



City of Phoenix
PLANNING & DEVELOPMENT DEPARTMENT

December 16, 2020

Michael T. Maerowitz
Gammage & Burnham PLC
40 North Central Avenue, 20th Floor
Phoenix, AZ 85004

Dear Applicant:

RE: Z-27-A-11-8 – Northeast corner of 12th Street and Roosevelt Street

Please be advised that the Phoenix City Council, in accordance with the provisions of Section 601 of the Zoning Ordinance, as amended, has on December 2, 2020 approved Zoning Ordinance # G-6771.

Development and use of the site are subject to compliance with all applicable codes and ordinances.

Sincerely,

Joshua Bednarek, LEED AP ND
Planning and Development Deputy Director

Attachment: Signed Ordinance

- c: Alwun House Foundation, 1204 E. Roosevelt St., Phoenix, AZ 85006
File
Tricia Gomes, PDD–Planning–Special Projects Administrator (Electronically)
Racelle Escolar, PDD–Planning–Planner III (Electronically)
Sarah Stockham, PDD–Planning–Village Planner (Electronically)
Ben Kim, PDD–GIS (Electronically)
Craig Mavis, PDD–Development (Electronically)
Matthew Heil, City Council (Electronically)

ORDINANCE G-6771

AN ORDINANCE AMENDING THE ZONING DISTRICT MAP ADOPTED PURSUANT TO SECTION 601 OF THE CITY OF PHOENIX ORDINANCE BY CHANGING THE ZONING DISTRICT CLASSIFICATION FOR THE PARCEL DESCRIBED HEREIN (CASE Z-27-A-11-8) FROM PUD (PLANNED UNIT DEVELOPMENT) AND PUD HP ACOD (PLANNED UNIT DEVELOPMENT, HISTORIC PRESERVATION OVERLAY, ARTS, CULTURE AND SMALL BUSINESS OVERLAY) TO PUD (PLANNED UNIT DEVELOPMENT) AND PUD HP ACOD (PLANNED UNIT DEVELOPMENT, HISTORIC PRESERVATION OVERLAY, ARTS, CULTURE AND SMALL BUSINESS OVERLAY).

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF PHOENIX, as

follows:

SECTION 1. The zoning of a 1.01 acre site located at the northeast corner of 12th Street and Roosevelt Street in a portion of Section 4, Township 1 North, Range 3 East, as described more specifically in Exhibit "A," is hereby changed from 0.47 acres of "PUD" (Planned Unit Development) and 0.54 acres of "PUD HP ACOD" (Planned Unit Development, Historic Preservation Overlay, Arts, Culture and Small Business Overlay) to 0.47 acres of "PUD" (Planned Unit Development) and 0.54 acres of "PUD HP ACOD" (Planned Unit Development, Historic Preservation Overlay, Arts, Culture and Small Business Overlay).

SECTION 2. The Planning and Development Director is instructed to modify the Zoning Map of the City of Phoenix to reflect this use district classification change as shown in Exhibit "B."

SECTION 3. Due to the site's specific physical conditions and the use district applied for by the applicant, this rezoning is subject to the following stipulations, violation of which shall be treated in the same manner as a violation of the City of Phoenix Zoning Ordinance:

1. An updated Development Narrative for the Alwun House PUD reflecting the changes approved through this request shall be submitted to the Planning and Development Department within 30 days of City Council approval of this request. The updated Development Narrative shall be consistent with the Development Narrative date stamped September 28, 2020, as modified by the following stipulations:
 - a. Front cover: Revise the date information on the bottom to add the following: Major Amendment First Submittal: July 15, 2020; Major Amendment Second Submittal: September 8, 2020; Major Amendment City Council adopted: [Add adoption date].
2. The developer shall provide a No Hazard Determination for the proposed development from the FAA pursuant to the FAA's Form-7460 obstruction analysis review process, prior to construction permit approval, as per plans approved by the Planning and Development Department.
3. The property owner shall record documents that disclose the existence, and operational characteristics of Phoenix Sky Harbor Airport to future owners or tenants of the property. The form and content of such documents shall be according to the templates and instructions provided which have been reviewed and approved by the City Attorney.
4. The developer shall grant and record an aviation easement to the City of Phoenix for the site, per the content and form prescribed by the City Attorney prior to final site plan approval.
5. The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals, as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.

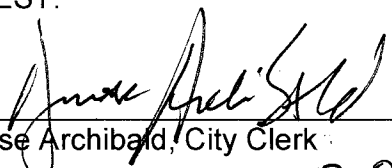
6. In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground-disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.

SECTION 4. If any section, subsection, sentence, clause, phrase or portion of this ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions hereof.

PASSED by the Council of the City of Phoenix this 2nd day of December 2020.

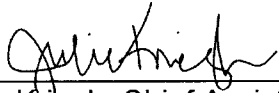


MAYOR

ATTEST:


Denise Archibald, City Clerk
12.08.2020



APPROVED AS TO FORM:
Cris Meyer, City Attorney

By: 
Julie Knegh, Chief Assistant City Attorney 

REVIEWED BY:


Ed Zuercher, City Manager

Exhibits:

- A – Legal Description (1 Page)
- B – Ordinance Location Map (1 Page)

PL:trnl:LF20-2866:12-2-2020:2222800v1

EXHIBIT A

LEGAL DESCRIPTION FOR Z-27-A-11-8

Within a portion of Section 4, Township 1 North, Range 3 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, being more particularly described as follows:

Northern Parcel (APN 116-23-148B)

Lot 10 TOGETHER WITH the South 84 feet of Lots 11 and 12 in SEDLER'S ADDITION, according to the plat of record in the Office of the County Recorder of Maricopa County, Arizona, recorded in Book 7 of Maps, Page 27.

Southern Parcel (APN 116-23-149A)

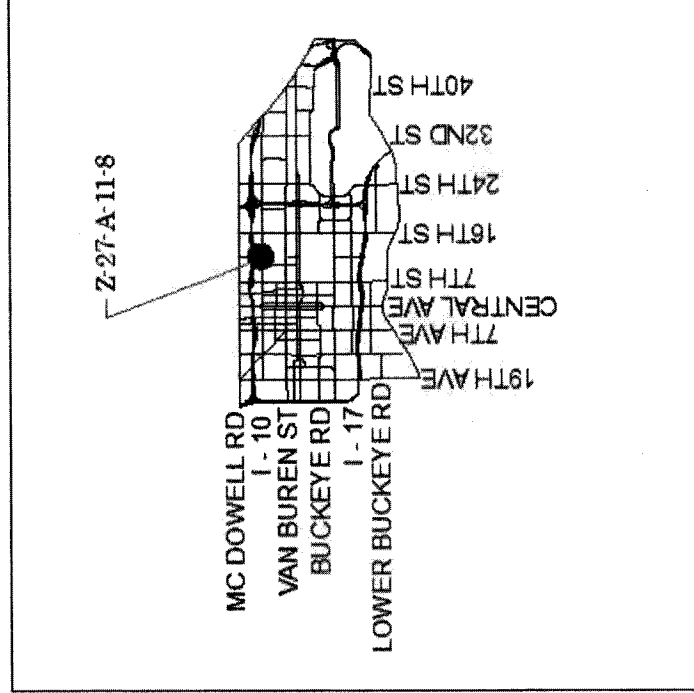
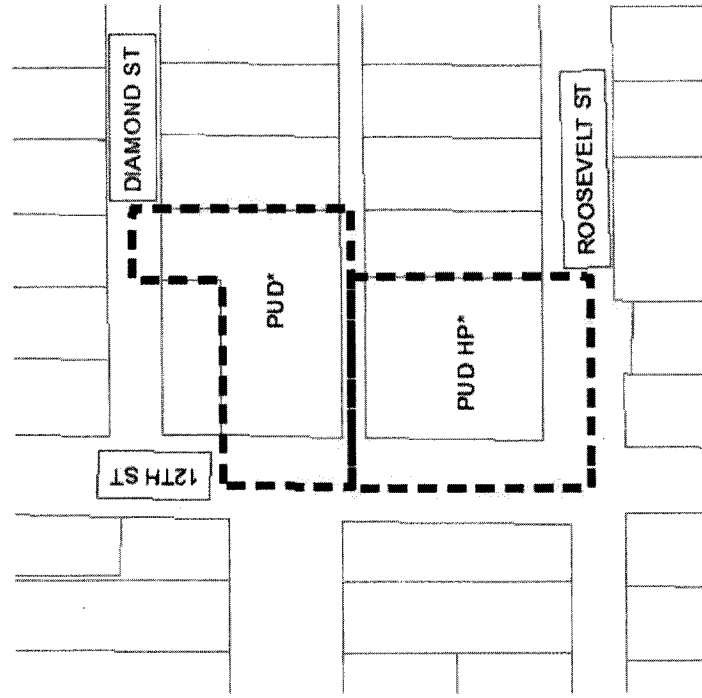
The following real property situation in MARICOPA County, Arizona: Lots 13 and 14, SEDLER'S ADDITION, according to Book 7 of Maps, page 27, records of MARICOPA County, Arizona.

ORDINANCE LOCATION MAP

EXHIBIT B

Zoning Case Number: Z-27-A-11-8
Zoning Overlay: Arts Culture and Small Business
Planning Village: Central City

ZONING SUBJECT TO STIPULATIONS: *
SUBJECT AREA: - - - - -



NOT TO SCALE

Drawn Date: 10/30/2020

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Ordinance G-6771