



**City of Phoenix**  
 PLANNING AND DEVELOPMENT DEPARTMENT

**Staff Report: Z-22-21-8**  
 July 7, 2021

**Laveen Village Planning Committee Meeting Date** July 12, 2021

**Planning Commission Hearing Date** August 5, 2021

**Request From:** [S-1](#) (Ranch or Farm Residence) (0.67 acres), [S-1](#) (Approved [C-1 PCD](#)) (Ranch or Farm Residence, Approved Neighborhood Retail, Planned Community District) (0.62 acres), and [S-1](#) (Approved [R1-8 PCD](#)) (Ranch or Farm Residence, Approved Single-Family Residence District, Planned Community District) (3.97 acres)

**Request To:** [R-3](#) (Multifamily Residence District) (5.26 acres)

**Proposed Use** Multifamily residential development

**Location** Approximately 375 feet east of the northeast corner of 59th Avenue and Elliot Road

**Owner** AMED Partners, LLC

**Applicant** Isola Elliot, LLC

**Representative** Benjamin Tate, Withey Morris, PLC

**Staff Recommendation** Approval, subject to stipulations

<b><u>General Plan Conformity</u></b>			
<b><u>General Plan Land Use Map Designation</u></b>		Residential 3.5 to 5 dwelling units per acre	
<b><u>Street Map Classification</u></b>	Elliott Road	Collector	33-foot north half street

**CELEBRATE OUR DIVERSE COMMUNITIES AND NEIGHBORHOODS CORE VALUE; CERTAINTY AND CHARACTER; DESIGN PRINCIPLE: Protect and enhance the character of each neighborhood and its various housing lifestyles through new development that is compatible in scale, design, and appearance.**

The proposal provides a multifamily development which will buffer lower density uses to the east from the commercial and transportation corridor along the Loop 202 South Mountain Freeway alignment. As stipulated, the development will be compatible in character and scale to the surrounding area.

**CONNECT PEOPLE AND PLACES CORE VALUE; CORES, CENTERS & CORRIDORS, LAND USE PRINCIPLE: Locate land uses with the greatest height and most intense uses within village cores, centers and corridors based on village character, land use needs, and transportation system capacity.**

The subject site is in close proximity to the Loop 202 South Mountain Freeway, which was recently completed. The close proximity to the subject site ensures that traffic and activity is concentrated along the transportation corridor.

**BUILD THE SUSTAINABLE DESERT CITY CORE VALUE; TREES AND SHADE; DESIGN PRINCIPLE: Integrate trees and shade into the design of new development and redevelopment projects throughout Phoenix.**

The development, as stipulated, will provide robust tree shade cover along Elliott Road, with minimum tree planting sizes that exceed landscaping requirements of the Zoning Ordinance. The trees shall be planted to provide a thermally comfortable environment for pedestrians and alternative transportation users along the sidewalk and the multi-use trail

#### Applicable Plans, Overlays, and Initiatives

[Laveen Southwest Growth Study](#) – See Background Item No. 5.

[Housing Phoenix Plan](#) – See Background Item No. 8.

[Tree and Shade Master Plan](#) – See Background Item No. 9.

[Complete Streets Guiding Principles](#) – See Background Item No. 10.

[Comprehensive Bicycle Master Plan](#) – See Background Item No. 11.

[Zero Waste PHX](#) – See Background Item No. 12.

<b>Surrounding Land Uses/Zoning</b>		
	<b><u>Land Use</u></b>	<b><u>Zoning</u></b>
<b>On Site</b>	Agricultural Land	S-1, S-1 (Approved C-1 PCD), S-1 (Approved R1-8 PCD)
<b>North</b>	Agricultural Land	R-3
<b>South</b>	Agricultural Land	S-1 (Approved R1-6)
<b>East</b>	Single-family residences (under construction)	R1-8
<b>West</b>	Agricultural Land	C-1

<b>R-3 Multifamily Residence District (Planned Residential Development Option)</b>		
<b><u>Standards</u></b>	<b><u>Requirements</u></b>	<b><u>Proposed Site Plan</u></b>
<i>Gross Acreage</i>	-	5.26 acres
Total Number of Units	80 to 91 maximum	35 – Met
Density (dwelling units/acre)	15.23; 17.40 with bonus maximum	6.65 – Met
Perimeter Standards Minimum	20-feet adjacent to a public street; 15-feet adjacent to property line	20-feet adjacent to a public street; 15-feet adjacent to property line – Met
Building Height	2 stories or 30-feet for first 150-feet; 1-foot in 5-foot increase to 48-feet high, 4-story maximum	1 story, 30 feet – Met
Lot Coverage	45% maximum	29% – Met
Common Area	5% of gross minimum	30.6% – Met

**Background/Issues/Analysis**

**SUBJECT SITE**

1. This request is to rezone approximately 5.26 acres located approximately 375 feet east of the northeast corner of 59th Avenue and Elliot Road from 0.67 acres of S-1 (Farm or Ranch Residence District), 0.62 acres of S-1 (Approved C-1 PCD) (Ranch or Farm Residence District, Approved Neighborhood Retail District, Planned Community District), and 3.97 acres of S-1 (Approved R1-8 PCD) (Ranch or Farm Residence District, Approved Single-Family Residence District, Planned Community District) to R-3 (Multifamily Residence District) to allow a multifamily development.

2. The subject site is designated 3.5 to 5 dwelling units per acre on the General Plan Land Use Map. The density of the proposed development is not consistent with this designation. However, as the site is less than 10 acres in size, a General Plan Amendment is not needed.

The proposal is compatible with the General Plan Land Use Map designations to the north and west of the site. The surrounding designations are as follows:

**North**

Residential 10 to 15 dwelling units per acre

**West**

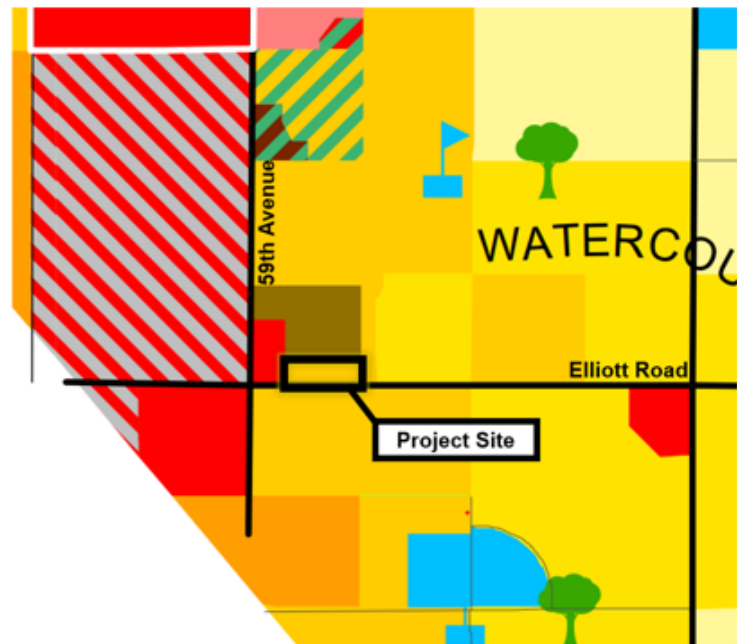
Commercial

**South**

Residential 3.5 to 5 dwelling units per acre

**East**

Residential 2 to 3.5 dwelling units per acre and Residential 3.5 to 5 dwelling units per acre.

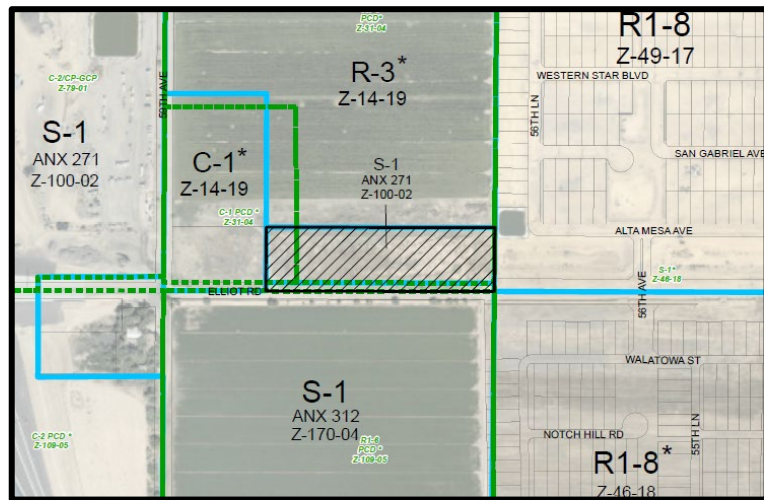


General Plan Land Use Map

Source: City of Phoenix Planning and Development Department

### SURROUNDING LAND USES AND ZONING

3. The subject site is agricultural land and currently zoned S-1 (Ranch or Farm Residence District), S-1 (Approved C-1 PCD) (Ranch or Farm Residence District, Approved Neighborhood Retail District, Planned Community District), and S-1 (Approved R1-8 PCD) (Ranch or Farm Residence District, Approved Single-Family Residence District, Planned Community District). The site to the north of the subject site was recently rezoned to R-3 (Multifamily Residence District) to allow a multifamily residential development, which the subject site will be developed in tandem with. The site to the west was also rezoned in the same case and is now zoned C-1 (Neighborhood Retail).



**TO BE UPDATED WHEN GIS PROVIDES NEW MAP**

*Zoning Sketch Map*

*Source: City of Phoenix Planning and Development Department*

To the south, across Elliott Road, there is another expanse of agricultural land that is zoned S-1 (Approved R1-6 PCD) (Ranch or Farm Residence District, Approved Single-Family Residence District, Planned Community District). Finally, to the east of the subject site is a residential subdivision that is under construction and zoned R1-8 (Single-Family Residence District).

4. The proposed development is part of the of the multifamily development on the site to the north, which was rezoned to R-3 (Multifamily Residence District) via Rezoning Case No. Z-14-19-8. The subject site was not included in the previous rezoning case. The proposal at hand is to rezone the remaining land along Elliott Road to be compatible with what was approved to the north.

### ADOPTED AREA PLANS

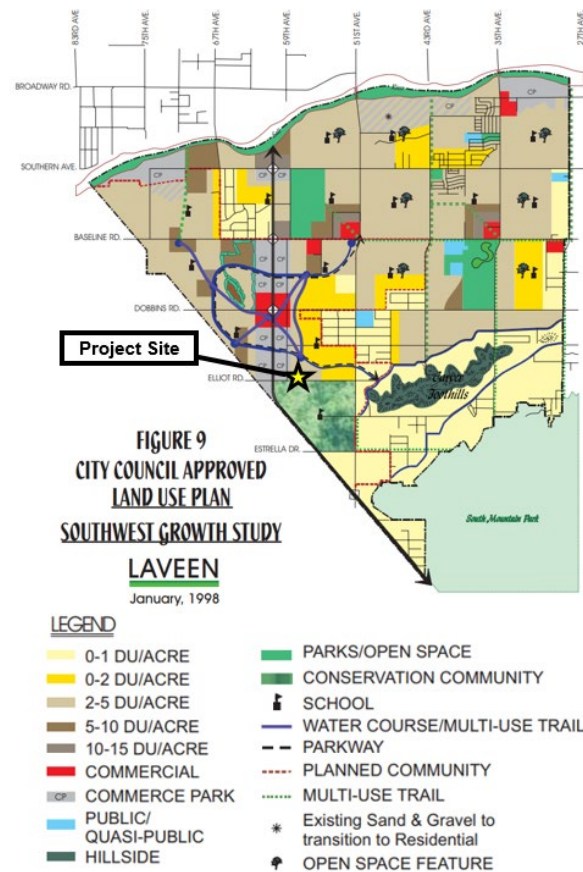
5. [Laveen Southwest Growth Study](#)

The site is located within the boundaries of the Laveen Southwest Growth Study, which was developed in 1997 to analyze the existing conditions of the Laveen Village and provide a land use and design planning framework to help shape the growth that Laveen was starting to experience, while accounting for newly-annexed farmland as well as the future development of the South Mountain Freeway Loop, which has since been completed.

This plan designates the project site as Residential 2 to 5 dwelling units per acre. Although not consistent with this designation, the development will incorporate several of the Study's recommendations, as stipulated by staff.

The Laveen Southwest Growth Study provides a framework for an overall multi-use trail system which connects major community assets such as the Laveen Conveyance Channel, public parks and open space areas, and the South Mountain Preserve. This proposed development will provide a multi-use trail along Elliott Road, which will connect to the existing trail to the east of the site and promote overall trail connectivity in Laveen. This is addressed in Stipulation No. 10.

The Laveen Southwest Growth Study also outlines specific design policies and standards for various types of developments that will enhance Laveen's built environment while remaining respectful of its agricultural heritage. The study encourages all new developments to use durable, high-quality building materials and to provide enhanced building design that will contribute to the character of the area. The proposed elevations submitted exhibit high quality architectural design and are consistent with the architectural style found in the Laveen area. General conformance to these elevations is recommended in Stipulation No. 1. Further, staff is recommending that a minimum of 10 percent of front elevations consist of accent material to ensure appropriate variation of materials, per Stipulation No. 1.a.

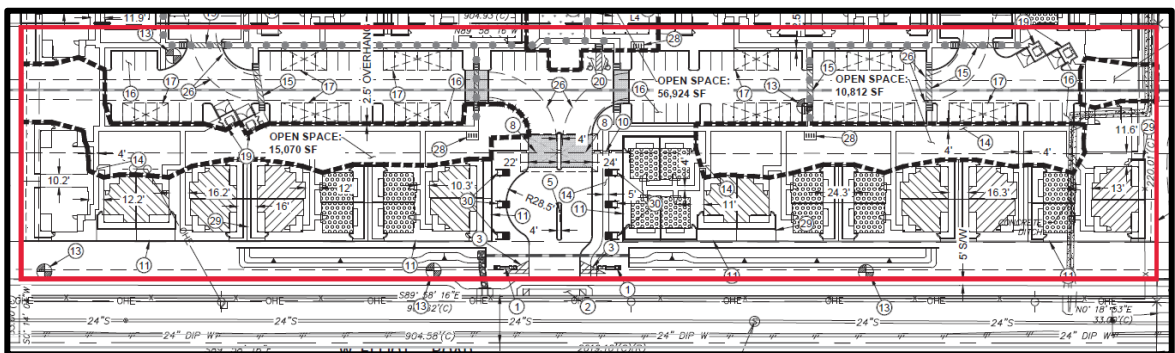


Source: City of Phoenix Planning and Development Department

## PROPOSAL

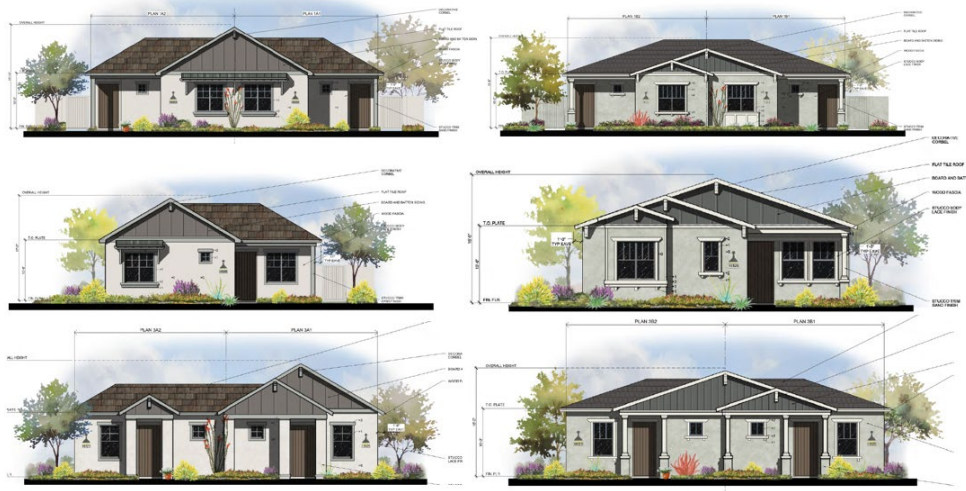
6. The proposed site plan for the subject site is a continuation of the site plan for the property to the north, which was stipulated through Rezoning Case No. Z-14-19-8. Staff is recommending general conformance to this site plan, per Stipulation No. 1. The site plan depicts a single vehicular entry point into the gated community off Elliott Road, through a decorative porte-cochere. The overall site plan depicts 299 rental homes, with 35 of those located within the boundaries of the subject rezoning case. These units are located close to the Elliott Road frontage, behind a 30-foot

landscape setback that is being recommended by staff, per Stipulation No. 4, to ensure sufficient buffering from the street and enough space for robust tree plantings. The site plan also depicts an open space “green belt” that extends from the eastern to the western perimeter property lines, which separates the residential units from a surface parking lot along the northern portion of the subject site. This open space constitutes approximately 30.6 percent of this portion of the development, and staff is recommending that a minimum of 25 percent be provided on the site, per Stipulation No. 5. Along Elliott Road, staff is recommending detached sidewalks and a multi-use trail to improve the pedestrian realm. These are addressed in Stipulation Nos. 3, 10, and 11.



**Proposed Site Plan**  
**Source: Terrascape Consulting**

7. The proposed elevations are consistent with the elevations approved in Rezoning Case No. Z-14-19-8 and meet the design intent of the Laveen Village as outlined in the Laveen Southwest Growth Study. The elevations consist of a mix of single-family detached units and duplex-style homes, in the Craftsman and Cottage architectural styles. Architectural detailing and embellishments are reminiscent of the agricultural heritage of Laveen and include decorative corbels, board and batten siding, wood fascia, window trim, and flat tile roofing. Staff is recommending general conformance to these elevations, per Stipulation No. 1. To ensure consistency with the 2019 rezoning case, staff is recommending that a minimum 10 percent of all front elevations consist of non-stucco accent material. This is addressed in Stipulation No. 1.a. The R-3 district permits a maximum height of up to four stories and 48 feet. To minimize the visual impact of the increased density at this site, staff is recommending that the maximum building height be limited to 30 feet, per Stipulation No. 2.



**Elevations – Residential Units**  
*Source: Felten Group*



**Elevations – Club house, leasing office, garages**  
*Source: Felten Group*

To further ensure that the development has a cohesive design style that is compatible with the Laveen area, staff is recommending that decorative rail or fencing elements be provided along Elliott Road, per Stipulation No. 9.

#### PLANS, OVERLAYS, AND INITIATIVES

##### 8. [Housing Phoenix Plan](#)

In June 2020, the Phoenix City Council approved the Housing Phoenix Plan. This Plan contains policy initiatives for the development and preservation of housing with a vision of creating a stronger and more vibrant Phoenix through increased housing options for residents at all income levels and family sizes. Phoenix's rapid population growth and housing underproduction has led to a need for over 163,000 new housing units. Current shortages of housing supply relative to demand are a primary reason why housing costs are increasing. The proposed development



supports the Plan's goal of preserving or creating 50,000 housing units by 2030 by providing an opportunity for multifamily residential units near a major transportation corridor.

9. **Tree and Shade Master Plan**

The Tree and Shade Master Plan has a goal of treating the urban forest as infrastructure to ensure that trees are an integral part of the city's planning and development process. By investing in trees and the urban forest, the city can reduce its carbon footprint, decrease energy costs, reduce storm water runoff, increase biodiversity, address the urban heat island effect, clean the air, and increase property values. In addition, trees can help to create walkable streets and vibrant pedestrian places. Staff is recommending robust tree planting standards, with large caliper trees in the landscape strip between the sidewalk and back of curb, as well as in the landscape setback along Elliott Road to provide shade along public sidewalks and 50 percent shade along the multi-use trail. Staff is also recommending that all surface parking lot areas be landscaped with shade trees dispersed throughout the parking area to provide minimum 25 percent shade, and that all open space areas be shaded at a minimum of 50 percent. These are addressed in Stipulations No. 3, 4, 6, 7 and 11.

10. **Complete Streets Guiding Principles**

In 2014, the City of Phoenix City Council adopted the Complete Streets Guiding Principles. The principles are intended to promote improvements that provide an accessible, safe, connected transportation system to include all modes, such as bicycles, pedestrians, transit, and vehicles. In addition to the enhanced landscaping standards, detached sidewalks, and multi-use trail, staff is recommending that a pedestrian connection be provided between the subject site and the commercial corner to the west of the site so residents can conveniently and safely access future services. This is addressed in Stipulation No. 8.

11. **Comprehensive Bicycle Master Plan**

The City of Phoenix adopted the Comprehensive Bicycle Master Plan in 2014 to guide the development of its bikeway system and supportive infrastructure. The Comprehensive Bicycle Master Plan supports options for both short- and long-term bicycle parking as a means of promoting bicyclist traffic to a variety of destinations. As stipulated, the development will provide a minimum of 10 bicycle parking spaces in addition to the 20 spaces already stipulated in the case to the north, bringing the total bicycle parking for the overall development to 30 spaces. This is addressed in Stipulation No. 12.

12. **Zero Waste PHX**

The City of Phoenix is committed to its waste diversion efforts and has set a goal to become a zero-waste city, as part of the city's overall 2050 Environmental Sustainability Goals. One of the ways Phoenix can achieve this is to improve and Section 716 of the Phoenix Zoning Ordinance expand its recycling and other waste

diversion programs. Section 716 of the Phoenix Zoning Ordinance establishes standards to encourage the provision of recycling containers for multifamily, commercial and mixed-use developments meeting certain criteria. The provision of recycling containers was not addressed in the applicant's submittals.

#### COMMUNITY INPUT SUMMARY

13. At the time this staff report was written, staff had not received any community correspondence regarding the proposal.

#### INTERDEPARTMENTAL COMMENTS

14. **Fire Department**

Fire Prevention does not anticipate problems with the referenced case. However, the site and or buildings shall comply with the 2018 IFC with Phoenix Amendments. The water supply (gpm and psi) for the referenced case is unknown. The water supply is required to meet fire flow as defined by Appendix B of the 2018 IFC with Phoenix Amendments.

15. **Public Transit Department**

The Public Transit Department has required that clearly defined, accessible pedestrian pathways be provided to connect all main site elements and public sidewalks, and, where the intersect drive aisles, they be constructed of materials that visually contrast with parking surfaces. The department further required that all pedestrian sidewalks be shaded to 75 percent at tree maturity. These standards have been addressed via general conformance to the proposed site plan and the stipulated tree planting standards.

16. **Street Transportation Department**

The Street Transportation Department has provided comments that are consistent with the prior zoning approval for the overall development site. Although the boundaries of this rezoning request are not adjacent to 59th Avenue, the Street Transportation Department has requested that the stipulations be consistent with those of Rezoning Case No. Z-14-19-8, including those addressing the 59th Avenue frontage. The department has required street dedications along both 59th Avenue and Elliott Road, and that roadway improvements be constructed during the first phase of the project. This department had also required the developer to provide conduit and junction boxes for a future traffic signal at the 59th Avenue and Elliott Road intersection, and that the existing irrigation facilities along both streets be either undergrounded or relocated outside of city right-of-way. The applicant will also be required to submit a Traffic Impact Analysis with an associated Signal Warranted Analysis for the intersection, and the developer will be responsible for the installation of the traffic signal or an in-lieu contribution as defined within the approved traffic warrant analysis. The developer will be required to underground all existing overhead electrical utilities within the public right-of-way that are impacted or need to be relocated as part of this project. Finally, the developer shall construct all streets within and adjacent to the development and these improvements shall

comply with all ADA accessibility guidelines. These requirements are addressed in Stipulation Nos. 13 through 20.

17. **Water Services Department**

The Water Services Department has determined that no water or sewer connections exist at the site, but that water and sewer mains exist in the area that can potentially serve the development.

OTHER

18. The site is not designated as archaeologically sensitive. However, should archaeological materials be encountered during construction, the developer shall immediately cease all ground-disturbing activities within a 33- foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials. This is addressed in Stipulation No. 21.
19. Development and use of the site is subject to all applicable codes and ordinances. Zoning approval does not negate other ordinance requirements. Other formal actions such as, but not limited to, zoning adjustments and abandonments, may be required.

**Findings**

1. The proposed development is appropriate at this location given its proximity to the new Loop 202 Freeway and will create a buffer between lower density residential uses to the east, and higher density commercial and commerce park uses to the west.
2. The proposal will provide a high quality multifamily residential development which will help alleviate the housing shortage in Phoenix and provide residents with an alternative housing option in the form of single-family-for-rent units.
3. As stipulated, the proposal is consistent with the policies and guidelines outlined in the Laveen Southwest Growth Study.

**Stipulations**

1. The development shall be in general conformance with the site plan and elevations date stamped April 19, 2021, as modified by the following stipulations and approved by the Planning and Development Department.
2. The front elevations shall consist of a minimum 10 percent non-stucco accent material.
3. The maximum building height shall be 30 feet.

4. All sidewalks adjacent to public rights-of-way shall be detached with a minimum 10-foot-wide continuous landscape area located between the sidewalk and back of curb; and shall include 3-inch minimum caliper, large canopy single-trunk shade trees, 25 feet on center or in equivalent groupings; and minimum five-gallon shrubs with a maximum mature height of 2 feet providing 75 percent live cover, as approved by the Planning and Development Department. Where utility conflicts exist, the developer shall work with the Planning and Development Department on alternative design solutions consistent with a pedestrian environment.
5. A minimum 30-foot landscape setback shall be required adjacent to Elliott Road and shall include large canopy shade trees 20 feet on center or in equivalent groupings between the sidewalk and proposed site development as approved by the Planning and Development Department. Twenty-five percent of the trees shall be minimum four-inch caliper and 75 percent of the trees shall be minimum three-inch caliper. Five, five-gallon shrubs per tree, and additional shrubs or live groundcover, shall provide minimum 75 percent live cover at mature size as approved by the Planning and Development Department. Where utility conflicts exist, the developer shall work with the Planning and Development Department on alternative design solutions consistent with a pedestrian environment.
6. The developer shall provide a minimum of 25 percent open space, as approved by the Planning and Development Department.
7. Public and private open space areas shall provide a minimum 50 percent shade and a minimum of 50 percent live vegetative cover (shrubs, grasses, or groundcover plants).
8. All uncovered surface parking lot areas shall be landscaped with a minimum 2-inch caliper drought-tolerant shade trees. Landscaping shall be dispersed throughout the parking area and achieve 25 percent shade at maturity, as approved by Planning and Development Department.
9. A pedestrian connection shall be provided between the site and the C-1 portion to the west of the site, as approved by the Planning and Development Department.
10. Decorative rail or similar fencing elements shall be provided along Elliott Road, as approved by the Planning and Development Department.
11. The developer shall dedicate a 30-foot wide multi-use trail easement (MUTE) along Elliott Road and construct a minimum 10-foot wide multi-use trail (MUT) within the easement in accordance with the MAG supplemental detail and as approved by the Planning and Development Department. Where conflicts or restrictions exist, the developer shall work with the Site Planning section on an alternate design through the technical appeal process.

12. The multi-use trail along Elliott Road shall be shaded to a minimum of 50 percent using shade trees at full maturity, as approved by the Planning and Development Department.
13. A minimum of 10 bicycle parking spaces shall be provided through Inverted U and/or artistic racks (in adherence to the City of Phoenix Preferred Designs in Appendix K of the Comprehensive Bicycle Master Plan) or “Outdoor/Covered Facilities” for guests located near entrances or amenity areas and installed per the requirements of Section 1307.H. of the Phoenix Zoning Ordinance, as approved by the Planning and Development Department.
14. The developer shall provide for a 55-foot half street right-of-way dedication for the east side of 59th Avenue from the northern project boundary, extending to Elliot Road. This shall include 37-feet of paving for the east half of 59th Avenue, as approved by the Planning and Development Department.
15. The developer shall provide for a 55-foot half street right-of-way dedication on the north side of Elliot Road from 59th Avenue to the existing residential development to the east. This shall include 37 feet of paving for the north half of Elliot Road and additional improvements, as approved by the Planning and Development Department.
16. The developer shall dedicate and provide all right-of-way improvements during the first phase of the project.
17. The developer shall provide conduit and junction boxes at the northeast corner of 59th Avenue and Elliot Road for future traffic signal equipment. The plan is to be submitted to the Street Transportation Department for review and approval.
18. The applicant shall submit a TIA with an associated Signal Warrant Analysis for the intersection of 59th Avenue and Elliott Road. Development will be responsible for the installation of the traffic signal or an in-lieu contribution as defined within the approved traffic warrant analysis. No preliminary approval of plans shall be granted until the study is reviewed and approved by the Street Transportation Department.
19. Existing irrigation facilities along 59th Avenue and Elliot Road are to be undergrounded and/or relocated outside of City right-of-way. Contact SRP to identify existing land rights and establish appropriate process to relocate the facility. Relocations that require additional dedications or land transfer require completion prior to obtaining plat and/or civil plan review approval.
20. The developer shall underground existing overhead electrical utilities within the public right-of-way that are impacted or need to be relocated as part of this project. Developer shall coordinate review and permitting with the affected utility companies.

21. The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, landscaping and other incidentals, as per plans approved by the Planning and Development Department. All improvements shall comply with the current ADA Guidelines.
22. In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground-disturbing activities within a 33- foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.

**Writer**

Sofia Mastikhina

July 7, 2021

**Team Leader**

Samantha Keating

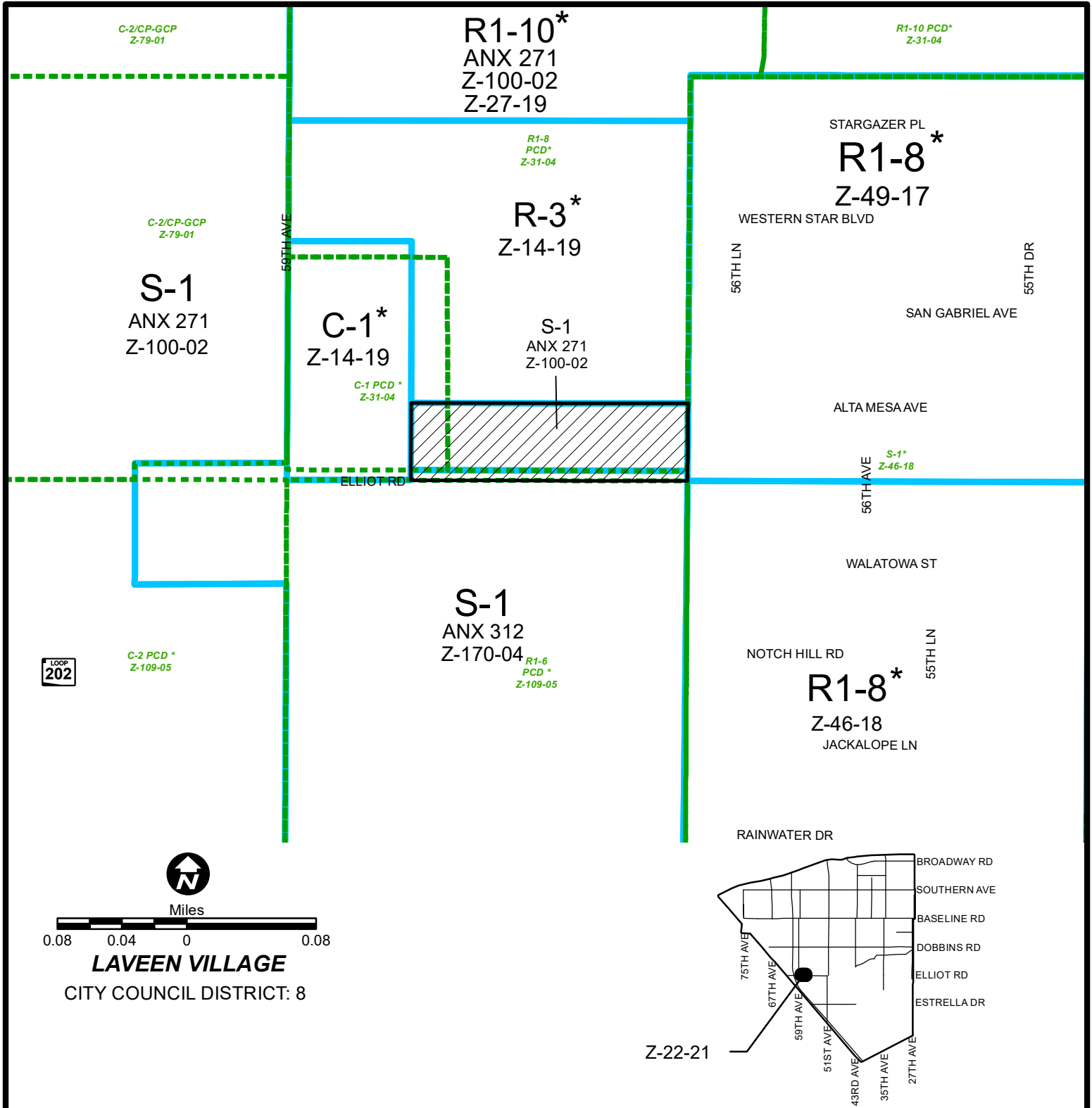
**Exhibits**

Sketch map

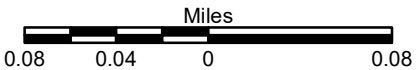
Aerial

Site plan date stamped April 19, 2021 (3 Pages)

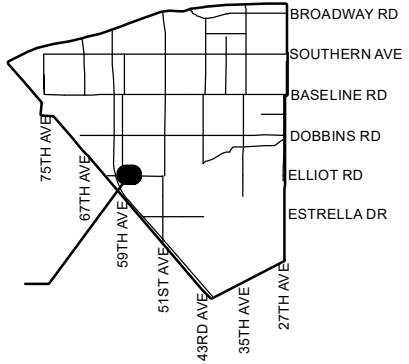
Building Elevations date stamped April 19, 2021 (11 Pages)



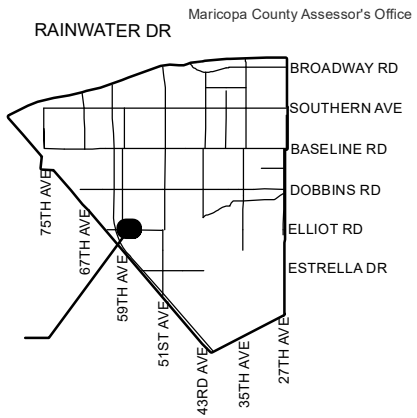
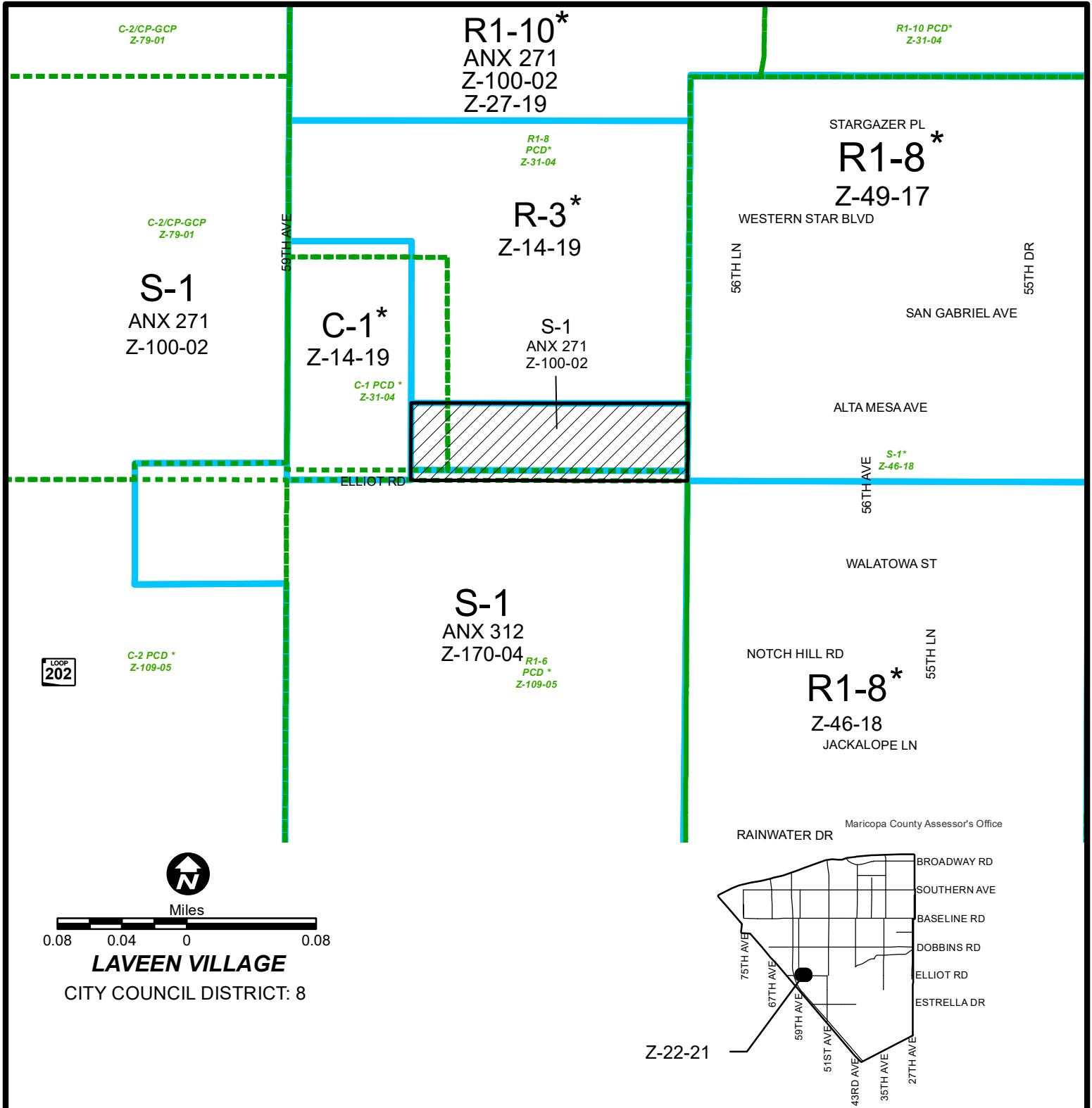
LOOP 202



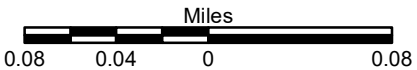
**LAVEEN VILLAGE**  
CITY COUNCIL DISTRICT: 8



<b>APPLICANT'S NAME:</b> Isola Elliot LLC		<b>REQUESTED CHANGE:</b>	
<b>APPLICATION NO.</b> Z-22-21	<b>DATE:</b> 6/14/2021 <small>REVISION DATES:</small>	<b>FROM:</b> S-1 ( 0.67 a.c.) S-1 ( Approved C-1 PCD) ( 0.62 a.c.) S-1 ( Approved R1-8 PCD) ( 3.97 a.c.)	
<small>GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX.</small> <b>5.26 Acres</b>	<small>AERIAL PHOTO &amp; QUARTER SEC. NO.</small> QS 04-15	<small>ZONING MAP</small> C-5	<b>TO:</b> R-3 ( 5.26 a.c.)
<b>MULTIPLES PERMITTED</b> S-1, S-1 (Approved C-1 PCD), S-1 (Approved R1-8 PCD) R-3	<b>CONVENTIONAL OPTION</b> 0, 0 (9), 3 (17) 76		<b>* UNITS P.R.D. OPTION</b> N/A, N/A (11), N/A (22) 91
<b>* Maximum Units Allowed with P.R.D. Bonus</b>			



LOOP 202



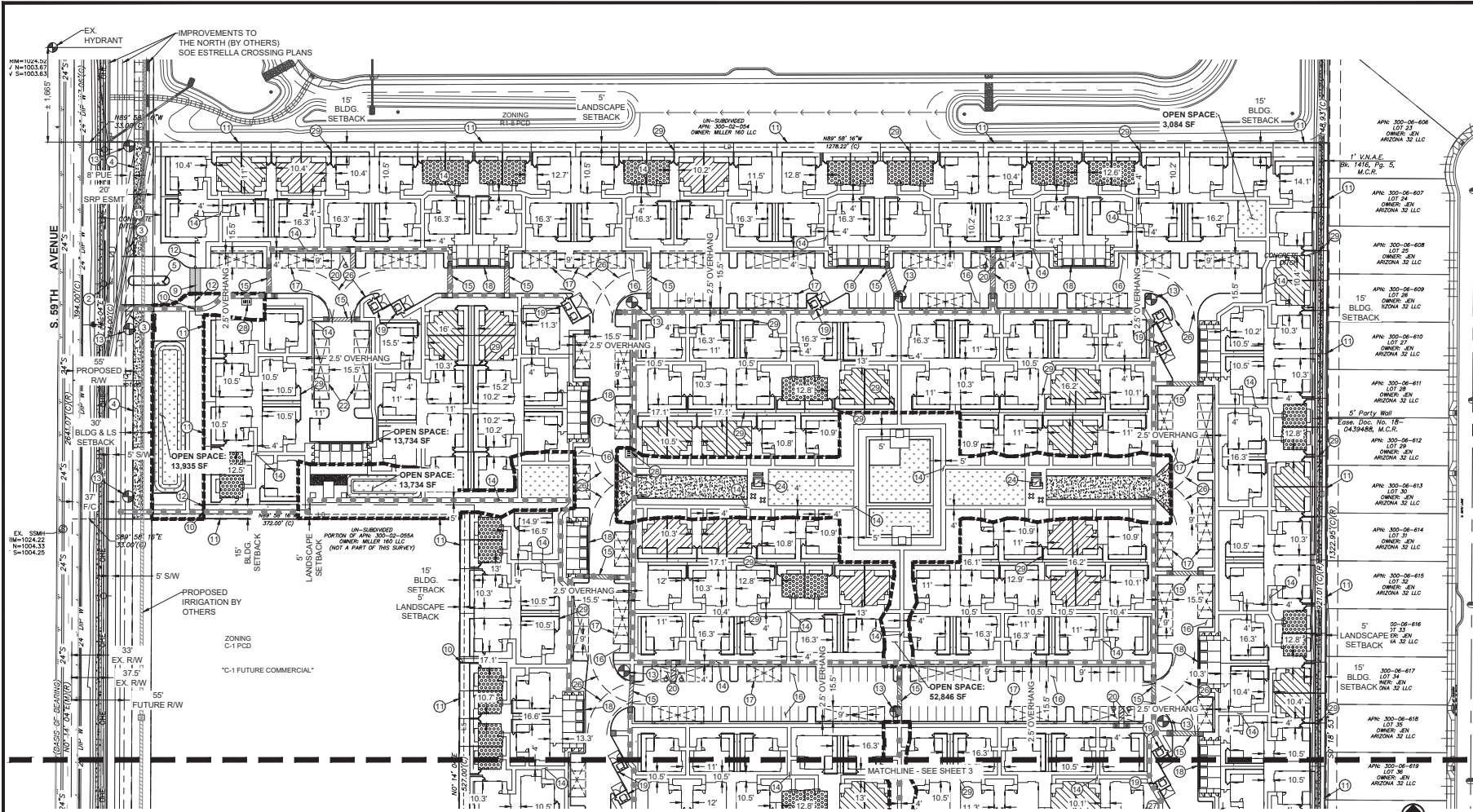
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<b>APPLICATION NO.</b> Z-22-21	<b>DATE:</b> 6/14/2021 <b>REVISION DATES:</b>	<b>FROM:</b> S-1 ( 0.67 a.c.) S-1 ( Approved C-1 PCD) ( 0.62 a.c.) S-1 ( Approved R1-8 PCD) ( 3.97 a.c.)	
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<b>MULTIPLES PERMITTED</b> S-1, S-1 (Approved C-1 PCD), S-1 (Approved R1-8 PCD) R-3	<b>CONVENTIONAL OPTION</b> 0, 0 (9), 3 (17) 76		<b>* UNITS P.R.D. OPTION</b> N/A, N/A (11), N/A (22) 91

\* Maximum Units Allowed with P.R.D. Bonus







**KEY NOTES**

1 PROJECT MONUMENT SIGN	11 6' HIGH BLOCK WALL	24 BBQ AREA
2 DRIVEWAY ENTRANCE PER COP STD. DTL. P1255-2	12 6' HIGH VIEW FENCE	26 FIRE DEPARTMENT TURNING RADI (55' OUTER RADIUS, 35' INNER RADIUS)
3 SIGHT VISIBILITY TRIANGLE	13 PROPOSED FIRE HYDRANT	27 10' X 30' LOADING BERTH
4 10' WIDE MULTI-USE TRAIL	14 SIDEWALK, WIDTH AS NOTED	28 BICYCLE RACK
5 VISITOR CALL BOX & DIRECTORY BOARD IN LANDSCAPE ISLAND	15 STRIPED CROSSWALK	29 6' VINYL FENCE
6 LEASING OFFICE	16 PARKING STALL	30 DECORATIVE COLUMN
7 MAILBOXES	17 PARKING SHADE CANOPY	
8 VEHICLE ENTRY GATE WITH AUTOMATIC GATE OPTICAL SENSOR	18 PARKING GARAGE	
9 RESIDENT ONLY VEHICLE ENTRY GATE WITH AUTOMATIC GATE OPTICAL SENSOR	19 TRASH ENCLOSURE PER COP STANDARDS (6 CY DUMPSTERS)	
10 PEDESTRIAN ENTRY GATE	20 ACCESSIBLE PARKING STALL	
	21 RESIDENCE CLUBHOUSE	
	22 RAMADA / SHADE STRUCTURE	
	23 POOL	

**ABBREVIATIONS**

BLDG BUILDING	SW SIDEWALK
ESMT EASEMENT	BS BUILDING SETBACK
EX EXISTING	EOP EDGE OF PAVEMENT
F/C FACE OF CURB	C COMPACT PARKING SPACE
LS LANDSCAPE SETBACK	
PUE PUBLIC UTILITY ESMT	
PROP PROPOSED	
R/W RIGHT-OF-WAY	
B/C BACK OF CURB	
OS OPEN SPACE	
TYP TYPICAL	

**LEGEND**

BOUNDARY	EX PROPERTY LINE
CENTERLINE	SETBACK
EASEMENT	FENCE
ACCESSIBLE ROUTE	STREET LIGHT
PROPOSED FIRE HYDRANT	SIDEWALK RAMP
UNITS EQUIPPED WITH FIRE SPRINKLERS (150' HOSE LAY EXCEEDED)	RECYCLING ENCLOSURE
OPEN SPACE	

**TYPICAL FLOOR PLANS**

STUDIO UNIT (DUPEX): 47'3" x 26'2"

1-BEDROOM UNIT (DUPEX): 52' x 38'

2-BEDROOM UNIT: 35' x 38'

PARKING GARAGE: 55'3" x 22'

Canopy (Size varies for 4, 6, or 8 vehicles)

**SCALE IN FEET**  
0 50 100

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ISOLA AT 202 AND ELLIOT

PRELIMINARY SITE PLAN

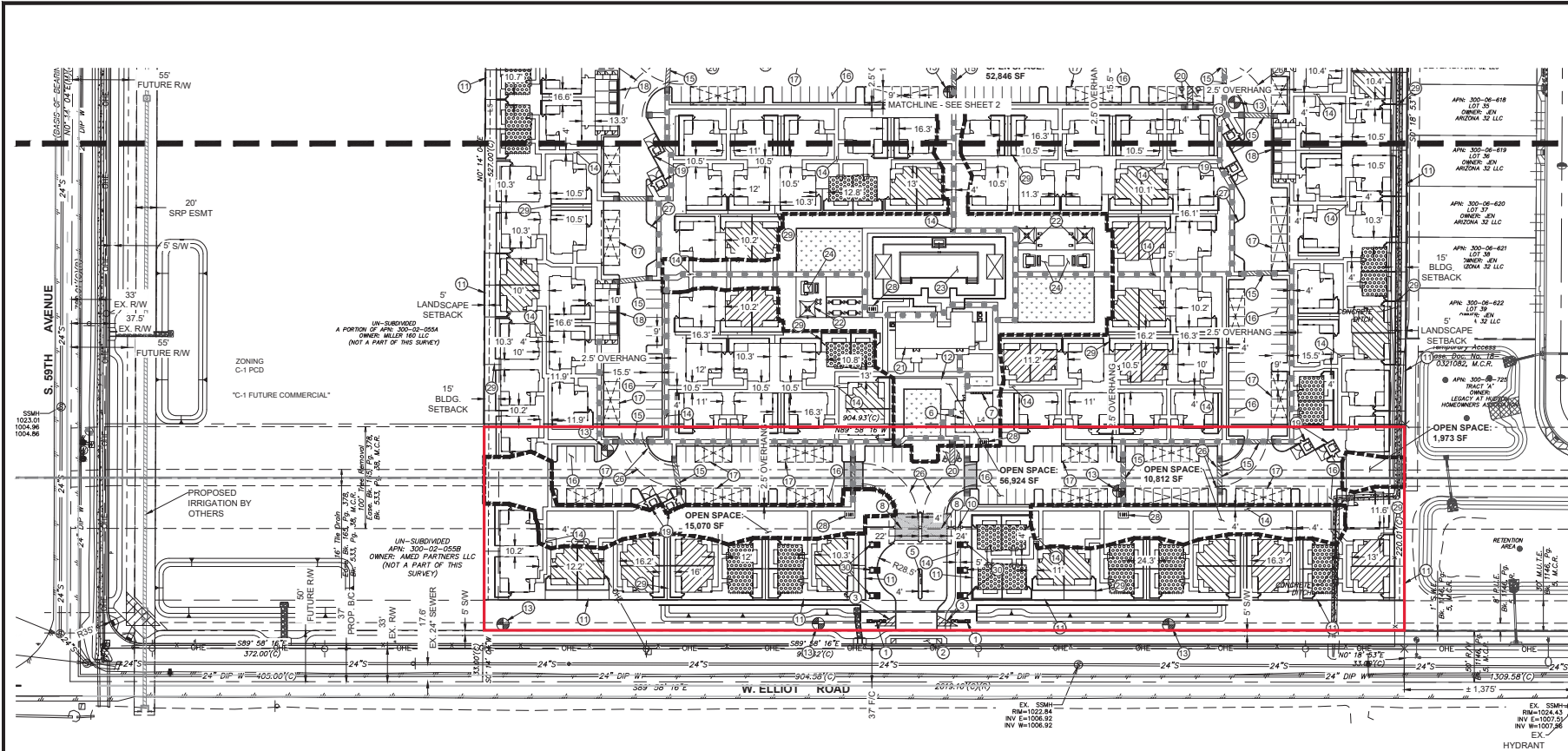


DATE	DESCRIPTION
04/02/21	1ST SUBMITTAL

CHECKED BY: TBL  
DRAWN BY: CMB

TITLE: **PRELIMINARY SITE PLAN**

SHEET No. 2 of 4  
PROJECT No. 0929



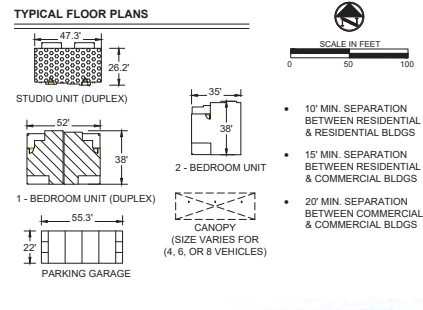
- KEY NOTES**
- 1 PROJECT MONUMENT SIGN
  - 2 DRIVEWAY ENTRANCE PER COP STD. DTL. P1255-2
  - 3 SIGHT VISIBILITY TRIANGLE
  - 4 10' WIDE MULTI-USE TRAIL
  - 5 VISITOR CALL BOX & DIRECTORY BOARD IN LANDSCAPE ISLAND
  - 6 LEASING OFFICE
  - 7 MAILBOXES
  - 8 VEHICLE ENTRY-GATE WITH AUTOMATIC GATE OPTICAL SENSOR
  - 9 RESIDENT ONLY VEHICLE ENTRY GATE WITH AUTOMATIC GATE OPTICAL SENSOR
  - 10 PEDESTRIAN ENTRY GATE
  - 11 6' HIGH BLOCK WALL
  - 12 6' HIGH VINYL FENCE
  - 13 PROPOSED FIRE HYDRANT
  - 14 SIDEWALK, WIDTH AS NOTED
  - 15 STRIPED CROSSWALK
  - 16 PARKING STALL
  - 17 PARKING SHADE CANOPY
  - 18 PARKING GARAGE
  - 19 TRASH ENCLOSURE PER COP STANDARDS (6 CY DUMPSTERS)
  - 20 ACCESSIBLE PARKING STALL
  - 21 RESIDENCE CLUBHOUSE
  - 22 RAMADA / SHADE STRUCTURE
  - 23 POOL
  - 24 BBQ AREA
  - 25 FIRE DEPARTMENT TURNING RADI (55' OUTER RADIUS, 35' INNER RADIUS)
  - 26 10' X 30' LOADING BERTH
  - 27 BICYCLE RACK
  - 28 6' VINYL FENCE
  - 29 DECORATIVE COLUMN

- ABBREVIATIONS**
- |       |                      |     |                       |
|-------|----------------------|-----|-----------------------|
| BLDG  | BUILDING             | S/W | SIDEWALK              |
| ESMIT | EASEMENT             | BS  | BUILDING SETBACK      |
| EX    | EXISTING             | EOP | EDGE OF PAVEMENT      |
| F/C   | FACE OF CURB         | C   | COMPACT PARKING SPACE |
| LS    | LANDSCAPE SETBACK    |     |                       |
| PUE   | PUBLIC UTILITY ESMIT |     |                       |
| PROP  | PROPOSED             |     |                       |
| ROW   | RIGHT-OF-WAY         |     |                       |
| B/C   | BACK OF CURB         |     |                       |
| OS    | OPEN SPACE           |     |                       |
| TYP   | TYPICAL              |     |                       |

**Line Table**

Line #	Direction	Length
L1	N00° 14' 04"E	394.00
L2	N89° 58' 16"W	1256.22
L3	N00° 18' 53"E	921.01
L4	S89° 58' 16"E	904.93
L5	S00° 14' 04"W	527.00
L6	S89° 58' 16"E	350.00

- LEGEND**
- BOUNDARY
  - EX PROPERTY LINE
  - CENTERLINE
  - SETBACK
  - EASEMENT
  - FENCE
  - ACCESSIBLE ROUTE
  - STREET LIGHT
  - PROPOSED FIRE HYDRANT
  - SIDEWALK RAMP
  - UNITS EQUIPPED WITH FIRE SPRINKLERS (15' HOSE LAY EXCEEDED)
  - RECYCLING ENCLOSURE
  - OPEN SPACE



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ISOLA AT 202 AND ELLIOT

PRELIMINARY SITE PLAN



Standard Distance 811 or local gas call  
 marking flags before any single excavation  
 Call 811 or visit 811arizona.com

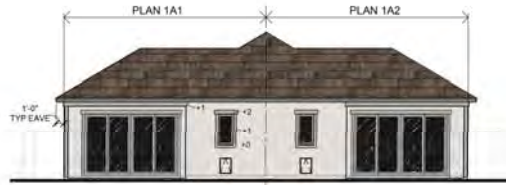
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04/02/21	1ST SUBMITTAL

CHECKED BY: TBL  
 DRAWN BY: CMB  
 TITLE: PRELIMINARY SITE PLAN  
 SHEET No. 3 of 4  
 PROJECT No. 0929



Right Elevation

Elevation A - Cottage 1/8" = 1'-0"



Rear Elevation

Elevation A - Cottage 1/8" = 1'-0"



Left Elevation

Elevation A - Cottage 1/8" = 1'-0"



Front Elevation

Elevation A - Cottage 1/4" = 1'-0"

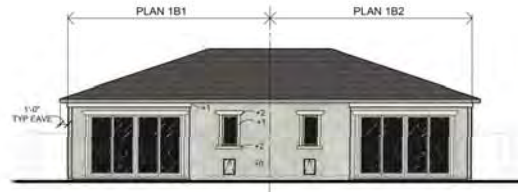
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Plan 1 - Cottage Elevation | 1 and 2 Family Rental Units

3-24-2021



**Right Elevation**  
Elevation B - Craftsman  
1/8" = 1'-0"



**Rear Elevation**  
Elevation B - Craftsman  
1/8" = 1'-0"



**Left Elevation**  
Elevation B - Craftsman  
1/8" = 1'-0"



**Front Elevation**  
Elevation B - Craftsman  
1/4" = 1'-0"

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Plan 1 - Craftsman Elevation | 1 and 2 Family Rental Units

3-24-2021



**Right Elevation**  
Elevation A - Cottage  
1/8" = 1'-0"



**Rear Elevation**  
Elevation A - Cottage  
1/8" = 1'-0"



**Left Elevation**  
Elevation A - Cottage  
1/8" = 1'-0"



**Front Elevation**  
Elevation A - Cottage  
1/4" = 1'-0"

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Plan 2 - Cottage Elevation | 1 and 2 Family Rental Units

3-24-2021



**RIGHT ELEVATION**  
ELEVATION B - CRAFTSMAN 1/8" = 1'-0"



**REAR ELEVATION**  
ELEVATION B - CRAFTSMAN 1/8" = 1'-0"



**LEFT ELEVATION**  
ELEVATION B - CRAFTSMAN 1/8" = 1'-0"



**FRONT ELEVATION**  
ELEVATION B - CRAFTSMAN 1/4" = 1'-0"

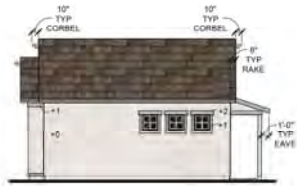
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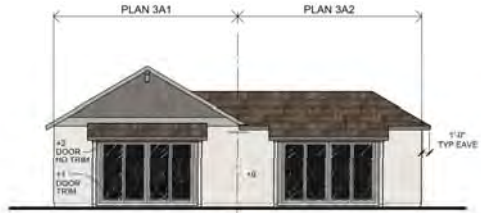
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Plan 2 - Craftsman Elevations | 1 and 2 Family Rental Units

3-24-2021



**Right Elevation**  
Elevation A - Cottage  
1/8" = 1'-0"



**Rear Elevation**  
Elevation A - Cottage  
1/8" = 1'-0"



**Left Elevation**  
Elevation A - Cottage  
1/8" = 1'-0"



**Front Elevation**  
Elevation A - Cottage  
1/4" = 1'-0"

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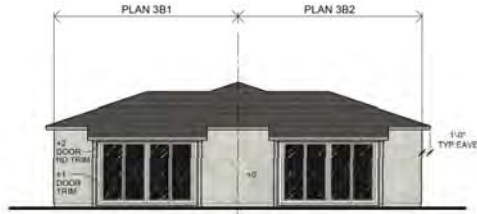
Plan 3 - Cottage Elevation | 1 and 2 Family Rental Units

3-24-2021





**Right Elevation**  
Elevation B - Craftsman  
1/8" = 1'-0"



**Rear Elevation**  
Elevation B - Craftsman  
1/8" = 1'-0"



**Left Elevation**  
Elevation B - Craftsman  
1/8" = 1'-0"



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Plan 3 - Craftsman Elevation | 1 and 2 Family Rental Units

3-24-2021



Right Elevation

1/8" = 1'-0"



Rear Elevation

1/8" = 1'-0"



Left Elevation

1/8" = 1'-0"



Front Elevation

1/4" = 1'-0"

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Residence Club Building | One & Two Family Rental Community

3-24-2021



**LEFT ELEVATION**  
1/8" = 1'-0"



**REAR ELEVATION**  
1/8" = 1'-0"



**RIGHT ELEVATION**  
1/8" = 1'-0"



**FRONT ELEVATION**  
1/4" = 1'-0"

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Leasing Office | 1 and 2 Family Rental Units

3-24-2021



Right Elevation

1/8" = 1'-0"



Rear Elevation

1/8" = 1'-0"



Left Elevation

1/8" = 1'-0"



Front Elevation

1/4" = 1'-0"

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Garage / Storage Building | One & Two Family Rental Community

3-24-2021

# PORTE COCHERE



Latte Froth, DE6239



Body Color



Trim/Accent Color

DE6276, Silhouette



Lighting Style



Eagle Roofing  
Ponderosa #5699

Coronado Stone, Appalachian  
Fieldstone, Naples Veneer



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APR 19 2021

Planning & Development  
Department

# RESIDENCE CLUB



FRONT ELEVATION  
1/4" = 1'-0"



Body Color

Latte Froth, DE6239



Trim/Accent Color

DE6276, Silhouette



Board & Batten  
Siding Color

DE6376, Looking Glass



Exterior Doors  
DE6112, Cedar Chest



Lighting Style



Eagle Roofing  
Ponderosa #5699

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