAY, IN ACCORDANCE WITH APPROVED PLANS.
- ALL SIGNAGE REQUIRES SEPARATE REVIEWS, APPROVALS, AND PERMITS. NO SIGNS ARE APPROVED PER THIS PLAN.
- ADDITIONAL INDIVIDUAL LOT REQUIREMENTS (I.E. SETBACKS, WALL ELEVATIONS) ARE LOCATED ON THE APPROVED FINAL SITE PLAN.
- I CONSENT TO THE REPRODUCTION OF THIS SITE PLAN PROVIDED THAT IF MODIFICATIONS ARE MADE, THE PROFESSIONALS WHO MAKE SUCH CHANGES ASSUME FULL RESPONSIBILITY AND LIABILITY FOR THE MODIFIED PORTIONS OF THE PLAN.

  
 SIGNATURE OF COPYRIGHT OWNER      1-06-20      DATE  
 THOMAS A. WEBER      1-06-20      DATE  
 PRINT NAME OF COPYRIGHT OWNER

### LEGAL DESCRIPTION

PARCEL NO. 1:  
THE SOUTH 384 FEET OF THE NORTH 768 FEET OF THE WEST 660 FEET OF THE SOUTH 60 ACRES OF THE NORTHWEST QUARTER OF THE SECTION 34, TOWNSHIP 1 NORTH, RANGE 2 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN; EXCEPT THE SOUTH 192 FEET THEREOF.

PARCEL NO. 2:  
THE SOUTH 192 FEET OF THE SOUTH 384 FEET OF THE NORTH 768 FEET OF THE WEST 660 FEET OF THE SOUTH 60 ACRES OF THE NORTHWEST QUARTER OF THE SECTION 34, TOWNSHIP 1 NORTH, RANGE 2 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN; EXCEPT THAT PORTION CONVEYED TO THE CITY OF PHOENIX IN DOCUMENT NO 2009-1172028 AND DOCUMENT NO 2009-1172029

### SITE DATA

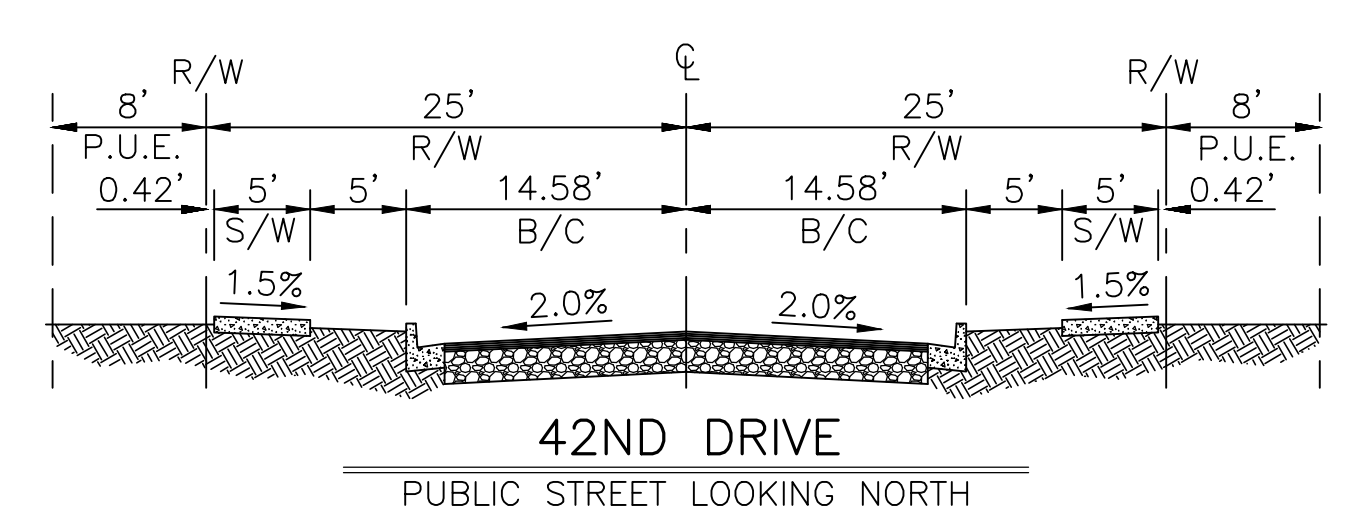
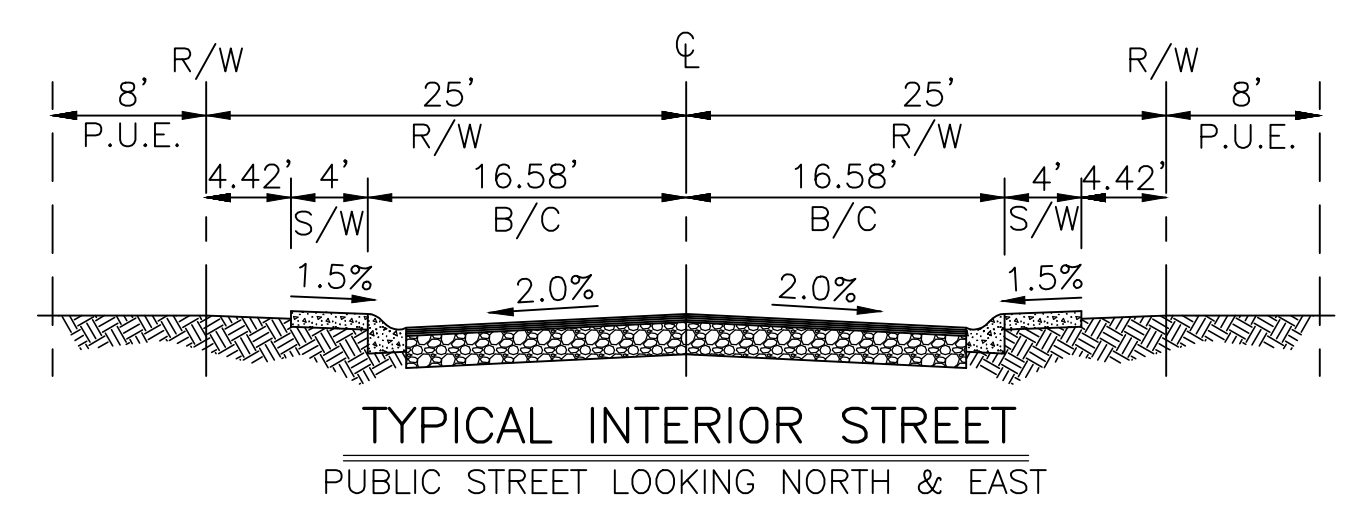
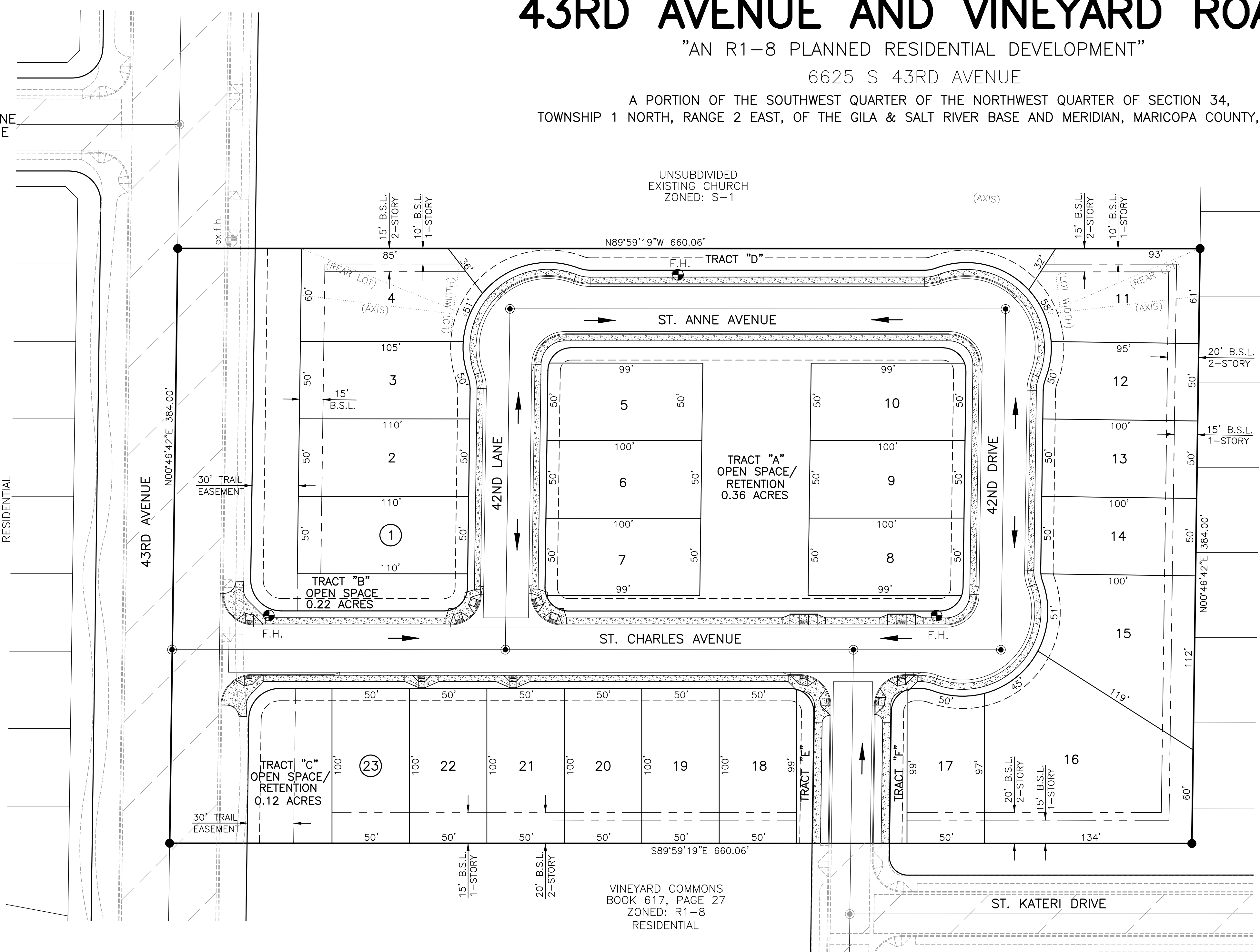
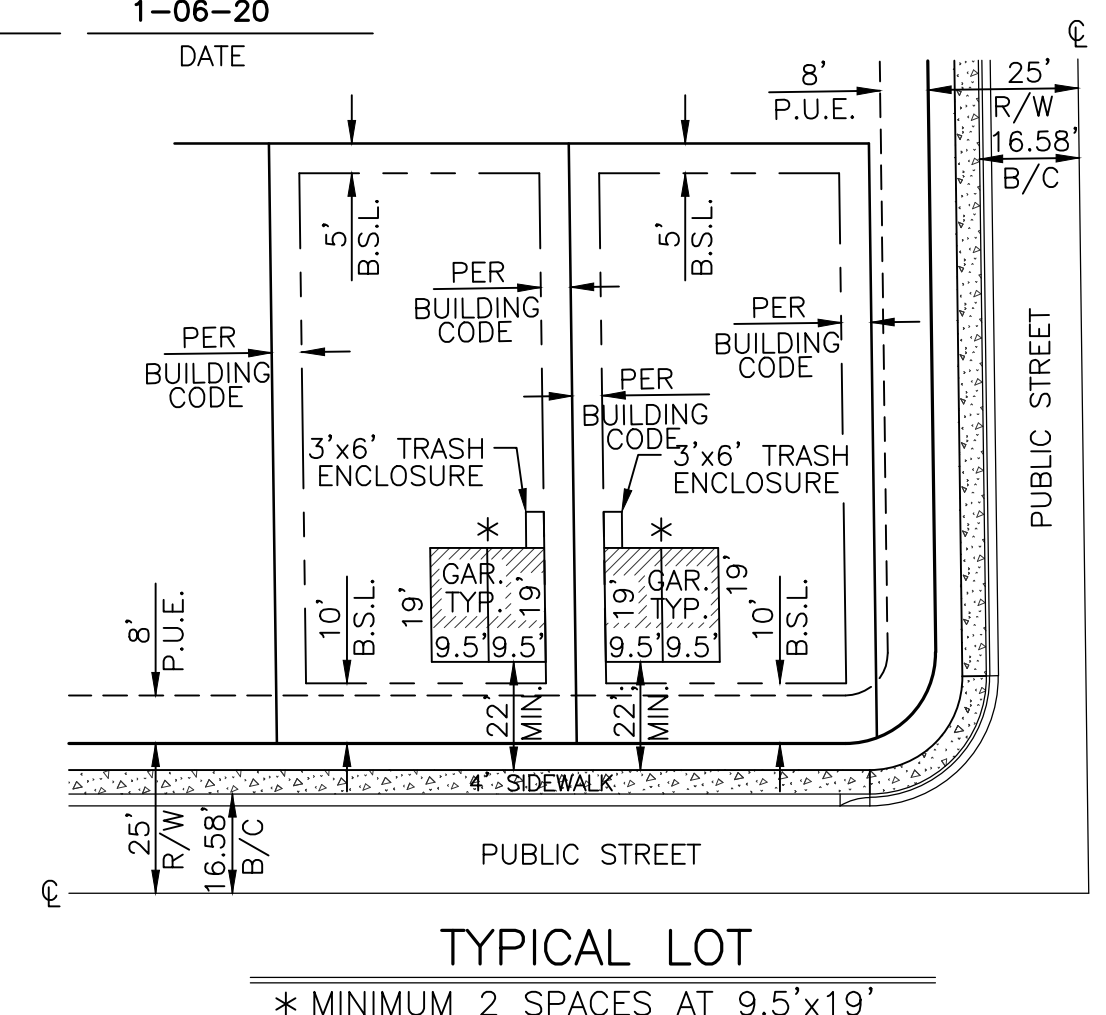
GROSS ACRES: 5.82 ACRES OR 253,440 S.F.  
 NET ACRES: 5.38 ACRES OR 234,214 S.F.  
 TOTAL LOTS: 23  
 DENSITY: 3.95 D.U. PER ACRE  
 TYPICAL LOT SIZE: 50'x100'  
 TYPICAL LOT SIZE: 50'x100'  
 OPEN SPACE: 0.48 ACRES OR 20,909 S.F. (8.25% PROVIDED (5% REQ'D))  
 PROPOSED DEVELOPMENT OPTION: R1-8 P.R.D.  
 PARCEL(S): 105-89-957 & 105-89-958  
 LOT SALES: YES  
 COMMON RETENTION

### DEVELOPER

MAGEE DEVELOPMENT, INC.  
 3521 E INDIAN SCHOOL ROAD  
 PHOENIX, AZ 85018  
 (602) 315-3322  
 CONTACT: BRIAN MAGEE

### ENGINEER

CLOUSE ENGINEERING, INC.  
 5010 E SHEA BLVD, #110  
 SCOTTSDALE, AZ 85254  
 (602) 395-9300  
 CONTACT: TOM WEBER



### LOT COVERAGE



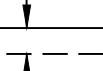


CALCULATION:  

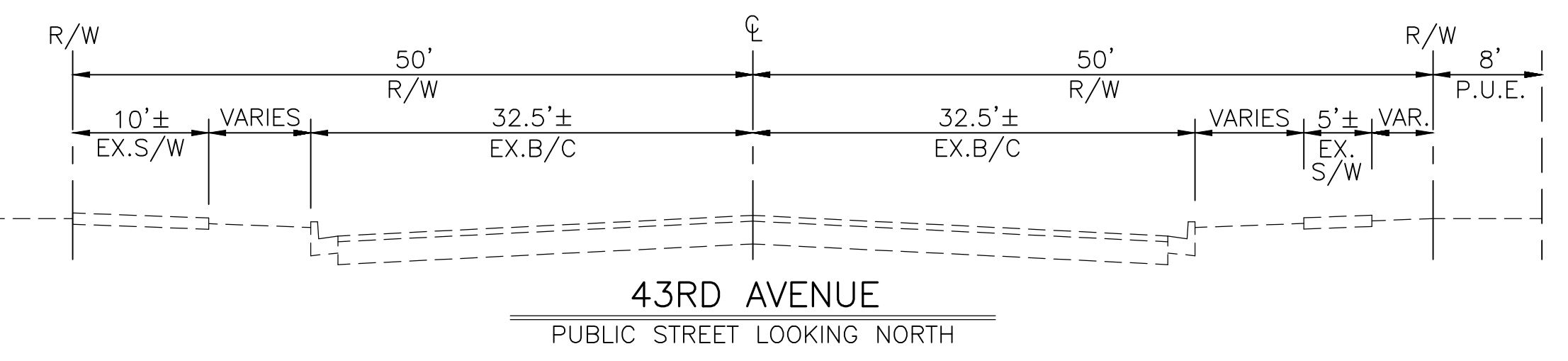
$$\text{MAX. COVERAGE (\%)} = \frac{\text{NET AREA (STREET AREA)}}{\text{\# OF LOTS}} \times \text{MAX. ALLOWABLE AREA UNDER ROOF PER LOT}$$

(0.40)  $\left( \frac{5.38 - 1.54}{23} \right) (43,560) = 2,909$  S.F. MAXIMUM ALLOWABLE AREA PER LOT. (ENCLOSED STRUCTURES)

(0.10)  $\left( \frac{5.38 - 1.54}{23} \right) (43,560) = 727$  S.F. MAXIMUM ALLOWABLE AREA PER LOT. (SHADE STRUCTURES)

### LEGEND

-  INDICATES SUBDIVISION CORNER
-  INDICATES FIRE HYDRANT
-  INDICATES PUBLIC UTILITY EASEMENT AT ALL LOT FRONTAGE UNLESS OTHERWISE NOTED
-  B.S.L. INDICATES MINIMUM BUILDING SETBACK LINES
-  P.U.E. INDICATES PUBLIC UTILITY EASEMENT



**Clouse Engineering, Inc.**  
 ENGINEERS - SURVEYORS  
 9010 E. Shea Blvd Suite 110 Scottsdale, AZ 85254  
 Tel 602-395-9300 Fax 602-395-9310

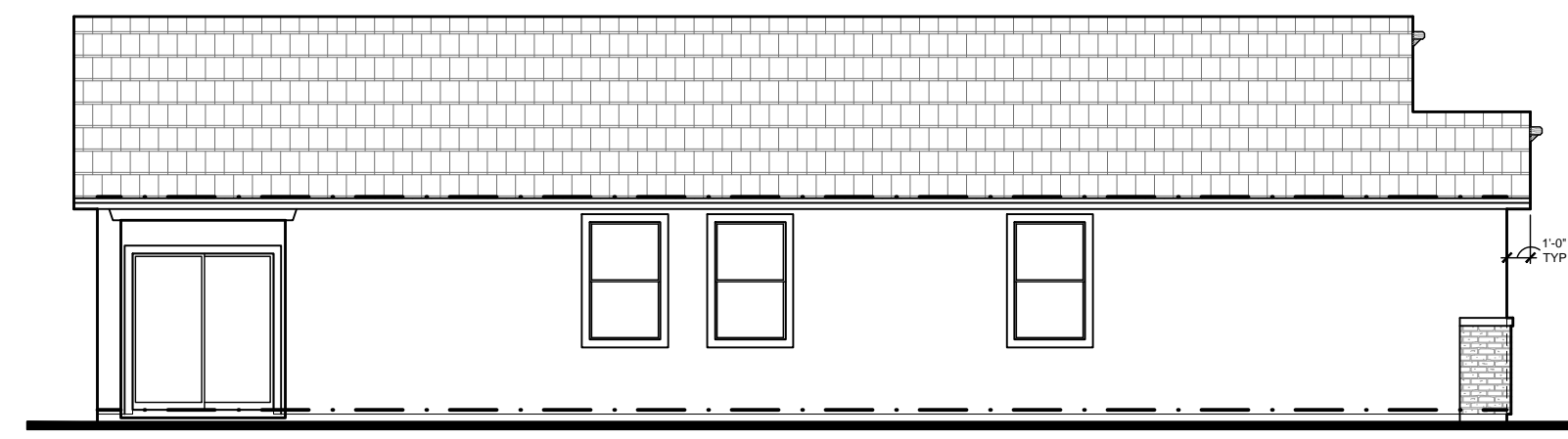
PRELIMINARY SITE PLAN  
**43RD AVENUE AND VINEYARD ROAD**  
 "AN R1-8 PLANNED RESIDENTIAL DEVELOPMENT"

**CITY OF PHOENIX**

JAN 14 2020

**Planning & Development Department**

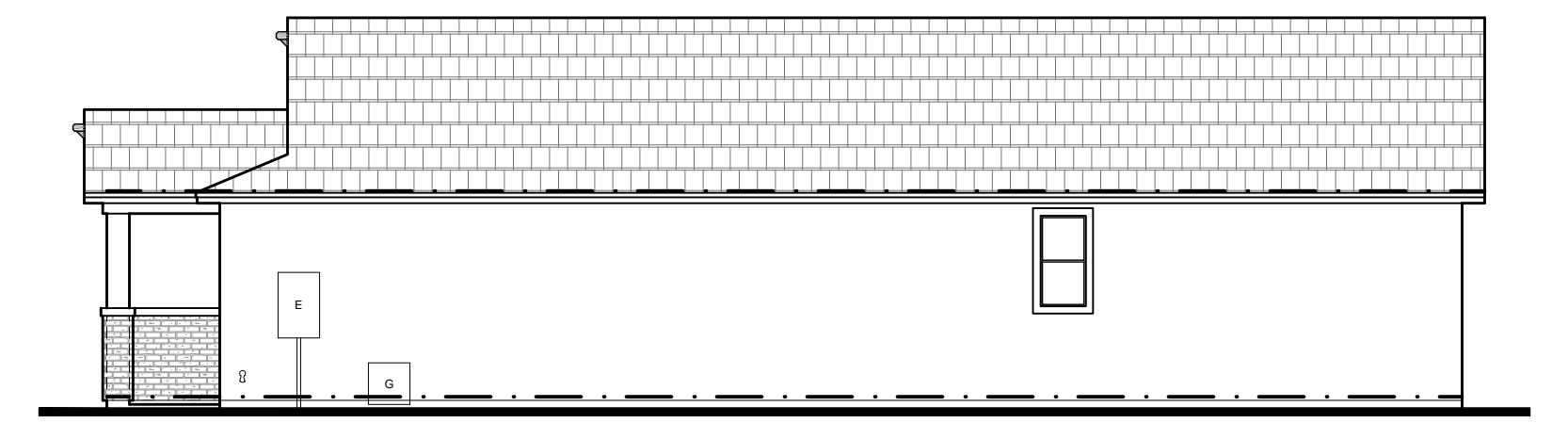
Revised 1-06-20
Date 11-12-19
As-Built
Job No. 190905



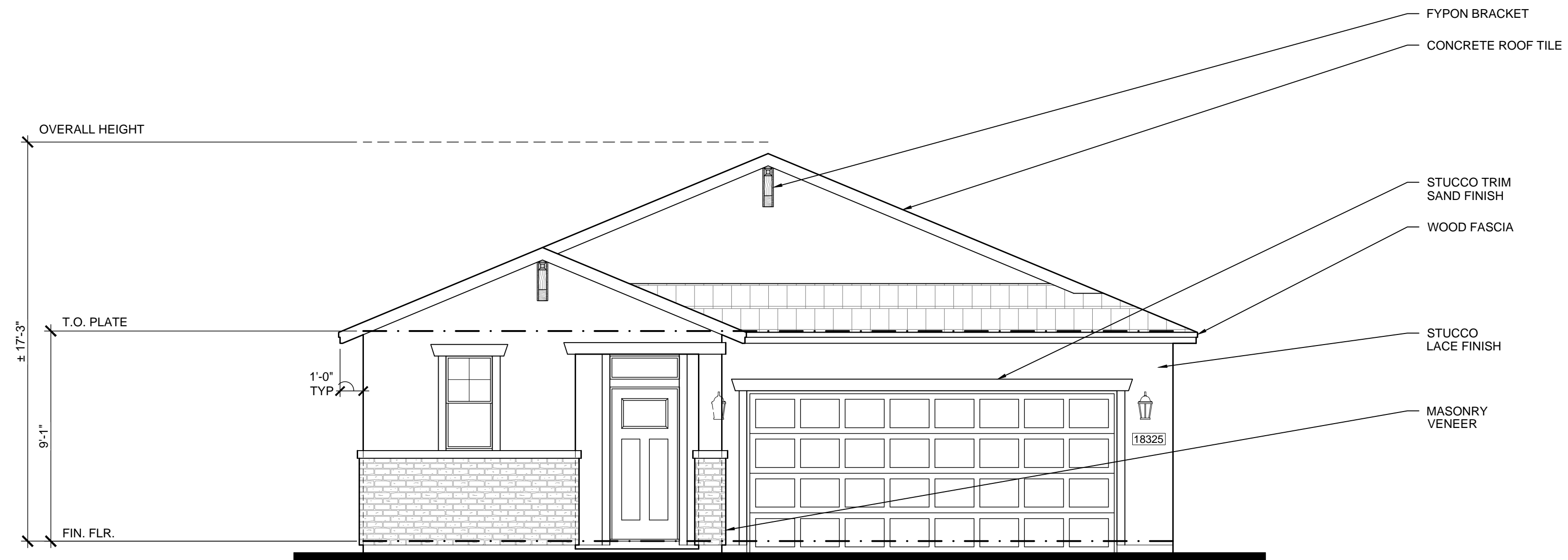
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ELEVATION O 1/8" = 1'-0"



**REAR ELEVATION**  
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**RIGHT ELEVATION**  
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**FRONT ELEVATION**  
ELEVATION O 1/4" = 1'-0"

**CITY OF PHOENIX**

JAN 14 2020

**Planning & Development  
Department**

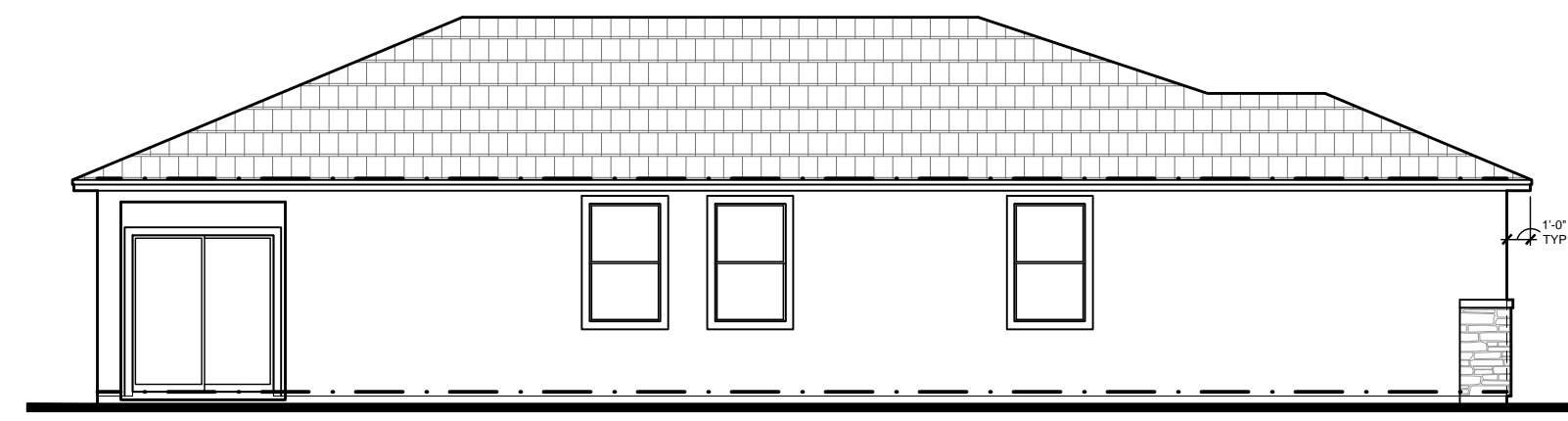
35-1432 | 43rd Avenue and Vineyard | Laveen, Arizona

1-9-2020

**AMH Development, LLC**

5555 East Van Buren, Suite 240  
Phoenix, Arizona 85008

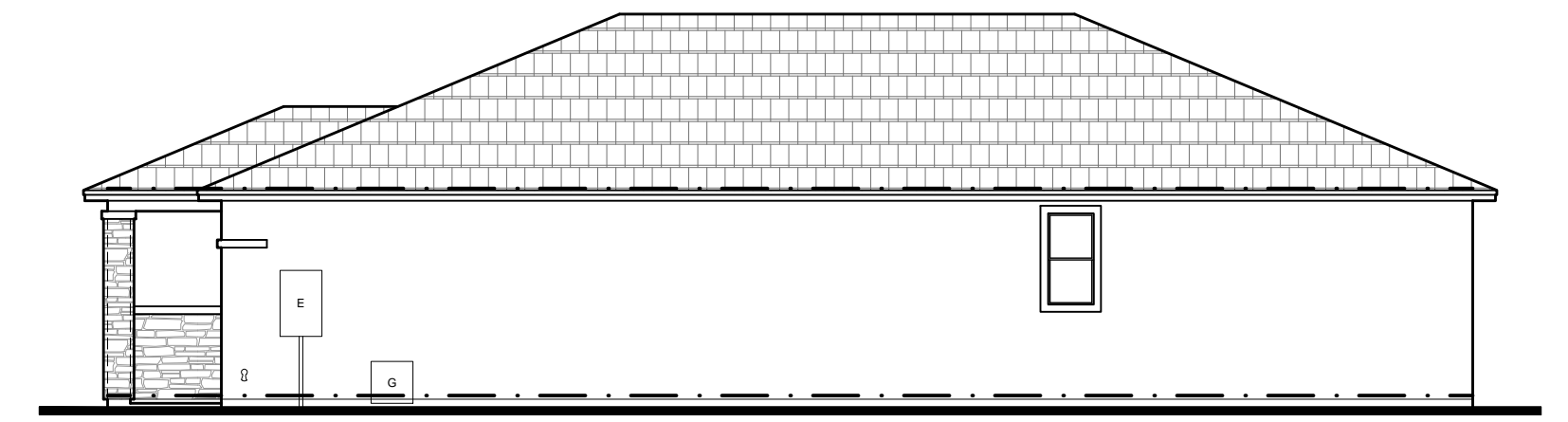




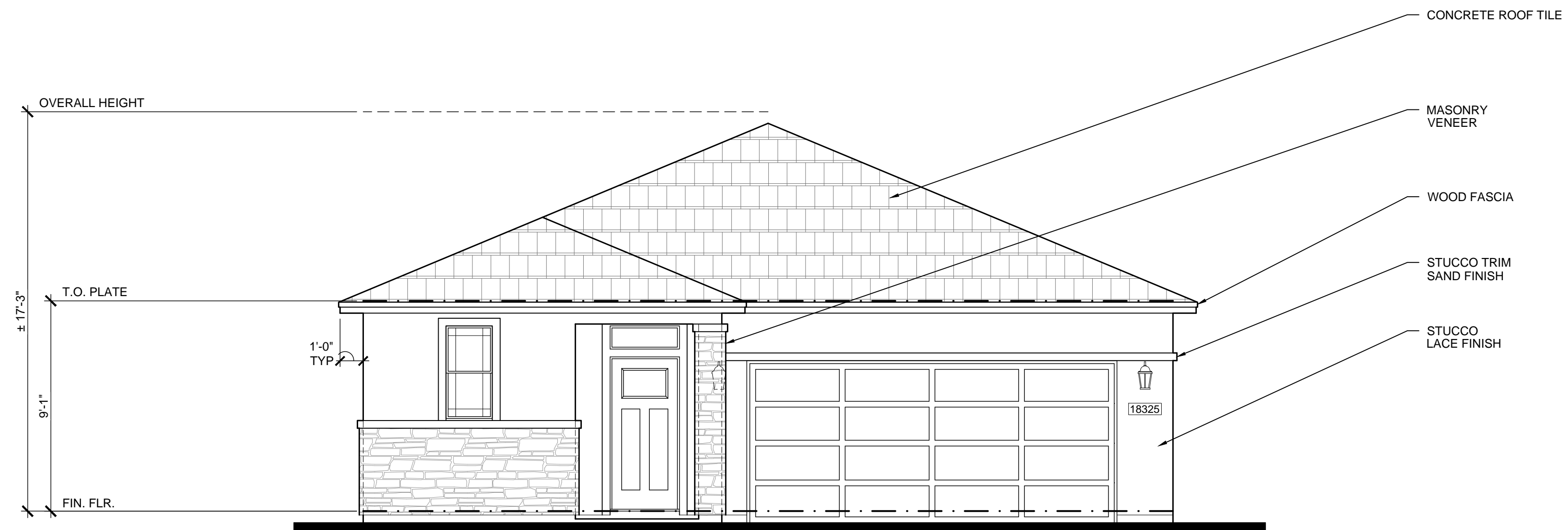
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**CITY OF PHOENIX**

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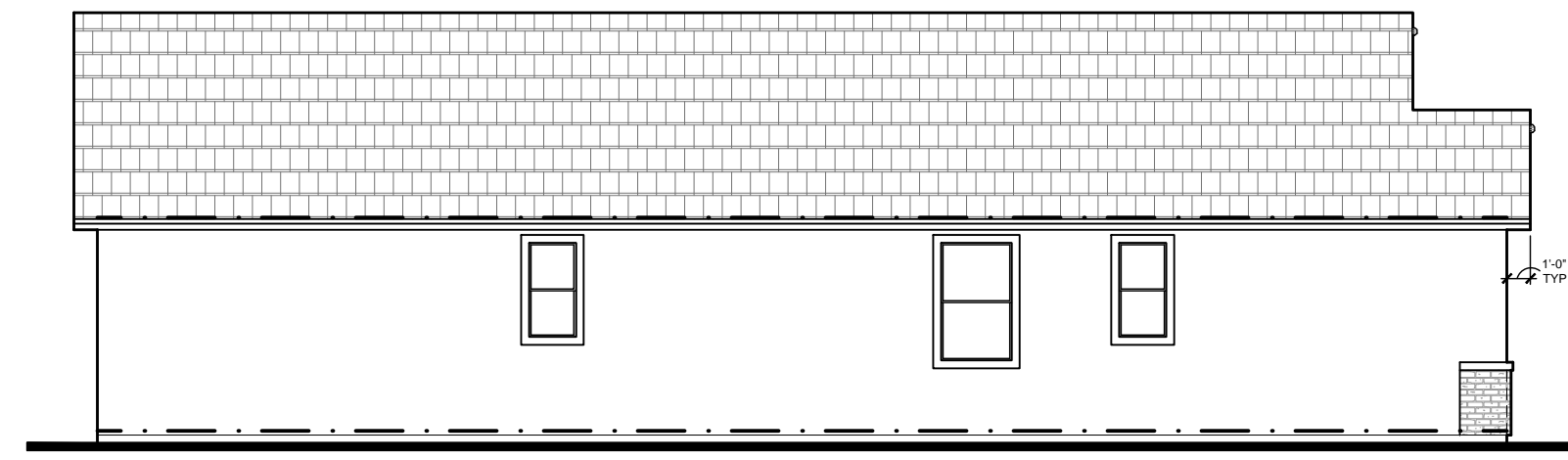
**Planning & Development  
Department**

35-1432 | 43rd Avenue and Vineyard | Laveen, Arizona

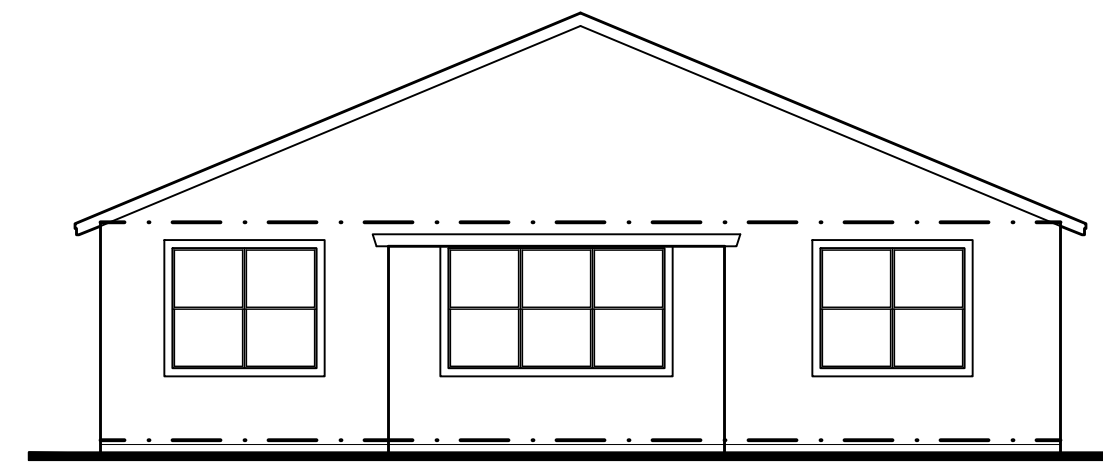
1-9-2020

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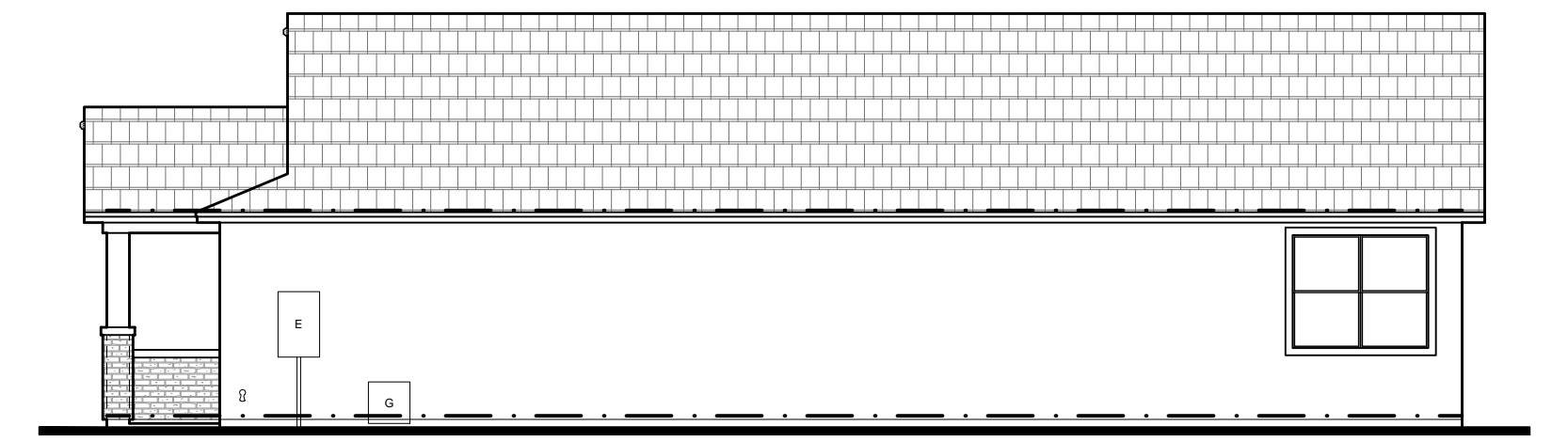
5555 East Van Buren, Suite 240  
Phoenix, Arizona 85008



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**CITY OF PHOENIX**

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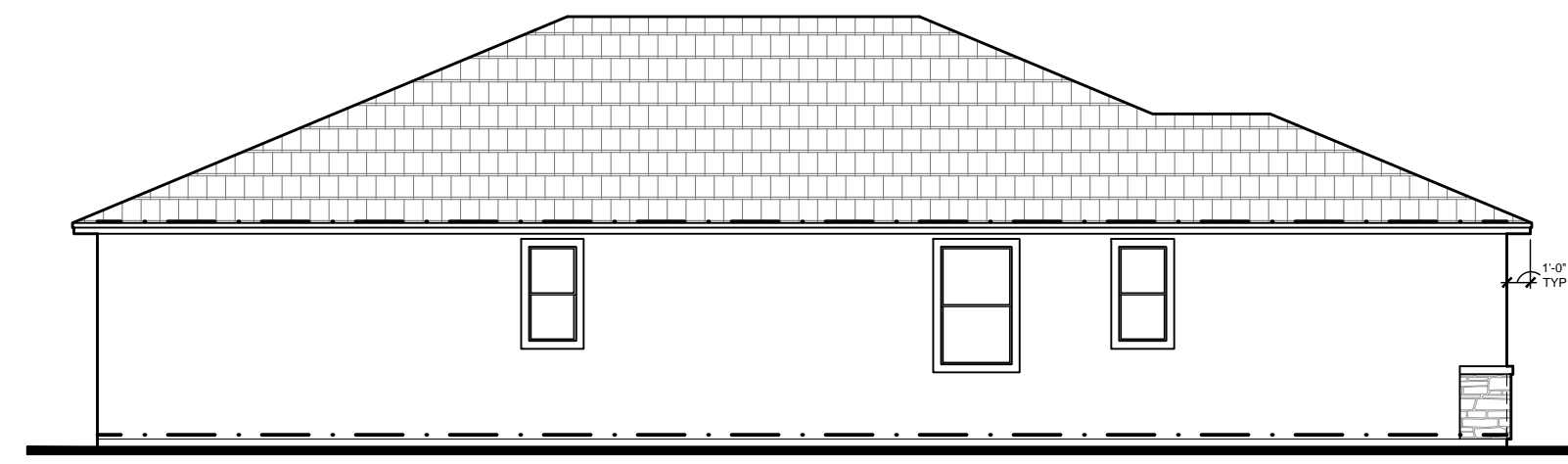
**Planning & Development  
Department**

40-1626 | 43rd Avenue and Vineyard | Laveen, Arizona

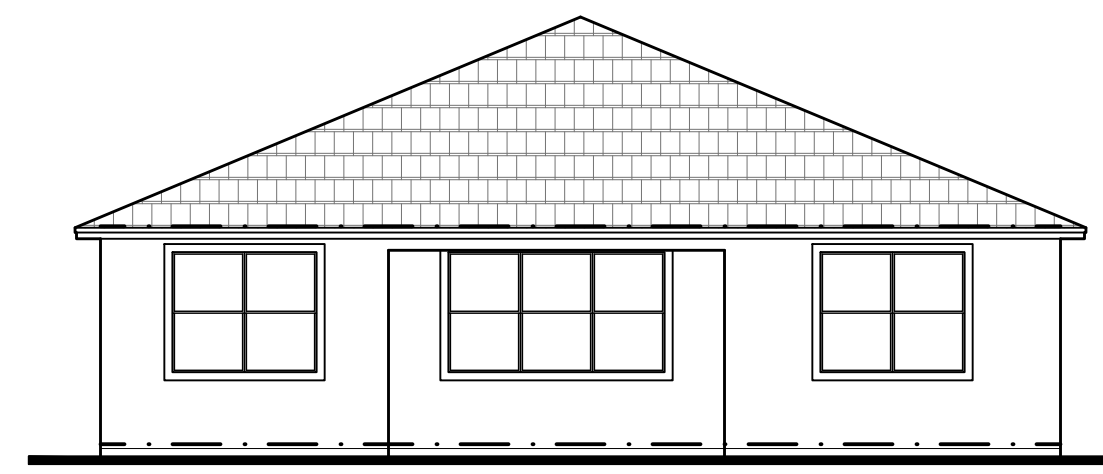
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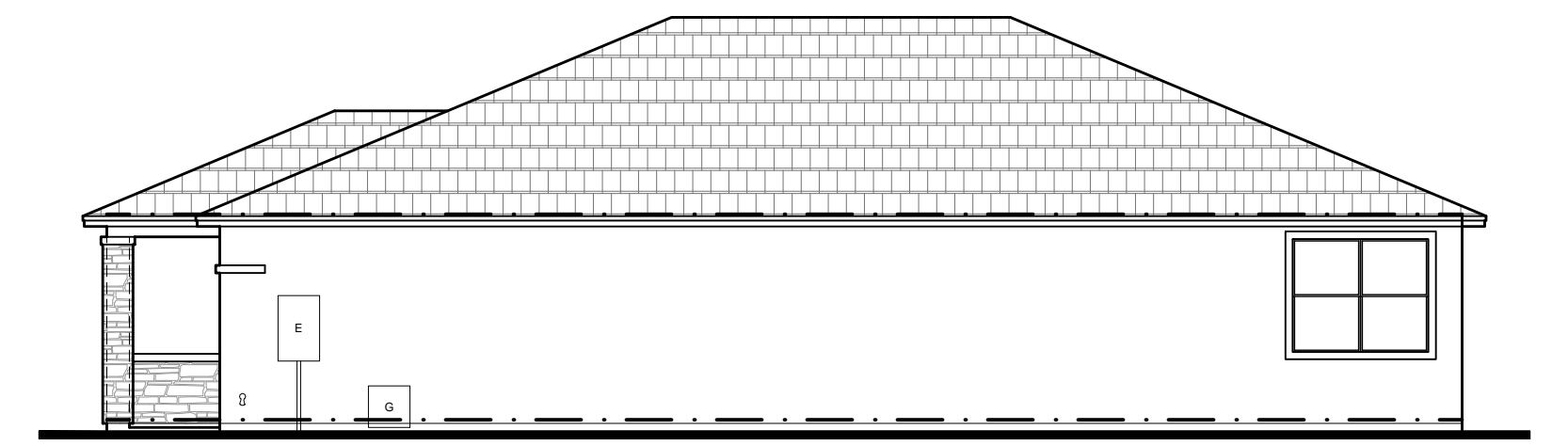
5555 East Van Buren, Suite 240  
Phoenix, Arizona 85008



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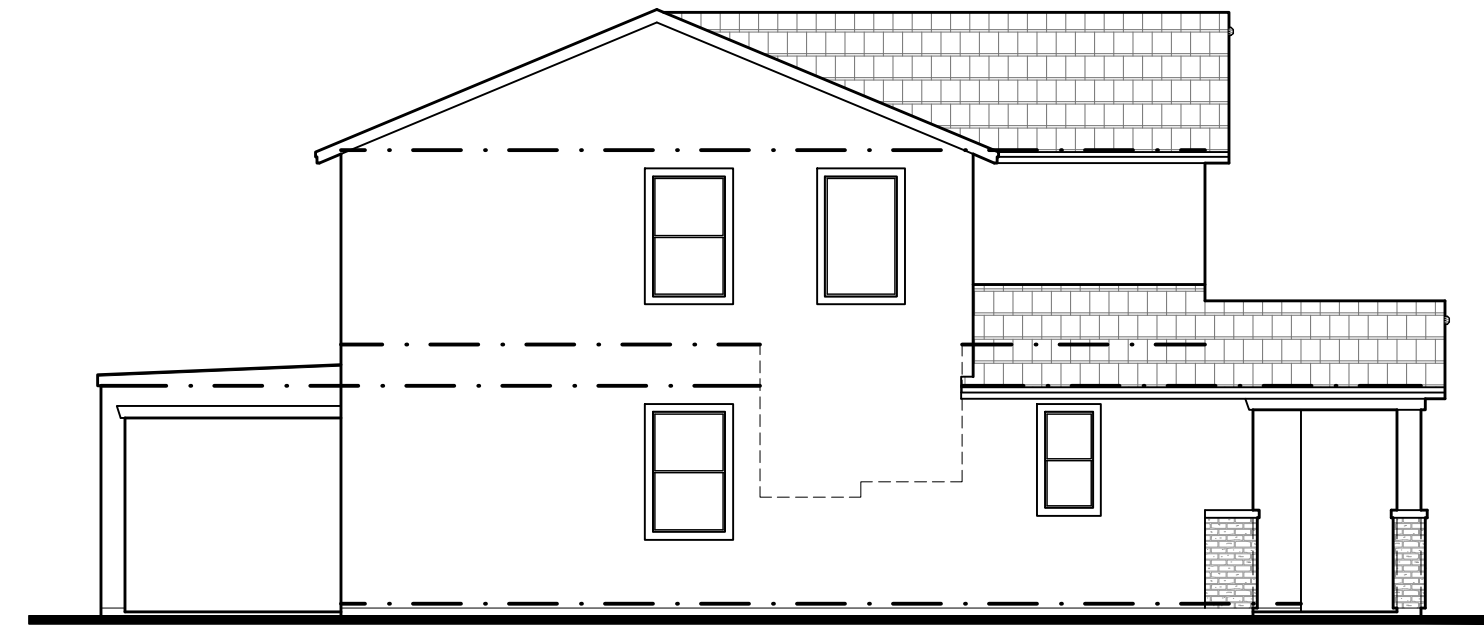
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40-1626 | 43rd Avenue and Vineyard | Laveen, Arizona

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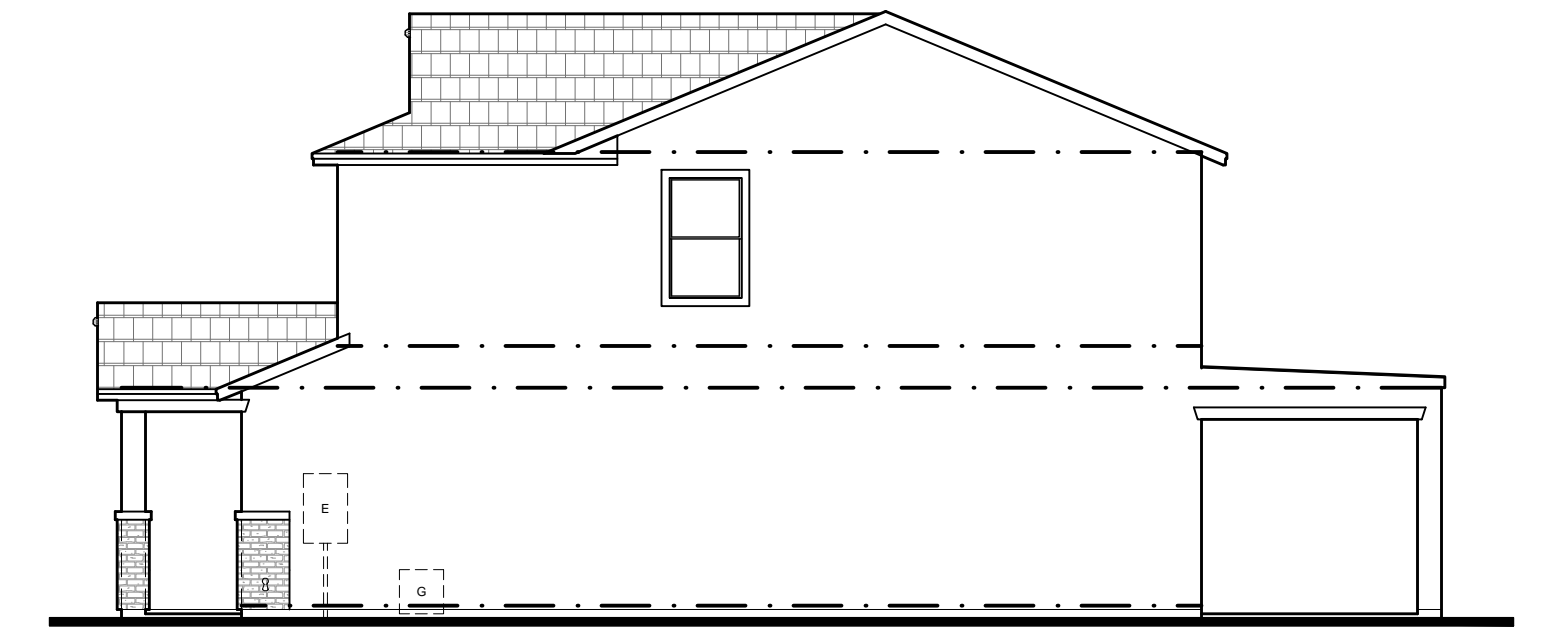
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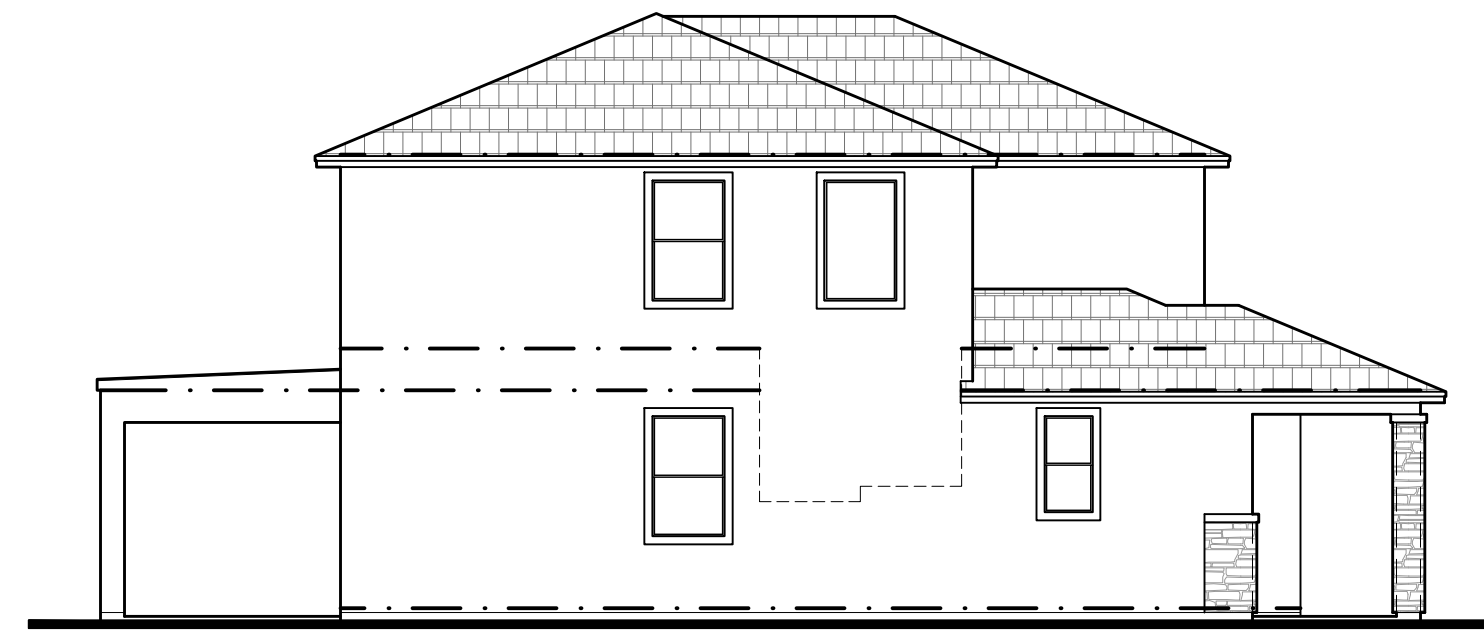
Planning & Development  
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35-1967 | 43rd Avenue and Vineyard | Laveen, Arizona

1-9-2020

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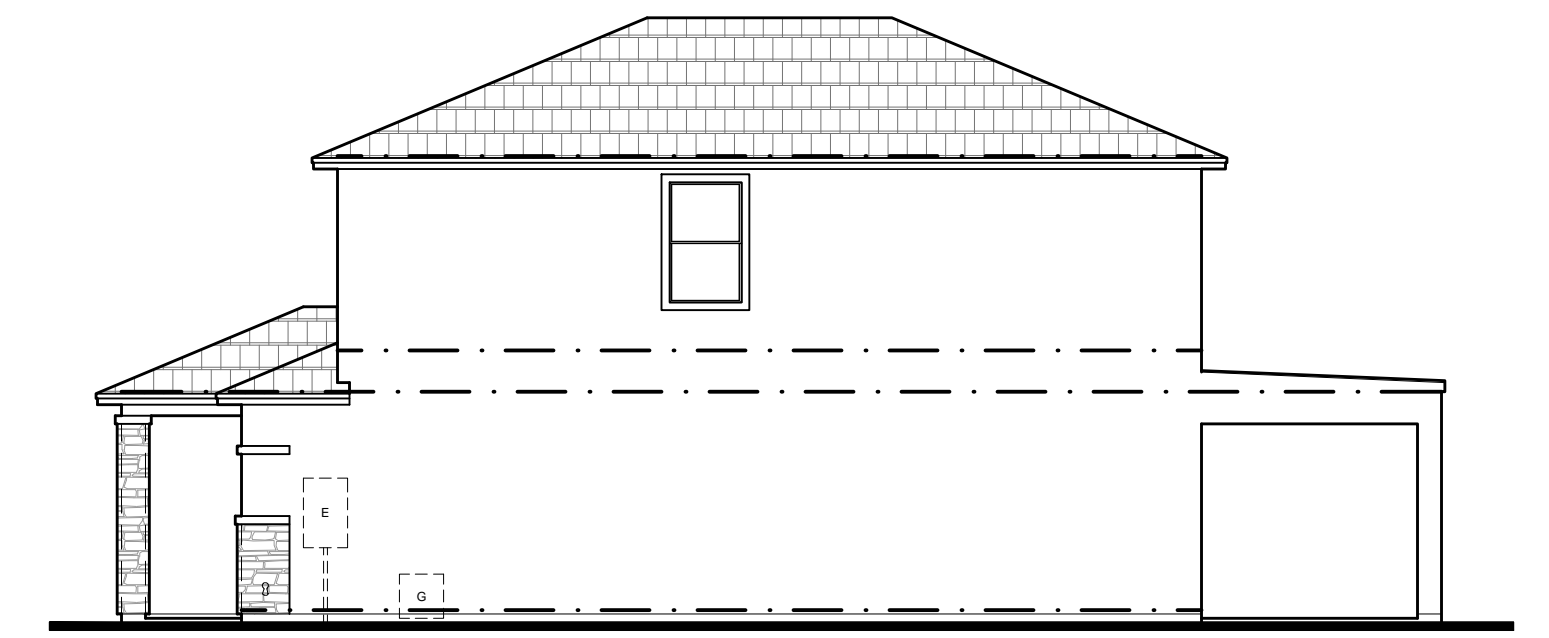
5555 East Van Buren, Suite 240  
Phoenix, Arizona 85008



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**CITY OF PHOENIX**

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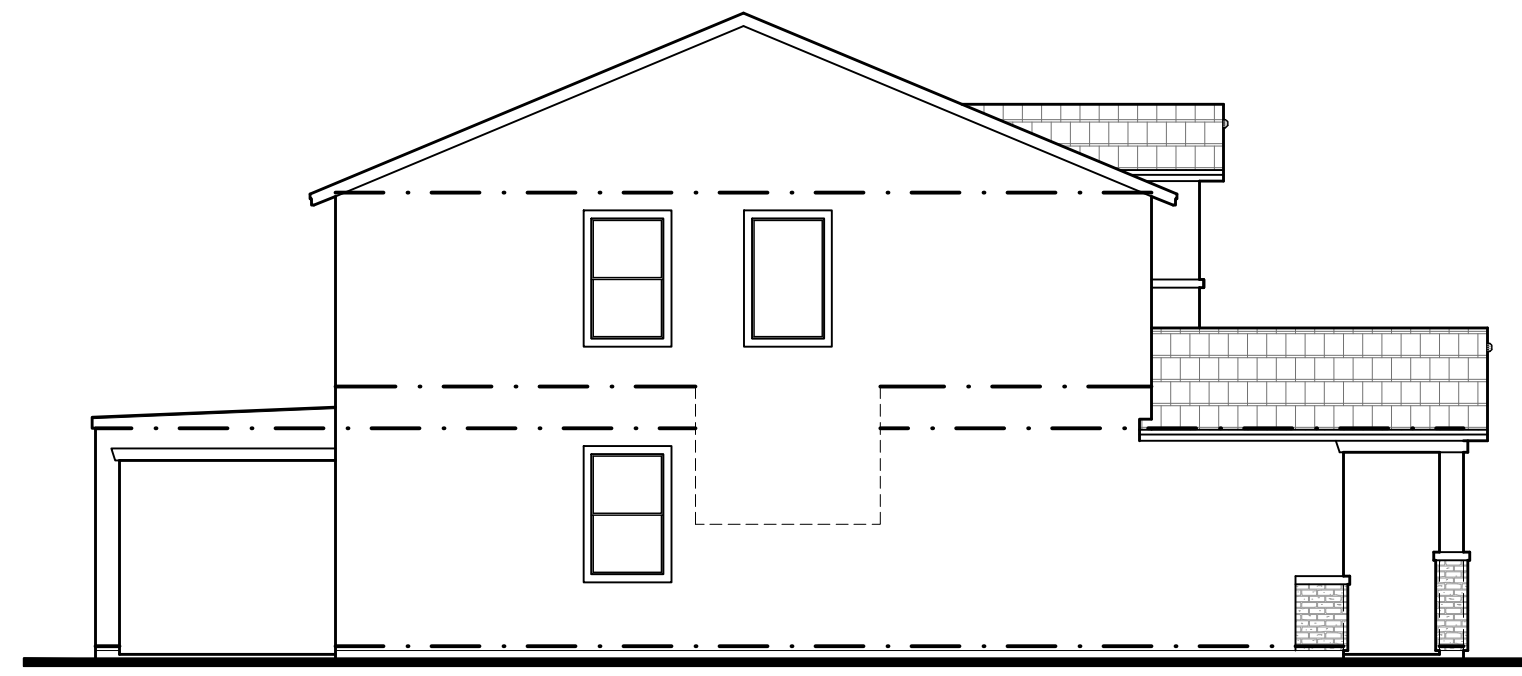
Planning & Development  
Department

35-1967 | 43rd Avenue and Vineyard | Laveen, Arizona

1-9-2020

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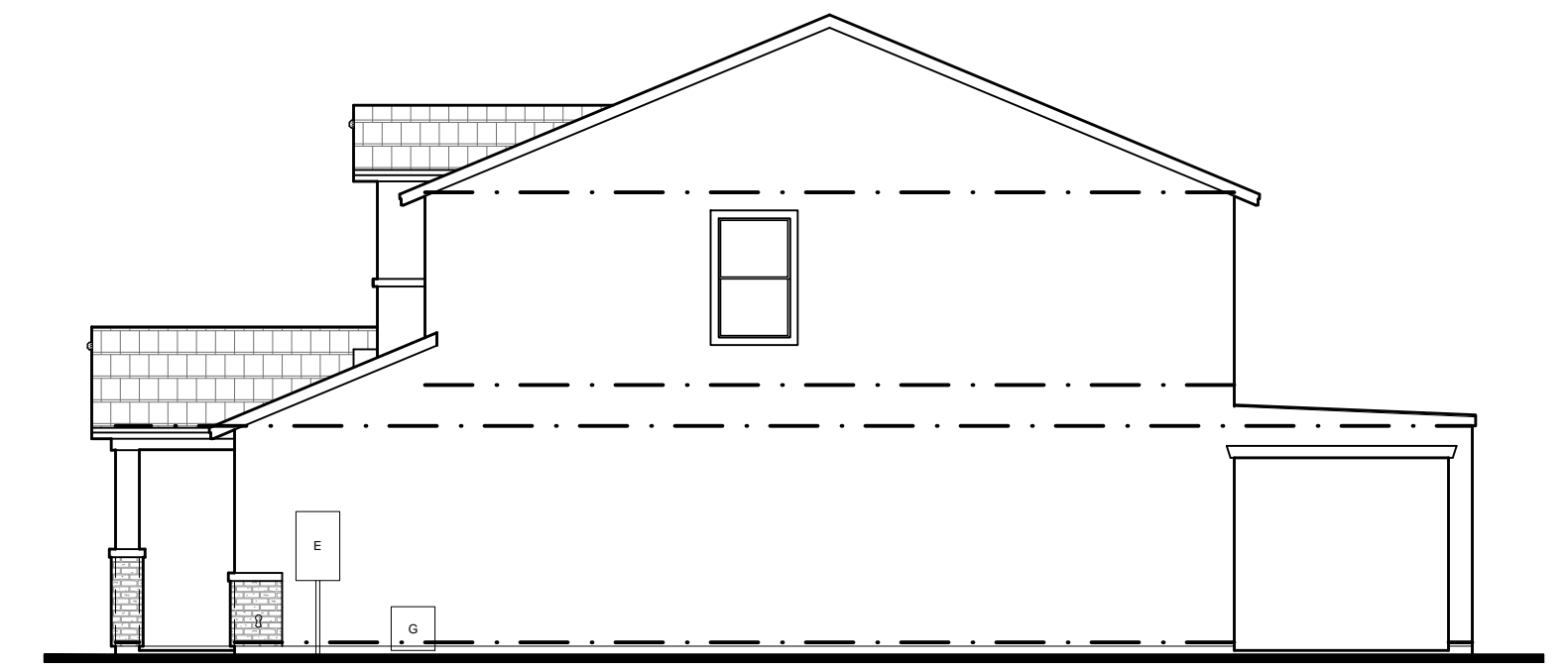
5555 East Van Buren, Suite 240  
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**CITY OF PHOENIX**

JAN 14 2020

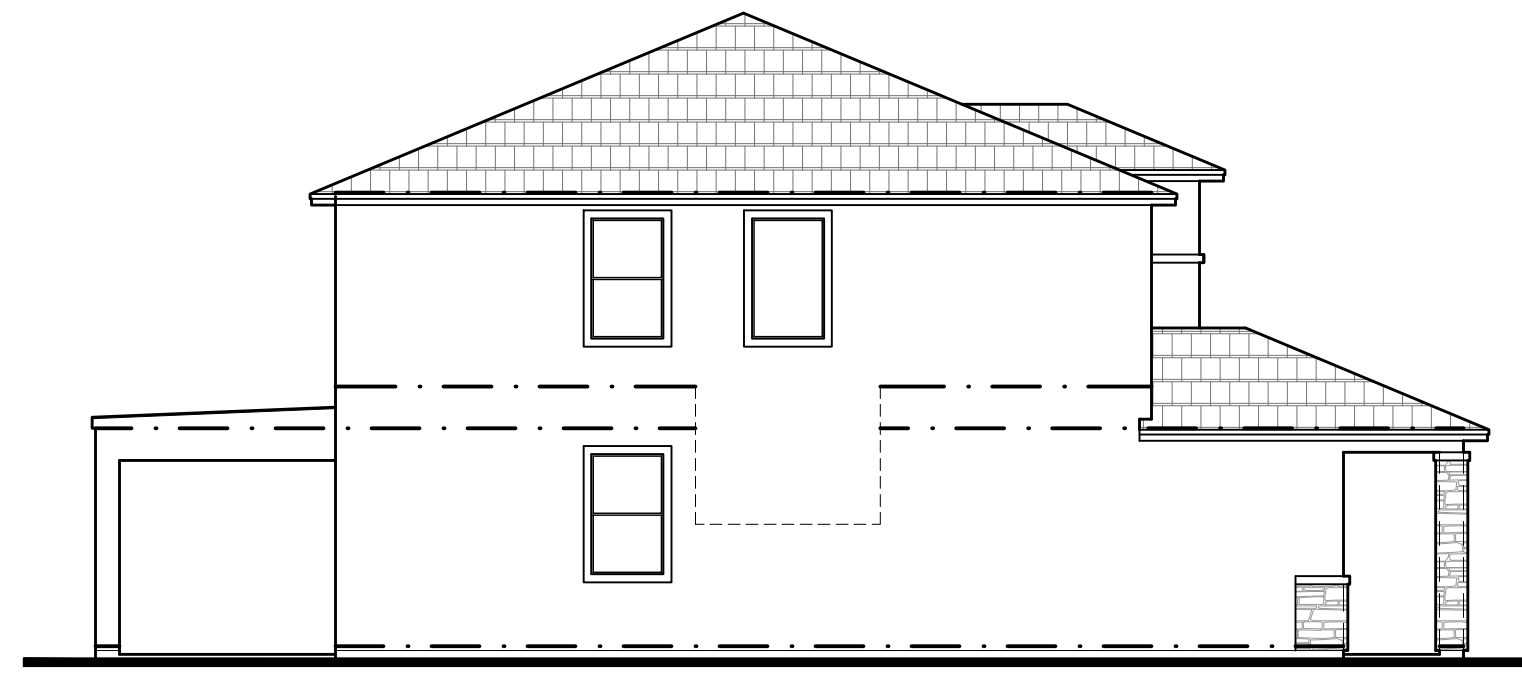
Planning & Development  
Department

35-2273 | 43rd Avenue and Vineyard | Laveen, Arizona

1-9-2020

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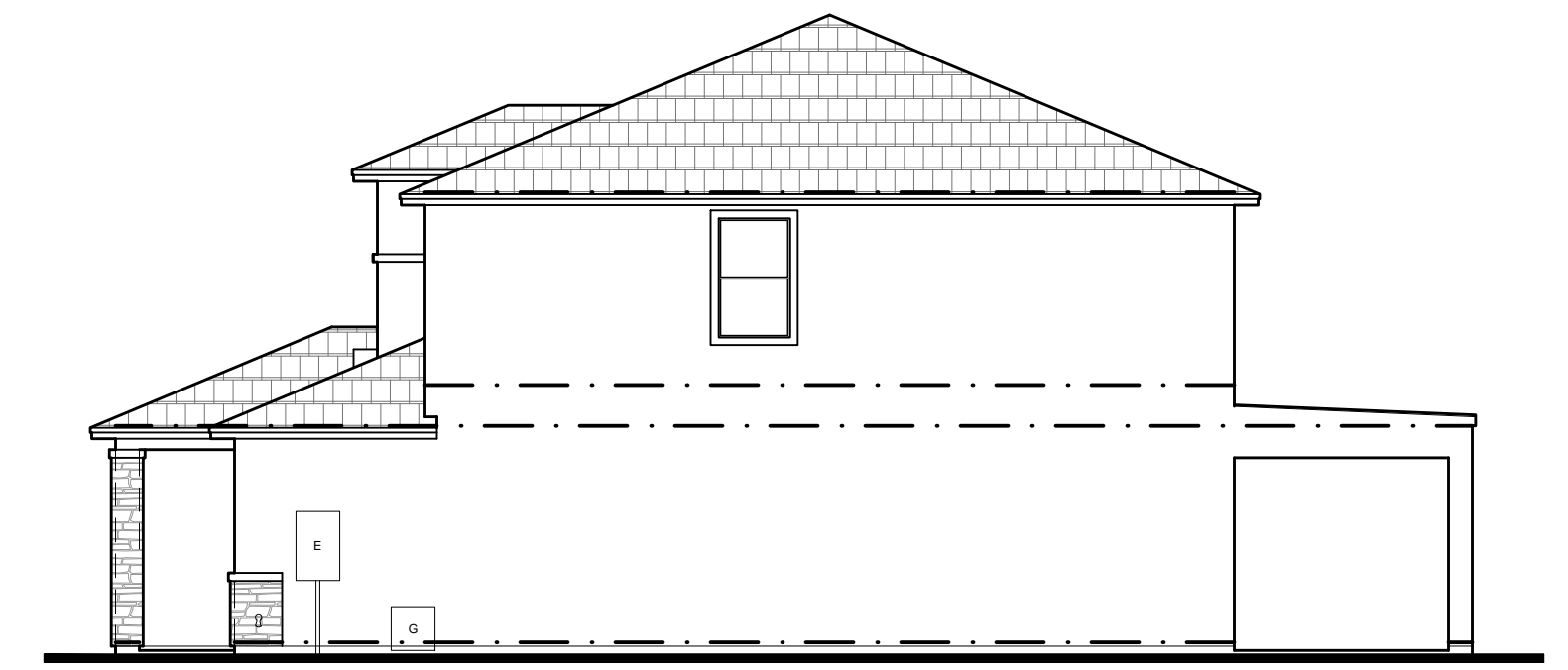
5555 East Van Buren, Suite 240  
Phoenix, Arizona 85008



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- CONCRETE ROOF TILE
- STUCCO TRIM SAND FINISH
- STUCCO TRIM SAND FINISH
- STUCCO LACE FINISH
- MASONRY VENEER
- WOOD FASCIA
- STUCCO TRIM SAND FINISH
- MASONRY VENEER

- OVERALL HEIGHT
- T.O. PLATE
- ± 26'-10"
- 8'-1"
- 1'-0" TYP
- FIN. FLR.
- T.O. PLATE
- 9'-1"
- 1'-0" TYP
- FIN. FLR.

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