



WOOD
PARTNERS

ALTA Marlette

Approximately 165 feet East of the Northeast
Corner of 7th Street & Marlette Avenue

**Planned Unit Development
Land Use & Standards Narrative**

Case No. Z-27-17-6

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**Planning & Development
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PLANNED UNIT DEVELOPMENT DISCLAIMER

A Planned Unit Development (“PUD”) is intended to be a stand-alone set of zoning regulations for a particular project. Provisions not specifically regulated by the PUD are governed by the City of Phoenix Zoning Ordinance. A PUD includes substantial background information to illustrate the intent of the development. However, these purpose and intent statements are not necessarily requirements to be enforced by the City. The PUD only modifies zoning ordinance regulations to fit the unique character of the project, site characteristics and location. It does not modify other City Codes or requirements. Additional public hearings may be necessary, such as, but not limited to, right-of-way abandonments.

This PUD will provide the set of regulatory zoning provisions designed to guide the implementation of the overall development plan through the City of Phoenix development review and permit process. The provisions provided within this PUD shall apply to all property within the PUD project boundary. The zoning and development standards provided herein shall amend the various noted provisions of the City of Phoenix Zoning Ordinance (as adopted and periodically amended). In the event of a conflict between a use, a development standard, or a described development procedure between the City of Phoenix Zoning Ordinance and the PUD, the PUD shall prevail.

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PURPOSE & INTENT

The purpose of this Planned Unit Development (“PUD”), to be known as ALTA Marlette, is to create specific land use and development standards to guide the redevelopment of the site, which is comprised of twelve (12) developed parcels and one (1) vacant parcel, for a total of thirteen (13) parcels that extend along the north-side of Marlette Avenue, approximately 165-foot east of the northeast corner of 7th Street and Marlette, and straddle a portion of Stella Lane that the City has approved for abandonment all just north of Bethany Home Road. Given the site’s unique location and shape, the PUD was intentionally selected to establish a set of standards that will ensure how this proposed luxury multifamily residential community will enhance the vibrant new north 7th Street atmosphere.

North Central Phoenix, in particular along north 7th Street, has been undergoing remarkable rejuvenation with many new restaurant and retail venues. In 2016, more than 150 restaurants opened in greater Phoenix and the highest concentration of those was on 7th Street in this area. Some examples include The Yard (restaurants & entertainment), Old School (retail & restaurant), the 5727 office building, and a host of new restaurants, including Culinary Dropout and Little Cleo’s Seafood Legend (all at The Yard), Stock & Stable and Sushi Colony (all at The Colony), Pita Jungle, Spinato’s Pizza, Wildflower Bread Company, Okra Cookhouse & Cocktails, Phoenix Ale Brewery Central Kitchen, Joe’s Midnight Run, Robson’s Otro Café, The Womack, Cold Beer & Cheeseburgers, and Casa Anejo to name just a few, as well as the renovation of the AJ’s shopping center at Central Avenue & Camelback Road. Strong City policies have encouraged this revitalization and redevelopment, including assemblages of long vacant or blighted infill, properties like this one.

This has always been a desirable location to live in the City – close to restaurants, nightlife, retail needs and strong employment opportunities – but the aging multifamily housing options have not kept pace with today’s discerning and affluent renters. In addition to attracting members of the millennial generation, it is worth highlighting that a small market segment that will also be served by this new community is the “empty nester” couple who may have spent decades living and raising a family, and now wants to stay in the same area, but without worrying about the responsibilities of home ownership. This project addresses that luxury market.

Thus, this project adds a missing housing component to this area – luxury rental housing – consistent with the central city residential character. This particular site is well suited for a luxury multifamily project, because it is surrounded by developed commercial and apartment uses and is designated on the City’s General Plan for high-density housing. No vehicular access to Marlette will be allowed; all vehicular access to the site will be limited to Stella Lane. By restricting building heights to only 3 stories on Marlette, this project utilizes the building height allowed under the existing zoning and approved in the earlier approved townhouse case and therefore keeps the same profile along the street frontage thus fitting into the scale of the adjacent area and zoning. In fact, unlike earlier townhouse designs for the site that turned the backs of the units (with a six-foot wall) to Marlette, each of the ground floor units will have its front door access directly to Marlette to purposefully engage the street.

This type of new housing in appropriate locations upgrades residential living choices and expands diversity, which in turn supports the existing and new restaurant venues as well as other commercial retail shops. Rezoning the site, which currently consists of older rental housing and a vacant lot, to a comprehensive Planned Unit Development (PUD) designation, is the most appropriate way to ensure long-term stability and compatibility. This request seeks to rezone the subject site from the existing R-4 (Multifamily Residential) and R-5 (Multifamily Residential) zoning districts to a PUD to allow for a contemporary brownstone multifamily residential community of three stories (35-foot height maximum) and four-stories (45-foot height maximum). The multi-level parking structure is internalized inside of the project for easy access by all residents and so it is hidden, including the top level, from view to Marlette and 7th Street.

Wood Partners has built several sleek, urban style multifamily communities in Phoenix's downtown area. While maintaining their high standards of design excellence and amenities, Wood Partners wants on this project to shift away from urban style architecture to a residential brownstone architecture with suburban setbacks to not only fit the central city character, but also establish a new high standard of luxury rental living in the area. This project will, just like all Wood Partners projects, achieve certification under National Green Building Standard ("NGBS") by incorporating over 100 green technologies, such as drip irrigation, low flow fixtures, tight seals, low reflectivity, high-energy efficiency, roof material certification, high efficiency lighting, and occupancy sensors to control lighting, etc. *Please refer to Exhibit O for more technologies that are being utilized.*

We believe that a variety of living styles are a critical element in attaining the proper balance of land uses within each village and the City in general.

Goals:

The proposed development meets the City's adopted policies and goals for housing by redeveloping these under-utilized multifamily zoned properties with a comfortable luxury residential use. The project fits into the existing adjacent commercial and apartment uses and establishes a new transition from these commercial and apartment uses to the broad mix of multifamily and single-family uses in the general area, which again include commercial shopping/restaurants, offices and decades old apartments. This project will allow for the redevelopment of the site, allowing it to contribute a luxury level of rental living that is not presently available in the area, to the array of existing residential housing living styles in the area.

LAND USE PLAN and OVERALL DESIGN CONCEPT

This infill development is an assemblage of thirteen (13) parcels of land located along Marlette Avenue, approximately 165-feet east of the northeast corner of 7th Street and Marlette, just north of Bethany Home Road in order to accommodate the proposed 229 luxury level rental units. Please refer to Exhibits E & H, the Illustrative Concept Site and Landscape Plans. As noted earlier, “brownstone” architecture has been selected to establish an upscale residential character along Marlette. All ground level units on Marlette will face onto and have direct pedestrian access from their front doors to a new offset, tree-lined sidewalk to establish a strong residential character to this street. And as noted earlier, the building heights along Marlette will only be three stories, up to a maximum of 35-feet, the height already established by existing multifamily zoning that earlier townhouse development plans that were not able to achieve financial viability. In addition, even though all prior approved redevelopment designs featured the main vehicular access to Marlette, vehicular access for this project to Marlette has been removed. All vehicular access is now to the arterial 7th Street, via Stella Lane. The proposed site circulation is as depicted on Exhibit K, the Circulation Plan, subject to approval by the City of Phoenix.

The proposed 3-story residential buildings are now set back twenty (20) feet from the Marlette Avenue right-of-way, which has another 5-feet of excess right-of-way to the back of curb. The entire twenty-five (25) foot setback will be landscaped, with grass/turf in appropriate locations, ground covers and two rows of mature 3” caliper shade trees on each side of the detached sidewalk emphasizing the pedestrian realm. This will literally transform this portion of Marlette from an auto-dominated experience to a lush, shaded pedestrian ambiance. The perimeter setbacks will be at least ten (10) feet from all perimeter property lines not on a street. The inside units will overlook the central pool, spa, shaded retreats and other exterior recreational amenities. The multi-level project parking is strategically located internal to the project and behind the units themselves in order to provide convenient fully shaded parking and convenient access to each unit, as well as to ensure that the parking will not to be visible offsite. Hiding the parking from view like this is an innovative design feature that is new to this area, which currently utilizes surface parking.

The marketing window for the project is on Stella Lane east of 7th Street. The setback from 7th Street to the property line is 169-feet and approximately 205-feet to the building, so Wood Partners is designing a grand entrance to draw visual attention to the project from 7th Street. We are currently evaluating the introduction of several eye catching architectural features, such as upgraded paving materials, lush landscaping, decorative entry walls, patios, balconies, accent brick, and stately pillars on both sides of the entry, with the potential for an archway connecting the pillars.

This project also includes a wide spectrum of high quality amenities for its renters, including a well-equipped fitness center, large and comfortable “front room” with a full kitchen for residents to meet and socialize, clubroom, game room, resort style swimming pool, spa, BBQ, cabanas completed with a uniquely layered landscape palette. The project’s grand entrance is off 7th Street via Stella Lane. This entrance will be very inviting with ample 1 and 2-story glass storefront style windows.

Decorative textured and scored brick and smooth stucco are utilized in the building’s design to mark the grand entry into the residential community, complementing the building’s residential design. The development utilizes pedestrian-friendly access points from the street to the buildings. As shown by the site plan, the project includes its major entry from 7th Street, along Stella Lane, which is clearly articulated for both pedestrian and vehicular entry to the property. This insulates the development from the surrounding area. With this approach to building design and restricted access, the proposed residential development will have a positive impact on the variety of uses within the adjacent area, especially to the retail and restaurant venues now within convenient walking distance from this project.

The building architecture itself draws from the evolving aesthetic context and central city character with refined textured brick veneer and articulated stucco walls that are accompanied by residential style materials, textures and several coordinated colors to enhance the exterior elevations. Resident windows have been thoughtfully placed along the building façade to preserve residents' privacy. The eastern 1.15-acre portion of the site, designated as the “Office Development Site”, indicates offices as an alternative land use. The office designation allows for the development under the existing entitlements should the residential community not be built. An office use on/in the 1.15 ac. is not permitted if the proposed 229 unit residential community commences construction.

Clearly, this PUD will enhance the character of the area by removing many neglected residential structures that have remained either vacant or that have been in a steady decline for many years with a new, luxurious walkable development that engages the pedestrian at the ground-level on both Marlette and 7th Street. The proposed architecture creates height and massing at key points, creating a distinctive, recognizable upscale residential building that matches the exciting new energy in the north 7th Street area.

Pedestrian comfort and connectivity is assured through design features throughout the development, including clearly demarcated interior and exterior paths of travel that connect residents and guests from their apartment homes to robust amenity areas. Walkways within the interior and along the perimeter of the project are shaded with either trees or architectural projections or other landscaping techniques. Again, all ground floor units on Marlette Street will have their front doors access directly onto a new offset, tree-lined sidewalk.

The project will include approximately 229 rental residences with 1 and 2 bedrooms and 3 bedroom penthouses, ranging in size from approximately 690 to 1,465 livable square-feet. The proposed amenities dedicated for the residents' enjoyment include a resort-style pool, a fitness/clubhouse center, spacious and comfortable “living rooms” with a full kitchen and large screen television and eating area, secured bicycle parking and two dog park areas. Approximately 420 parking spaces are provided onsite.

SITE CONDITIONS and LOCATION

This 3.93 gross/3.59 net acre site is located approximately 165-feet east of the northeast corner of 7th Street and Marlette Avenue. This site is located in a diverse area that now accommodates a variety of single and multifamily housing options with a multitude of dining, shopping and office opportunities. The existing area is a desirable part of Phoenix, although the residential area east of 7th Street has not yet experienced a great deal of redevelopment other than the restaurant venues along 7th Street itself.

The topography of the infill property is basically flat with the existing residential rental units and other activity in the area having removed any past natural features.

GENERAL PLAN LAND USE MAP & CONFORMANCE

The site is designated on the City’s Land Use map as “15+ du/acre – Higher density attached townhouses, condos, or apartments,” which is typically associated with higher density apartments. The requested PUD conforms to the General Plan and the General Plan Land Use map designation of “15+ du/acre – Higher density” designation. No amendment is necessary or sought.

The following outlines the relationship between the requested zoning change to Planned Unit Development (“PUD”) and the City of Phoenix General Plan. The General Plan seeks to promote comprehensive direction for the growth, conservation and development of all physical aspects of the City. The proposed rezone meets or exceeds the following goals outlined in the General Plan:

Core Value: Connecting People & Places

Infill

The Goal: Vacant and undeveloped land in the older parts of the city should be developed and redeveloped in a manner that is compatible with viable existing development and long-term character and goals for the area.

Land Use and Design Principles: Promote and encourage compatible infill development with a mix of housing types in neighborhoods close to employment centers, commercial areas, and where transit or transportation alternatives exist.

This request assembles 13 parcels that are zoned for R-4 and R-5 multifamily residential (formerly C-O) and combines them into one cohesive project with one common zoning that promotes compatibility with the surrounding area. Records show that 12 out of the 13 parcels contain single-family homes that were built between 1949 and 1970. The last parcel is vacant and has remained vacant for decades. While single-family homes are permitted on these parcels and within these zoning districts, the intent of the R-4 and R-5 zoning districts is to provide for much higher densities associated with apartment style development. Over the last decades, development patterns have changed the 7th Street corridor in this area. These existing parcels are now situated between commercial retail uses, auto repair, 2 story office building, and multi-story apartments. 7th Street itself has seen significant redevelopment with numerous new restaurant venues. This change in development pattern has been a catalyst to seek redevelopment of this subject property for high-end apartments to support and take advantage of the vibrant new uses dominating the nearby 7th Street corridor. With the exception of these few single-family lots, the area has developed consistently with C-2 (“General Commercial”) and C-O (“Commercial Office”) zoning and a variety of multifamily uses under the R-4 and R-5 designations.

Most all of these existing apartments are several decades old so the area is ripe for luxury level multifamily living. Revitalization of the subject property, comprised now of underutilized residential rental units, most of which were constructed between 1949 and 1970 will have a positive domino effect on all aspects of the local economy, including making the area more attractive for new businesses and employers and long-term viability for living in this area. The added population will help the City’s goals of having a balance between population and employment over the long-term. This high-quality residential project is in keeping with the evolving character of the area and implements the City’s goals for providing viable pedestrian-friendly housing options within the community. This project has been specifically designed to have the ground floor units interact with a new offset, tree lined sidewalk with a strong residential architecture – all designed to activate Marlette Street.

Furthermore, the site enjoys exceptional local and regional access due to its strategic location near 7th Street and approximately 1-½ miles west of the SR-51 (Piestewa Freeway). 7th Street provides bus routes that connect to the mass-transit line and this proposed project has been designed and influenced by residential development standards. The site’s strategic location and nearby freeway access also provides this infill site with exceptional access to three of the largest employment corridors in the City including the Camelback Corridor, Midtown Phoenix, and Downtown Phoenix, which makes this project an ideal location for young professionals seeking to avoid long commutes to work and to live, eat, work and play in the same area.

The Site is located within close proximity to one of the City's heavily traversed major arterial streets, 7th Street, which has influenced the establishment of a variety of uses contributing to the area's modern and dynamic urban environment. Approximately a dozen redevelopment projects – both residential and non-residential – have either been completed or are underway within this immediate area which has brought new life, excitement, and an evolving dynamic character to increase commerce in the area. In addition, as noted earlier, some 150 new restaurants have opened (or soon will open) in Phoenix with many in the nearby area to serve the residents here. Having a row of great dining venues close by is a major asset to the area and certainly contributes to the viability of renovating the older multifamily housing complexes in the area.

The General Plan encourages new development that fits the scale and character of the surrounding area. This zoning creates a transition from the existing commercial along 7th Street to the existing neighbors to the east and south. When the site is developed, the taller but residential scale buildings, will buffer development to the east from the noise and traffic of 7th Street. This unique multifamily residential development provides this infill area with another alternative for the broad range of lifestyles and one that is complimentary with the existing multifamily zoning pattern and commercial, and office in the area. Furthermore, the project will support local businesses by reducing parking loads while increasing commerce with an estimated \$24 million in annual buying power, which in turn will have a positive effect on property values and it will help preserve the balance between the employment-to-population goals envisioned for the Village.

Core Value: Connecting People & Places
Opportunity Sites

The Goal: To promote development of vacant parcels or redevelopment of underutilized parcels within the developed area of the city that are consistent with the character of the area or within the area's transitional objectives.

The proposed infill multifamily residential development rezoning is compatible with the adjacent zoning pattern and the surrounding uses. The General Plan supports increased intensity, respectful of local conditions and surrounding neighborhoods. The City's General Plan Land Use Map shows the surrounding area to the north, east and south as all being designated as "15+ du/acre – Higher density attached townhouses, condos, or apartments" and therefore this request is consistent with the City's desires for multifamily in this area. Additionally, the underlying R-4 and R-5 zoning allows buildings of 3 and 4 stories.

As previously noted, there has been tremendous growth along the 7th Street corridor, which has allowed the rejuvenation of older underutilized retail, office and residential opportunities. The area has evolved from mostly older strip retail centers and decades old multifamily developments into a dynamic area featuring both new residential and non-residential uses which has brought redevelopment and new tax dollars to the area. Redevelopment of these infill and underutilized parcels will allow for a high-quality, desirable multifamily project that will likely spur other redevelopment activity in the area and one that is compatible with the wide spectrum of commercial retail uses, office buildings, restaurants, and apartments.

The proposed request is consistent with the adjacent zoning pattern for higher density residential units and the evolving character of this area, given the numerous redevelopment projects underway or planned in the nearby area and will help promote the long-term success of the local community and viability of the area. As a practical matter, this location is in the heart of the City; however, these parcels have been underutilized for many years. The proposed development will bring sophisticated, luxury rental living to this location and will serve as a catalyst to other positive opportunities for redevelopment of older retail and office uses in the area. This request proposes redevelopment of an underutilized parcel that fits the area's transitional objectives and compliments the scale and character of this urban area.

ZONING & LAND USE COMPATIBILITY

This project, as designed, will be in compliance with R-5 standards for setbacks, building height, open space and parking. The project only exceeds the R-5 standards on overall density and lot coverage.

As noted earlier, North Central, in particular along 7th Street, is undergoing a dynamic and vibrant rejuvenation with many new restaurant venues (listed earlier in this PUD) and new retail. Strong City policies have encouraged this revitalization and redevelopment, including assemblages of long vacant or blighted infill, properties, like this one. This is now a desirable new location in the City for new luxury multifamily living – close to everything - but the aging multifamily housing options are out of step with today's more discerning and affluent renter. This project addresses and is focused on that market.

The challenge is how to add completely new modern housing without compromising the central city residential "feel" of this area. This particular site is completely surrounded by commercial and apartment uses. By restricting building heights to 3 stories on Marlette, this project utilizes the height approved in the earlier townhouse designs and therefore keeps the same residential profile. And importantly, unlike these townhouse designs under the R-4/R-5, this project doesn't turn the backs of the units to Marlette with a six (6) foot perimeter wall to Marlette. Rather, it embraces Marlette by designing all ground floor units to have individual front doors onto Marlette. Sightline views of this property from the surrounding area are basically screened or obscured by other buildings or mature trees, since all adjacent properties are either old apartments or office projects.

This development has been thoughtfully and specifically designed by Wood Partners at a sophisticated luxury level to upgrade the rental living experience in this valuable part of Phoenix. The nearby dining, retail, services, and high-valued employment uses will all benefit from this new community. Based upon Wood Partners' extensive experience in building this type of apartments in Central Phoenix, the average household incomes of the renters are projected to be over \$100,000. That translates into significant disposable income. This proposal, as illustrated

by the accompanying site plan and elevations, will have a beneficial impact on both the current and future surrounding land uses.

The existing land uses and zoning adjacent to the site are as follows:

	Land Use	Zoning
Onsite	Residential rental units (12) and a vacant parcel	R-4 & R-5
North	Commercial, commercial/office and restaurant	C-2, C-O and R-5
South	Multifamily	R-4
East	Multifamily	R-4A
West	Commercial retail/restaurants	C-2

LIST OF USES

This PUD seeks approval for the proposed multifamily residential development over the entire 3.93 gross acre site currently zoned R-4 and R-5. The ability to develop office uses pursuant to the existing R-5 zoning has also been included only for the eastern 1.15 acres (currently zoned R-5). However, this flexibility is incorporated only until the overall residential community on the entire site is under development. At that time, the ability to develop office uses will expire. This PUD also allows for (but does not require) the following accessory uses to support the future residents and guests of the multifamily residential use.

The permitted uses in this PUD are provided below in two separate lists of uses. Uses in this PUD are either permitted, permitted as an accessory use or permitted subject to additional restrictions. The Zoning Administrator may administratively approve a use analogous to those listed in the tables below. A brief description of the three types of uses allowed in this PUD are defined as follows.

1. Permitted Principal Uses

Uses specifically permitted or analogous to those specifically permitted as determined by the City of Phoenix Zoning Administrator.

2. Permitted Accessory Uses

Uses specifically permitted as an accessory to a permitted principal use. Permitted accessory uses are only allowed as an accessory to a permitted principal use and may not be developed as a standalone use. Permitted accessory uses that are allowed as accessory to any permitted principal use are located in the "Accessory" land use group within Table 2. Permitted accessory uses that are only allowed as accessory to a specific permitted principal use are enumerated directly beneath the permitted principal use.

3. Permitted Uses Subject to Restrictions or Additional Procedures

These uses are either subject to performance standards or may need an additional entitlement such as a Use Permit which is processed in accordance with the provisions of the City of Phoenix Zoning Ordinance (as amended).

Table 2: Permitted Uses					
Land Uses		Permitted Principal Use	Permitted Accessory Use	Permitted Subject to Restrictions or Additional Procedures	
1.	Multiple-Family Residential <i>(A building or buildings attached to each other and containing two or more dwelling units. The term "multifamily dwelling" is intended to apply to dwelling types as triplex, fourplex, and apartments where any dwellings have their primary access to a common hallway or corridor.)</i>	▪			
2.	Fitness Center		▪		
3.	Clubroom		▪		
4.	Demonstration Kitchen and coffee/juice bar		▪		
5.	Living room for social gatherings		▪		
6.	Leasing/Management Office		▪		
7.	Workroom/Conference & Business Center		▪		
8.	Live-work		▪		
Permitted Land Uses For the 1.15 ac. Office Site Only					
If office uses are developed on the eastern 1.15 acres of the site (identified as "Office Only Development Site on Exhibit A), development shall comply with Section 618.D of the Zoning Ordinance.					

SITE DEVELOPMENT STANDARDS

The Development Standards and Guidelines for this PUD listed below are intended to carefully fit this residential use into the established character of the surrounding area, which is primarily rental housing. The representative images provided herein are intended to communicate the level of quality and design vocabulary for this project. The final design will comply with the following development standards and design guidelines which are based on and further illustrated by the images attached hereto as Exhibits to this PUD.

Two tables of development standards are provided. The development standards for the Overall Development site are for the residential community and are based upon the R-5 PRD standards of the Phoenix Zoning Ordinance. The project standards comply with the R-5 PRD option, except for density and lot coverage. A second table of the alternate development standards is provided only for the Office Development Site, which is the eastern 1.15 ac. development site, titled herein as the Office Development Site and identified on Exhibit A. These development standards are based on the R-5 standards in Table B. Column a. No development standard changes are proposed for the office use, should it actually occur as discussed earlier.

All other standards in the City of Phoenix Zoning Ordinance (not otherwise addressed herein) shall apply to this development.

Table 3.1: Overall Development Site	
Maximum Density	Maximum Number of Dwelling Units - 229
Building Setbacks	
North	15-feet max.
South	20-feet min./25-feet max.
East	No on-site parking will be allowed in the Marlette building setback. 15-feet max., except that the east (southern portion) setback is 30-feet max to allow for Fire Lane.
West	15-feet max. south of Stella Lane and 55-feet max. north of Stella Lane (NOTE: The west elevation is both technically the front yard and the ceremonial front of the project. In the west and the east setbacks, encroachments of 5-feet into the required setbacks, beginning 15-feet above grade are permitted for architectural projections including balconies.)
Building Height and Maximum Number of Stories <i>NOTE: Parapet height limited to 5 ft. above roof height.</i>	35-feet maximum height for 3 stories 45-feet maximum for 4 stories 48-feet maximum height of internalized parking structure. NOTE: These building height standards shall not apply to the architectural embellishments at the entry.

Building Stepbacks		
	South	Min. 50-feet for any portions of the building in excess of 38-ft.
	North, East and West	No stepback required
Maximum Lot Coverage		70%
Parking and Access Standards		The PUD will comply with Section 702 of the Phoenix Zoning Ord.
	Percentage of Covered Parking	Min. 70%
	Percentage of Structured Parking	Min. 80%
Bicycle Parking		
	Per Dwelling Unit	0.15 spaces for each residential unit, with a maximum of 30 spaces.
	Max. Distance of Bicycle Parking to Structure Ingress/Egress	50 ft. from the interior central Stairway that accesses the parking structure
	Bicycle Racks	At least two (2) bicycle racks shall be within 250-feet of the street.
Minimum Common Open Space		7% gross site area
Building and Shade		That a minimum of 50% of public sidewalks shall be shaded through the use of landscaping techniques, architectural projections, or other types of stand-alone structural shading devices. Shade calculations shall be based on the summer solstice at 12:00 p.m. A minimum of 50% of common amenities areas shall be shaded.
Landscaping Standards & Planting Guidelines		
Landscape Setbacks		
	North	Min. 10-feet/15-feet max.
	South	Min. 20-feet/25-feet max.
	East	Min. 10-feet/15-feet max.
	West	Min. 10-feet/15-feet max. No landscape setback is required on Stella Lane itself because Stella Lane is the project entry driveway.
Landscape Standards		
	Adjacent to Marlette	(1) 3-inch caliper drought-resistant tree planted 20-feet on center, or in equivalent groupings, less driveways and sidewalks and alternating on each side of sidewalk. (5) 5-gallon drought-resistant shrubs for each tree.
	Adjacent to Interior Property Lines	(1) 2-inch caliper tree planted 20-feet on center , or in equivalent groupings, (60% of required trees) (1) 1-inch caliper tree planted 20-feet on center , or in equivalent groupings, (40% of required trees) (5) 5-gallon shrubs for each tree.
	Pedestrian Accessways and Sidewalks	The public sidewalk on Marlette shall be offset from the back of curb by 4' and the public sidewalk shall be a minimum of 5' in width. The private pedestrian walkway connecting each ADA compliant unit to Marlette shall be ADA compliant.
	Ground Cover	Min. 50% living groundcover.

Table 3.2: Alternate Office Development Site (Eastern 1.15 ac.)

If office uses are developed on the eastern 1.15 acres of the site (identified as “Office Only Development Site on Exhibit A), development shall comply with Section 618.B.1 Table B, Column A (R-5, Table B, Subdivision Development Option) of the Zoning Ordinance.

DESIGN GUIDELINES

In addition to the site development standards, these design guidelines are provided to empirically establish a level of design quality for the architectural vision of this PUD development that the City can use to evaluate the actual plans for development when they are submitted to the City.

OVERARCHING DESIGN PRINCIPLES

On a grand scale, in light of the site’s context in lushly landscaped north central Phoenix, the western and Marlette frontages will feature plant materials that present a lush green appearance while the balance of the site will be planted with drought resistant plant materials commonly used in new developments in the City of Phoenix.

The architectural character on the Marlette and Stella facades will feature a brownstone/rowhome style design using brick and stone while the north and east elevations, which are less visible, will predominantly utilize compatible coloring, massing, building articulation balconies, roof detailing and subtle brick accents on six architectural pop-outs at a minimum on the 3rd and 4th levels.

SITE DESIGN/DEVELOPMENT

The Property will incorporate low water use plants in practical locations. Given that this site is in north central Phoenix, shade street trees and evergreen shrubs/general cover will be used to foster a lush landscape appearance and enhance the residential feel on Marlette.

The parking structure shall be entirely enclosed on all sides adjacent to a residential district, including the ground floor. Where ventilation is required, perforated metal or other seemingly translucent materials may be used.

A significant number of the projects required parking will be in the parking structure. A minimum of 70% of the provided parking shall be covered and 80% shall be in the parking structure.

Bicycle parking shall be provided in a secured location which can include individual lockers or racks. The location and dimension of bike racks is subject to the City’s approval during the technical site plan review process.

All building lighting will be LED when practical and efficient. All lighting shall be fully shielded.

Vehicular access to the site for the multifamily development is limited to Stella Lane. Vehicular access to Marlette shall only be allowed for the alternate office development on the eastern 1.15 ac. parcel designated as the "Office Development Site".

ARCHITECTURAL CHARACTER

The architectural character and detailing shown in the elevations behind Exhibit J and Exhibit K are to be utilized in the designs of architectural character in terms of visual impact (color), building materials, use of glass and architectural surface relief. More specifically:

1. All sides of the building shall exhibit four-sided architecture and contain multiple exterior accent materials such as brick/stucco/steel that exhibit quality and durability.
 - a. On Stella, a minimum of 40% of the façade will be brick.
 - b. On Marlette, a minimum of 50% of the façade will be brick.

NOTE: These percentages are based on the area of brick vs. the overall outline of the elevation as if it was flat but not accounting for windows and doors.

 - c. Balconies, 75% of the units shall have a balcony.
2. Visible side and rear building facades (the north and east elevations) shall be compatible with the front façade on Stella Lane as to colors, materials and design. The use of brick on the north and east elevations can be limited to six of the architectural pop-outs on the 3rd and 4th levels due to the lack of visibility of these elevations.
3. Cornice Types: Overall there will be (6) different cornice types that range from 1'-0" to 9'-3" high the project. There will be a least (2) different cornice types per façade.
4. No parapet wall on the project will terminate without a cornice.
5. Building facades visible from public streets and adjacent to residential property shall not exceed 75 ft. without architectural embellishments and detailing such as textural changes, pilasters, offsets, recesses, balconies, window fenestration, shadow boxes and overhead/canopies. The parapet/roof line will not be in excess of 75' in length of continuous run and will step no less than 1' in height at the end and beginning of a run.
6. The building façade will not be a singular plane. The façade will move in and out. There will not be a distance of greater than 50'-0" of uninterrupted flat wall on the facade without a 1'-0" to 5'-0" offset.
7. There will be a minimum of (4) different exterior colors throughout the project enhancing the change in elevation of the various elements of the façade.

8. The eastern 1.15-acre parcel, designated as the “Office Development Site”, indicates an alternate office use that may occur under the existing entitlements should the residential community not be built. The current owner has indicated that this site would develop under a similar architectural character and design theme as the existing offices to the north (under the same current ownership). Details regarding the office architecture would be provided in the future, should this use/development occur. An office use on/in the 1.15 ac. shall not be permitted if the proposed 229 unit residential community commences construction.

MARLETTE FRONTAGE

Each ground level unit on the south side of the building facing onto Marlette shall have windows and an individual doorway entrance opening onto Marlette with the following elements and characteristics:

- All ground level units on Marlette will face onto and have direct pedestrian access from their front doors to a new offset, tree-lined sidewalk to establish a strong residential character to this street.
- Each unit entryway shall have 1-2 steps to transition between the elevated outdoor private patio area and the sidewalk connecting each unit to the public sidewalk.
- Each unit entryway shall have at least one window within 3 ft. of the entry door.
- There shall be a minimum of 25 ft. between residential apartment doors and the doors shall not exceed an average separation of 50 feet.
- A separate 3 ft. wide sidewalk shall connect each unit to the public sidewalk. No more than two units may share a connecting sidewalk. The sidewalk shall be concrete slab, pavers, open grid pavers or equivalent ADA compliant alternative.
- Walls, at a minimum of 30-inches and a maximum of 36-inches in height, are permitted within 10 feet of the building, except a blast wall around the existing transformer may be a maximum of 10-feet 8-inches. The blast wall shall be cladded in the same block façade treatment used on the building (per Exhibit Q)
- The upper floors above the ground level entry shall have a balcony the majority of which is inset and is accessible to each unit by a door.
- Each window shall have an eyebrow of 4” to 6” with a color and size that is similar to the band separating the brick from the stucco above.

EXTERIOR AMENITIES

In this community, a pool and three (3) barbeque units shall be provided. Additionally, at least three (3) of the amenities listed below shall also be provided for a total of five (5) types of exterior amenities in this community.

- Cabana
- Spa
- Ramada
- Dog Park
- Grassed Activity Area with Seating, to be located outside of required Fire Lanes.

SITE CIRCULATION

Vehicular access to the site for the multifamily development is limited to Stella Lane. Vehicle access to the site is prohibited from Marlette Avenue.

The only potential vehicular access to Marlette that will be allowed would be if the eastern 1.15 ac. parcel designated as the “Office Development Site” were to actually develop with the alternate office use. The office designation allows for the development under the existing entitlements should the residential community not be built. An office use on/in the 1.15 ac. is not permitted if the proposed 229 unit residential community commences construction.

The parking structure, which is accessed from Stella Lane, shall be entirely enclosed on all sides adjacent to a currently existing off-site residential use or district, including the ground floor.

The proposed site circulation is as depicted on Exhibit L, the Circulation Plan, subject to approval by the City of Phoenix.

Fire trucks and trash trucks will enter the site from Stella Lane and use a hammerhead turnaround located perpendicular to the lobby entrance shown in white below. A separate fire lane is located on the east side of the property which extends north up and into the dog park. Residents’ ingress/egress is from Stella Lane only.

SIGNS

The sign regulations for the multifamily residential community ALTA Marlette shall be in conformance with the multifamily residential land use standards in Section 705 of the Phoenix Zoning Ordinance, except as described below. All signage proposed for an office development on the Office Only Development Site shall follow the nonresidential activity in a residential district standards of Section 705 of the Zoning Ordinance.

The sign standards listed below are intended to replace and supersede the comparable sign standards contained within the City of Phoenix Zoning Ordinance. In the event of a conflict between a provision of the PUD and a provision of the City of Phoenix Zoning Ordinance, the PUD prevails. In the event that the PUD is silent regarding a specific sign standard, the City of Phoenix Zoning Ordinance controls.

a) Sign Standards Matrix for Specific Types of Signs

This section includes specific sign standards for vertical blade signs, wall signs and ground or pillar mounted signs.

Table 4.1 Wall Signs (Includes Vertical Blade signage)

	Maximum Height of Sign From Grade		Maximum Area
West Elevation	46-feet		130 sq. ft. total
South Elevation	No Signage Permitted		No Signage Permitted
East Elevation	No Signage Permitted		No Signage Permitted
North Elevation	46-feet		50 sq. ft. total

All Wall Signs shall only be placed in the envelopes identified on the elevation sketches provided in the Signage Design Guidelines in paragraph b. herein. Signage will not be allowed to break the silhouette of the building (i.e. extend beyond the parapet). Modifications to these locations may be approved as a Minor Amendment to the PUD.

Table 4.2: Ground and Combination Signs

	Number of Columns	Column Dimensions	Maximum Sign Height	Maximum Sign Area
Columns w/Placard Sign	2	3-foot square columns at 12-foot in height	6-feet	4 Sq. ft. per column

Table 4.3: Temporary Signs

Type	Height	Area
Fabric Marketing Banners North and West Elevations Only	46-feet	50 sq. ft. One (1) banner per elevation

Temporary Signage will not be allowed to break the silhouette of the building (i.e. extend beyond the parapet)

b) Signage Design Guidelines

Signs will use materials or textures which are complementary to those used in the building. Contrasting materials or textures may be used in and around the palm plaza to add to the vibrant urban character.

Signage for the development could consist of vertical blade sign on the west elevation, typical wall mounted wall signs, and ground signs in the form of signage placards on columns framing each side of the entry on Stella Lane.

Except as listed below, the construction requirements of Section 705 of the Zoning Ordinance shall control.

Display Area	Double-sided internally illuminated cabinets with LED – Halo illuminated reverse pan channel (RPC) letters which are attached to the fascia of the building to display name of community.	4” thick illuminated RPC letters to display name of community.
Materials	Aluminum, steel, acrylic, paint, bronze	Aluminum, steel, acrylic, paint, bronze

Table 4.5: Sign Envelopes and Exhibits for Wall Mounted Signs

<p>West Elevation</p>	
<p>West Elevation</p>	
<p>South Elevation</p>	<p>No Signage Allowed</p>
<p>East Elevation</p>	<p>No Signage Allowed</p>
<p>North Elevation</p>	

SUSTAINABILITY

The overall site design for the project utilizes space in the most efficient manner due to the compact nature of this multi-level residential living environment, especially given the site's close proximity to various modes of public transportation, including the Light Rail. The development shall also incorporate other sustainable elements such as the following:

- A high-reflectivity roof coating and/or be made of high-reflectivity materials will be utilized in order to help mitigate the urban heat island effect.
 - Fresh air ventilation and low VOC materials that promote indoor air quality and limits moisture problems will be utilized.
 - Outdoor green spaces will be utilized to help reduce the effects of urban heat islands and increase storm water infiltration.
 - Efficient indoor plumbing fixtures and exterior irrigation will be used to lower overall water use.
 - ENERGY STAR rated windows, appliances and mechanical equipment along with a well-insulated exterior building envelope will be used to lower building electrical consumption loads.
-
- Community Connectivity for walkability and mass public transit use will be promoted.
 - Consideration is being given to adding Electric Vehicle Charging Stations and preferred parking for Fuel Efficient Vehicles.
 - Priority will be given to the use of local building materials that supports the region's economy and minimizes energy consumption costs in transporting materials.
 - Further, each unit will incorporate environmentally sensitive "elements" to increase energy efficiency including but not limited to high efficiency mechanical equipment and water heaters, energy efficient appliances, dual glazed windows, low VOC interior paints and sealants, reduced flow fixtures and enhanced thermal performance of the building envelope.

The following are sustainability practices that are highly encouraged and planned to be utilized but which are not enforceable by the City:

- Provide water efficient landscaping (drought tolerant plants).
- Utilize a drip irrigation system to minimize water waste.
- Utilize low water usage plumbing fixtures.
- Encourage the design of buildings' HVAC systems to eliminate the usage of CFC's and CFC based refrigerants.
- Encourage the use of water based adhesives on all VCT and vinyl flooring to minimize VOC off-gassing.

Please refer to Exhibit P for a longer list of sustainability items that are planned to be incorporated into the design of this development.

INFRASTRUCTURE

Grading and Drainage:

Will be submitted as part of the Planning and Development Department Site Plan submittal.

Water and Wastewater:

For water, there is an existing 6" waterline line in Stella Lane, that will be used for fire and water service. In addition, an existing 6" waterline is within Marlette Avenue that can be utilized to create a looped fire line through the site. The site is currently being serviced by two existing 8" sewer lines, one to the west of the site (7th Street), and another along the north side of the site. This residential development will utilize the same public sewers. Further, water and wastewater infrastructure requirements will be determined at the time of the site plan review, when the final land-use and urban design of the property in question have been clearly identified and proposed water demands and wastewater generation and infrastructure locations have been clearly established.

The project site may be served by the existing city of Phoenix water and wastewater systems pending capacity review and approval. Infrastructure improvements may be required to provide service. The improvements will be designed and constructed in accordance with City Code requirements and Water Service Department Design Standards and Policies.

PHASING PLAN

No Phasing Plan is proposed at this time.

O:\INDEX\Wood Partners\7th St. & Marlette\Docs\Final PUD Docs\Minor Amendment April 2018\Final PUD As Amended by Minor Amendment - 6-25-18.docx

EXHIBITS

- A. Aerial of Subject Site and Adjacent Area
- B. General Plan - Land Use Map
- C. Zoning Map (I-8) – Existing Zoning
- D. Zoning Map (I-8) - Proposed PUD Zoning
- E. Overall Development - Conceptual Site Plan for Proposed Multifamily Community (Colored)
- F. Overall Development - Conceptual Site Plan for Proposed Multifamily Community
- G. Conceptual Site Plan for Office Site Only
- H. Conceptual Landscape Plan
- I. Conceptual Landscape Plan – Plant Palette
- J. Conceptual Residential Elevations
- K. Marlette Frontage Rendering
- L. Circulation Plan
- M. Context Plan
- N-1. Legal Description (Overall Development Site)
- N-2. Legal Description (Office Development Site only)
- O. Comparative Zoning Standards Table
- P. Designers Report – National Green Building Standard
- Q. Blast Wall Exhibits

EXHIBIT C

Zoning Map (I-8) – Existing Zoning

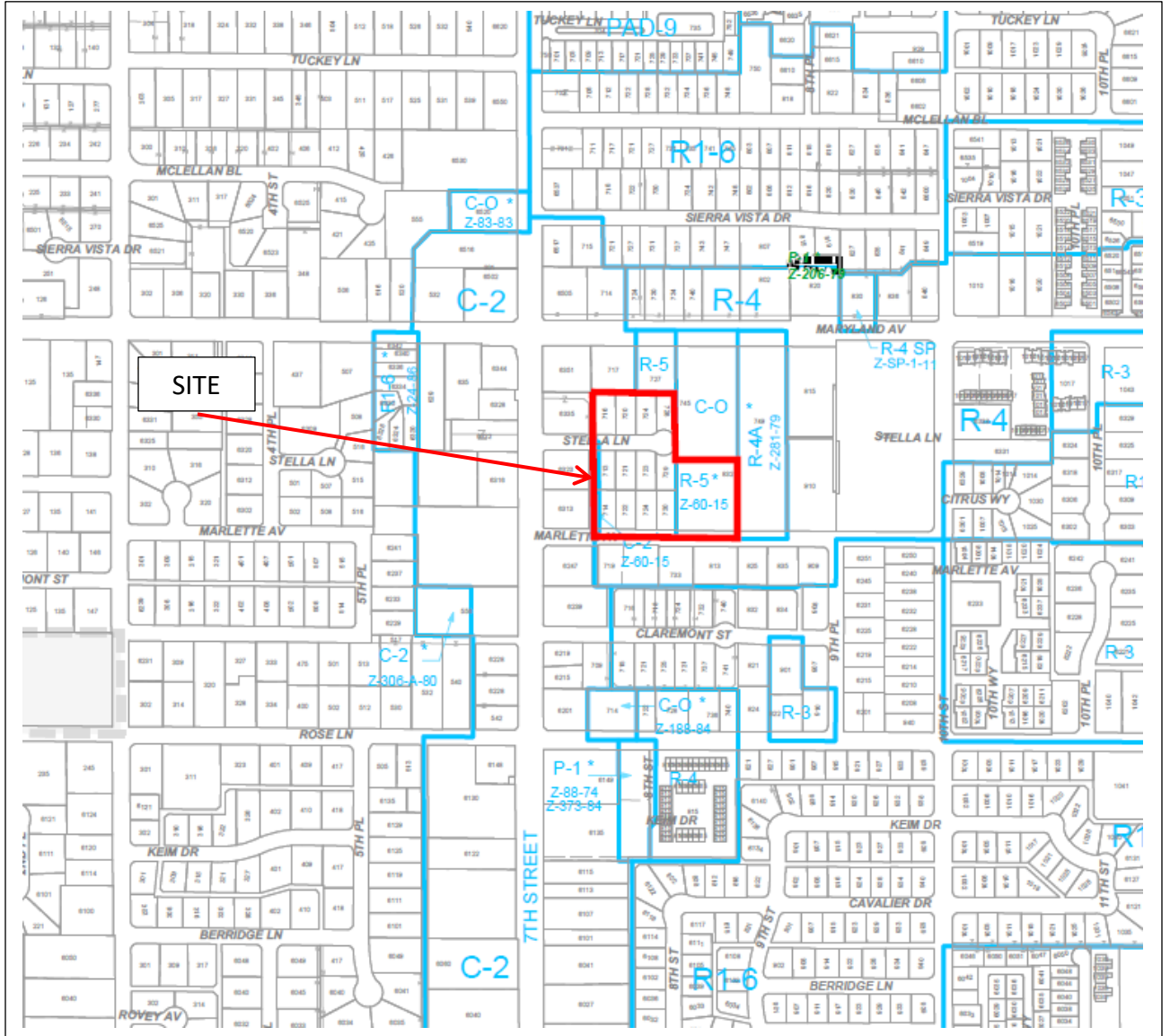


EXHIBIT D

Zoning Map (I-8) – Proposed P.U.D. Zoning

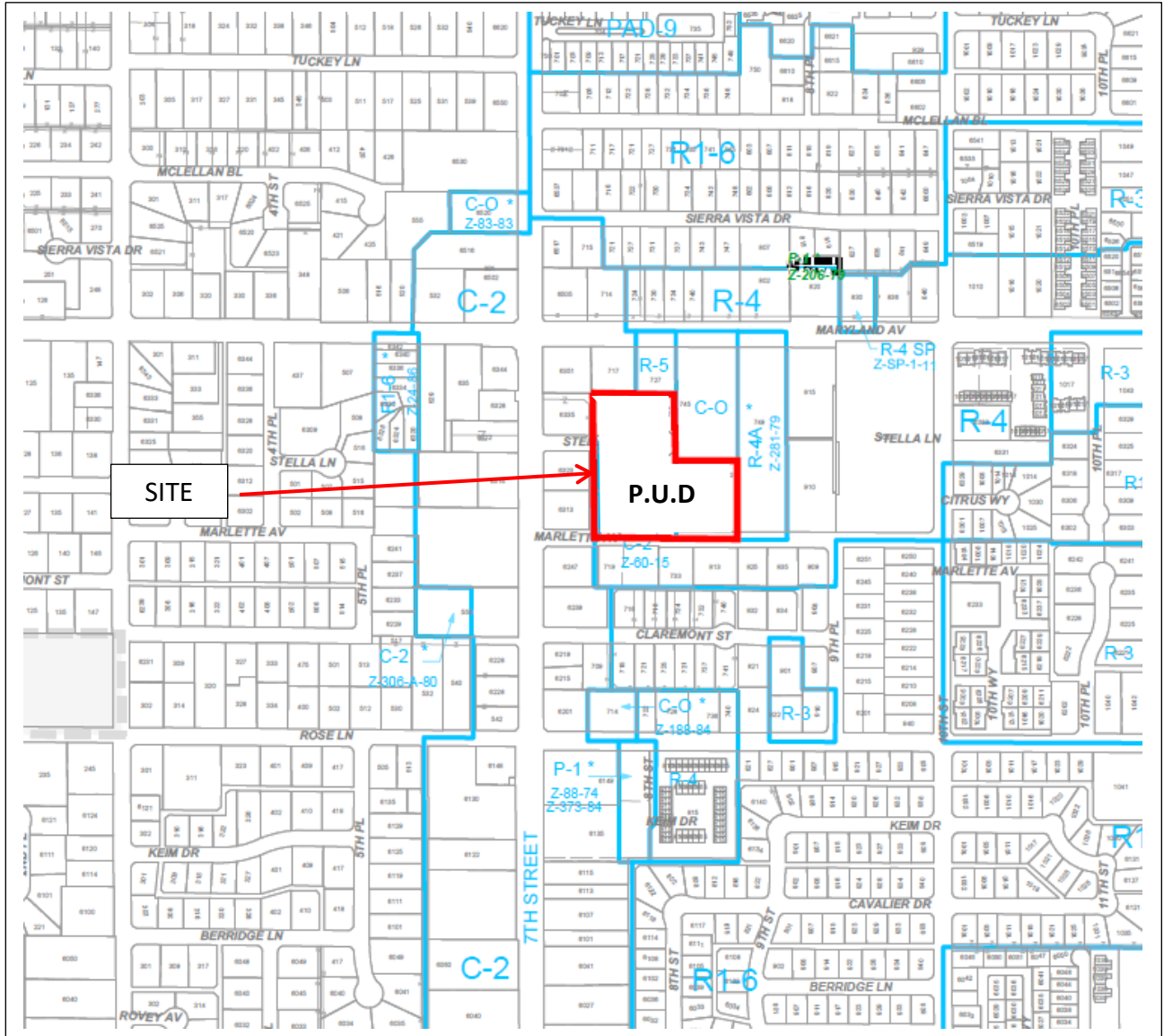


EXHIBIT E

Overall Development -- Conceptual Proposed Site Plan for Multifamily Community (Colored)

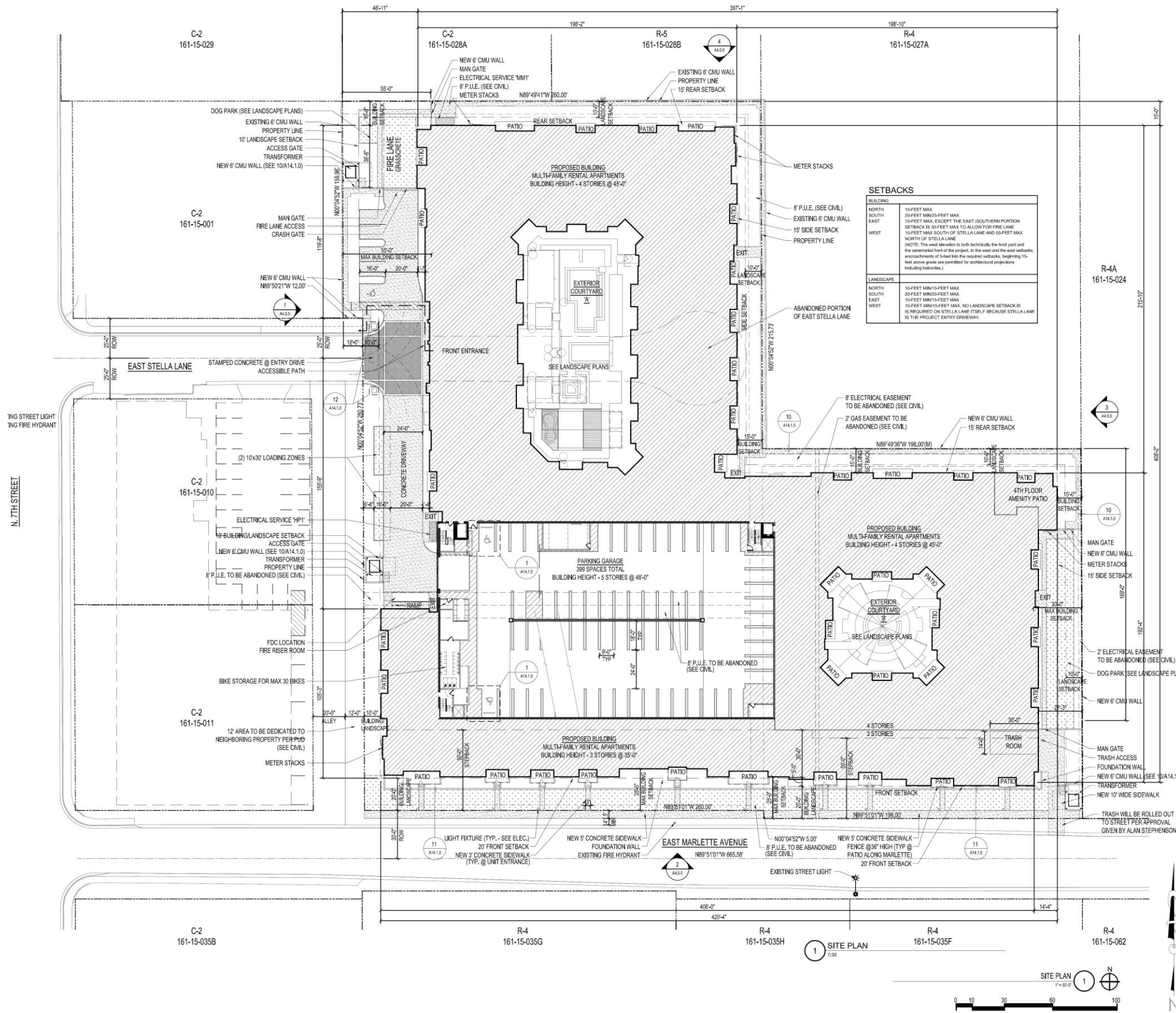
Overall Development -- Conceptual Proposed Site Plan for Multi-Family Community (Colored)



EXHIBIT F

Overall Development – Conceptual Site Plan for Multifamily Community

Overall Development – Conceptual Site Plan for Multi-Family Community



SETBACKS

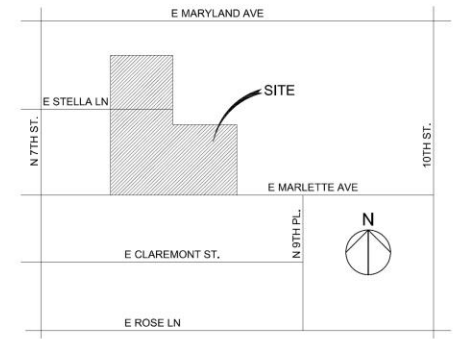
BUILDING	SETBACKS
NORTH	15-FEET MAX
SOUTH	20-FEET MINUS-15-FEET MAX
EAST	15-FEET MAX, EXCEPT THE EAST (SOUTHERN PORTION) SETBACK IS 30-FEET MAX TO ALLOW FOR FIRE LANE
WEST	15-FEET MAX SOUTH OF STELLA LANE AND 55-FEET MAX NORTH OF STELLA LANE
(NOTE: The west elevation is both technically the front and the ceremonial front of the project. In the west and the east setbacks, encroachments of 3-feet into the required setbacks, beginning 15-feet above grade are permitted for architectural projections including balconies.)	
LANDSCAPE	SETBACKS
NORTH	10-FEET MINUS-15-FEET MAX
SOUTH	20-FEET MINUS-15-FEET MAX
EAST	10-FEET MINUS-15-FEET MAX
WEST	10-FEET MINUS-15-FEET MAX, NO LANDSCAPE SETBACK IS REQUIRED ON STELLA LANE ITSELF BECAUSE STELLA LANE IS THE PROJECT ENTRY DRIVEWAY.

SITE PLAN INFORMATION

- PROJECT DESCRIPTION:**
A NEW MULTI FAMILY APARTMENT BUILDING 4 STORIES WRAP WITH AN INTERIOR PARKING GARAGE AND 2 INTERIOR COURTYARDS.
- BUILDING SQUARE FOOTAGE:**
APARTMENTS
1ST FLOOR - 73,811 SF
2ND FLOOR - 74,063 SF
3RD FLOOR - 74,224 SF
4TH FLOOR - 59,041 SF
TOTAL GARAGE
4 LEVELS @ 25,564 SF + 1/2 LEVEL UP AND DOWN = 134,042 SF
- SITE NET ACREAGE:**
156,528 SQ. FT. (3.6 ACRES)
- SITE GROSS ACREAGE:**
168,916 SQ. FT. (3.9 ACRES)
- LOT COVERAGE/OPEN SPACE:**
LOT COVERAGE PROVIDED: 64% (99,375 SF)
LOT COVERAGE ALLOWED: 70% MAX (PER PUD)
OPEN SPACE PROVIDED: COURTYARD A - 10,409 SF
COURTYARD B - 3,867 SF
TOTAL - 14,276 SF
OPEN SPACE REQUIRED: 7% OF GROSS = 11,824 SF
- CURRENT ZONING:**
PUD - CASE# Z-27-17-6
- BUILDING HEIGHT:**
MULTI-FAMILY APARTMENT - 3 STORIES, 35'-0"
MULTI-FAMILY APARTMENT - 4 STORIES, 45'-0"
PARKING STRUCTURE - 48'-0"
MAX. HT. ALLOWED @ 3 STORIES: 35'-0" (PER PUD)
MAX. HT. ALLOWED @ 4 STORIES: 45'-0" (PER PUD)
MAX. HT. ALLOWED @ PARKING STRUCTURE: 48'-0" (PER PUD)
* MAX. HT. DOES NOT INCLUDE ENTRY ELEMENTS
PER PUD PARAPET HEIGHTS LIMITED TO 5' ABOVE ROOF
- PARKING CALCULATIONS:**
PARKING PROVIDED: 388 GARAGE SPACES + 5 OPEN SPACES
404 SPACES (9 ACCESSIBLE)
PARKING REQUIRED: 1.5 SPACES PER 1 BEDROOM (134 UNITS)
1.5 SPACES PER 2 BEDROOM (75 UNITS)
2 SPACES PER 3 BEDROOM (20 UNITS)
364 SPACES (8 ACCESS. REQ. PER SEC 702G TABLE 1)
UNRESERVED REQ.: 0.5 SPACES PER 1 BEDROOM (134 UNITS)
0.5 SPACES PER 2 BEDROOM (75 UNITS)
1 SPACE PER 3 BEDROOM (20 UNITS)
123 SPACES (N/A - NO RESERVED PARKING)
LOADING PROVIDED: (2) 10'X30' LOADING BERTHS (PER 702B TABLE C)
LOADING REQUIRED: (2) 10'X30' LOADING BERTHS
- CONSTRUCTION TYPE:**
5A - APARTMENTS
1A - PARKING GARAGE
- TOTAL DWELLING UNITS/DENSITY:**
Maximum Number of Dwelling Units - 229
TOTAL UNITS ALLOWED PER PUD: 229
- UNIT MIX**

1 BEDROOMS -	134
2 BEDROOMS -	75
2 BEDROOMS + DEN -	20
TOTAL -	229
- CURRENT CODES**
2012 INTERNATIONAL BUILDING CODE W/ AMENDMENTS
2012 INTERNATIONAL EXISTING BUILDING CODE W/ AMENDMENTS
2012 INTERNATIONAL MECHANICAL CODE W/ AMENDMENTS
2012 UNIFORM PLUMBING CODE W/ AMENDMENTS OR 2012 INTER. PLUMBING CODE
2012 NATIONAL ELECTRICAL CODE/NFPA-70 W/ AMENDMENTS
2012 INTERNATIONAL FUEL GAS CODE W/ AMENDMENTS
2012 INTERNATIONAL FIRE CODE W/ AMENDMENTS
2012 INTERNATIONAL ENERGY CONSERVATION CODE W/ AMENDMENTS
2012 CITY OF PHOENIX BUILDING CONSTRUCTION CODE ADMIN. PROVISIONS
2009 ICC/ANSI A117.1, 2010 ADA

VICINITY MAP - NTS



CITY OF PHOENIX APPROVAL BLOCK

Drawn	JF
Checked	BC
Job Number	1716
Drawing	SITE PLAN
Sheet	A1.0

KIVA# 16-3040
 SDEV# 1800547
 PAPP# 1800419
 PRLM#
 SCM#
 Q.S. 21-29

CCBG
Architects, Inc.
PHOENIX SAN DIEGO
102 E BUCHANAN PHOENIX, AZ 85014
P. 602.258.2211 F. 602.255.0909

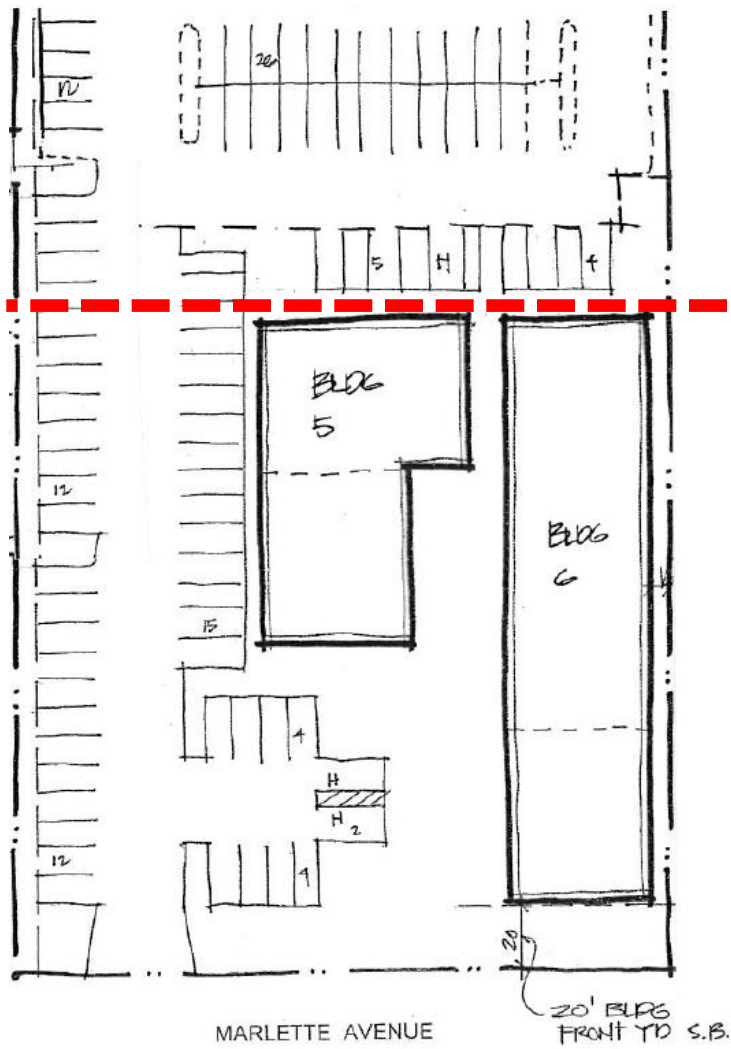
NEW APARTMENT BUILDING
ALTA MARLETTE
WOOD PARTNERS
N. 7TH ST. AND E. STELLA LN.
PHOENIX, AZ 85014

ISSUE

DATE	REV	FOR
1/23/18		PRE-APP SUBMITTAL
3/23/18		PRELIMINARY SITE

EXHIBIT G

Conceptual Site Plan for Office Site Only



Southern Property
Line of Existing
Commercial Office
Development to
North

EXHIBIT H

Conceptual Landscape Plan

EXHIBIT H

Conceptual Landscape Plan



PLANT MATERIALS

See Exhibit H for complete list

TREES

- Mulga Acacia
- Thornless Cascalote
- Desert Museum, Palo Verde
- Date Palm
- Mastic Tree
- Thornless Mesquite
- Cathedral Oak
- Allee Elm

SHRUBS/GROUNDCOVERS

- Hopbush
- Lynn's Legacy Texas Sage
- Rio Bravo Sage
- Winter Blaze
- Blue Bells
- Dwarf Youpon Holly
- Outback Sunrise Eremophila
- Purple Trailing Lantana
- Prostate Germander

CACTI/ACCENTS

- Twin Flowered Agave
- Blue Elf Aloe
- Blond Ambition
- Mexican Grass Tree
- Candelilla
- Red Yucca
- Regal Mist
- Kelly's Choice Prickly Pear
- Slipper Plant
- Dwarf Elephant Food
- Pale Leaf Yucca

VINES

- Bougainvillea
- Creeping Fig
- Carolina Jessamine
- Purple Vine Lilac



EXHIBIT I

Proposed Conceptual Landscape Plan Plant Palette

Trees

1. Acacia aneura, Mulga Acacia - 24" Box size
2. Caesalpinia cacalaco smoothie, Thornless Cascalote – 24" Box size
3. Parkinsonia hyb., 'Desert Museum' Palo Verde – 24" Box size
4. Phoenix dactylifera, Date Palm – 16' BTF
5. Pistacia lentiscus, Mastic Tree – 24" Box size
6. Prosopis hybrid "Phoenix", Thornless Mesquite – 24" Box size
7. Quercus virginiana, 'Cathedral' Oak – 24" Box size
8. Ulmus parvifolia, 'Allee' Elm – 24" Box size
9. Cathedral Oak – 3" caliper
10. Evergreen Elm – 3" caliper
11. Red Push Pistache – 3" caliper

Shrubs / Groundcovers

9. Dodonea viscosa, Hopbush – 5 gal
10. Leucophyllum langmaniae 'Lynn's Legacy', Lynn's Legacy Texas Sage – 5gal
11. Leucophyllum langmaniae 'Rio Bravo', Rio Bravo Sage – 5 gal
12. Eremophila glabra spp. caranosa-Winter Blaze, Winter Blaze – 5 gal
13. Eremophila hygrophana, Blue Bells – 5 gal
14. Ilex vomitoria 'Nana', Dwarf Youpon holly – 5 gal
15. Eremophila prostrata 'Outback Sunrise', Outback Sunrise Eremophila – 5 gal
16. Lantana montevidensis, Purple Trailing Lantana – 5 gal
17. Teucrium chamaedrys prostratum, Prostate Germander – 5 gal

Cacti / Accents

18. Agave geminiflora, Twin Flowered Agave – 5gal
19. Aloe hyb. 'Blue Elf', Blue Elf Aloe – 5 gal
20. Bouteloua gracilis, Blond Ambition – 5gal.
21. Dasylirion longissimum, Mexican Grass Tree – 5 gal.
22. Euphorbia antisyphilitica, Candelilla – 5 gal
23. Hesperaloe parviflora, 'Brakelights' Red Yucca – 5 gal
24. Muhlenbergia capillaris, 'Regal Mist' – 5 gal.
25. Opuntia 'x' Kelly's Choice, Kelly's Choice Prickly Pear – 5 gal
26. Pedilanthus macrocarpus, Slipper Plant – 5 gal
27. Portulacaria afra minima, Dwarf Elephant Food – 5 gal.
28. Yucca pallida, Pale Leaf Yucca – 5 gal

Vines

29. Bougainvillea 'Barbara Karst', Bougainvillea – 5 gal
30. Ficus pumila, Creeping Fig – 5 gal
31. Gelsemium sempevirens, Carolina Jessamine - 4'x4' Espalier – 15 gal
32. Hardenbergia violacea 'Happy Wanderer', (Purple Vine Lilac) – 15 gal

EXHIBIT J

Proposed Conceptual East Elevation



EXHIBIT J

Proposed Conceptual North Elevation



EXHIBIT J

Proposed Conceptual South Elevation



EXHIBIT J

Proposed Conceptual West Elevation



EXHIBIT K

Marlette Frontage Redndering

Marlette Frontage Rendering
Z-27-17-6



CITY OF PHOENIX

NOV 15 2017

Planning & Development
Department

EXHIBIT L

Circulation Plan

Fire trucks and trash trucks will enter the site from Stella Lane and use a hammerhead turnaround located perpendicular to the lobby entrance shown in white below. A separate fire lane is located on the east side of the property which extends north up and into the dog park. Residents' ingress/egress is from Stella Lane only.



Project Entry
Fire Truck and
Sanitation Truck Access

Entry into and out of
parking garage

Fire Lane

EXHIBIT M

Context Plan



project info:
 name: 7th St & Marlette Ave
 gross acreage: 3.90 ac.
 current zoning: R-4, C-O
 proposed zoning: R-4, R-5

consultant team
 planner / landscape architect:
 andersonbaron
 architecture, llc
 50 n. meclinnock dr. ste 1
 chandler, arizona 85226
 p. 480.699.7956
 f. 480.699.7986
 contact: chris.jones



 andersonbaron
 plan • design • projects
 1000 N. MECLINNOCK DR. STE 1
 CHANDLER, AZ 85226
 P. 480.699.7956 F. 480.699.7986

7TH ST & MARLETTE AVE
 Context Plan
 date: 09.30.15
 scale: 1"=60'
 date: 09.30.15

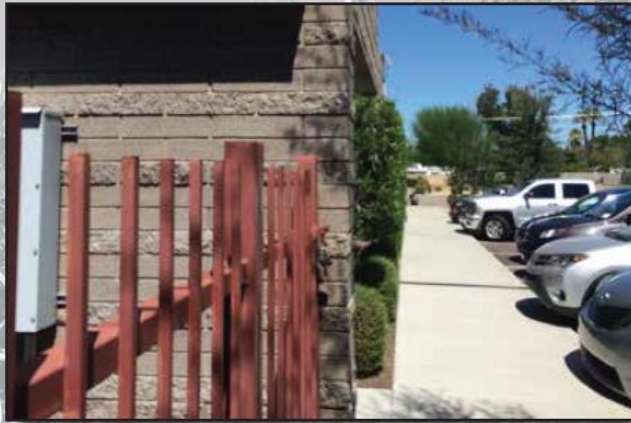


Image 1



Image 4



Image 2



Image 3

7th St & Marlette Ave





Image 5



Image 8



Image 6



Image 7

7th St & Marlette Ave





Image 9



Image 12



Image 10



Image 11

7th St & Marlette Ave





Image 13



Image 16

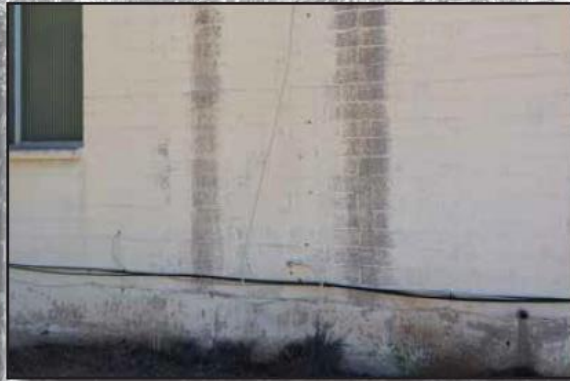


Image 14



Image 15

7th St & Marlette Ave





Image 17



Image 20



Image 18



Image 19

7th St & Marlette Ave





Image 21



Image 24



Image 22



Image 23

7th St & Marlette Ave





Image 25



Image 28



Image 26



Image 27

7th St & Marlette Ave





Image 29



Image 32



Image 30



Image 31

7th St & Marlette Ave



EXHIBIT N-1

Legal Description for Overall Development Site

Property Currently Zoned R-4

A portion of Barbara Ann Place, as recorded in Book 49 of Maps, Page 19, records of Maricopa County, Arizona and situated in a portion of the Northwest quarter of the Southwest quarter of Section 9, Township 2 North, Range 3 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, more particularly described as follows;

Commencing at the West quarter corner of said Section 9, being marked by a City of Phoenix brass cap in hand hole from which a City of Phoenix brass cap in hand hole marking the Southwest corner of said Section 9, bears South 00 degrees 06 minutes 07 seconds East a distance of 2642.78 feet (Basis of Bearings);

Thence along the West line of said Southwest quarter of Section 9, South 00 degrees 06 minutes 07 seconds East a distance of 670.89 feet to the monument line of Marlette Avenue

Thence along the monument line of said Marlette Avenue, South 89 degrees 51 minutes 45 seconds East a distance of 219.90 feet to the **Point of Beginning**;

Thence North 00 degrees 06 minutes 21 seconds West a distance of 310.75 feet to a point on the monument line of Stella Lane;

Thence along said monument line, North 89 degrees 49 minutes 41 seconds West a distance of 12.00 feet;

Thence North 00 degrees 06 minutes 21 seconds West a distance of 160.00 feet to the Northwest corner of Lot 2 of said Barbara Ann Place;

Thence South 89 degrees 49 minutes 41 seconds East a distance of 260.00 feet to the Northeast corner of Lot 5 of said Barbara Ann Place;

Thence South 00 degrees 06 minutes 21 seconds East a distance of 470.61 feet to a point on the monument line of said Marlette Avenue;

Thence along said monument line, North 89 degrees 51 minutes 45 seconds West a distance of 248.00 feet to the **Point of Beginning**.

Note: The above described parcel contains:

Gross area: 118,649 square feet or 2.7238 acres, more or less.

Net area: 98,396 square feet or 2.2589 acres, more or less.

Property Currently Zoned R-5

A portion of Lot 36 of Orange Heights, as recorded in Book 5 of Maps, Page 2 and situated in a portion of the Northwest quarter of the Southwest quarter of Section 9, Township 2 North, Range 3 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, more particularly described as follows;

Commencing at the West quarter corner of said Section 9, being marked by a City of Phoenix brass cap in hand hole from which a City of Phoenix brass cap in hand hole marking the Southwest corner of said Section 9, bears South 00 degrees 06 minutes 07 seconds East a distance of 2642.78 feet (Basis of Bearings);

Thence along the West line of said Southwest quarter of Section 9, South 00 degrees 06 minutes 07 seconds East a distance of 670.89 feet to the monument line of Marlette Avenue

Thence South 89 degrees 51 minutes 45 seconds East a distance of 467.90 feet to a point on the West line of the east 198.00 feet of said Lot 36 and the Point of Beginning;

Thence along said West line, North 00 degrees 06 minutes 21 seconds West a distance of 254.77 feet to a point on the South line of the North 365.83 feet of said Southwest quarter of Section 9;

Thence along said South line, South 89 degrees 49 minutes 41 seconds East a distance of 198.00 feet to a point on the East line of said Lot 36;

Thence along said East line, South 00 degrees 06 minutes 21 seconds East a distance of 254.65 feet to a point on the monument line of said Marlette Avenue;

Thence along said monument line, North 89 degrees 51 minutes 45 seconds West a distance of 198.00 feet to the Point of Beginning.

Note: The above described parcel contains:

Gross area: 50,433 square feet or 1.1578 acres, more or less.

Net area: 45,483 square feet or 1.0441 acres, more or less.

EXHIBIT N-2

Legal Description for Office Development Site Only

A portion of Lot 36 of Orange Heights, as recorded in Book 5 of Maps, Page 2 and situated in a portion of the Northwest quarter of the Southwest quarter of Section 9, Township 2 North, Range 3 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, more particularly described as follows;

Commencing at the West quarter corner of said Section 9, being marked by a City of Phoenix brass cap in hand hole from which a City of Phoenix brass cap in hand hole marking the Southwest corner of said Section 9, bears South 00 degrees 06 minutes 07 seconds East a distance of 2642.78 feet (Basis of Bearings);

Thence along the West line of said Southwest quarter of Section 9, South 00 degrees 06 minutes 07 seconds East a distance of 670.89 feet to the monument line of Marlette Avenue;

Thence South 89 degrees 51 minutes 45 seconds East a distance of 467.90 feet to a point on the West line of the east 198.00 feet of said Lot 36 and the Point of Beginning;

Thence along said West line, North 00 degrees 06 minutes 21 seconds West a distance of 254.77 feet to a point on the South line of the North 365.83 feet of said Southwest quarter of Section 9;

Thence along said South line, South 89 degrees 49 minutes 41 seconds East a distance of 198.00 feet to a point on the East line of said Lot 36;

Thence along said East line, South 00 degrees 06 minutes 21 seconds East a distance of 254.65 feet to a point on the monument line of said Marlette Avenue;

Thence along said monument line, North 89 degrees 51 minutes 45 seconds West a distance of 198.00 feet to the Point of Beginning.

Note: The above described parcel contains:

Gross area: 50,433 square feet or 1.1578 acres, more or less.

Net area: 45,483 square feet or 1.0441 acres, more or less.

EXHIBIT O

Comparative Zoning Standards Table

Overall Development Site		
	R-5 PRD	PUD
Maximum Density	52.2 du/ac. max.	Maximum Number of Dwelling Units - 229
Building Setbacks		
	North 10-feet South 20-feet (Perimeter adjacent to a Street) East 10-feet West 10-feet	15-feet max. 20-feet min./25-feet max. 15-feet max., except that the east (southern portion) setback is 30-feet max to allow for Fire Lane. 15-feet max. south of Stella Lane and 55-feet max. north of Stella Lane (NOTE: The west elevation is both technically the front yard and the ceremonial front of the project. In the west and the east setbacks, encroachments of 5-feet into the required setbacks, beginning 15-feet above grade are permitted for architectural projections including balconies.)
Building Height and Maximum Number of Stories <i>NOTE: Parapet height limited to 5 ft. above roof height.</i>	48-feet; 4 stories	35-feet maximum height for 3 stories 45-feet maximum for 4 stories 48-feet maximum height of internalized parking structure. NOTE: These building height standards shall not apply to the architectural embellishments at the entry.
Building Stepbacks		
	South	No stepback required
	North, East and West	No stepback required
Maximum Lot Coverage	50% max.	70%

Parking and Access Standards	The PUD will comply with Section 702 of the Phoenix Zoning Ord.	The PUD will comply with Section 702 of the Phoenix Zoning Ord.
Percentage of Covered Parking Percentage of Structured Parking	N/A N/A	Min. 70% Min. 80%
Bicycle Parking		
Per Dwelling Unit	N/A	0.15 spaces for each residential unit, with a maximum of 30 spaces.
Maximum Distance of Bicycle Parking to Structure Ingress/Egress	N/A	50 ft. from the interior central Stairway that accesses the parking structure.
Bicycle Racks	N/A	At least two (2) bicycle racks shall be within 250-feet of the street.
Minimum Common Open Space	5% gross site area	7% gross site area
Building and Shade	That a minimum of 50% of public sidewalks shall be shaded through the use of landscaping techniques, architectural projections, or other types of stand-alone structural shading devices. Shade calculations shall be based on the summer solstice at 12:00 p.m. A minimum of 50% of common amenities areas shall be shaded.	That a minimum of 50% of public sidewalks shall be shaded through the use of landscaping techniques, architectural projections, or other types of stand-alone structural shading devices. Shade calculations shall be based on the summer solstice at 12:00 p.m. A minimum of 50% of common amenities areas shall be shaded.
Landscaping Standards & Planting Guidelines		
Minimum Landscape Setbacks		
North South East West	10-feet 20-feet 10-feet 10-feet	Min, 10-feet/15-feet max. 20-feet min./25-feet max. Min. 10-feet/15-feet max. Min. 10-feet/15-feet max. No landscape setback is required on Stella Lane since Stella Lane is the project entry driveway.
Minimum Landscape Standards		
Adjacent to Marlette	2-inch caliper tree planted 20-feet on center (60% of required trees) 1-inch caliper tree planted 20-feet on center (40% of required trees) (5) 5-gallon shrub for each tree.	(1) 3-inch caliper drought-resistant tree planted 20-feet on center, or in equivalent groupings, less driveways and sidewalks and alternating on each side of sidewalk. (5) 5-gallon drought-resistant shrubs for each tree.

Adjacent to Interior Property Lines	<p>2-inch caliper tree planted 20-feet on center (60% of required trees)</p> <p>1-inch caliper tree planted 20-feet on center (40% of required trees)</p> <p>(5) 5-gallon shrub for each tree.</p>	<p>(1) 2-inch caliper tree planted 20-feet on center, or in equivalent groupings, (60% of required trees)</p> <p>(1) 1-inch caliper tree planted 20-feet on center, or in equivalent groupings, (40% of required trees)</p> <p>(5) 5-gallon shrubs for each tree.</p>
Pedestrian Accessways and Sidewalks	N/A	<p>The public sidewalk on Marlette shall be offset from the back of curb by 4' and the public sidewalk shall be a minimum of 5' in width.</p> <p>The private pedestrian walkway connecting each ADA compliant unit to Marlette shall be ADA compliant.</p>
Ground Cover	Min. 50% living groundcover.	Min. 50% living groundcover.

Alternate Office Development Site (Eastern 1.15 ac.)

If office uses are developed on the eastern 1.15 acres of the site (identified as "Office Only Development Site on Exhibit A), development shall comply with Section 618.B.1 Table B, Column A (R-5, Table B, Subdivision Development Option) of the Zoning Ordinance.

EXHIBIT P

Designers Report – National Green Building Standard

- Turf grass species, other vegetation, and trees are selected and specified on the lot plan that are native or regionally appropriate for local growing conditions.
- Hardscape: Not less than 50 percent of the surface area of the hardscape on the lot meets one or a combination of the following methods.
- Shading of hardscaping: Shade is provided from existing or new vegetation (within five years) or from trellises. Shade of hardscaping is to be measured on the summer solstice at noon.
- Light-colored hardscaping: Horizontal hardscaping materials are installed with a solar reflectance index (SRI) of 29 or greater. The SRI shall be calculated in accordance with ASTM E1980. A default SRI value of 35 for new concrete without added color pigment is allowed to be used instead of measurements.
- Permeable hardscaping: Permeable hardscaping materials are installed.
- Roofs: Not less than 75% of the exposed surface of the roof meets one or a combination of the following methods.
- Minimum initial SRI of 78 for a low-sloped roof (a slope less than or equal to 2:12) and a minimum initial (SRI) of 29 for a steep-sloped roof (a slope of more than 2:12). The SRI shall be calculated in accordance with ASTM E1980. Roof products shall be labeled and certified.
- Roof is vegetated using technology capable of withstanding the climate conditions of the jurisdiction and the microclimate conditions of the building site. Invasive plant species are not permitted.
- Products accordance with the ENERGY STAR® cool roof certification or equivalent.
- Recessed lighting. Recessed luminaires installed in the building thermal envelope are sealed to limit air leakage between conditioned and unconditioned spaces.
- High-efficacy lighting. A minimum of 50% of the total hard-wired lighting fixtures, or the bulbs in those fixtures, qualify as high efficacy or equivalent.

- Insulation is installed in accordance with Section 703.1.2.
- Windows, skylights, and doors are flashed, caulked, and sealed in accordance with manufacturer's instructions and in accordance with Section 701.4.3.
- Water closets and urinals installed meet the following conditions:
 - All water closets are 1.28 gallons per flush or less and all urinals are 0.5 gallons per flush or less, OR
 - All water closets and urinals are waterless or composting.
- Drip irrigation is installed for landscape beds.
- The total maximum combined flow rate of all showerheads controlled by a single valve at any point in time in a shower compartment is 1.6 to less than 2.5 gpm. Maximum of two valves are installed per shower compartment. The flow rate is tested at 80 psi (552 kPa) in accordance with ASME A112.18.1. Showerheads are served by an automatic compensating valve that complies with ASSE 1016 or ASME A112.18.1 and specifically designed to provide thermal shock and scald protection at the flow rate of the showerhead.
- A lot is selected within 1/2 mile (805 m) of 6 or more community resources [e.g., recreational facilities (such as pools, tennis courts, basketball courts), parks, grocery store, post office, place of worship, community center, daycare center, bank, school, restaurant, medical/dental office, laundromat/dry cleaner].
- The total maximum combined flow rate of all showerheads controlled by a single valve at any point in time in a shower compartment is 1.6 to less than 2.5 gpm. Maximum of two valves are installed per shower compartment. The flow rate is tested at 80 psi (552 kPa) in accordance with ASME A112.18.1. Showerheads are served by an automatic compensating valve that complies with ASSE 1016 or ASME A112.18.1 and specifically designed to provide thermal shock and scald protection at the flow rate of the showerhead.
- Air handling equipment or return ducts are not located in the garage, unless placed in isolated, air-sealed mechanical rooms with an outside air source.
- Hard-surface flooring. Minimum of 10% of the conditioned floor space has pre-finished hard-surface flooring installed & a minimum of 85% of all prefinished installed hard-surface flooring is in accordance with the emission concentration limits of CDPH/EHLB Standard Method v1.1.

- Site-applied interior architectural coatings, which are inside the water proofing envelope, are in accordance with one or more of the following:
 - Zero VOC as determined by EPA Method 24
 - GreenSeal GS-11 Standard for Paints and Coatings
 - CARB Suggested Control Measure for Architectural Coatings

- Adhesives and sealants. Interior low-VOC adhesives and sealants located inside the water proofing envelope: A minimum of 85% of site-applied products used within the interior of the building are in accordance with one of the following, as applicable.

- 901.14 Non-smoking areas. Environmental tobacco smoke is minimized by one or more of the following:
 - All interior common areas of a multi-unit building are designated as non-smoking areas with posted signage.
 - Exterior smoking areas of a multi-unit building are designated with posted signage and located a minimum of 25 feet from entries, outdoor air intakes, and operable windows.

- Bicycle use is promoted by building on a lot located within a community that has rights-of-way specifically dedicated to bicycle use in the form of paved paths or bicycle lanes or on an infill lot located within 1/2 mile of a bicycle lane designated by the jurisdiction.

- Walkways, street crossings, and entrances designed to promote pedestrian activity are provided. New buildings are connected to existing sidewalks and areas of development.

- 0% or EPA WaterSense Water Budget Tool is used to determine the maximum percentage of turf areas.

- On-site supervision and coordination is provided during clearing, grading, trenching, paving on the lot, and installation of utilities on the lot to ensure that specified green development practices are implemented. (also see Section 503.3)

- Exhaust fans are ENERGY STAR, as applicable. Passive radon system for zone 2.

- All bathrooms are vented to the outdoors - rate = 50 cfm or 20 cfm if continuous operation.

- All HVAC ducts, plenums, and trunks are in conditioned space. All HVAC ducts are insulated to a minimum of R4. A local green building program certificate as well as a copy of the National Green Building Standard™ and the individual measures achieved by the building.

- Warranty, operation, and maintenance instructions for all equipment, fixtures, appliances, and finishes. A list of the type and wattage of light bulbs installed in light fixtures.
- Energy Star approved construction techniques and appliances.
- A lot is selected within 1/2 mile (805 m) of pedestrian access to a mass transit system or within 5 miles (8046 m) of a mass transit station with provisions for parking.
- Adopting Entity review. A review by third party shall be conducted to verify design and compliance with Chapter 7 points.
- Third-party on-site inspection is conducted to verify compliance with all of the following, as applicable. Minimum of two inspections are performed. One inspection after insulation is installed and prior to covering, and another inspection upon completion of the building. Where multiple buildings or dwelling units of the same model are built by the same builder, a representative sample inspection of a minimum of 15 percent of the buildings or dwelling units is permitted.
 - Ducts are installed in accordance with the ICC IRC or IMC and ducts are sealed.
 - Building envelope air sealing is installed.
- An infill lot is selected.
- A lot with an average slope calculation of less than 15% is selected. Occupancy sensors are installed on indoor lights, and photo or motion sensors are installed on outdoor lights to control lighting.
- Return ducts and transfer grilles. Return ducts or transfer grilles are installed in every room with a door. Return ducts or transfer grilles are not required for bathrooms, kitchens, closets, pantries, and laundry rooms.
- A blower door test and a visual inspection are performed as described in 701.4.3.2.

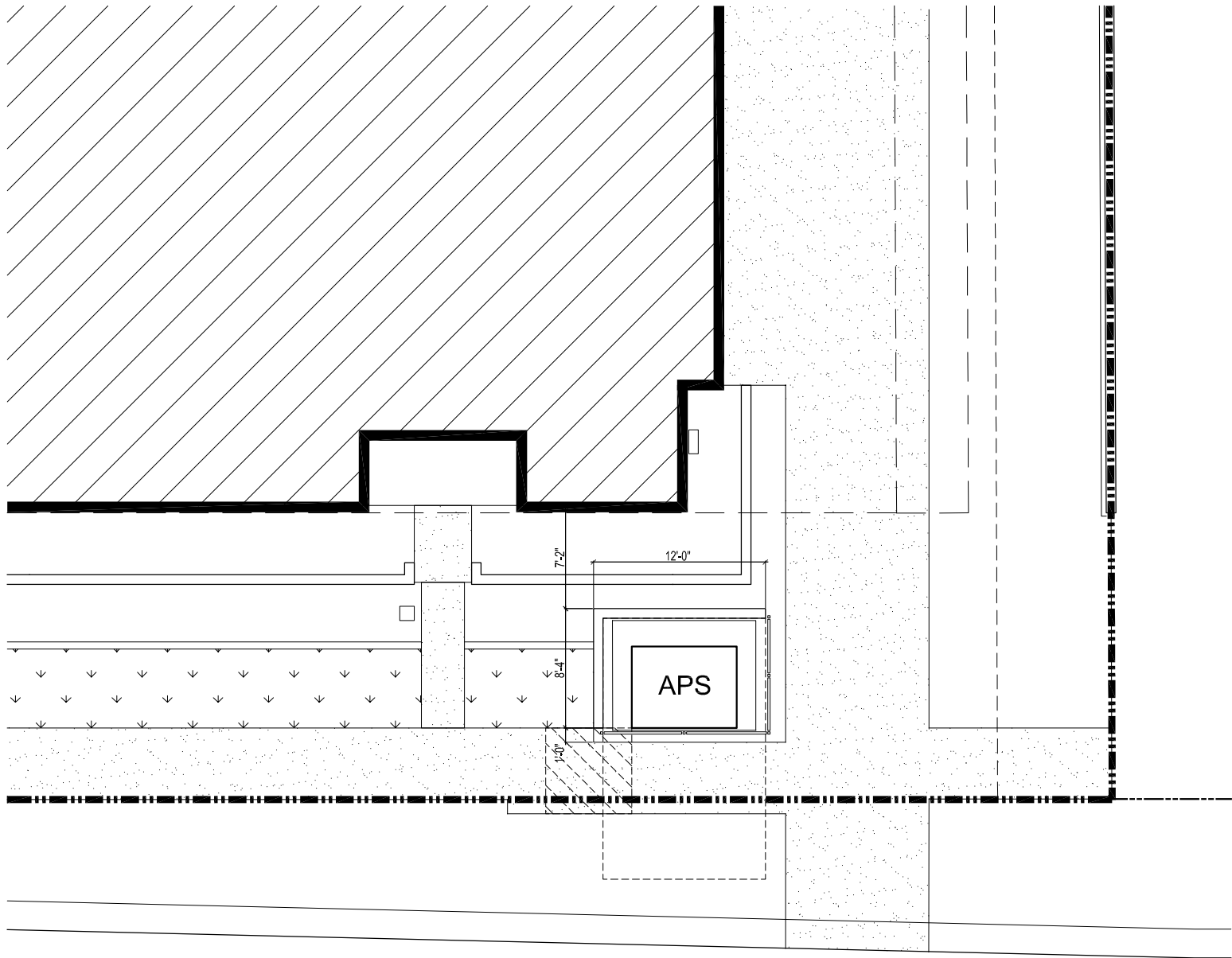
Exhibit Q
Blast Wall Exhibits



EAST ELEVATION

NTS

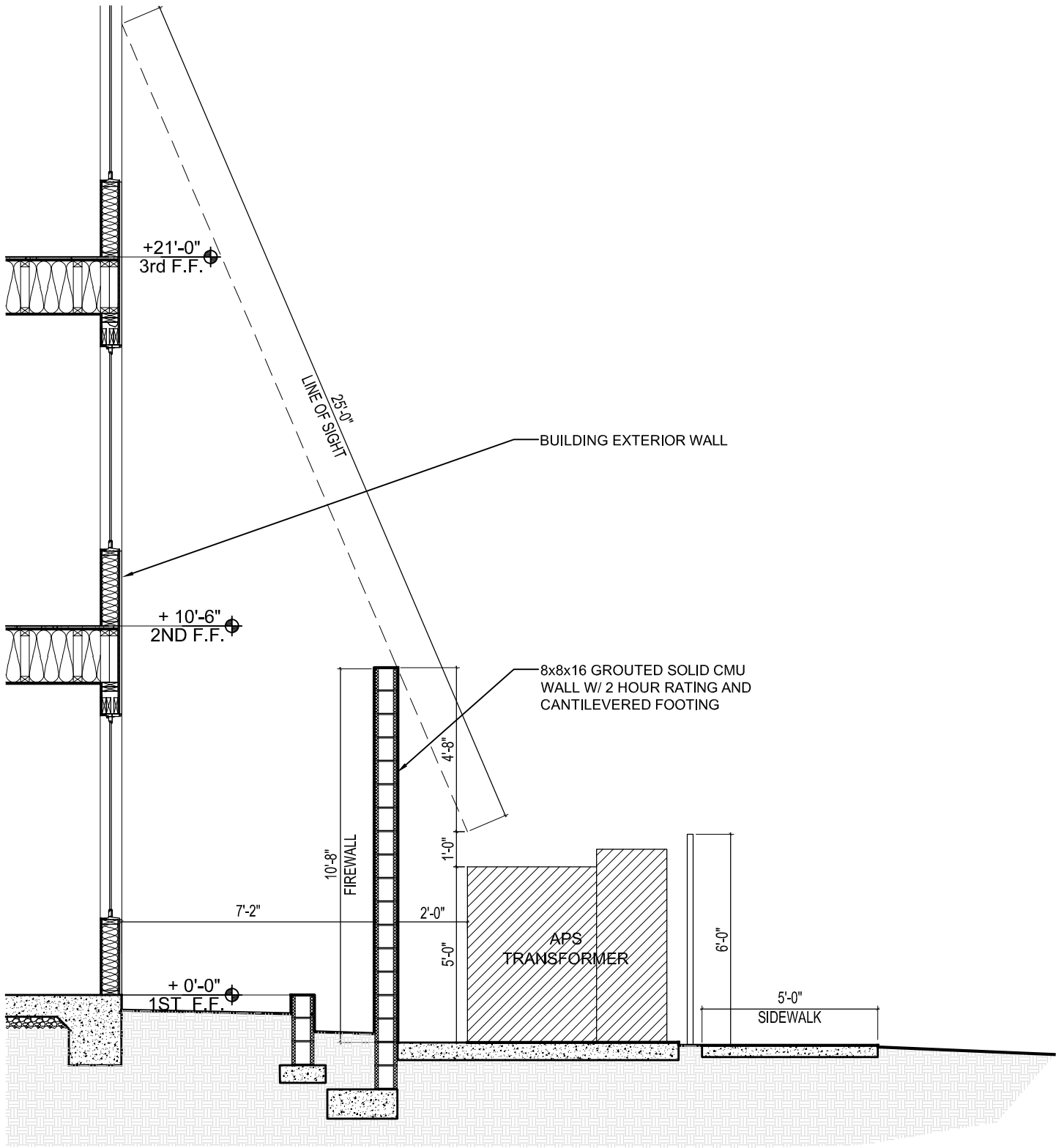
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SITE PLAN
NTS

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SECTION @ TRANSFORMER
 NTS 1

