



## Residential Community

Planned Unit Development  
4321 North Central Avenue

## Development Narrative

Case #Z-20-21

1<sup>st</sup> Submittal Date: April 2, 2021

2<sup>nd</sup> Submittal Date: May 24, 2021

Hearing Draft Submittal: July 7, 2021

City Council Adopted:

Prepared for:



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A Planned Unit Development (“PUD”) is intended to be a stand-alone document of zoning regulations for a particular project. Provisions not specifically regulated by the PUD are governed by the Zoning Ordinance. A PUD may include substantial background information to help illustrate the intent of the development. The purpose and intent statements are not requirements that will be enforced by the City. The PUD only modifies Zoning Ordinance regulations and does not modify other City Codes or requirements. Additional public hearings may be necessary, such as, but not limited to, right-of way abandonments.

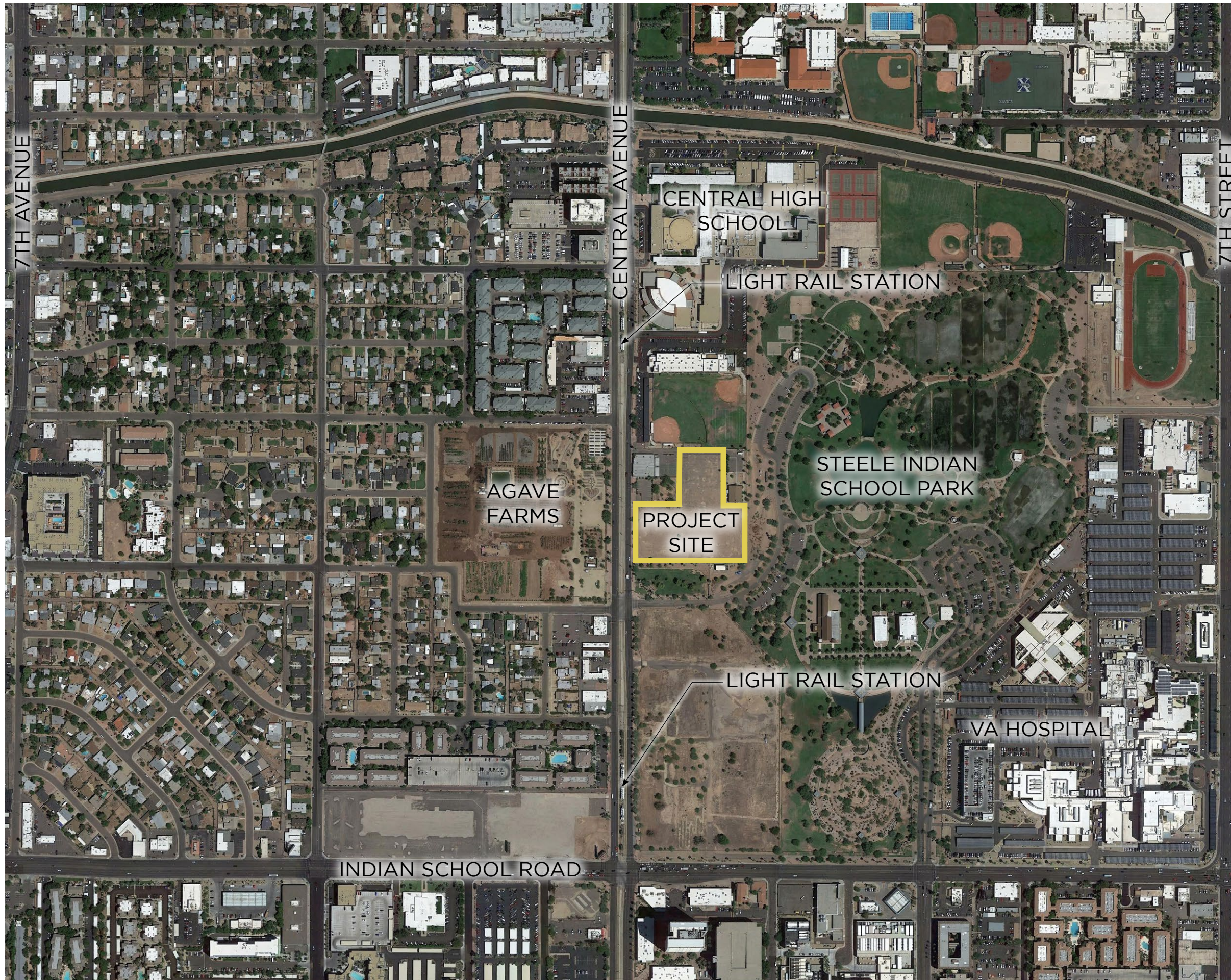
## PURPOSE AND INTENT

The purpose for the Uptown residential community Planned Unit Development (“PUD”) request is to facilitate the proposed single-family attached, urban townhome, development within the context of the Uptown, Encanto Village area of Phoenix. The property is within the Uptown Policy Planning Area of the Reinvent Phoenix Plan, and thereby encouraged to utilize the Walkable Urban (“WU”) Code for this unique infill development community that is directly adjacent to the Central Avenue Light Rail line and Steele Indian School Park. However, in this case of a subdivided lot ownership plan, the code defers to the use of Single-Family Attached (“SFA”) development option standards and design guidelines which do not adequately support this project vision. It is the Applicants intent to provide a specialized and predictable development plan within a PUD request prepared in concert with WU code and SFA development standards.

The intended Uptown residential plan is nestled on a 4.3 +/- net acre property located along the Central Avenue light rail corridor, immediately north of the primary entry leading into Steele Indian School Park and south of Central High School. The project lies within close proximity to two rail stations. Stations which are located approximately 900’ to the south at Indian School Road and approximately 700’ to the north at Campbell Avenue. With the proximity to this significant element of public infrastructure in mind, the vision for this development is an attached residential community form. This form will promote attached units, for-sale residential lots, at a density which supports appropriate land use transition between Central Avenue and the Steele Indian School Park. This form will also provide a varied residential offering in the south Uptown area providing home ownership within a high-quality urban single-family home community. See Figure 1 & 2 (Aerial Vicinity Map & Aerial Site Map)

Identified as an Infill Development Parcel within the Uptown TOD Policy Plan (Steele Indian School Park Master Plan), the property was imagined as part of a larger cohesive mixed use development plan in the 2040 Vision imagery. This request will replace the current zoning with an up-to-date WU-based PUD district and its associated requirements for development within a T5:3 Transect. See Figure 3 (Existing & Proposed Zoning)





**FIGURE 1**

AERIAL VICINITY MAP



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**FIGURE 2**

AERIAL SITE MAP



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## B. LAND USE PLAN

The Conceptual Site Plan proposes a luxury single-family attached inspired townhome development consisting of 72 dwelling units contained within 10 total buildings of varied overall lengths. See to Figure 4A (Conceptual Site Plan). Each residence will fall within a platted 24-foot-wide lot and may include private rear yards. The building heights will be 3-story primarily and building Architecture will incorporate varied articulated rooflines with high-quality architectural detailing and materials across a unified design theme. Residential units are a mix of 3- and 4-bedroom floor plans which exceed 2,000 sq ft in area and provide for primary living space entries on each end of the floor plans. While each residential unit is required by code to provide two reserved parking spaces within its platted lot, the opportunity exists for future residents of this community to utilize this space for not only parking two cars, but ideally to be utilized in a flexible fashion by residents for exercise space, hobby space, bicycle storage, game room, or storage.

The project's primary access and frontage will occur along Central Avenue. With a limited frontage dimension along Central Avenue of 250-feet, seven attached residences will be oriented with unit entry paths and gated porch courtyards directly adjacent to the Central Avenue public right of way. This will greatly enhance the pedestrian experience along this segment of Central Avenue and combined with quality landscaping will help further the vision of the Central Avenue urban environment promoted by the Central Avenue Design Standards and Uptown character plan. The remaining frontage along Central Avenue will serve as the primary community entry and pedestrian connection points to Central Avenue. Pedestrian access to the adjacent Steele Indian School Park occurs once inside the development through a gated connection leading to the Park's main entry portal as an added amenity to the community. The project's internal pedestrian circulation system is a combination of sidewalk adjacent to the Private Accessway and internalized pathways / paseos which facilitate pedestrian movements throughout the development leading to transit and access opportunity to Steele Indian School Park. Utilizing the unique residential entry design, this circulation network will allow connectivity and walkability throughout. Refer to Figure 4B (Pedestrian Circulation Plan). Centrally located within the project is the primary amenity area. The amenity plan incorporates hardscape and softscape areas with anticipated outdoor seating / kitchen areas, gathering nodes and game lawn areas.

The vehicular entry will be gated with enhanced design elements and surrounding landscaping. A secondary access gate is provided along the development's north boundary which connects to an existing 25' wide paved Public Ingress / Egress & Utility Easement leading to Central Avenue. The project proposes to utilize the Public Easement Lane for refuse collection by the City.

The southern and eastern boundaries of the development, which border Steele Indian School Park, also border constraining conditions which encouraged the placement of residence buildings oriented towards the park along these perimeters. While direct access from each residence into the Steele Indian School Park property is not permitted, the project will utilize view fencing to the extent possible to encourage the use of the park as a major community amenity element. Existing infrastructure facilities to the south such as the Light Rail Power Control building, and permanent park maintenance operations located to the east of the development do not create suitable conditions for residence entry patios or porches to be oriented towards these public park ancillary and maintenance spaces. The northern portion of the project area is situated between two parcels owned by Place By The Park LLC, which are not a part of this PUD.





## FIGURE 4A CONCEPTUAL SITE PLAN

### SITE DATA

GROSS PROJECT AREA: 4.59 AC  
 NET PROJECT AREA: 4.30 AC  
 USE: SINGLE-FAMILY ATTACHED  
 HEIGHT: (3) STORIES, (40) FEET MAX  
 LOT SALES: YES  
 CURRENT ZONING: UR  
 ZONING: PUD  
 TOTAL UNITS: 72  
 LOT SIZES: 24'X52' & 24'X57'  
 LOT COVERAGE: 68%  
 GROSS PROJECT DENSITY: 15.7 DU/AC  
 TOTAL PARKING REQUIRED: 144 SPACES PER UNIT  
 MAX. PERMITTED UNRESERVED PARKING: 36 SPACES

TOTAL PARKING PROVIDED\*: 144 PRIVATE GARAGE  
 12 UNRESERVED

### UNIT MIX

A UNITS - 61 - 85%  
 B UNITS - 11 - 15%



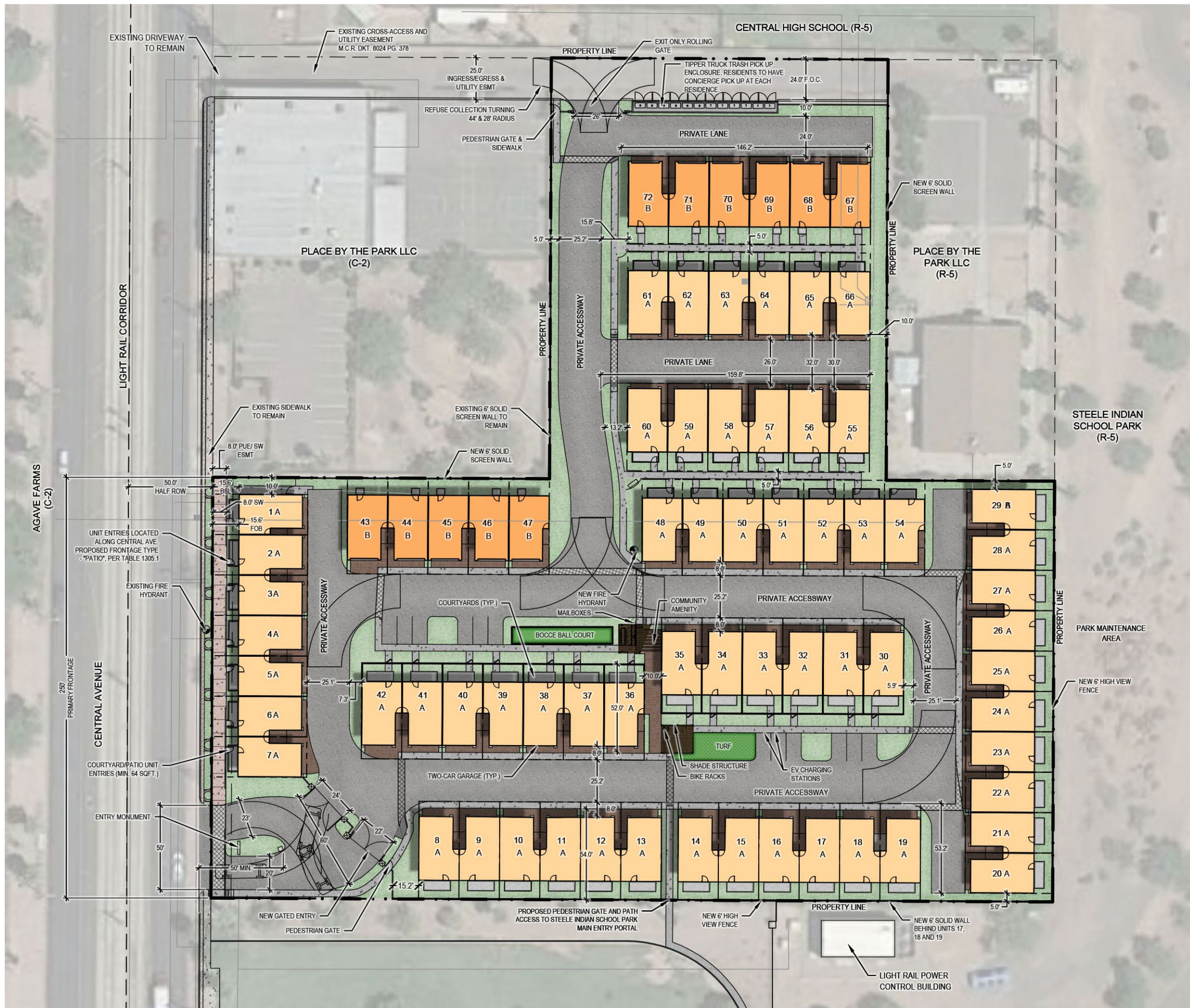
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**FIGURE 4B**

**PEDESTRIAN  
CIRCULATION PLAN**

- LEGEND
- PEDESTRIAN CIRCULATION
  - PUBLIC SIDEWALK
  - ACCESS CONNECTION TO STEELE INDIAN SCHOOL PARK



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### C. LIST OF USES

All permitted uses per Section 1306, T5:3 of the Phoenix Zoning Ordinance, including, but not limited to, multi-family and single-family attached uses. All other uses, such as those permissible with a Use Permit, shall be allowed and obtained as necessary through the required process(es) as outline in Section 1306 of the Zoning Ordinance.

### D. DEVELOPMENT STANDARDS

The Development Standards set forth in this section are adapted from the WU Code and SFA standards in the City of Phoenix. Zoning Ordinance Section 1303 requires SFA development within WU Transects must meet the requirements of Sections 608.F.8 and 615, Table B. This development will work to create a walkable, transportation oriented urban setting which will promote residence ownership and community stability.

The following standards and requirements have been provided to support the proposed PUD site plan. Provisions of Chapter 13, as applicable to Transect 5:3, shall apply to all uses unless explicitly modified.

#### 1. PUD Development Standards Table (Single-Family Attached)

STANDARD	REQUIREMENTS
Minimum Lot Dimensions (width and depth)	24' width
Dwelling Unit Gross Density	No Maximum
Minimum Perimeter Standards	15' for units fronting Central Avenue (to primary structure – area not in common ownership),  10' Rear for units adjacent to property line (to primary structure – area may or may not be in common ownership),  5' Side for units adjacent to property line (to primary structure – area may or may not be in common ownership),  5' setback adjacent to any property line for roadway or paved surface
Maximum Projection by Porches, Patios, Balconies or port-cocheres into required Perimeter setbacks.	10' for units fronting Central Avenue,  6' for units with Rear adjacent to a property line.
Building Setbacks	None
Minimum Building Separation	10'
Maximum Building Length	290'
Maximum Height	3 stories or 40'

Lot Coverage	75% maximum
Open Space	5% minimum of gross area (Overall landscape not including perimeter setbacks or on-lot private open space),  Min. 3,000 Sq. Ft. common central amenity area (1.5% min. of gross area)  Min. 18,000 Sq. Ft. total on-lot private open space (9% min. of gross area)
Street Standards	Development Site: Public Street Individual Unit Lot: Private Accessway or Private Driveway
Parking	2 Reserved Spaces per Unit (Garage) Maximum of 6 Unreserved guest spaces (Surface) Minimum of 2 EV Car Charging Stations (To be located at guest spaces)
Bicycle Parking	0.25 space per unit (secured) 0.05 space minimum per unit (provided for guests at convenient location on site)
WU Frontage Types	Primary Frontage type shall comply with the requirements of Section 1305, Table 1305.1. for PORCH.  Minimum Width: 60% of Building Facade
Pedestrian Street Crossings	At pedestrian street crossing locations, specialized paving (decorative pavers or colored concrete) shall be used to provide clear and distinctive crossing locations.

**2. Landscape Standards**

The following standards reflect the SFA Landscape requirements to be applied to this PUD. If conflict exists, the provisions of Section 608.F.8.c shall prevail. Section 1309 shall apply in its entirety (unless modified). See Figures 5A & 6 (Illustrative Landscape Plan and Conceptual Landscape Plan).

An HOA will be established to manage all landscaping which falls outside of any wall associated with a private lot. Rear-yard perimeter trees along the east and south boundaries adjacent to Steele Indian School Park will be installed at the time of building construction and maintained through future HOA regulations along with the requirements of the PUD.

PUD Landscape Standards Table (Single-Family Attached)

STANDARD	REQUIREMENTS
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Perimeter Landscape Setback	<p>Lots fronting Central Avenue – landscaping in all Perimeter Standard setback area that is not used for sidewalks, unit access or other hardscape surface (not in common ownership &amp; HOA maintained),</p> <p>Perimeter of the development not abutting rights-of-way must provide a minimum five-foot landscape setback (which may or may not be in common ownership)</p>
Tree Spacing	<p>Central Avenue – Refer to Central Avenue Frontage Standards below.</p> <p>Perimeters - Minimum trees spaced 20 feet on center or equivalent groupings in required landscape setbacks.</p>
Plant Sizes & Quantities	<p>Minimum two-inch caliper or multi-trunk tree (65 percent of required trees). Minimum three-inch caliper or multi-trunk tree (35 percent of required trees).</p> <p>Provide minimum five five-gallon shrubs per tree. Minimum 50% live ground cover</p>
Main Entry	<p>Minimum three-inch caliper or multi-trunk trees shall be provided for all located within 20-feet of the main entry access road.</p> <p>Trees located along the Main Entry shall be spaced 20 on center or equivalent groupings.</p> <p>Provide minimum five five-gallon shrubs per tree.</p> <p>Minimum 50% live ground cover</p> <p>A Landscape Island with Tree shall be provided at the gate controller location to provide shade for operating controller.</p>

### 3. Amenities

Development of this site will be mindful of pedestrian circulation and creating an inviting community experience through a planned centralized shaded onsite gathering area, secure and adequate lighting and direct resident connections to the Steele Indian School Park main public entry gate. Onsite amenities include an 800 Sq ft (minimum) resident gathering plaza with an ‘outdoor living room’ space. See Figure 5B – Amenity Plan Detail for amenity space design concept and refer to the Design Guidelines section of this narrative for additional information.

Additionally, as an active transportation amenity the developer shall provide, and the HOA shall maintain, a bicycle repair station (fix-it station) accessible from the public sidewalk. The station shall include but not limited to; standard repair tools affixed to the station; a tire gauge and pump; and a bicycle repair stand which allows pedals and wheels to spin freely while adjusting the bike.

The primary tool used for shade onsite will be trees. Shade will also be created through other elements such as buildings, and covered patios and shade pergolas. Paseo areas will be incorporated on the site in order to create a safe and walkable pedestrian path network from Central Avenue to residences. Safety will also be considered for pedestrian circulation areas and paseos with high visibility on these spaces.

The amenity space shall incorporate the following elements or an equally comparable program, as approved by the Planning and Development Department.

- Outdoor Kitchen Bar / Countertop with seating
- Built-in Ice Chest, Sink and/or other appropriate accessories.
- Gathering area(s) with table seating
- Canopy(s), Shade Pergola(s), or other means of providing shaded seating area(s)
- Flex Game Lawn area(s) (Bocce, Cornhole, etc)

The provisions of Chapter 13, as applicable to Transect 5:3 shall apply unless modified by this PUD section.

#### **4. Shade**

75% minimum shade shall be provided on public sidewalk along Central Avenue. Most internal private walkways as measured at noon on the summer solstice will also be provided with 75% shade coverage. Refer to Figures 7A & 7B (Landscape and Building Shade Studies) for a graphic depiction of shade provision for this PUD. As can be seen on these Figures, the tree planting plan and building massing combine to create the full shade provision. As indicated on Figures 7A & 7B, three segments of sidewalk adjacent the internal Private Accessway along the front of (19) lots do not gain shade through these studies. However, (14) of these lots are provided with a 75% shaded walkway access point from the unit's alternate living space entry which leads to Central Avenue. All residential units shall be required to have shaded entries provide by either building massing or covered unit entries.

The provisions of Chapter 13, as applicable to Transect 5:3 shall apply unless modified by this PUD section.

#### **5. Lighting**

This development will adhere to Section 507 Tab A.II.A.8 and Section 23-100 of the City Code.

#### **6. Walls and Fences**

Walls and fences, which contribute to the theme and character of the development, will be placed in appropriate locations. With residence courtyard patios facing Central Avenue, the intent is to deter pedestrian foot traffic from cutting through the project or entering the project common or private areas without resident invitation. Six foot (6-foot) continuous CMU walls or open View Fencing will be constructed, or supplemented, along the property boundaries not facing Central Avenue as necessary to establish a barrier except for placing internalized resident access gates to Steele Indian School Park. Vehicular access gates shall be of complementary design to project architecture utilizing similar colors and materials. Walls, Fences and Gates will conform with the character images shown on Figures 8 & 9 – Illustrative Wall Plan & Wall Details for wall and fence

sizes and types. The Wall Plan contained within this PUD will be Regulatory and key to the permitted locations for View Fence, Partial View Fence, and permitted Solid Walls.

**PUD Wall & Fence Design Standards Table**

(All fences and walls proposed to be visible from Steele Indian School Park shall be reviewed and approved by the Parks and Recreation Department prior to site plan approval.)

STANDARD		REQUIREMENT
Perimeter Wall Height and Materials	<u>Location</u> Central Avenue Frontage-	40" Maximum Height (within perimeter standard setback)  Enhanced CMU wall – Refer to Wall Details
	East and South Perimeters (adjacent to Steele Indian School Park)-	6' Height  Combination 1' CMU wall and 5' View Fence. (Except for Lots 17-19 which may have 6' solid CMU screen wall)  View Fence Transparency shall be 80% minimum.
	All perimeters adjacent to private parcels located near northwest and northeast corners of the PUD	6' minimum; 8' maximum  Solid CMU wall. Full height View Fence may be utilized at openings or gaps in the perimeter wall where appropriate.  View Fence Transparency shall be 80% minimum.

**7. Central Avenue Frontage**

Central Avenue is the only segment of public street frontage in the Uptown project, and therefore is considered the Primary frontage. As defined by WU Code Section 1305 (Table 1305.1), the residential units located along Central Avenue shall be developed with a "Porch" frontage type as defined by the requirements of Section 1305, Table 1305.1. Areas between residence entry porches and Central Avenue curb line will be improved with new Landscaping, a detached public sidewalk and other hardscape elements. The "Sandstone edge" located directly behind existing curb which is characteristic with the typical Central Avenue Design Standards currently exists along this property frontage. Refer to Figures 10 & 11 (Central Avenue Frontage Plan & Section Details).

The landscape planting design along Central Avenue frontage has been designed to comply with the Central Avenue Design Standards. This PUD proposes a modified version of the typical plan detail shown in the Central Avenue Design Standards to effectively implement a project frontage area and setback program which meets the intent of Uptown TOD Character Area. Modifications to the Central Avenue Design Standards shall be approved by the Street Transportation Department. The following specific standards shall apply to the Central Avenue frontage design.

PUD Central Avenue Design Standards Table (Modified Requirements)

STANDARD	REQUIREMENT
Detached Sidewalk Width (minimum)	8'
Landscape strip adjacent to street (minimum)	5'

**8. Complete Streets**

The PUD will provide a greatly enhanced street frontage condition along Central Avenue which enhances comfort, provides shade, and promotes multiple walkable connection points to the project and the greater Central Avenue public corridor. Inspired by the Uptown TOD Character Plan and the Central Avenue Design Standards, this project will provide a widened sidewalk for pedestrian convenience and mobility. The new sidewalk will be shaded by trees planted between the pedestrian space and the busy Central Avenue roadway which lies adjacent. Specific Complete Street elements to be implemented with this project are,

- 8-foot-wide public sidewalk
- 75% shade on public sidewalk (from trees)
- Connectivity to existing Central Avenue public sidewalk corridor, which lead to nearby public transit elements and local amenities.





**FIGURE 5A**

ILLUSTRATIVE  
LANDSCAPE PLAN



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**FIGURE 5B**

AMENITY DETAIL  
PLAN



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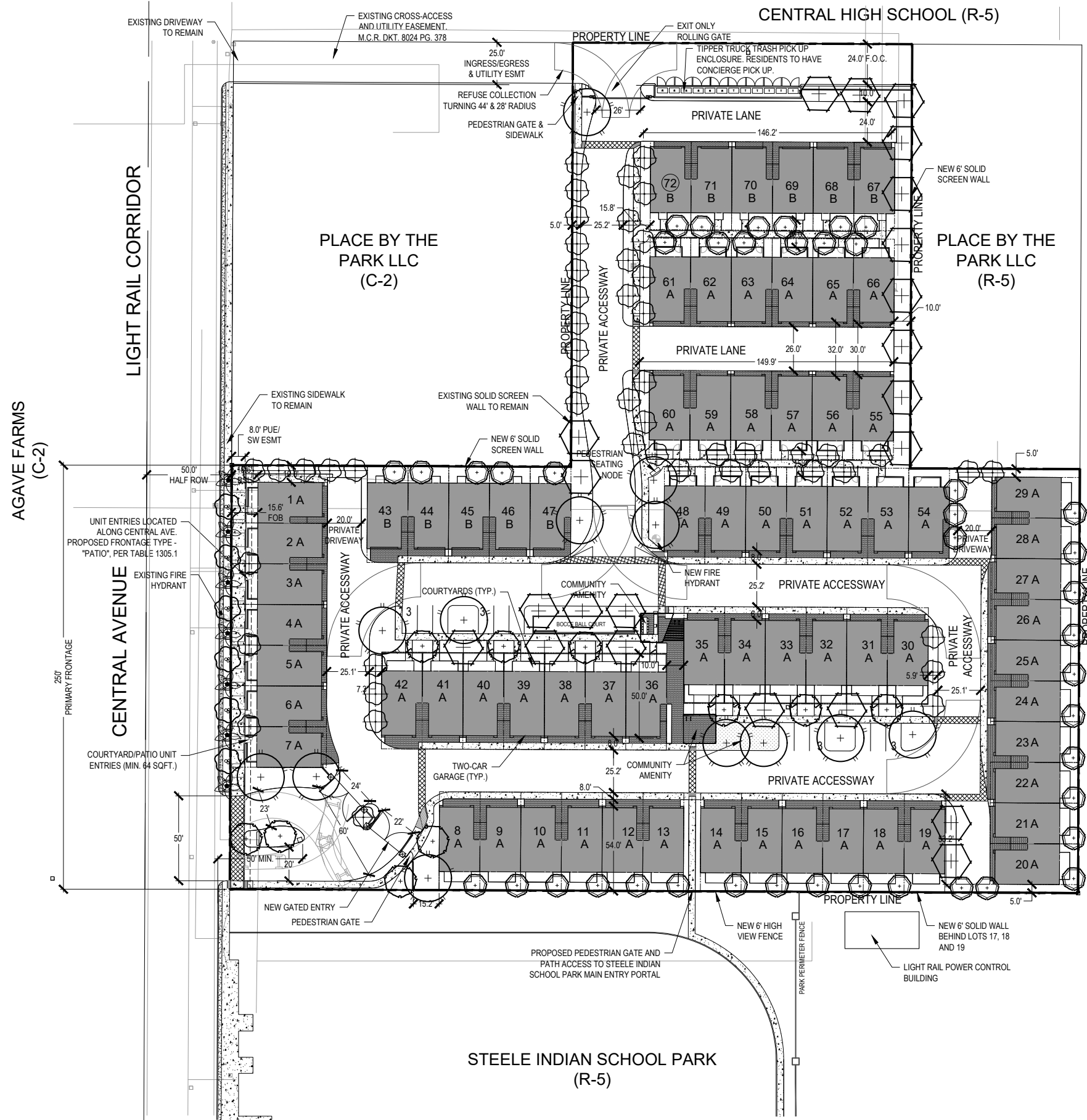
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PLANT LEGEND		
TREES	BOTANICAL / COMMON NAME	SIZE & TRUNK TYPE
	ACACIA ANEURA MULGA	2" CAL MIN
	CHILOPSIS LINEARIS DESERT WILLOW	2" CAL MIN MULTI-TRUNK
	CHILOPSIS LINEARIS 'LUCRETIA HAMILTON' TM LUCRETIA HAMILTON DESERT WILLOW	2" CAL MIN MULTI-TRUNK
	EUCALYPTUS PAPUANA GHOST GUM	2" CAL MIN STANDARD TRUNK
	PARKINSONIA PRAECOX SONORAN PALO VERDE	3" CAL MIN STANDARD TRUNK
	JULMUS PARVIFOLIA LACEBARK ELM	3" CAL MIN STANDARD TRUNK
	WASHINGTONIA FILIFERA CALIFORNIA FAN PALM	15' TRUNK HEIGHT
SHRUBS	BOTANICAL / COMMON NAME	
	CALLISTEMON VIMINALIS 'CV01' TM SLIM WEEPING BOTTLEBRUSH	
	CALLISTEMON VIMINALIS 'LITTLE JOHN' LITTLE JOHN WEEPING BOTTLEBRUSH	
	LEUCOPHYLLUM LAEVIGATUM 'SUMMER SNOW' SUMMER SNOW CHIHUAHUA SAGE	
	MYRTUS COMMUNIS 'COMPACTA' DWARF MYRTLE	
	OLEA EUROPAEA 'LITTLE OLLIE' TM LITTLE OLLIE OLIVE	
	ROSMARINUS OFFICINALIS 'TUSCAN BLUE' TUSCAN BLUE ROSEMARY	
	RUPELLIA BRITTONIANA RUPELLIA	
ACCENTS	BOTANICAL / COMMON NAME	
	AGAVE DESMETTIANA SMOOTH AGAVE	
	ALOE STRIATA CORAL ALOE	
	ALOE VERA MEDICINAL ALOE	
	ALOE X 'BLUE ELF' BLUE ELF ALOE	
	HESPERALOE PARVIFLORA RED YUCCA	
	HESPERALOE PARVIFLORA 'PERPA' TM BRAKELIGHTS RED YUCCA	
	HESPERALOE PARVIFLORA 'YELLOW' YELLOW YUCCA	
	OPUNTIA ELLISIANA SPINELESS PRICKLY PEAR	
	YUCCA PALLIDA TWISTLEAF YUCCA	
GRASSES	BOTANICAL / COMMON NAME	
	MUHLENBERGIA CAPILLARIS 'AUTUMN BLUSH' AUTUMN BLUSH PINK MUHLY GRASS	
	MUHLENBERGIA CAPILLARIS 'LENCA' TM REGAL MIST PINK MUHLY GRASS	
	MUHLENBERGIA CAPILLARIS 'WHITE CLOUD' WHITE CLOUD MUHLY GRASS	
	NOLINA MICROCARPA SACAHUISTA	
GROUNDCOVER	BOTANICAL / COMMON NAME	
	LANTANA MONTEVIDENSIS TRAILING LANTANA	
	LANTANA MONTEVIDENSIS 'SPREADING WHITE' WHITE TRAILING LANTANA	
	ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET' HUNTINGTON CARPET ROSEMARY	
	TRADESCANTIA PALLIDA PURPLE QUEEN SPIDERWORT	



**FIGURE 6**

**CONCEPTUAL LANDSCAPE PLAN**

NOTE: ALL TREE CALIPER INCHES SHALL MEET ANA TREE GUIDE SPECIFICATIONS. PALM TREES SHALL BE A MINIMUM OF 15' TALL OR GREATER AT TIME OF PURCHASE TO MATCH EXISTING PALM TREES IN THE IMMEDIATE AREA.

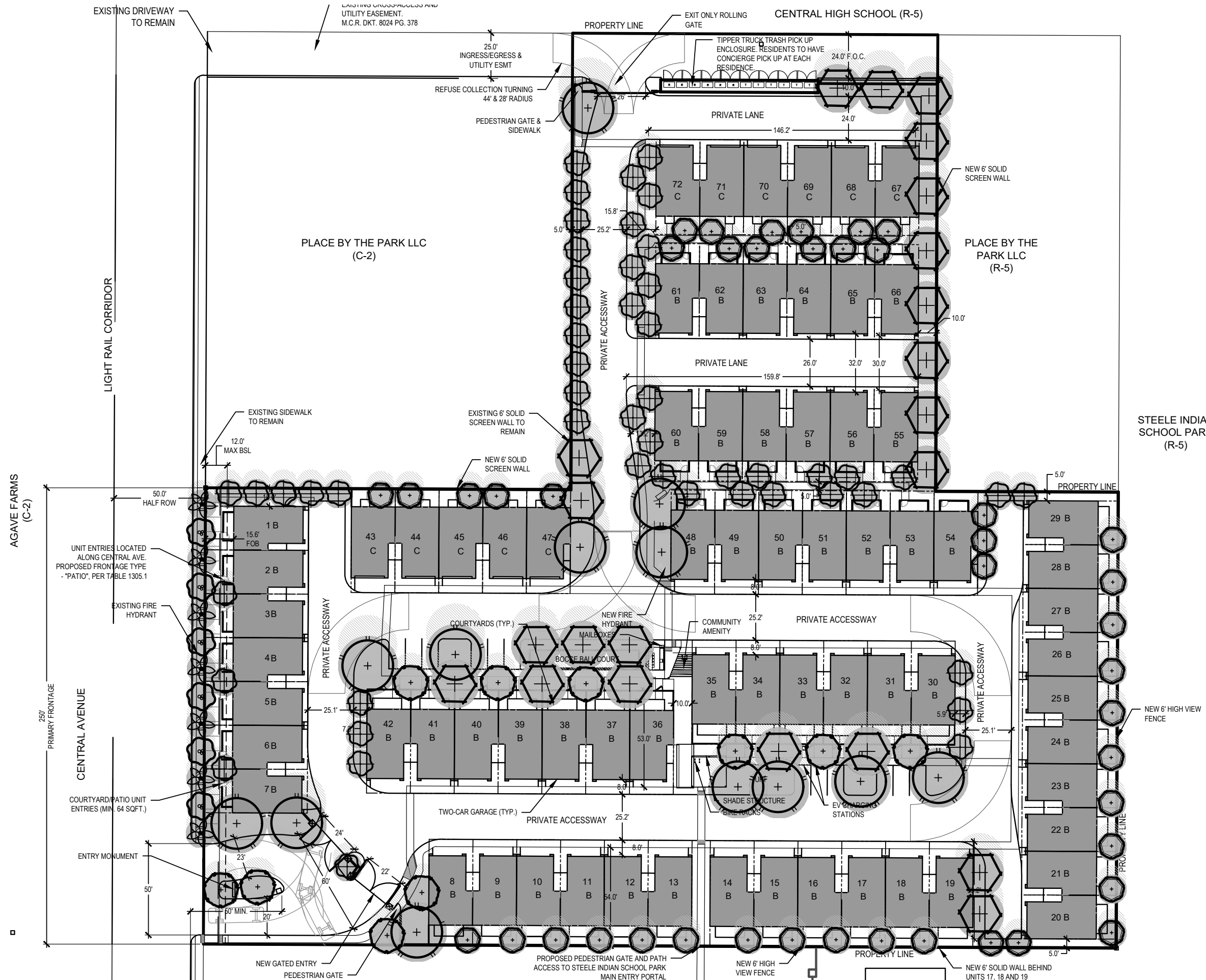


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**FIGURE 7A**

**SHADE STUDY - LANDSCAPE**

**SHADE STUDY CALCULATIONS**

CENTRAL AVENUE:

TOTAL ACCESSIBLE SIDEWALK AREA =	2,641 SQ/FT
TOTAL SHADED AREA REQUIRED =	1,980 SQ/FT (75%)
TOTAL SHADED AREA PROVIDED =	2,475 SQ/FT (94%)

- NOTE:
1. SHADE CALCULATIONS ARE BASED ON THE SUMMER SOLSTICE AT 12:00 PM (NOON).
  2. MINIMUM 50 PERCENT OF ALL ACCESSIBLE PUBLIC AND PRIVATE OPEN SPACE SHADED, 50 PERCENT OF WHICH IS PROVIDED BY TREES OR TRELLED VINES.
  3. MINIMUM 75 PERCENT OF PUBLIC SIDEWALKS SHADED.



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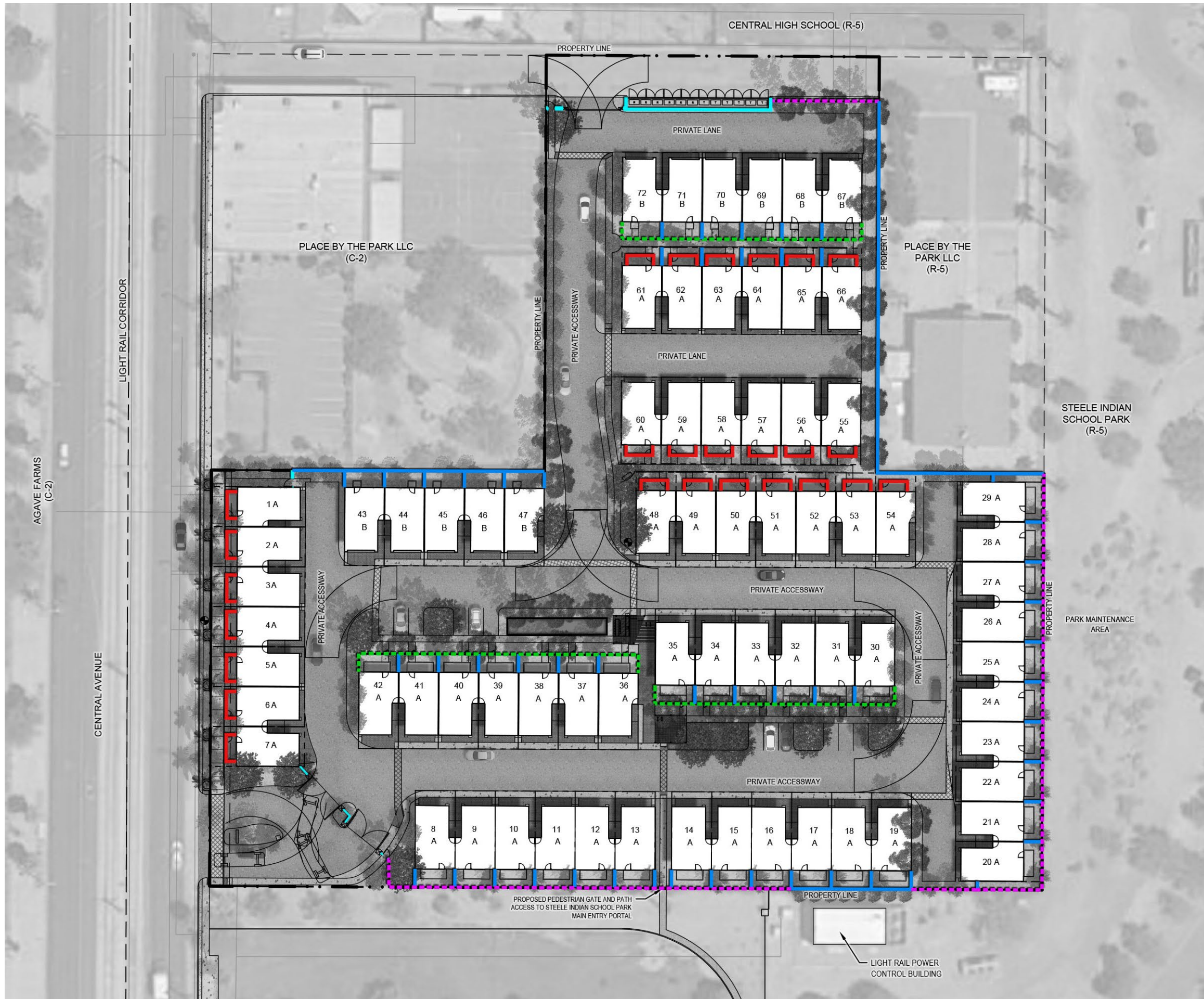
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**FIGURE 8**

**ILLUSTRATIVE WALL PLAN**

- LEGEND**
- - - - - INTERIOR COURT FENCE - 4' HIGH
  - PERIMETER WALL - 6' HIGH
  - LOW COURTYARD WALL - 3' HIGH
  - STANDARD BUILDER WALL - 6' HIGH
  - - - - - SOUTH AND EAST PROPERTY FENCE - 6' HIGH

NOTE: REFER TO THE WALLS AND FENCES SECTION OF THE DEVELOPMENT STANDARDS FOR ADDITIONAL NOTES ON EXISTING PERIMETER WALLS.



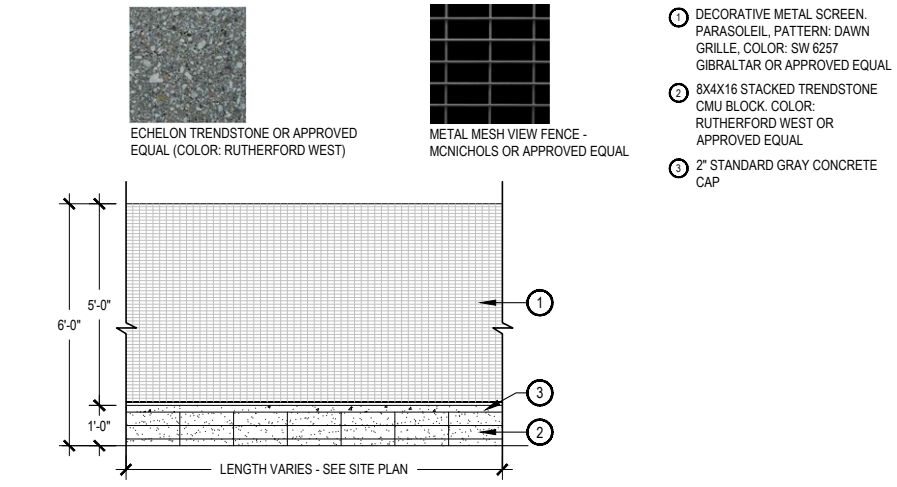
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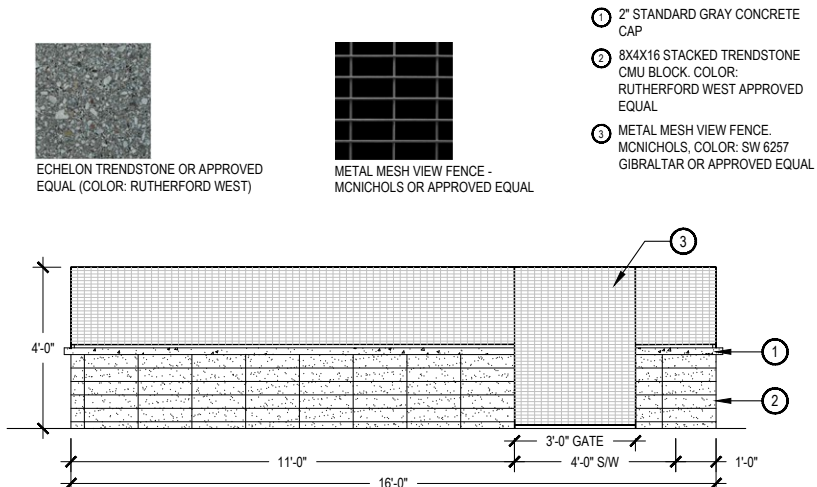
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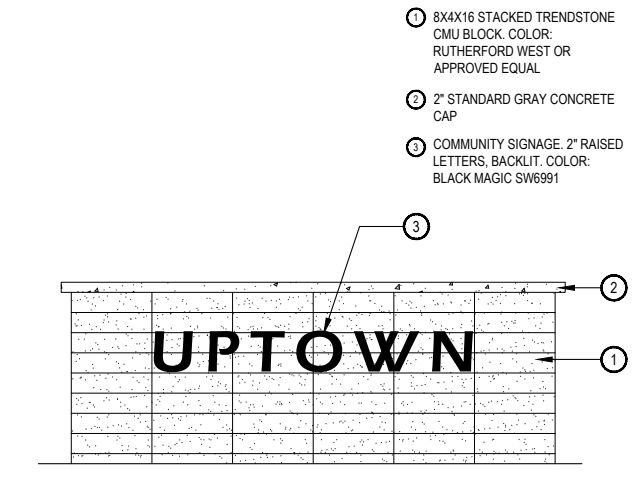




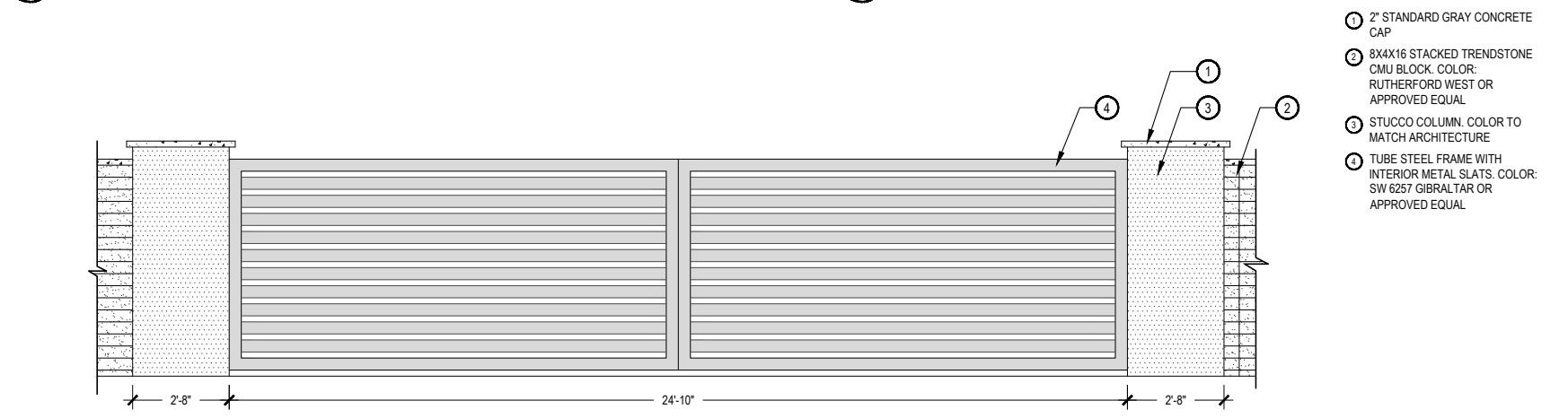
1 SOUTH AND EAST PROPERTY WALLS AT PARK  
SCALE: 1/2" = 1'-0"



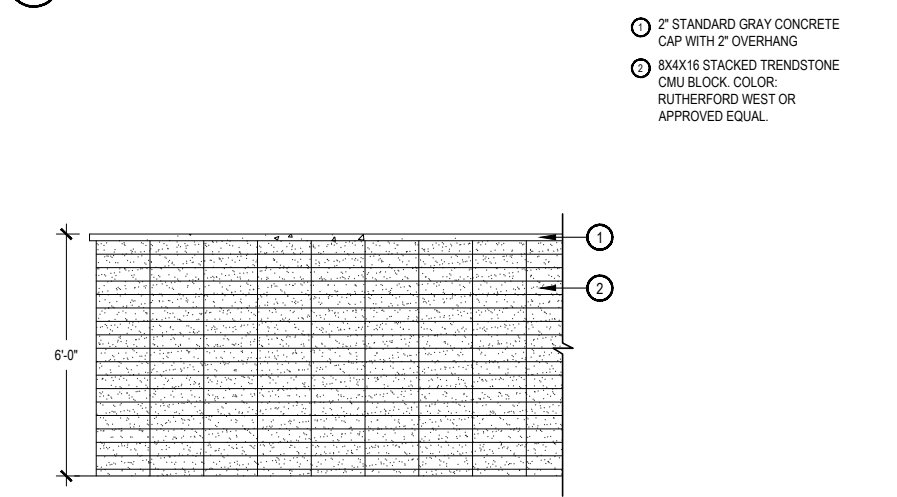
2 INTERIOR COURT FENCE  
SCALE: 1/2" = 1'-0"



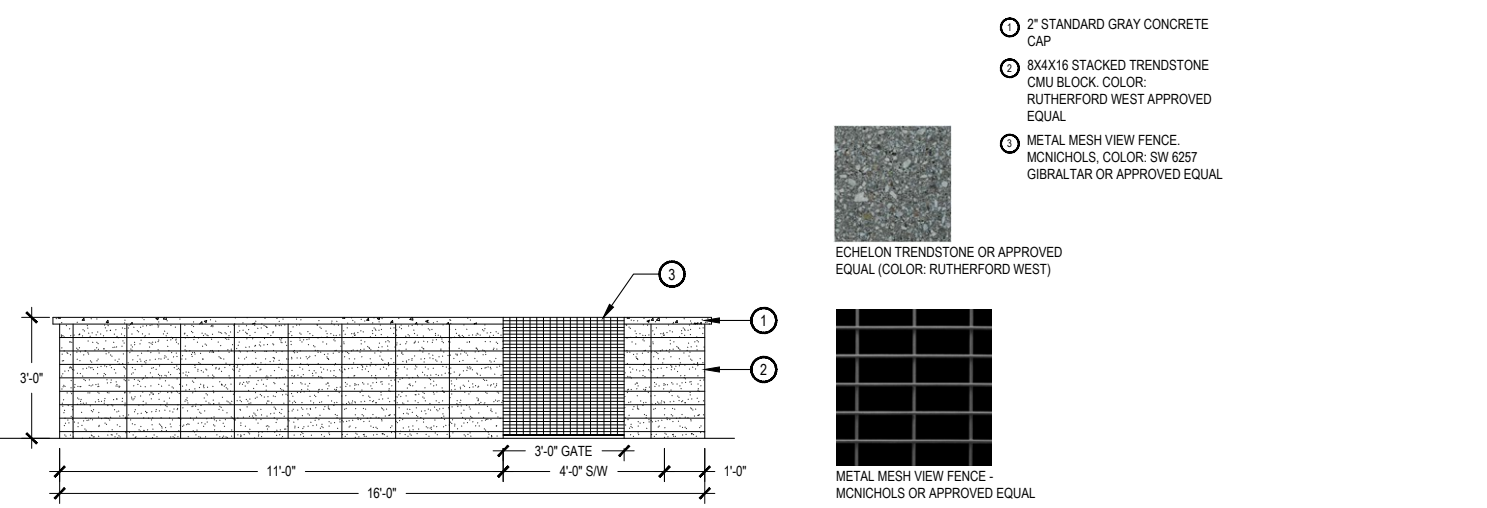
3 ENTRY SIGNAGE  
SCALE: 3/4" = 1'-0"



4 VEHICULAR ENTRY GATE  
SCALE: 1/2" = 1'-0"



5 PERIMETER WALL  
SCALE: 1/2" = 1'-0"



6 LOW COURTYARD WALL  
SCALE: 1/2" = 1'-0"

**FIGURE 9**  
**CONCEPTUAL WALL ELEVATIONS**



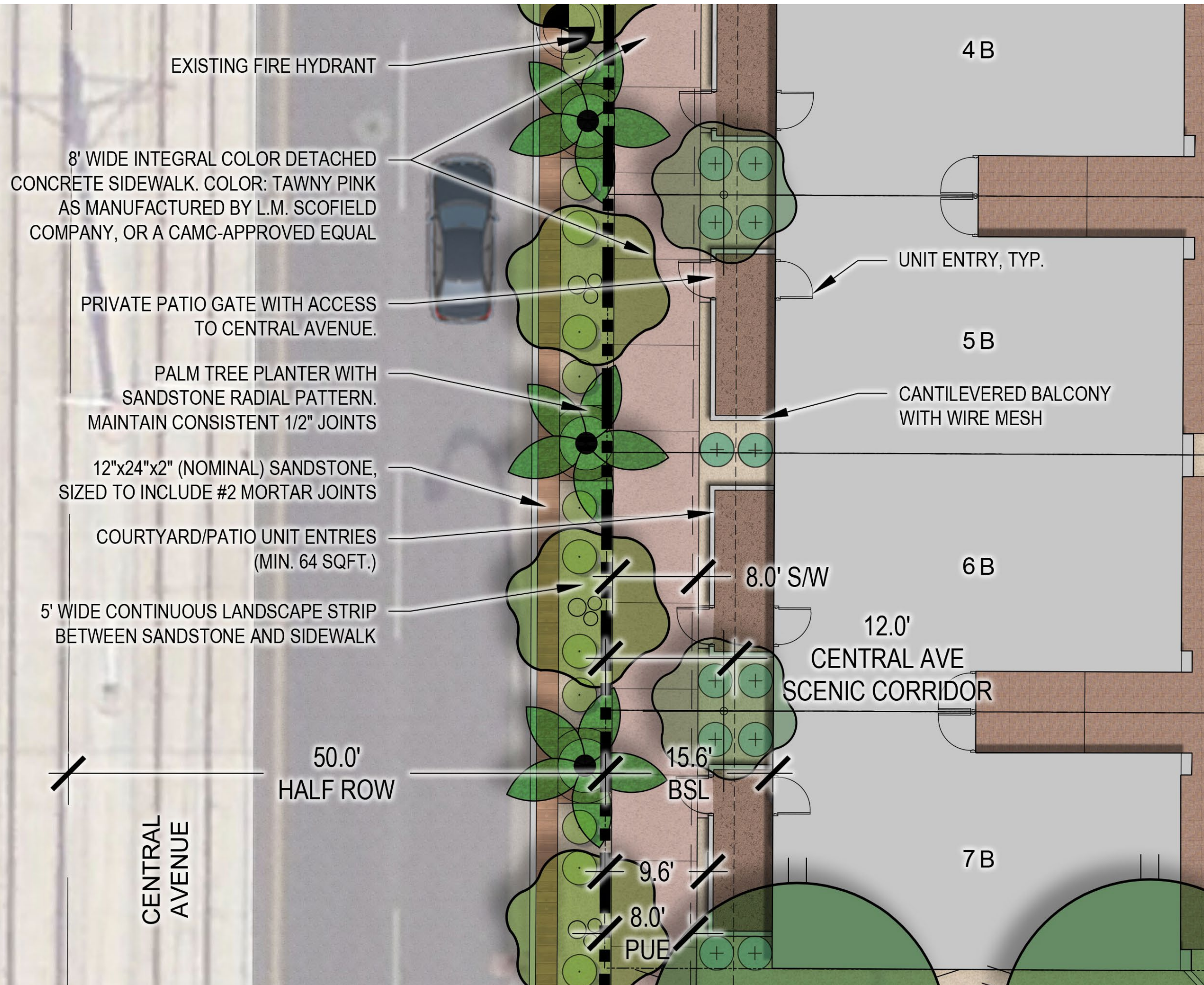
NORTH SCALE: NTS

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**FIGURE 10**

CENTRAL AVENUE FRONTAGE - PLAN DETAIL

NOTE: LANDSCAPE ALONG CENTRAL AVENUE WILL CONSIST OF A PALM TREE (WASHINGTONIA FILIFERA) WITHIN THE SANDSTONE RINGS, APPROXIMATELY EVERY 30'. PALO BREA SHALL BE PLANTED EVENLY BETWEEN EACH PALM TREE.



NORTH

SCALE: NTS

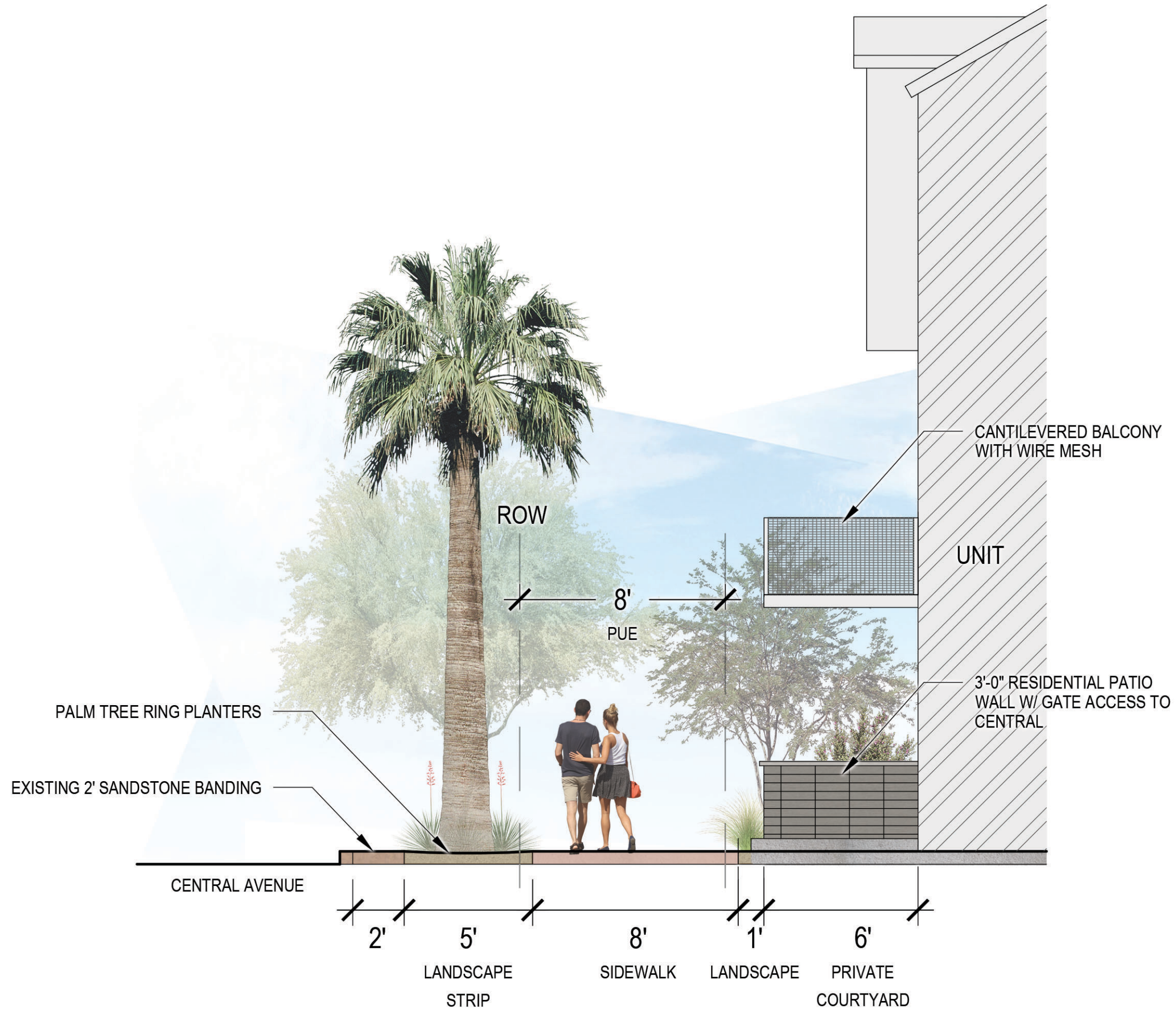
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**FIGURE 11**

CENTRAL AVENUE  
FRONTAGE - SECTION DETAIL



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## E. DESIGN GUIDELINES

The Design Guidelines in this section provide the standards intended for the Uptown PUD and respect the surrounding area and character of the adjacent land uses and surrounding amenities. The City's applicable WU-Code (Section 1311) and SFA (Section 608.F.8.b) shall apply to the development along with the enhanced guideline requirements outlined in this section. The City of Phoenix Zoning Ordinance Guidelines for Design Review (Section 507 Tab A) shall also apply to the Uptown development to the extent the design guidelines do not conflict with the provisions of this PUD.

### 1. Solar Orientation

Most homes within the Uptown site plan will maintain a north / south orientation promoting preferred solar orientation and energy efficiency, however, the glazing on western facades should be managed to minimize reflective glare within or onto adjacent properties by including low reflectivity glazing, window screens, or some other means of minimizing reflective glare.

### 2. Architectural Design

#### a) Manipulation of Massing

Buildings shall be designed with vertical and horizontal articulations, changes in plane, offsets, reveals, recesses, projections, columns, or architectural material treatments. Building roof forms shall provide multiple planes or elements which provide a varied roofline profile.

Both of the Uptown residential building types shall be designed with four-sided architecture in mind as the project will have visual exposure from neighboring properties as well as Central Avenue. The conceptual building elevations provided with this PUD represent a continued collaboration between the Builder and Architect to provide innovative and creative building forms while allowing for generously sized attached single family home plans. Refer to Figures 10-13 (Conceptual Building Elevations).

#### b) Materials and Colors

The Uptown residential buildings shall be of a common architectural color and materials palette. Texture, materials, and colors should be incorporated in innovative manners which provide a unified and distinct development. Building elevations will include a minimum of (3) distinct building materials to be utilized on each elevation. Palette of materials shall include but not be limited to,

- Stucco Finish
- Natural or Faux Stone
- Finished CMU or Masonry
- Composite or Simulated Wood Product Siding
- Architectural Metal Panels
- Steel Accents (Balconies, Porch Coverings, Awnings)

Acceptable building roof materials shall include concrete tile, finished metal panels or architecturally formed shingles. Roofing material color shall be complementary to the overall building color palette.

Building color palette selections will incorporate a minimum of (2) distinctive colors for the body of the building provided through either painted surfaces or integrally colored building materials.

c) Windows

A variety of window opening sizes and types shall be provided on each building elevation.

d) Doors

Unit Entry Doors (located on each end of living units) shall be of a design that compliments the overall architectural design and character. Doors shall include glazing or distinctive detailing and be consistent throughout the development.

Unit Garage Doors shall be of a design that compliments the overall architectural design and character. Doors shall include glazing or distinctive detailing and be consistent throughout the development.

e) Balconies

Building elevations facing Central Avenue and other project perimeters shall include an upper floor balcony or architectural overhang element.

**3. Site Design / Development**

a) Variation in Building Siting

The Uptown development plan will incorporate (2) residence floor plans within (5) individual buildings of different lengths. Building orientations will be provided in both north-south and east-west variations.

b) Varied Setbacks

The Uptown development plan provides 5', 10', and 15' planned perimeter building setbacks in addition to the specialized Central Avenue frontage detail.

c) Minimize Visual Impact of Parking

The parking provided for Uptown residents shall be located either within private garages. Guests will park within surface parking clusters that do not exceed three contiguous spaces without a landscape planter. Surface parking shall not be visible from Central Avenue and not exceed 6 total spaces.

d) Enhanced Paving

Individual residence driveways (behind concrete sidewalk and curb) shall be improved with decorative pavers or colored concrete to provide visual contrast between sidewalk and driveway aprons. Refer to Figure 9 – Private Accessway Section Detail. The gated main community entry shall be enhanced with decorative pavers and/or colored, stamped concrete.

e) Unit Entries (Garage Side)

Walkways leading to unit entry doors on the driveway side of units shall be improved with decorative pavers or colored concrete.

f) Pedestrian Crossings

At pedestrian street crossing locations, specialized paving (decorative pavers or colored concrete) shall be used to provide clear and distinctive crossing locations.

#### **4. Amenity Program**

As described in the Development Standards section of this narrative, mindful pedestrian circulation and creating an inviting community experience through a planned centralized shaded onsite gathering area is proposed. In addition to recreation / game lawn areas, resident gathering plazas with an 'outdoor living room / kitchen' space has been planned and programmed to provide flexibility for its users. See Figure 5B – Amenity Plan Detail for amenity space design concept and refer to the Development Standards section of this narrative for additional information.

#### **5. Wall & Fences**

As described in the Development Standards section of this narrative, the project walls and fences, which contribute to the theme and character of the development, will be placed in appropriate locations with considerations given for the immediate property context. Perimeter project walls / fences have been designed to provide appropriate separation between residences and neighboring existing land uses. With residence courtyard patios facing Central Avenue, 40" solid court-yard screen walls with individual residence access gates are proposed to further enhance the resident living experience along this busy corridor. Internal project walls consist of more low court-yard walls for individual units, and wall / view fence combination walls along appropriate walkway corridor spaces.

Walls and Fences will conform with the character images shown on Figures 8 & 9 – Illustrative Wall Plan & Wall Details for wall and fence materials and colors. View fencing shall utilize architectural wire mesh panels which will compliment similar building elevation detail elements.

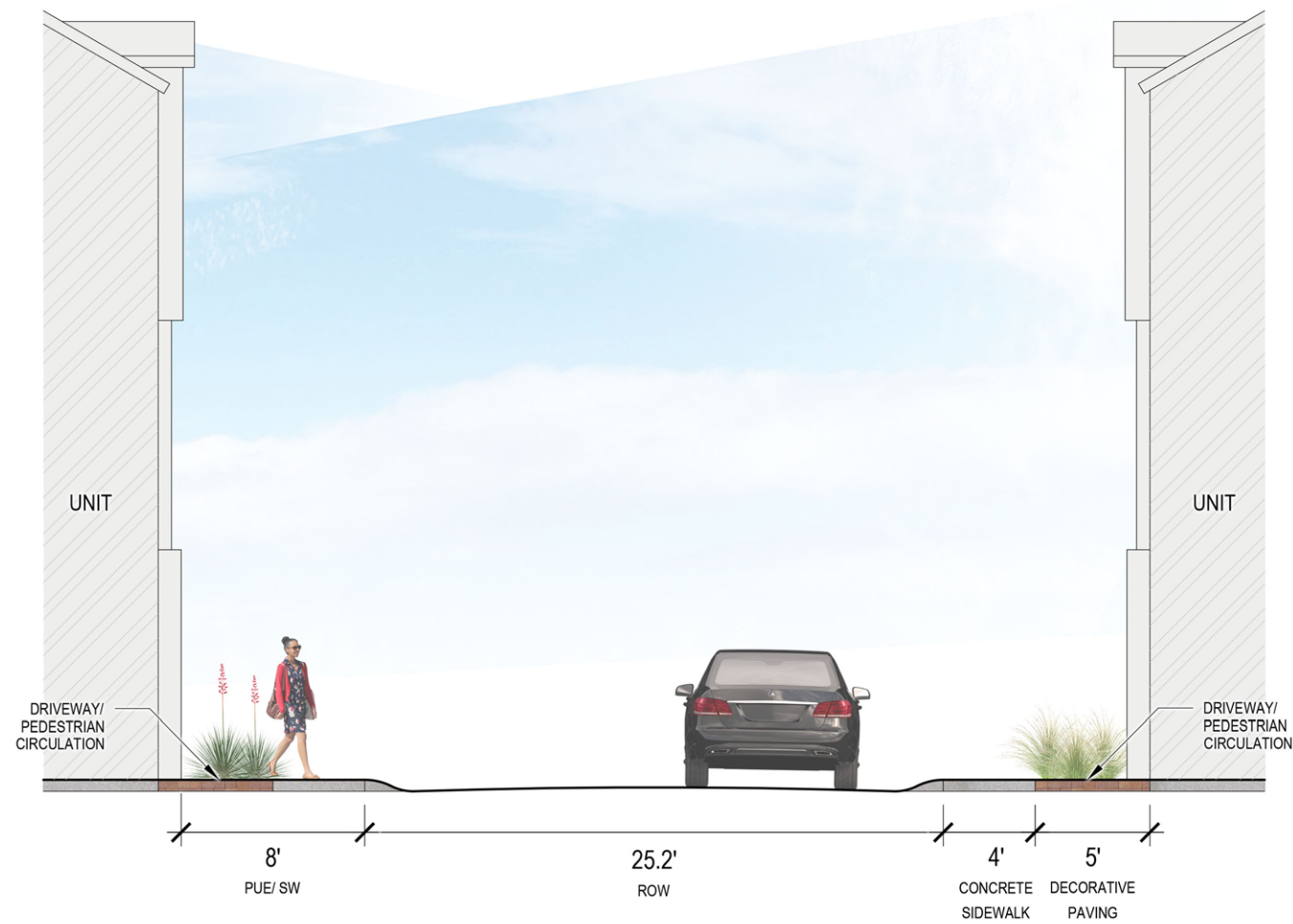
#### **6. Lighting**

Lighting will be used onsite to create a safe and secure environment for residents and guests. Paseos, open space and building entrances throughout the property will be adequately illuminated for resident's and pedestrian's safety.

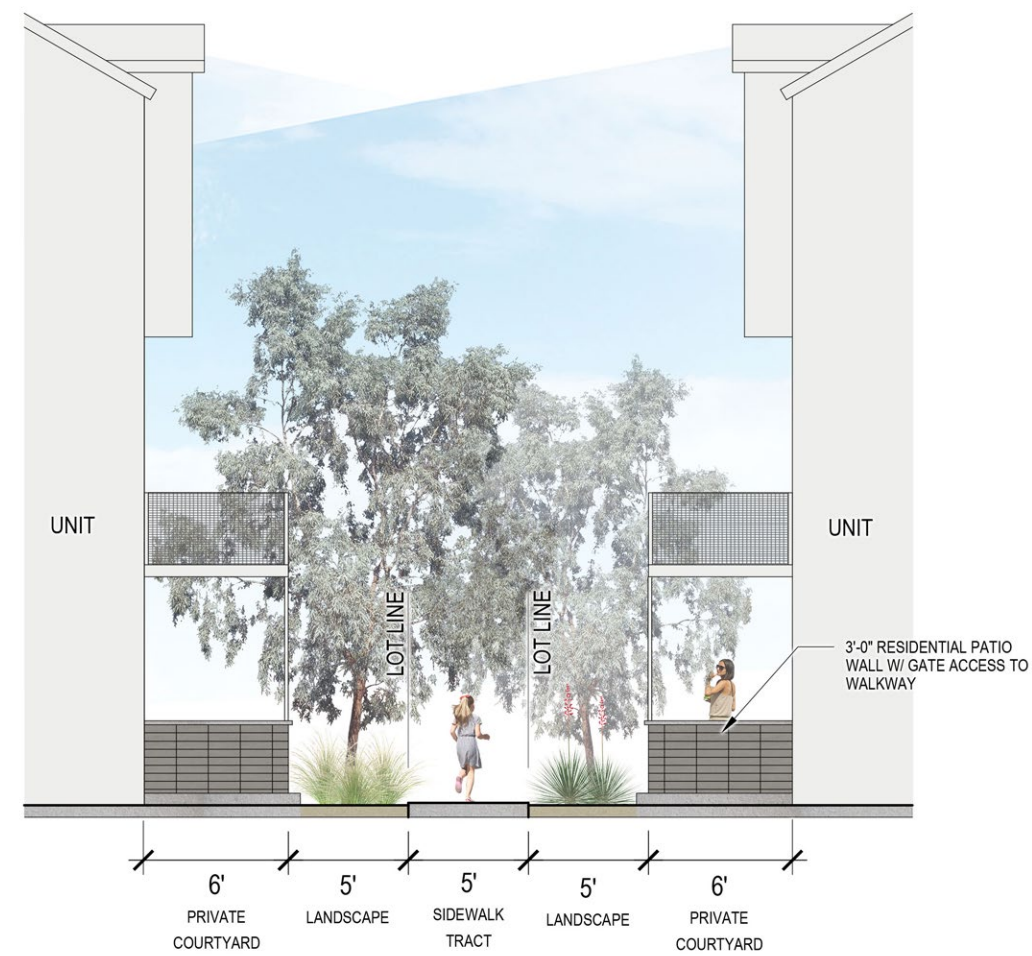
Lighting fixtures for buildings and site lighting shall match the architectural character and theming of the project. Specialized pedestrian lighting should be employed for use around project amenity areas.

All on-site lighting is to be shielded to prevent direct visibility of the light source from adjacent properties. Parking lot and security lighting shall not exceed a maximum of fifteen (15) feet in height including lamp, pole, and base. The height of light standards at the perimeter of the site should respect the adjacent properties.





PRIVATE ACCESSWAY SECTION



PEDESTRIAN PASEO SECTION

**FIGURE 12**

SECTION DETAILS



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Side Elevation



Front Elevation



Rear Elevation

**Building 2 (Unit B)**

**CRESLEIGH TOWNHOMES**  
Phoenix, Arizona



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Side Elevation



Front Elevation



Rear Elevation

**Building 6 (Unit C)**

**CRESLEIGH TOWNHOMES**  
Phoenix, Arizona



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## F. SIGNS

Signage onsite will be utilized in respect to the identification of the community of the site and will match the overall design theme of the project. All permanent signs shall be compatible with the design of buildings and site, reflecting the architectural style, building materials, textures, colors, and landscape elements of the project. Signage may also be utilized for the purpose of wayfinding onsite. All signage shall comply with the single and multi-family district standards of WU-Code Section 1308. Refer to Figure 9 for entry monument sign proposed detail.

## G. SUSTAINABILITY

Uptown will incorporate several voluntary standards. Elements of community sustainability are expected to include the following characteristics which should put the design, materials, function, and community governance elements in place to promote sustainable living for generations to come.

- A Homeowner's Association and maintenance of all common landscaped areas within the community to promote a consistent treatment of plant materials and community amenities.
- A Homeowner's Association and maintenance staff to manage refuse and recycle collection for the community residents.
- Design characteristics and optional housing elements that promote housing type diversity in the greater Uptown area.
- A walkable environment inclusive of shade elements and shaded residence entries.
- Modern building techniques and materials that will promote living comfort, and the efficient use of power and water.

Energy efficiency and environmentally responsible design elements will promote a better neighborhood environment for future residents. The implementation of this PUD shall utilize a minimum of four (4) of the following sustainability standards with a minimum of two (2) being enforceable by the City and a minimum of two (2) being enforced by the builder and/or by the Homeowners Association once established.

*Note: The following notations define application and enforcement responsibility:*

C = City through plan review of development construction documents

B = Builder or Homeowners Association through construction documents, specifications, CC&R's or other

### Water Conservation -

- Utilize programmable (or smart) automatic irrigation controller systems for project irrigation. This requirement may be enforced through the review and approval of future landscape and irrigation construction plans. (C)
- Utilize a drip irrigation line system to minimize water waste. This requirement may be enforced through the review and approval of future landscape and irrigation construction plans. (C)
- Utilize low water use fixtures and water circulation pumps to minimize the waste of water resources. This requirement may be enforced through the review and approval of future building construction plans (plumbing plans). (B)

### Energy Conservation -

- Buildings will be designed to incorporate materials and insulating methods suitable for the desert climate. This may include use of dual-pane low-e windows and glass doors and may be enforced through the review and approval of future building construction plans. (B)
- LED type light fixtures will be used for common areas and private lane lighting. This requirement may be enforced through the review and approval of future site electrical construction plans. (C)
- Design for effective use of energy efficient appliances and programable HVAC system controls. This requirement may be enforced through the review and approval of future building plans and energy compliance reporting. (B)
- Utilize tankless water heater system. This requirement may be enforced through the review and approval of future building plans. (B)

Environment –

- Private drive lanes are to be surfaced with pervious block or pervious pavement. This requirement may be enforced through the review and approval of the site grading and drainage plan. (C)
- Prepare community CC&R's that call for all landscape areas, within common areas and on private lots, will be maintained by the Homeowners Association and fees collected as necessary to promote this maintenance program. (B)

## H. INFRASTRUCTURE

### 1. Grading and Drainage

The Uptown site is a relatively flat site with an existing drainage pattern from the north east to the south west. The proposed grading of the site will maintain this drainage pattern and retain the difference between pre- and post-development. Retention shall be provided by underground storage and discharged with drywells.

### 2. Water

Uptown will provide a combination of public and private 8" waterline throughout the development connecting to the existing 12" main in Central Ave. Road sections that do not meet the requirement for public water main will be provided as private water. Each unit will be individually metered.

### 3. Wastewater

Uptown will provide a combination of public and private 8" sewer main throughout the development connecting to the existing 10" main in Central Ave. Road sections that do not meet the requirement for public sewer main will be provided with private sewer.

### 4. Circulation Systems

The Uptown project primary vehicular circulation system will connect to Central Avenue and be a maintained as a Private Accessway. The Private Accessway section shall be 25.16-foot wide (back of curb to back of curb) with 8' public utility and sidewalk easements to be located on each side in most cases. Garage access for lots within the north area of the project will utilize two Private Driveway segments, which will connect to the primary Private Accessway system. A secondary emergency and service access connection to the project is also provide to the north along an existing access and utility easement.

Pedestrian circulation within Uptown will utilize both sidewalks along segments of the Private Accessway and paths which meander through project open spaces to provide a connected system which allows all residents access to Central Avenue and Steele Indian School Park.

## APPENDIX A – LEGAL DESCRIPTION

ZONING DESCRIPTION

THAT PORTION OF THE SOUTHEAST OF SECTION 20, TOWNSHIP 2 NORTH, RANGE 3 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 20 FROM WHICH THE CENTER QUARTER CORNER BEARS NORTH 0°15'41" EAST, A DISTANCE OF 2636.90 FEET;

THENCE ALONG THE WEST LINE OF SAID SOUTHEAST QUARTER NORTH 0°15'41" EAST A DISTANCE OF 1352.76 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING ALONG SAID WEST LINE, NORTH 0°15'41" EAST A DISTANCE OF 250.00 FEET;

THENCE DEPARTING SAID WEST LINE, SOUTH 89°44'19" EAST A DISTANCE OF 250.00 FEET TO THE SOUTHEAST CORNER OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN DOCUMENT NUMBER 2009-0913462, MARICOPA COUNTY RECORDS;

THENCE ALONG THE EAST LINE OF SAID PARCEL, NORTH 0°15'41" EAST A DISTANCE OF 250.00 FEET TO THE NORTHEAST CORNER THEREOF AND TO A POINT ON THE SOUTH LINE OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN DOCUMENT NUMBER NOD-15422 MARICOPA COUNTY RECORDS;

THENCE ALONG SAID SOUTH LINE SOUTH 89°44'19" EAST A DISTANCE OF 200.00 FEET TO THE NORTHWEST CORNER OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN DOCUMENT NUMBER 2009-0913462, MARICOPA COUNTY RECORDS;

THENCE ALONG THE WEST LINE OF SAID PARCEL SOUTH 0°15'41" WEST A DISTANCE OF 250.00 FEET TO THE SOUTHWEST CORNER THEREOF;

THENCE ALONG THE SOUTH LINE OF SAID PARCEL SOUTH 89°44'19" EAST A DISTANCE OF 100.00 FEET TO THE SOUTHEAST CORNER OF SAID PARCEL AND TO A POINT ON THE WEST LINE OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN DOCUMENT NUMBER 1996-0877263 MARICOPA COUNTY RECORDS;

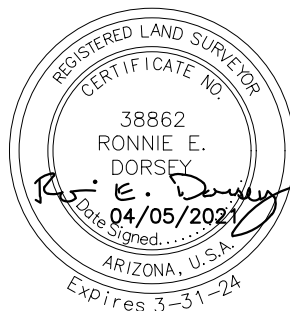
THENCE ALONG THE WEST LINE OF SAID PARCEL SOUTH 0°15'41" WEST A DISTANCE OF 250.00 FEET;

THENCE DEPARTING SAID WEST LINE NORTH 89°44'19" WEST A DISTANCE OF 550.00 FEET TO THE POINT OF BEGINNING.

CONTAINS 187500 SQUARE FEET OR 4.3044 ACRES OF LAND, MORE OR LESS.

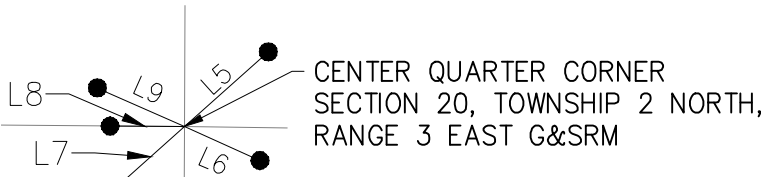
SEE ATTACHED EXHIBIT "A" BY REFERENCE MADE A PART HERETO.

P:\Cresleigh Homes\07679 Central & Steele Indian School\Survey\dwg\Central & Steele Exhibit.dwg Apr 05, 2021 9:39am rbrockway

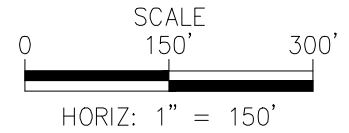


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CENTER QUARTER CORNER  
SECTION 20, TOWNSHIP 2 NORTH,  
RANGE 3 EAST G&SRM



**LEGEND**

- WITNESS CORNER FOUND  
CITY OF PHOENIX BRASS  
CAP FLUSH RLS 33877

**CENTRAL AVE**

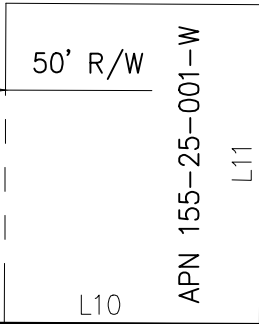
N0°15'41"E 2636.90'

1034.14'

APN 155-24-001-B

L12

50' R/W



APN 155-25-001-W  
L11

L13  
APN 155-25-001-L  
L14

250.00'

50' R/W  
BK 914, PG 23, MCR

S0°15'41"W 250.00'

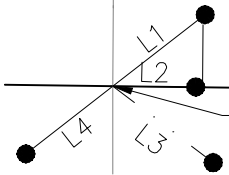
POB

N89°44'19"W 550.00'

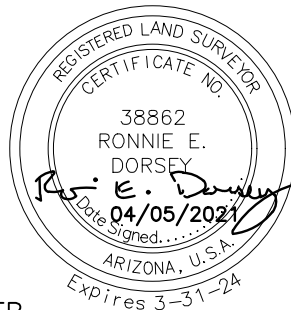
APN 155-25-001-V

70' R/W

1352.76'



SOUTH QUARTER CORNER  
SECTION 20 TOWNSHIP 2 NORTH,  
RANGE 3 EAST G&SRM



LINE TABLE		
NO.	DIRECTION	LENGTH
L1	S52°13'21"W	90.98'
L2	N89°19'21"W	64.62'
L3	N52°38'07"W	98.44'
L4	N52°07'36"E	86.10'
L5	S48°11'30"W	87.75'
L6	N65°50'33"W	64.55'
L7	N48°09'16"E	70.55'
L8	S89°33'19"E	57.84'
L9	S65°54'04"E	74.28'
L10	S89°44'19"E	250.00'
L11	N0°15'41"E	250.00'
L12	S89°44'19"E	200.00'
L13	S0°15'41"W	250.00'
L14	S89°44'19"E	100.00'



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APPENDIX B – ZONING COMPARATIVE TABLE

### Development Standards Comparative Table (R-3 Single-Family Attached)

STANDARD	REQUIREMENTS FOR DISTRICT	PROPOSED PUD REQUIREMENTS
Minimum Lot Dimensions (width and depth)	Individual Unit Lot: 20' width, no minimum depth	24' width
Dwelling Unit Gross Density	15.23	No Maximum
Perimeter Standards	10' for units fronting street <a href="#">rights-of-way</a> ; 15' for units siding street <a href="#">rights-of-way</a> . This area is to be in common ownership or management. 10' <a href="#">adjacent</a> to property line.	15' for units fronting Central Avenue (to primary structure – area not in common ownership),  10' Rear for units adjacent to property line (to primary structure – area may or may not be in common ownership),  5' Side for units adjacent to property line (to primary structure – area may or may not be in common ownership),  5' setback adjacent to any property line for roadway or paved surface
Building Setbacks	Individual unit <a href="#">lot</a> : none	None
Building Separation	None	10'
Maximum Building Length	200'	290'
Maximum Height	3 <a href="#">stories</a> or 40' for first 150'; 1' in 1' increase to 48' height, 4- <a href="#">story</a> maximum*	3 stories or 40'
Lot Coverage	100% maximum.	75% maximum
Common Areas	Minimum 5% of <a href="#">gross area</a>	5% of gross area (Overall landscape not including perimeter setbacks), Min. 800 Sq. Ft. Common gathering area
Street Standards	Development site: <a href="#">public street</a> or <a href="#">private accessway</a> . Individual unit <a href="#">lot</a> : <a href="#">private accessway</a> , <a href="#">alley right-of-way</a> or <a href="#">driveway</a>	Development Site: public street Individual Unit Lot: Private Accessway or Private Driveway
Parking	2 Bed=1.5 Sp / DU, 3 Bed=2 Sp / DU, 0.25 Sp / DU unreserved	As required by Section 1307, Table 1307.1

\*There shall be a 15-foot maximum height within ten feet of a single-[family](#) zoned district, which height may be increased one foot for each additional one foot of building [setback](#) to the maximum permitted height.