



City of Phoenix
PLANNING AND DEVELOPMENT DEPARTMENT

Staff Report Z-28-20-5
November 13, 2020

Alhambra [Village Planning Committee](#) November 18, 2020
Meeting Date:

[Planning Commission](#) Hearing Date: December 3, 2020

Request From: C-O (Commercial Office) (2.82 acres)

Request To: R-3A (Multifamily Residence District)
 (2.82 acres)

Proposed Use: Multifamily Residential

Location: Southeast corner of 31st Avenue and
 Northern Avenue

Owner: Northern Lights Holdings, LLC,

Applicant: Northern Lights Holdings, LLC,

Representative: Ashley Zimmerman Marsh, Tiffany &
 Bosco

Staff Recommendation: Approval, subject to stipulations

<u>General Plan Conformity</u>			
<u>General Plan Land Use Map Designation</u>		Commercial	
<u>Street Map Classification</u>	Northern Avenue	Arterial	South half street varies from 40-feet to 65-feet
	31st Avenue	Minor Collector	Approximately 30-feet east half street
	Augusta Avenue	Local Street	Approximately 25-feet north half street
	North Winter Lane	Local Street	Approximately 25-feet west half street

CONNECT PEOPLE AND PLACES CORE VALUE; OPPORTUNITY SITES; LAND USE PRINCIPLE: Promote and encourage compatible development and redevelopment with a mix of housing types in neighborhoods close to employment centers, commercial areas, and where transit or transportation alternatives exist.

The development will create new housing opportunities in the area. By converting an office complex and adding an additional multifamily structure with similar architecture, the project will add additional residents to an area with access to a nearby school, commercial services, and the Interstate 17 corridor.

CONNECT PEOPLE AND PLACES CORE VALUE; BICYCLES; DESIGN PRINCIPLE: Development should include convenient bicycle parking.

The development, as stipulated, will feature bicycle parking and bicycle facilities as a central component of the project to facilitate bicycling as a way of life. Features include secure bicycle parking for residents, artistic or inverted-U racks for guests, and a bicycle repair station as a resident amenity.

BUILD THE SUSTAINABLE DESERT CITY CORE VALUE; TREES AND SHADE; DESIGN PRINCIPLE: Integrate trees and shade into the design of new development and redevelopment projects throughout Phoenix.

The development, as stipulated, will feature enhanced perimeter landscaping to provide both thermal comfort and a buffer to the adjacent residential zones. The shade incorporated into the development will reduce the urban heat island effect and increase thermal comfort which will make the area more walkable, bikeable, and sustainable.

Applicable Plans, Overlays, and Initiatives

[Maricopa Association of Governments \(MAG\) North Interstate 17 Employment Corridor](#): See Background Item No. 9.

[27th Avenue "To Do List"](#): See Background Item No. 10.

[Tree and Shade Master Plan](#): See Background Item No. 11.

[Complete Streets Guidelines](#): Background Item No. 12.

[Comprehensive Bicycle Master Plan](#): Background Item No. 13.

[Housing Phoenix](#): Background Item No. 14.

[Reimagine Phoenix](#): See Background Item No. 15.

Surrounding Land Uses and Zoning		
	<u>Land Use</u>	<u>Zoning</u>
On Site	Commercial Office	C-O
East	Single-family residential	R1-6
West (Across 31st Avenue)	At 31st Avenue and Northern Avenue: Gas Station and Convenience Store	C-2
	Remainder: Single-family residential	R1-6
North (Across Northern Avenue)	Single-family residential	R1-6
South (Across Augusta Avenue)	Single-family residential	R1-6

R-3A (Multifamily Residential) Development Standards (Planned Residence District)		
<u>Standards</u>	<u>Requirements</u>	<u>Proposed Site Plan</u>
Gross Acreage	-	2.82 acres
Maximum Number of Units	74	50 (Met)
Maximum Density (dwelling units per acre)	Maximum 23.1 dwelling units per acre and 26.4 dwelling units per acre with bonus	17.73 dwelling units per acre (Met)
Maximum Lot Coverage	Maximum 45 percent	29 percent (Met)
Maximum Building Height	Maximum three stories or 40 feet for first 150 feet; then 1 foot in 5 foot increase to 48 foot high, four story maximum	30 feet (Met)

<p>Minimum Perimeter Building Setbacks (Existing Buildings) Northern Avenue, 31st Avenue, Augusta Avenue, and Winter Drive</p> <p>East Site Boundary</p>	<p>20-foot minimum adjacent to a public street</p> <p>15-foot minimum adjacent to a property line</p>	<ul style="list-style-type: none"> • Northern Avenue: 20 feet (Met) • 31st Avenue: Varies from 6 to 53 feet. (Not Met*) • Augusta Avenue: 413 feet (Met) • Winter Drive: 60 feet (Met) • East Boundary: 60 feet (Met)
<p>Minimum Perimeter Building Setbacks (New Building) Northern Avenue, 31st Avenue, Augusta Avenue, and Winter Drive</p> <p>East Site Boundary</p>	<p>20-foot minimum adjacent to a public street</p> <p>5-foot minimum adjacent to a property line</p>	<ul style="list-style-type: none"> • 31st Avenue: 15 feet (Not Met*) • Augusta Avenue: 153 feet (Met) • Winter Drive: 57 feet (Met) • East Boundary: 57 feet (Met)
<p>Minimum Landscape Setbacks (Existing Buildings) Northern Avenue, 31st Avenue, Augusta Avenue, and Winter Drive</p> <p>East Site Boundary</p>	<p>20-foot minimum adjacent to a public street</p> <p>5-foot minimum adjacent to a property line</p>	<ul style="list-style-type: none"> • Northern Avenue: 20 feet (Met) • 31st Avenue: 10 feet (Not Met*) • Augusta Avenue: 297 feet (Met) • Winter Drive: 8 feet (Not Met*) • East Boundary: 8 feet (Met)

<p>Minimum Perimeter Landscape Setbacks (New Building)</p> <p>Northern Avenue, 31st Avenue, Augusta Avenue, and Winter Drive</p> <p>East Site Boundary</p>	<p>20-foot minimum adjacent to a public street</p> <p>5-foot minimum non-street sides</p>	<ul style="list-style-type: none"> • 31st Avenue: 10 feet. (Not Met*) • Augusta Avenue: 21 feet (Met*) • Winter Drive: 8 feet (Not Met*) • East Boundary: 8 feet (Met)
<p>Minimum Open Space</p>	<p>Minimum 5 percent of gross</p>	<p>6.8 percent (Not Met*)</p>
<p>Minimum Amenities Provided</p>	<p>Minimum 2</p>	<p>2 including a pool, bbq / ramadas. (Met)</p>
<p>Minimum Parking</p> <p>1.5 spaces per 1 or 2 bedroom unit and 2 spaces per 3 or more bedroom unit, 1.0 space per unit of less than 600 square feet regardless of number of bedrooms</p> <p>When the required parking is reserved for residents, additional guest parking at a rate of 0.5 spaces per each 1 or 2 bedroom unit.</p>	<p>Minimum 86 spaces</p> <p>29 one-bedroom units (less 600 square feet) @ 1 space per = 29</p> <p>21 two bedroom units @ 1.5 spaces per = 31.5</p> <p>Guest parking for 50 units @ 0.50 spaces per = 25</p>	<p>86 spaces (Met)</p>
<p><i>*Variance or site plan revision may be required</i></p>		

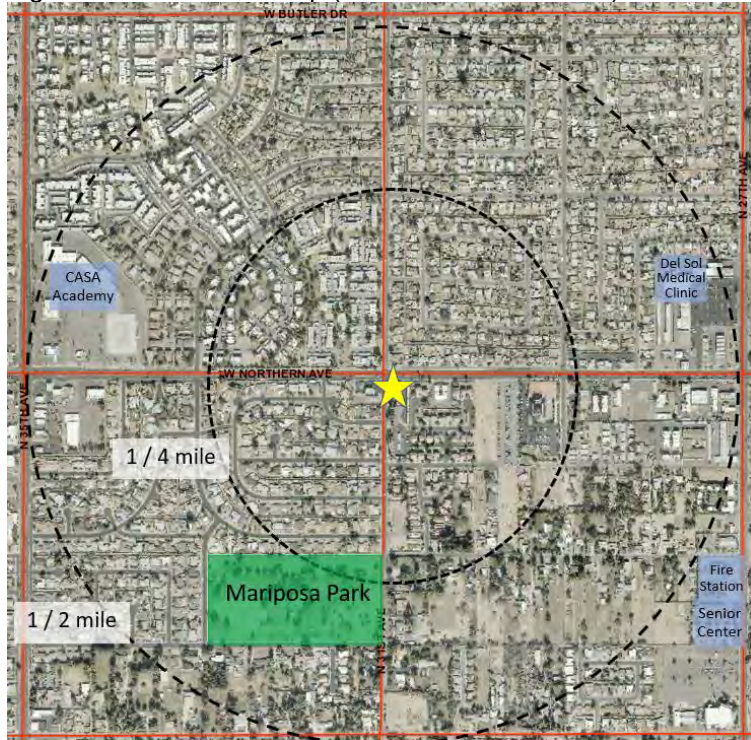
Background/Issues/Analysis

SUBJECT SITE

1. This request is to rezone 2.82 acres from C-O (Commercial Office) to R-3A (Multifamily Residential) for the conversion of an office complex and construction of one additional building for multifamily residential.

The subject site is at the southeast corner of 31st Avenue and Northern Avenue. The site is within one-quarter mile of Mariposa Park, and within approximately one-half mile from a senior center, two commercial centers, and two schools (Washington Elementary and CASA Academy).

Figure A: Site Locator Map (1/4 and 1/2 mile radius)



Source: Planning and Development Department

SURROUNDING LAND USES, ZONING, AND ZONING HISTORY

2. Noting that the request is for the adaptive reuse conversion of an existing office complex and the addition of a new two-story building, it is relevant to compare the scale of the existing entitlements to those proposed. By right, the C-O (Commercial Office, Restricted Commercial) District permits a maximum height of 56 feet, however, the zoning approval through Z-43-83 restricted the height to 26 feet through a zoning stipulation. The proposed multifamily development generally adheres to the height restriction from the 1983 zoning case.

The subject site is adjacent to a C-2 (Intermediate Commercial) District at the southwest corner of 31st Avenue and 31st Avenue which permits a maximum height of 2 stories and 30 feet and R1-6 (Single-Family Residence) Districts to the north, east, south, and the remainder of the west boundary which permits a maximum height of 2 stories and 30 feet.

The following table summarizes the surrounding zoning entitlements, their approximate height currently, and the maximum height permitted by their zoning districts. The proposed zoning is similar to the existing entitlements afforded to the property and, as stipulated, will restrict height and maintain landscaped separations from adjacent residential districts.

Location	Zoning	Built / Proposed Height	Maximum Height
On-site	C-O	26 feet* / 30 feet	56 feet*
East (adjacent)	R1-6	30 feet	30 feet
West (north portion, across 31st)	C-2	30 feet	30 feet
West (south portion, across 31st)	R1-6	15 feet	30 feet
South (across Augusta)	R1-6	15 feet	30 feet
North (east portion, across Northern)	R1-6	15 feet	30 feet
North (west portion, across Northern)	R1-6	30 feet	30 feet

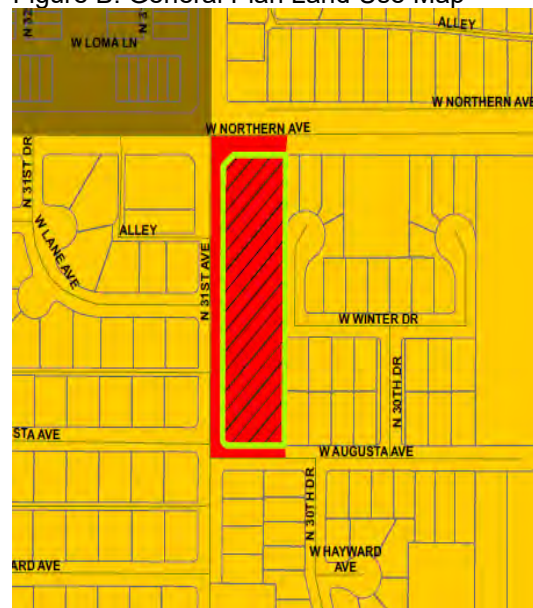
**Stipulated to a maximum height of 26 feet by Z-43-83*

GENERAL PLAN LAND USE MAP

- The subject site is identified as Commercial on the General Plan Land Use Map and is surrounded by designations of Residential 3.5 to 5 dwelling units per acre to the northeast, south, east and west. The Land Use Map designates the townhome development northwest of the subject site as Residential 10 to 15 dwelling units per acre.

The Commercial Land Use Designation “accommodates office, retail, service, and multifamily development at varying scales and intensities;” as such, the proposed multifamily development is consistent with the Commercial General Plan Land Use Map Designation.

Figure B: General Plan Land Use Map



Source: Planning and Development

PROPOSAL

4. *Site Plan*

This request is to convert an existing office complex to multifamily use and to construct an additional multifamily structure south of the existing buildings.

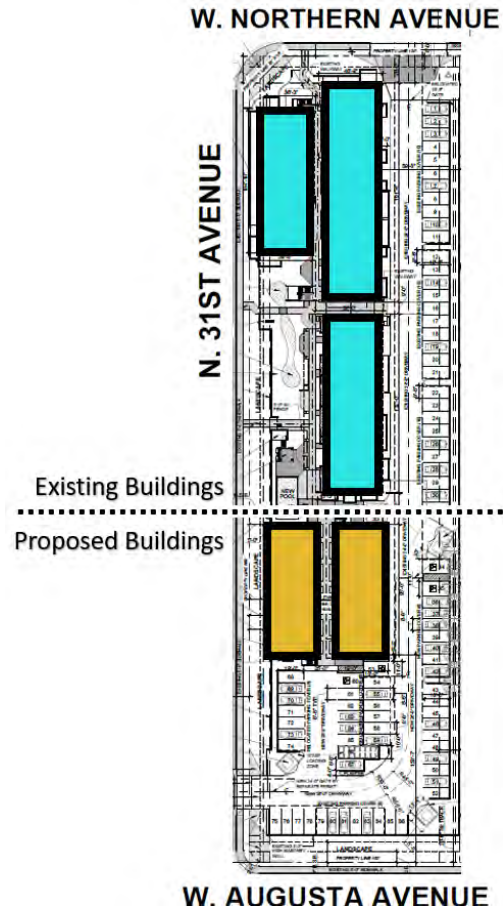
The existing three buildings are situated on the northern half of the site and range in height from one to two stories and house 26 dwelling units. The additional multifamily structures are proposed at a height of two stories and will house an additional 24 dwelling units. In total, the proposal is for 50 dwelling units.

- Due to the surrounding scale of development, staff is recommending Stipulation No. 1 which restricts the total number of units to 50 and Stipulation No. 2 which restricts the maximum height of all structures to 30 feet.
- To promote compatibility between the single-family neighborhoods to the east and south, staff is recommending Stipulation Nos. 4 and 6 which increased building setbacks of 40 feet from the east site boundary and 150 feet from Augusta Avenue.

The site plan depicts the new buildings will feature generous setbacks from the east, west, and south property lines. Staff is recommending a series of stipulations to promote strong vegetative buffers from the adjacent uses and along perimeter streets.

- Stipulation No. 5 requires the vegetative hedge present between the existing buildings and the east property line be extended south the full length of the site. This will provide a greater compatibility along the eastern edge of the site, especially where adjacent to single-family residences.

Figure C: Conceptual Site Plan



Source: Palmer Architects, LTD., Annotated by the Planning and Development Department

- Stipulation Nos. 7 through 9 requires the landscape setbacks along Northern Avenue, 31st Avenue, and Augusta Avenue be planted with additional trees to buffer the site and to promote enhanced thermal comfort.
5. The site plan depicts all units being situated along a continuous north-south pedestrian corridor extending to Northern Avenue with two pedestrian connections to 31st Avenue and one pedestrian to Northern Avenue. To promote integration between the project and the surrounding neighborhood, staff is recommending the following stipulations:
- Stipulation No. 10 to require the two pedestrian connections onto 31st Avenue and one pedestrian connection to Northern Avenue.
 - Stipulation No. 11 which prohibits solid perimeter walls between the plane of the buildings and the following public streets: Northern Avenue; 31st Avenue; and Augusta Avenue. Through this stipulation, the project will maintain a visual connection to the neighborhood, streets, and sidewalks.
6. Due to the proposed conversion from office to multifamily, the development will be required to provide resident amenities on site. The conceptual site plan depicts the amenities in the forecourt situated along 31st Avenue. To promote the creation of a residential neighborhood within the complex, staff is recommending additional amenities be provided as follows:
- Stipulation No. 12 promotes alternative modes of transportation for residents and their guests by requiring bicycle parking and a bicycle fix-it station to allow residents to complete light bicycle maintenance.
 - Stipulation No. 13 specifies that a minimum of three amenities be provided which may include a swimming pool, lawn area when shaded to 75 percent, barbeque and picnic areas, and a passive water feature or pond.
7. *Conceptual Building Renderings*
The request proposes the adaptive reuse conversion of three existing buildings on the site and the construction of an additional building south of the existing structures. The existing structures have brick facades and gable roof lines; the conceptual building rendering for the proposed new building uses brick as a primary material in addition to similar rooflines and architectural elements for compatibility across the site. This design continuity is especially important as the use of brick appears to be a signature element of commercial buildings in this area as depicted in Figures D. and E.

In addition to existing design guidelines in the Zoning Ordinance which require design continuity across a site with multiple dwellings, staff is recommending Stipulation No. 3 which requires architectural enhancements on all building elevations. The purpose of this stipulation is to ensure high quality design for greater compatibility with the existing buildings on site and with the surrounding neighborhoods.

Figure D: Photo of Architectural Character of Existing Buildings (On-Site)



Source: GoogleEarth

Figure E: Photo of Architectural Character of 7840 N 31st Avenue (Off-Site)



Source: GoogleEarth

Figure F: Rendering of Proposed New Building On-Site



Source: Tiffany and Bosco

8. Ingress / Egress

The subject site has street frontage from Northern Avenue, 31st Avenue, Augusta Avenue, and North Winter Lane to its east. The site plan depicts the primary point of access to the development being from Northern Avenue with a second driveway to/from 31st Avenue which is marked as being gated and restricted to emergency use and refuse collection only. There is currently a 1-foot wide Vehicular Non-Access Easement (VNAE) along the western boundary of the site and the applicant intends to abandon this easement to enable emergency use and refuse collection from 31st Avenue, a collector street.

Staff recommends the primary access to the site be from Northern Avenue to direct traffic away from single-family neighborhoods and Stipulation No. 17 restricts this driveway to right-in, right-out, and left-in, due to its proximity to the signalized intersection at 31st Avenue and Northern Avenue.

Staff is recommending a VNAE along the eastern edge of the site where adjacent to North Winter Lane (Stipulation No. 14) because this is a local street with no direct connection to a collector or arterial street.

Staff is recommending a VNAE along Augusta Avenue (Stipulation No. 15) to promote compatibility with the surrounding neighborhoods and to restrict future access onto a local street. In the case the abandonment of the VNAE along 31st Avenue is pursued but not approved, this stipulation will void itself to maintain the viability of the site.

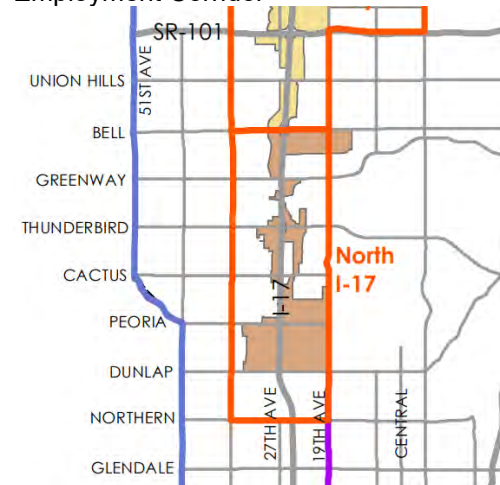
STUDIES AND POLICIES

9. [Maricopa Association of Governments \(MAG\) North Interstate 17 Employment Corridor](#)

The site located in close proximity to the designated North Interstate 17 Major Employment Center. The profile highlights the presence of a large and well-educated workforce and a large number of employment opportunities across a diverse range of the economy.

The proposed development supports increased intensity by proposing multifamily residential that is compatible in scale and intensity with the surrounding area and entitlements.

Figure D: Maricopa Association of Governments (MAG) North Interstate Employment Corridor



Source: Maricopa Association of Governments

10. **27th Avenue “To Do List”**

The “To Do List” was developed by the community with assistance by the Planning and Development Department. The guide applies to the area from 23rd Avenue to 29th Avenue and from Indian School Road to Dunlap Avenue. The neighborhood led effort focuses on achieving “an active, safe, and welcoming community with vibrant retail and sustainable housing.” The guide articulates goals and strategies focused on pedestrian-friendly design and connectivity, pedestrian safety on roadways, branding, advocacy, and placemaking initiatives.

Ideas relevant to this request arising from the guide include the importance of providing both physical and visual connections between the various elements of a neighborhood and that development should create attractive streetscapes, curb appeal, and a pedestrian friendly environment.

Most directly, the following stipulations recommended by staff achieve the goals and vision contained in the To Do List:

- Stipulation No. 3 (enhanced architecture)
- Stipulation Nos. 7 – 9 (enhanced tree plantings along public streets)
- Stipulation Nos. 10 and 12 (pedestrian pathways and bicycle facilities)
- Stipulation No. 13 (enhanced amenities)

11. **Tree and Shade Master Plan**

The Tree and Shade Master Plan encourages treating the urban forest as infrastructure to ensure the trees are an integral part of the City’s planning and development process. Staff is recommending a series of stipulations to achieve the goals of the Tree and Shade Master Plan including the following:

- Stipulation Nos. 5, 7, 8, and 9 which pertain to the enhanced planting standards along the perimeter of the site.
- Stipulation No. 10 requires enhanced shade over the major pedestrian pathways on site.
- Stipulation No. 13 requires that, if lawn or turf areas are provided as an amenity, they must be shaded to 75 percent by vegetation.

12. **Complete Streets Guidelines**

In 2014, the City of Phoenix City Council adopted the Complete Streets Guiding Principles. The principles are intended to promote improvements that provide an accessible, safe, connected transportation system to include all modes, such as bicycles, pedestrians, transit, and vehicles. Staff is recommending Stipulation No. 10 and 12 to address connectivity and to provide bicycle infrastructure.

13. **Comprehensive Bicycle Master Plan**

The City of Phoenix adopted the Comprehensive Bicycle Master Plan in 2014 to guide the development of its Bikeway System and supportive infrastructure. No bicycle lanes are presently located or planned along the adjacent streets. However, bicycle lanes have been designated within 31st Avenue south of Glendale Avenue towards Missouri Avenue, thus indicating a future a bicycle lane may be extended north toward.

To promote alternative transportation, staff is recommending Stipulation No. 12 to require bicycle parking for residents and their guests. The stipulation also requires the developer provide and maintain a bicycle fix-it station as an amenity to allow residents to complete light repairs on their bicycles.

Figure F: Example of a Fix-It Station.



Source: Dero

14. **Housing Phoenix**

In June 2020, the Phoenix City Council approved the Housing Phoenix Plan. This Plan contains policy initiatives for the development and preservation of housing with a vision of creating a stronger and more vibrant Phoenix through increased housing options for residents at all income levels and family sizes. Phoenix's rapid population growth and housing underproduction has led to a need for over 163,000 new housing units. Current shortages of housing supply relative to demand are a primary reason why housing costs are increasing.

The proposed development supports the Plan's goal of preserving or creating 50,000 housing units by 2030 by contributing to a variety housing types that will address the supply shortage at a more rapid pace while using vacant land in a more sustainable fashion.

15. **Reimagine Phoenix**

As part of the Reimagine Phoenix Initiative, the City of Phoenix is committed to increasing the waste diversion rate to 40 percent by 2020 and to better manage its solid waste resources. The provision of recycling containers was not addressed in the applicant's submittals.

COMMUNITY CORRESPONDENCE

16. As of the writing of this report, staff has received 13 letters of opposition regarding this proposed rezoning application documenting concerns such as compatibility and traffic; a petition containing approximately 220 signatures was also received noting similar concerns.

INTERDEPARTMENTAL COMMENTS

17. The Street Transportation Department's Office of Pedestrian Safety commented that the site should maintain the existing view fencing, provide additional trees along 31st Avenue and Northern Avenue, and incorporate secure bicycle storage. These elements are addressed in Stipulation Nos. 8, 9, 11, and 12 respectively.
18. The Public Transit Department commented that the development should incorporate accessible pedestrian pathways constructed of alternative material, connecting all building entrances, exits and public sidewalks via the most direct route. It was also recommended that trees be placed in a manner that provides 75 percent shade to pedestrian paths and sidewalks. This is addressed in Stipulation No. 10.
19. The Street Transportation Department provided three stipulations pertaining to, a right-in / right-out driveway restriction to/from Northern Avenue, a 10 foot sidewalk easement along Northern Avenue, and the standard language requiring the developer construct all improvements on-site and related improvements off-site. These comments are addressed in Stipulation Nos. 16, 17, and 18 respectively.
20. The Fire Department commented that the site may need an additional fire hydrant on the south end of the site, per the 2018 Phoenix Fire Code.
21. The Public Works Department, Floodplain Management Division determined the parcel is not in a Special Flood Hazard Area (SFHA), but located in a Shaded Zone X, on panel 1720 L of the Flood Insurance Rate Maps (FIRM) dated October 16, 2013.
22. The Water Services Department indicated no zoning stipulations are required but that capacity is a dynamic condition that can change over time due to a variety of factors. The requirements and assurances for water and sewer service are determined during the site plan application review. For any given property, water and sewer requirements may vary over time to be less or more restrictive depending on the status of the City's water and sewer infrastructure.

OTHER

23. The site has not been identified as being archaeologically sensitive. However, in the event archaeological materials are encountered during construction, all ground disturbing activities must cease within 33-feet of the discovery and the City of Phoenix Archaeology Office must be notified immediately and allowed time to properly assess the materials. This is addressed in Stipulation No. 19.
24. Development and use of the site is subject to all applicable codes and ordinances. Zoning approval does not negate other ordinance requirements. Other formal actions such as, but not limited to, zoning adjustments and abandonments may be required.

Findings

1. The request is consistent with the General Plan Land Use Map designation of Commercial and, as stipulated, is appropriate at this location due to its compatibility with the surrounding land uses.
2. The development, as stipulated, enables the adaptive reuse of an existing office complex in a manner that consistent with several core values from the Phoenix General Plan.
3. The development, as stipulated, advances the purpose and intent of the Housing Phoenix Plan by producing additional housing options, the Tree and Shade Master Plan by creating preserving and enhancing the tree canopy, and the Complete Streets Guidelines by including pedestrian and bicycle infrastructure.

Stipulations

1. The maximum number of units on the site shall be 50.
2. The maximum building height shall be 30 feet.
3. All elevations of the buildings shall contain architectural embellishments and detailing, such as: textural changes, pilasters, offsets, recesses, variation in window size and location, and/or overhang canopies.
4. There shall be a minimum 40-foot building setback from the east side of the development for all structures greater than 15 feet in height.
5. The required landscape area along the east site line for the southernmost 260

feet shall be planted with vegetation, such as oleanders, at a sufficient frequency to achieve a vegetative screen of not less than 15 feet in height at maturity, as approved by the Planning and Development Department.

6. There shall be a minimum 150-foot building setback from the south side of the development for all structures greater than 15 feet in height.
7. The required landscape setback along the south property line shall be planted with shade trees placed 20 feet on center or in equivalent groupings. Fifty percent of the required trees shall be a minimum 3-inch caliper and 50 percent shall be a minimum 2-inch caliper. Existing trees may be utilized toward the requirement. The above conditions shall be approved by the Planning and Development Department.
8. The required landscape setback along the west property line shall be planted with shade trees placed 20 feet on center or in equivalent groupings. Fifty percent of the required trees shall be a minimum 3-inch caliper and 50 percent shall be a minimum 2-inch caliper. Existing trees may be utilized toward the requirement. The above conditions shall be approved by the Planning and Development Department.
9. The required landscape setback along the north property line shall be planted with shade trees placed 20 feet on center or in equivalent groupings, excluding driveway entrances. Fifty percent of the required trees shall be a minimum 3-inch caliper and 50 percent shall be a minimum 2-inch caliper. Existing trees may be utilized toward the requirement. The above conditions shall be approved by the Planning and Development Department.
10. The developer shall provide a system of internal clearly defined and accessible pedestrian pathways that abide by the following restrictions and include the following elements, as approved by the Planning and Development Department:
 - a. Connect all building entrances and exits to all public sidewalks utilizing the minimum possible distance and providing the most direct route.
 - b. All pedestrian ways shall be shaded to a minimum 75 percent coverage. Up to 30 percent of the required shade may be provided through architectural methods but the remainder must be achieved through vegetative means.
 - c. There shall be a minimum of two connections to the public sidewalk

along 31st Avenue

- d. There shall be a minimum of one connection to the public sidewalk along Northern Avenue.
11. With the exception of the east side of the development, no solid perimeter wall greater than 40 inches in height shall be permitted between the plane of the building and the public street right-of-way.
12. The developer shall provide and maintain the following bicycle infrastructure as described below and as approved by the Planning and Development Department.
 - a. A bicycle repair station (fix-it station) as a resident amenity. The station shall include but is not limited to: standard repair tools affixed to the station; a tire gauge and pump; and a bicycle repair stand which allows pedals and wheels to spin freely while making adjustments to the bike.
 - b. The developer shall provide "Secure/Covered" bicycle parking at a rate of 0.25 spaces per dwelling unit up to a maximum of 50 spaces.
 - c. The developer shall provide Inverted-U or artistic style bicycle racks with capacity for a minimum six bicycles to serve visitors. The racks shall be located near a primary building entrance or in the central amenity area. Artistic racks shall adhere to the City of Phoenix Preferred Designs in Appendix K or the Comprehensive Bicycle Master Plan.
13. The developer shall provide a minimum three of the following amenities, as approved by the Planning and Development Department:
 - Swimming pool
 - Lawn or turf area shaded to 75 percent by vegetative shade
 - Barbecue and picnic areas
 - Passive water feature or pond
14. The developer shall dedicate a 1-foot Vehicular Non-Access Easement (VNAE) along the east property line where adjacent to public right-of-way.

15. The developer shall dedicate a 1-foot Vehicular Non-Access Easement (VNAE) along the south property line where adjacent to public right-of-way. If the abandonment of the 1-foot Vehicular Non-Access Easement (VNAE) situated along 31st Avenue is pursued but not approved, this stipulation shall be null and void or modified as approved by the Planning and Development Department.
16. The developer shall dedicate a 10-foot sidewalk easement along the south side of Northern Avenue, as approved by the Planning and Development Department.
17. Any driveway providing access to Northern Avenue shall be restricted to right-in, right-out, and left-in only, as approved by the Street Transportation Department.
18. The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals, as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.
19. In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground-disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.

Writer

Nick Klimek

November 11, 2020

Team Leader

Samantha Keating

Exhibits

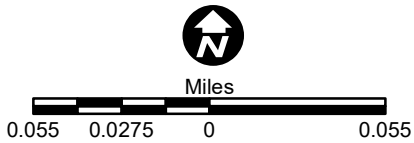
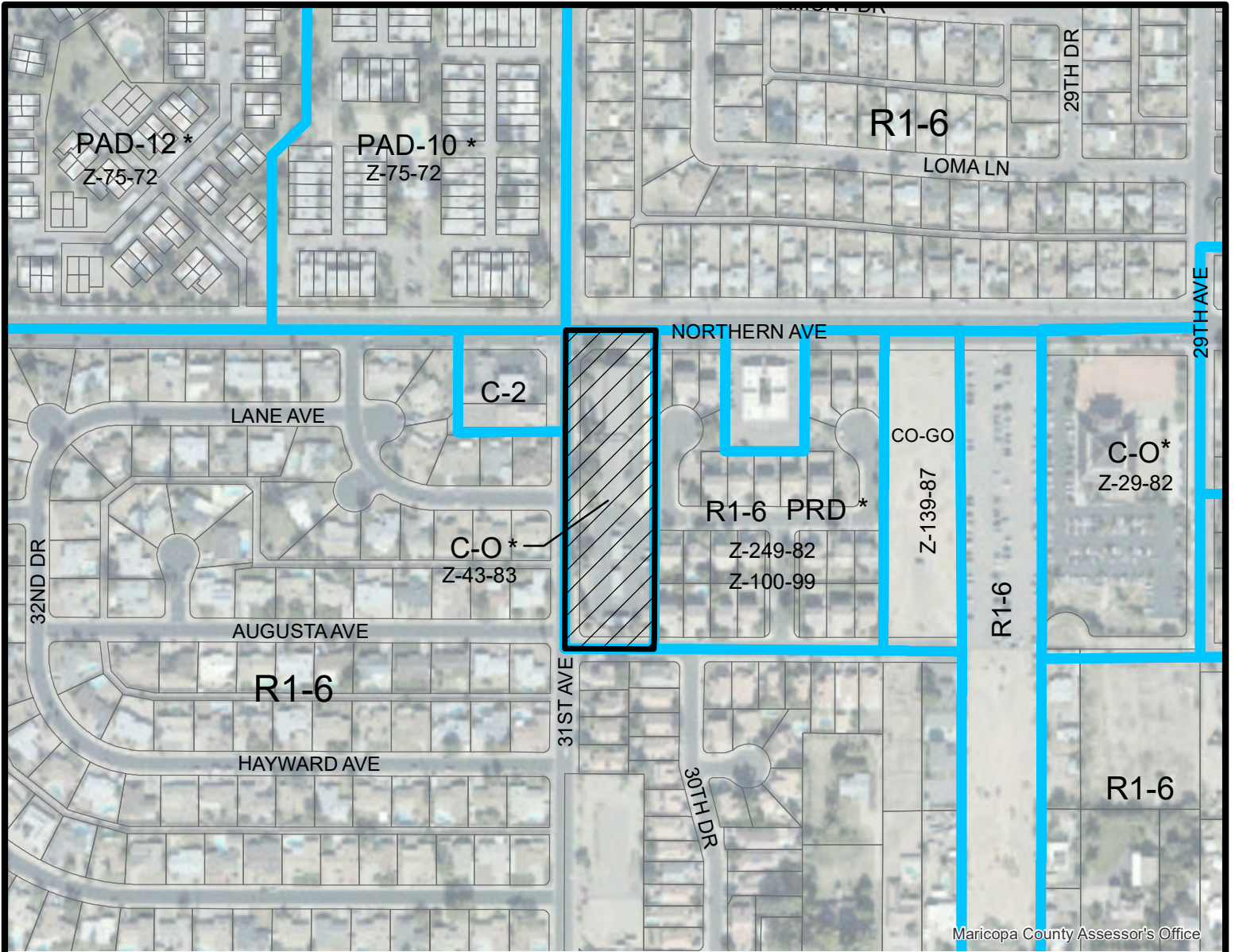
Zoning sketch map

Aerial sketch map

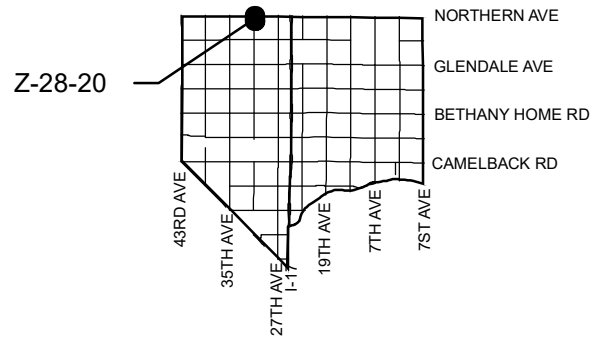
Conceptual Site Plan date stamped May 20, 2020 (NEED TO DIGITAL DATE STAMP)

City of Phoenix Employment Center Profile for North Interstate 17 (2 pages)

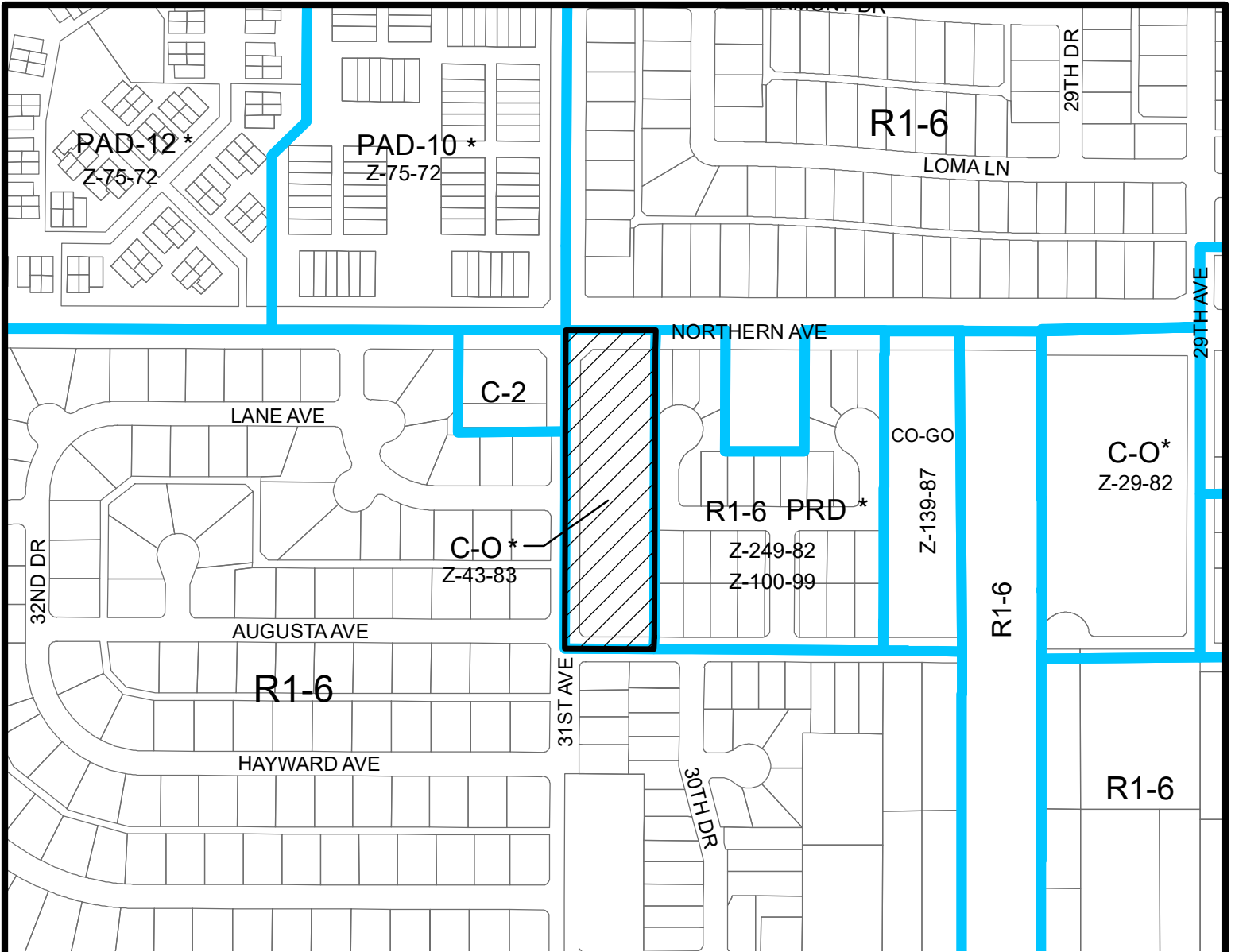
Community Correspondence (64 pages)



ALHAMBRA VILLAGE
CITY COUNCIL DISTRICT: 5



APPLICANT'S NAME: Ashley Zimmerman Marsh-Tiffany & Bosco		REQUESTED CHANGE:	
APPLICATION NO. Z-28-20		FROM: C-O (2.82 a.c.)	
<small>GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX.</small> 2.82 Acres		TO: R-3A (2.82 a.c.)	
<small>DATE:</small> 8/04/2020 <small>REVISION DATES:</small>		<small>AERIAL PHOTO & QUARTER SEC. NO.</small> QS 24-22	
<small>ZONING MAP</small> J-7		<small>* UNITS P.R.D. OPTION</small>	
MULTIPLES PERMITTED		CONVENTIONAL OPTION	
C-O		N/A	
R-3A		122	
<small>* Maximum Units Allowed with P.R.D. Bonus</small>		<small>* UNITS P.R.D. OPTION</small>	
		N/A	
		147	



Miles

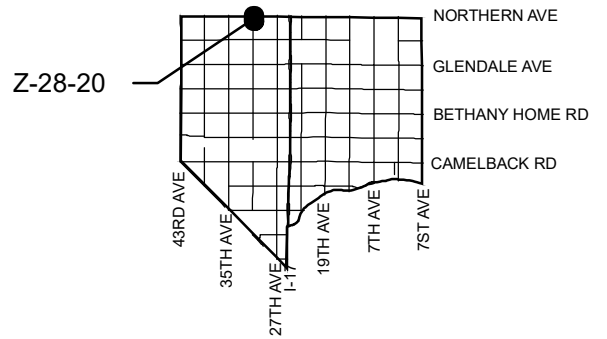
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ALHAMBRA VILLAGE

CITY COUNCIL DISTRICT: 5



City of Phoenix
PLANNING AND DEVELOPMENT DEPARTMENT



APPLICANT'S NAME: Ashley Zimmerman Marsh-Tiffany & Bosco

APPLICATION NO. Z-28-20

DATE: 8/04/2020
REVISION DATES:

GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX.

2.82 Acres

AERIAL PHOTO & QUARTER SEC. NO.
QS 24-22

ZONING MAP
J-7

REQUESTED CHANGE:

FROM: C-O (2.82 a.c.)

TO: R-3A (2.82 a.c.)

MULTIPLES PERMITTED

C-O
R-3A

CONVENTIONAL OPTION

N/A
122

*** UNITS P.R.D. OPTION**

N/A
147

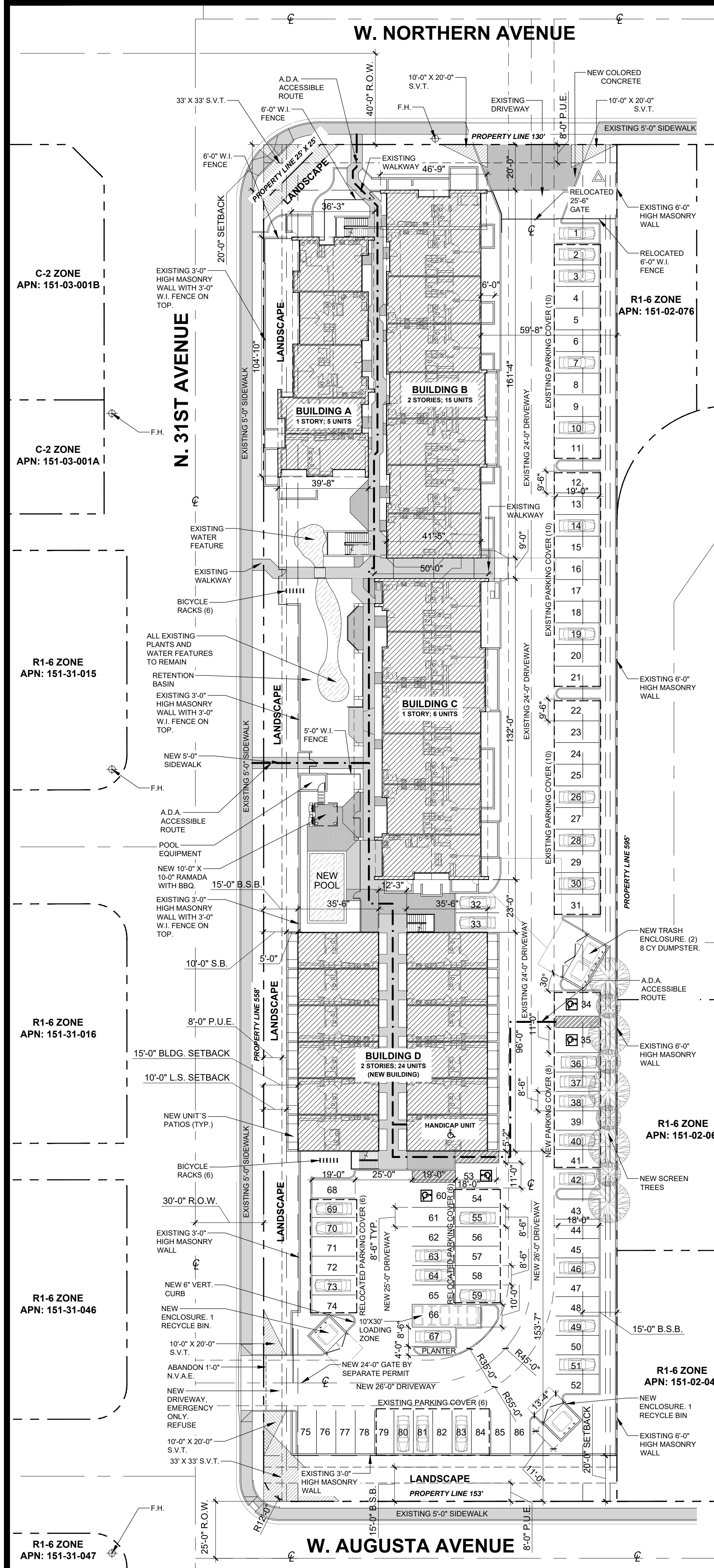
* Maximum Units Allowed with P.R.D. Bonus

NORTHERN AVE. 50 APARTMENTS

3031 W. Northern Ave. Phoenix, Arizona 85051

C-0 TO R3A P.R.D. ZONING CASE Z-28-20

SCOPE OF WORK: NEW 50 UNIT MULTIFAMILY APARTMENT THAT INCLUDES REMODELING OF BUILDINGS A, B & C FROM OFFICE TO APARTMENTS; NEW BUILDING D



SITE DATA

PROJECT NAME:
NORTHERN AVE. 50 APARTMENTS

A.P.N.:
151-02-011F

PROJECT ADDRESS:
3031 W. NORTHERN AVE. PHOENIX, ARIZONA 85051

ZONING:
EXISTING: C-O
PROPOSING: R3A

NET AREA:
91,868 S.F. / 43,560 = 2.108 ACRES

GROSS AREA:
128, 286 S.F. / 43,560 = 2.945 ACRES

DENSITY:
23.1 X 2.945 ACRES = 68 UNITS ALLOWED
50 UNITS PROPOSED (16.977 DU/AC PROVIDED)

PARKING SUMMARY (PROVIDED):
2 H.C. SPACES (OPEN A.D.A. SPACES)
2 H.C. SPACES (COVERED A.D.A. SPACES)
54 STANDARD COVERED PARKING SPACES (62%)
17 STANDARD OPEN SPACES
1 LOADING ZONE PER 702.H. (OPEN)
86 PARKING SPACES PROVIDED

OPEN SPACE:
128, 286 S.F. X 0.5 = 6,414 S.F. REQUIRED (5%)
8,437 S.F. PROVIDED (6.6%)

CONSTRUCTION TYPE:
VB

FIRE SPRINKLES:
ALL BUILDINGS TO BE FIRE SPRINKLED, SYSTEM TYPE 13

LOT COVERAGE:
BUILDING A: 3,897 S.F.
BUILDING B: 7,712 S.F.
BUILDING C: 7,484 S.F.
BUILDING D: 8,472 S.F.
RAMADA: 100 S.F.
COVERED PARKING: 9,755 S.F.
TOTAL: 37,420 S.F. (29%) (45% ALLOWED)

REFUSE CAPACITY:
0.5 CY PER D.U. REQUIRED = 50 X 0.5 = 25CY
SERVICE TWICE PER WEEK = 25/2 = 13 CY
2 - 8 CY ARE REQUIRED FOR REFUSE.
2 RECYCLE BINS PROVIDED.

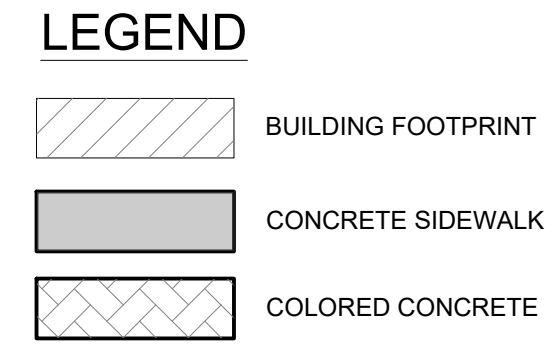
BUILDING HEIGHT MAX:
ALLOWED: 40'-0" (3 STORIES)
PROVIDED: 30'-0" (2 STORIES)

PARKING REQUIREMENTS:
29 1-BR UNITS (UNDER 600 S.F.) X 1 = 29 SPACES
21 2-BR UNITS X 1.5 = 32 SPACES
50 X 0.5 (GUEST PARKING) = 25 SPACES
86 PARKING SPACES REQUIRED (INCLUDING 4 H.C.)

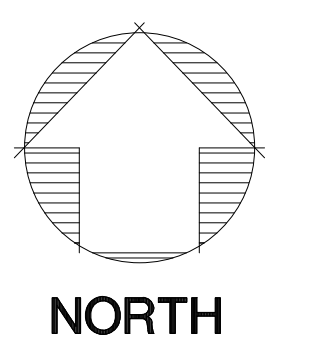
BICYCLE PARKING:
12 SPACES

BUILDING	HEIGHT	AREA	TOTAL SUITES	1BD	2BR
A	16'-0" 1-S	3,351 S.F.	5	3	2
B	30'-0" 2-S	12,385 S.F.	15	2	13
C	17'-6" 1-S	5,695 S.F.	6	0	6
D	26'-0" 2-S	15,984 S.F.	24	24	0
TOTAL SUITES			50	29	21

STANDARDS	REQUIREMENTS FOR THE LAND USE	PROVISIONS ON SITE PLAN
GROSS ACREAGE	2.945 ACRES	2.945 ACRES
TOTAL NUMBER OF UNITS	68	50
DENSITY	23.1 DU/AC	16.977 DU/AC
BUILDING SETBACKS		
STREET	20 FEET	MINIMUM 20 FEET
SIDE	15 FEET	MINIMUM 15 FEET
REAR	15 FEET	MINIMUM 15 FEET
LOT COVERAGE	45%	29%
BUILDING HEIGHT	3 STORIES; 40 FEET	MAXIMUM 30 FEET
OPEN SPACE	6,414 SQ. FT.	8,437 SQ. FT.
PARKING	86 SPACES	86 SPACES



SITE PLAN
SCALE: 1" = 30'-0"



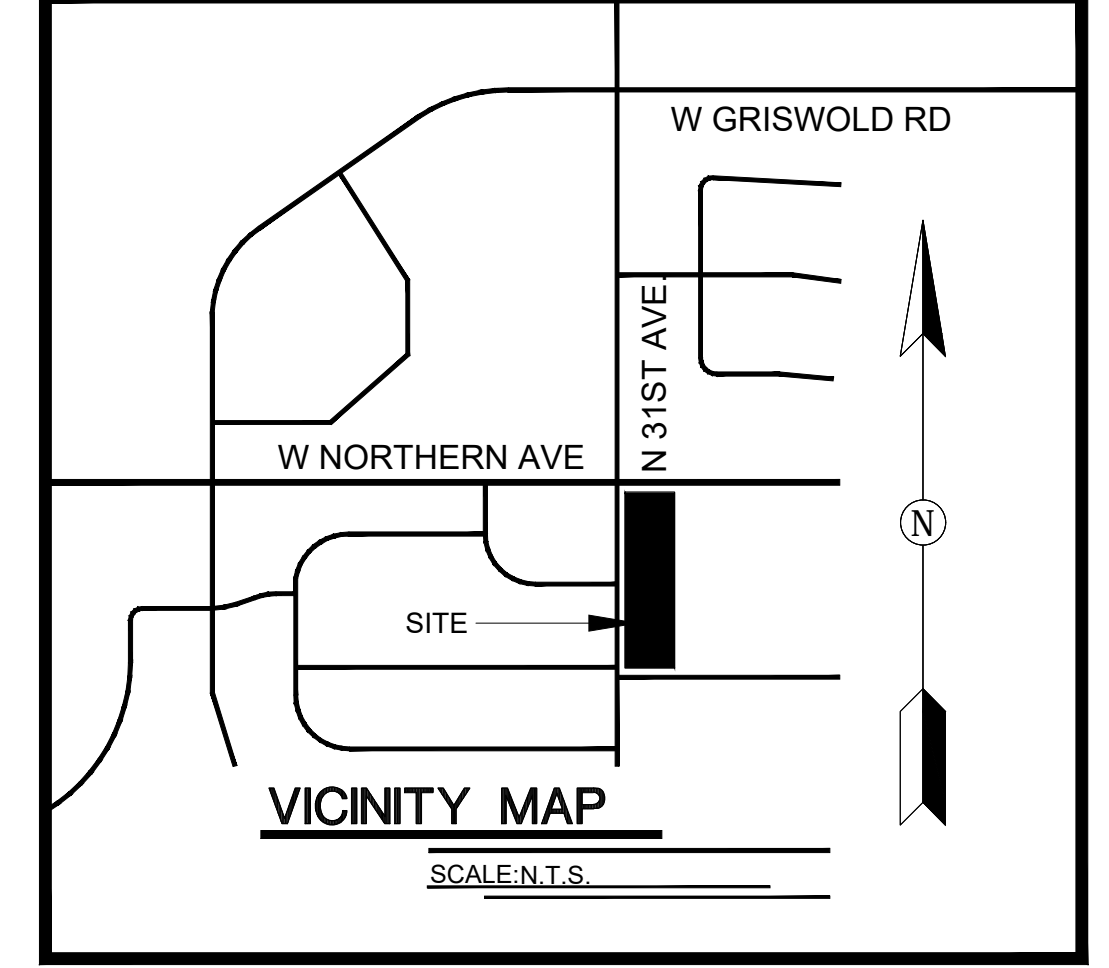
ARCHITECT:
JERRY PALMER
PALMER ARCHITECTS, LTD.
4222 EAST CAMELBACK ROAD H210
PHOENIX, ARIZONA 85018
PHONE: (480) 947-7717
JERRY@PALMERARCHITECTS.COM

CIVIL:
BEN MATHEW, PE.
USA INFRASTRUCTURE, LLC.
734 W PECOS AVE.
MESA, AZ 85210
PHONE: (480) 213-3647
BMATH.USAI@COX.NET

DEVELOPER:
RUSSELL BLACK
RUSSELL BLACK MANAGER
4222 E. CAMELBACK H-210
PHOENIX, ARIZONA 85018

LANDSCAPE:
MATTHEW T. HORNE
MTH DESIGN GROUP
2601 N. FOOTE DR.
PHOENIX, ARIZONA 85008
PHONE: (623) 399-5079
MATT@MTHDESIGNGROUP.COM

LEGAL:
ASHLEY Z. MARSH ESQ.
TIFFANY & BOSCO, PA.
2525 E. CAMELBACK RD. 7TH FL.
PHOENIX, ARIZONA 85016
PHONE: (602) 452-2742
AZM@TBLAW.COM



SITE PLAN NOTES

- DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
- ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
- STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURED BACK 10' FROM THE PROPERTY LINE AND 20' ALONG THE PROPERTY LINE ON EACH SIDE OF THE DRIVEWAYS ENTRANCES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.
- STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURING 33' X 33' ALONG THE PROPERTY LINES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.
- ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ONE FOOT CANDLE AT THE PROPERTY LINE. NO NOISE, ODOR, OR VIBRATION EMITTED BY USES IN THE AREA OUTSIDE OF THIS SITE.
- OWNERS OF PROPERTY ADJACENT TO PUBLIC RIGHTS-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING LOCATED WITHIN THE RIGHTS-OF-WAY, IN ACCORDANCE WITH APPROVED PLANS.
- ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT.
- ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTERS AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
- BARBED, RAZOR, OR CONCERTINA WIRE (OR SIMILAR) SHALL NOT BE USED ON THIS SITE WHERE VISIBLE FROM PUBLIC STREETS OR ADJACENT RESIDENTIAL AREAS.
- ALL SIGNAGE REQUIRES SEPARATE REVIEWS, APPROVALS, AND PERMITS. NO SIGNS ARE APPROVED PER THIS PLAN.

CODES

2018 I.B.C.

NOTES

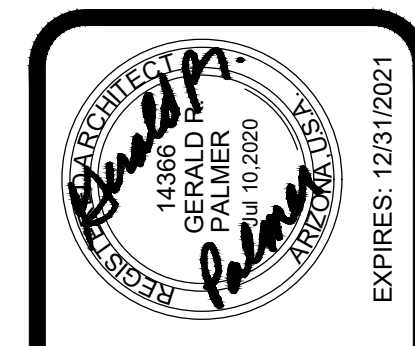
- OPEN SPACE + SIDEWALKS SHOULD BE 75% SHADED PER PUBLIC TRANSIT.
 - 5% PARKING LOT LANDSCAPING REQUIRED; PROVIDE AREA OF PARKING LOT AND PARKING LOT LANDSCAPING PROVIDED.
- LANDSCAPING PER: 703.B.
507 TM. A. II. A. 1-3.6

CITY OF PHOENIX
MAY 20 2020
Planning & Development
Department

KIVA 20-952
SDEV 2007645
QS 24-22
PAPP 2009314
ZONING CASE Z-28-20

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PALMER ARCHITECTS, LTD. 14386 N. 31ST AVENUE, SUITE 100, PHOENIX, AZ 85018
PHONE: (480) 947-7717 FAX: (480) 947-7718
WWW.PALMERARCHITECTS.COM

PALMER ARCHITECTS, LTD.
4545 N. 36th Street • Suite 200 • Phoenix, AZ 85018
(480) 947-7777 Fax: (480) 947-7778



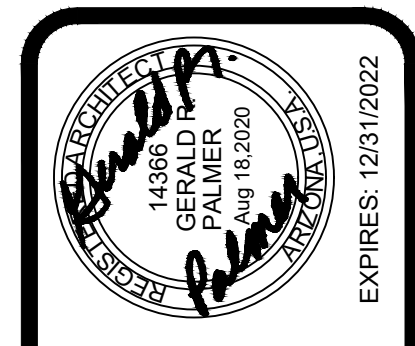
SITE PLAN
3031 W. NORTHERN AVE.
PHOENIX AZ 85055

REVISIONS	BY
04/03/2020	
07/07/2020	

DRAWN
SR
CHECKED
JP
DATE
Plot Date/Time: July 10, 2020 - 12:12 pm
SCALE
1" = 30'-0"
JOB NO.
PLMR 001 2020
SHEET
SP-1
OF SHEETS

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OFFICE TO APARTMENTS REMODELING
3031 W. NORTHERN AVE. ELEVATIONS
 PHOENIX, AZ. 85055

CITY OF PHOENIX
 MAY 20 2020
 Planning & Development
 Department

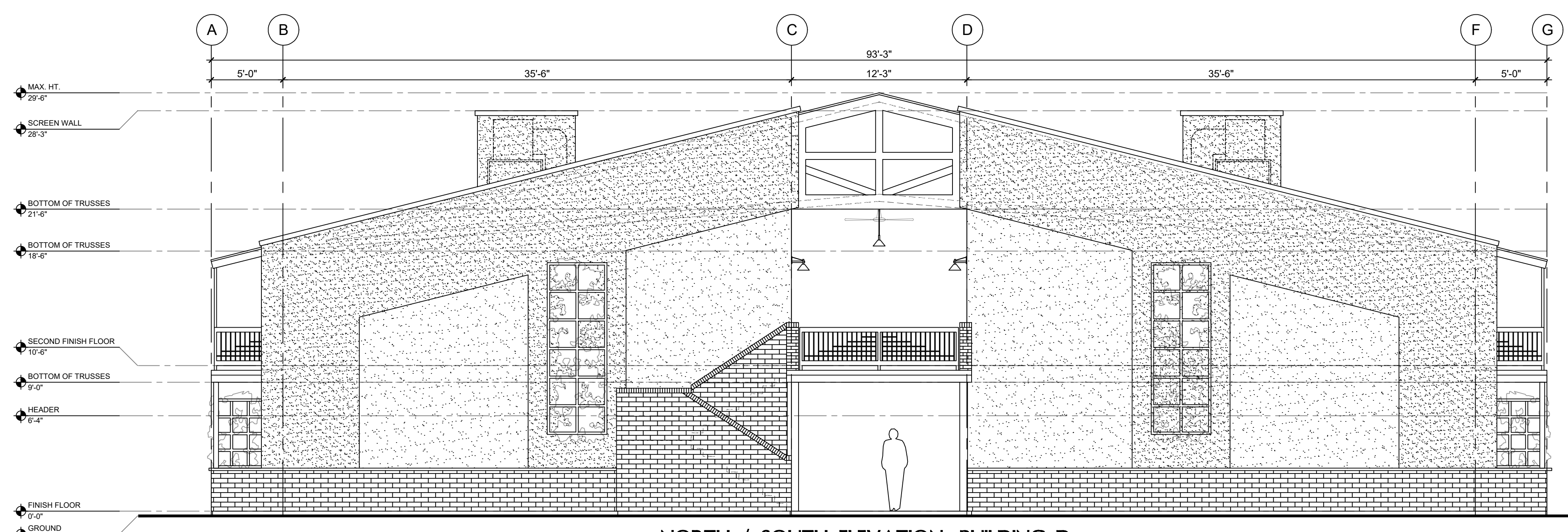
REVISIONS	BY

DRAWN SR
 CHECKED GP
 DATE
 Plot Date/Time: August 18, 2020 - 2:21 pm
 SCALE 3/16" = 1'-0"
 JOB NO. PLMR 001 2020
 SHEET
A-4.3
 OF SHEETS



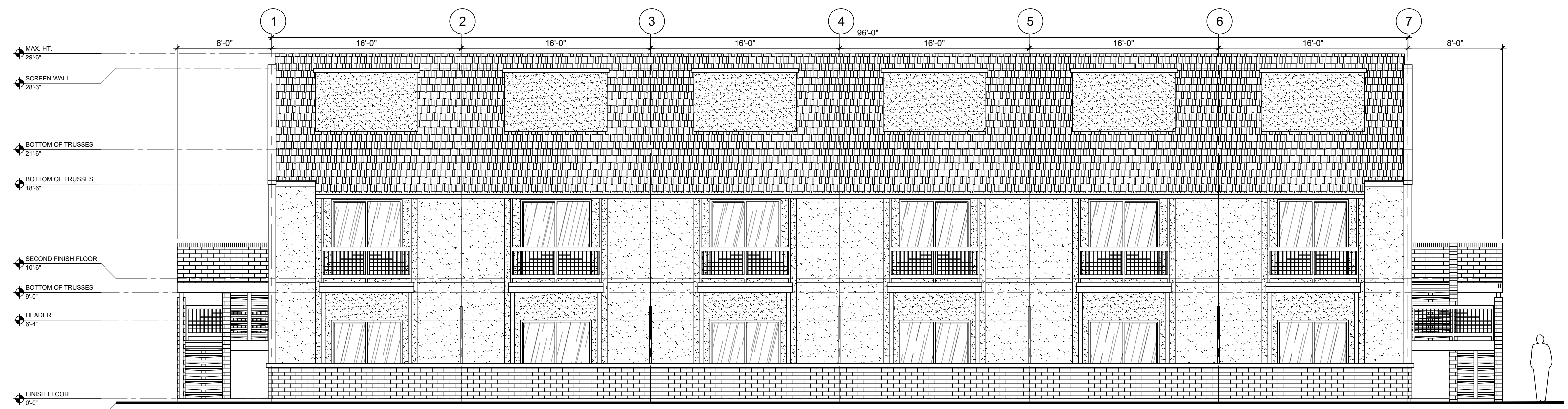
EAST ELEVATION; BUILDING D

SCALE: 3/16" = 1'-0"



NORTH / SOUTH ELEVATION; BUILDING D

SCALE: 3/16" = 1'-0"



WEST ELEVATION; BUILDING D

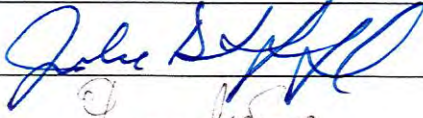

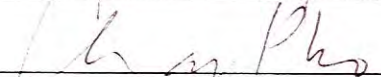
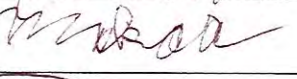
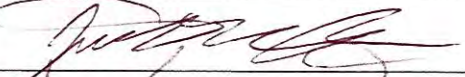
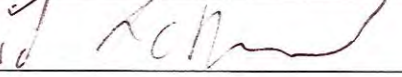
SCALE: 3/16" = 1'-0"

Petition to stop rezoning of Daysprings Northern Office Park

SEP 10 2020

Planning & Development
Department

<p>Petition summary and background</p>	<p>A new owner is requesting rezoning from Light Office to R-3 Multifamily housing with a to fit 50 studio & 2-bedroom apartments and 86 parking spaces, including a new 2-story building on the south end of the office suites. Entrance/exit will be on Northern with emergency exit on 31st Ave.</p>
<p>Action petitioned for</p>	<p>We, the undersigned, are concerned citizens who urge our leaders to act now by denying the rezoning of Daysprings Northern Office Park (3031 W. Northern Ave.) from C-O to R-3. This proposal would negatively impact this unique, rural R1-6 neighborhood with density, traffic issues, parking along the neighborhood streets and destroy current mature landscaping.</p>

Printed Name	Signature	Address	Date
Julie DeGraffenreid		3006 W. Augusta Ave.	8/17/20
Seeyun Ogeundipi		3002 W Augusta Ave	8/17/20
CHAU PHO		3010 W. Augusta Ave	8/17/20
Makoa Kalani		3026 W Augusta Ave	8/21/20
Julio Cases		3030 W Augusta Ave	8-24-20
James DeGraffenreid		3006 W. Augusta Ave	9/3/20

Petition to stop rezoning of Daysprings Northern Office Park

SEP 10 2020

Planning & Development
Department

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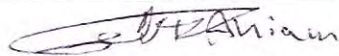
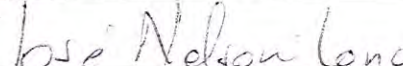


Printed Name	Signature	Address	Date
Kimberly Boersema	<i>Kimberly Boersema</i>	3011 W Northview Ave Phx. AZ 85051	8-29-2020
MARY BELL	<i>Mary Bell</i>	3020 W. Northview Ave	9/1/2020
Lauren Owen	<i>Lauren Owen</i>	7119 N. 29th Ave Phx. AZ 85051	9/1/2020
Jerry Owen	<i>Jerry Owen</i>	7119 N. 29th Ave Phx AZ 85051	9.1.2020
Mark Wood	<i>Mark Wood</i>	3008 W. Northview Ave Phx. AZ 85051	9/5/2020
Jennifer Wood	<i>Jennifer Wood</i>	3008 W. Northview Ave Phx AZ 85051	9/5/2020
Freddie Quibus	<i>Freddie Quibus</i>	3036 W Northview Ave Phx AZ 85051	9/5/2020
Dominique Quibus	<i>DQ</i>	3030 W. Northview Ave	9/5/2020

Petition to stop rezoning of Daysprings Northern Office Park SEP 10 2020

Planning & Development

Department

Petition summary and background	A new owner is requesting rezoning from Light Office to R-3 Multifamily housing with a to fit 50 studio & 2-bedroom apartments and 86 parking spaces, including a new 2-story building on the south end of the office suites. Entrance/exit will be on Northern with emergency exit on 31 st Ave.
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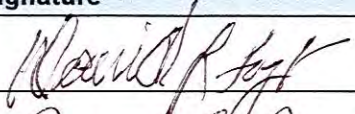
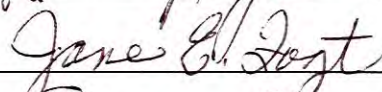
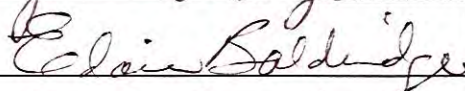
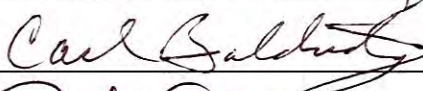
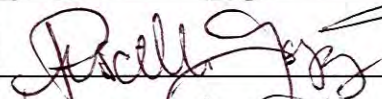
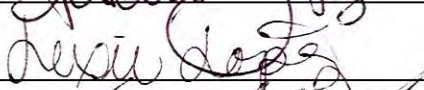
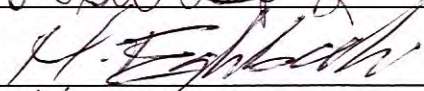
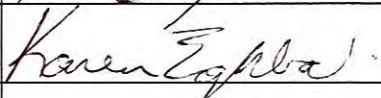
Printed Name	Signature	Address	Date
Aniam Mared		3901 W. Hayward Phx. AZ. 85051	8-14-2020
Karen Motter	Karen Motter	3102W HAYWARD	8-25-20
Jose Nelson Londono		3110 W. Hayward Ave	8-25-20
Jared Prizmich		3116 W. Hayward Ave	8/28/2020
JARED PRIZMICH		7801 N 32ND DR.	9/4/2020

Petition to stop rezoning of Daysprings Northern Office Park

SEP 10 2020

Planning & Development
Department

Petition summary and background	A new owner is requesting rezoning from Light Office to R-3 Multifamily housing with a to fit 50 studio & 2-bedroom apartments and 86 parking spaces, including a new 2-story building on the south end of the office suites. Entrance/exit will be on Northern with emergency exit on 31 st Ave.
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Printed Name	Signature	Address	Date
David Fogt		3339 W. State Ave ⁸⁵⁰⁵¹ Phx	9/04/20
Jane Fogt		3339 W. State Ave. ⁸⁵⁰⁵¹ Phx	9/04/20
Elaine Baldridge		3321 W. State Ave ⁸⁵⁰⁵¹ Phx	9/04/20
CARL BALDRIDGE		3321 W. STATE Ave ⁸⁵⁰⁵¹ Phx	9/04/20
Pascilla Lopez		3320 W. State Ave ⁸⁵⁰⁵¹	9/4/20
LEXIE LOPEZ		3320 W. State Ave 85051	9/4/20
HASSAN EGHBALI		3316 W. State Ave ⁸⁵⁰⁵¹	9/4/20
KAREN EGHBALI		3316 W. STATE Ave ⁸⁵⁰⁵¹	9/4/20

SEP 10 2020

Petition to stop rezoning of Daysprings Northern Office Park

Planning & Development
Department

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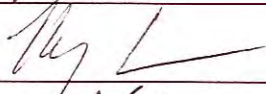

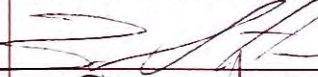
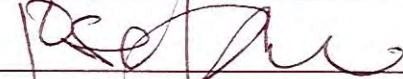


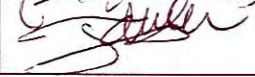
Printed Name	Signature	Address	Date
Florence A. Collins	<i>Florence A. Collins</i>	3340 W State Ave.	8/30/20
Annette Mathis Norton Benites	<i>Annette Mathis Norton Benites</i>	7327 N 34 th Ave	9/2/20
FRANK BENITES	<i>Frank Benites</i>	732 N 34 th Ave	9/2/20
ABE MORDEZ	<i>Abe Mordez</i>	7318 N 34 th Ave	9/2/20
Chuck Anschutz	<i>Chuck Anschutz</i>	7324 N. 34 th Ave	9/2/20
Adam Martinez	<i>Adam Martinez</i>	7310 W. 34 th Ave	9/2/20
CURT Fulmer	<i>Curt Fulmer</i>	2930 W Orangewood Ave	9/3/20
MARCIA Fulmer	<i>Marcia Fulmer</i>	2930 W. Orangewood Ave	9-3-20
Kathleen Mobst	<i>Kathleen Mobst</i>	3340 W State Ave	9-3-20
Bianca Prizmich	<i>B. Prizmich</i>	7810 N 32nd Dr	9-4-20

Petition to stop rezoning of Daysprings Northern Office Park

SEP 10 2020

Planning & Development
Department

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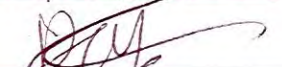
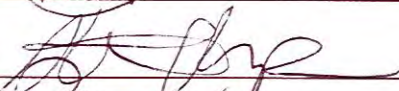
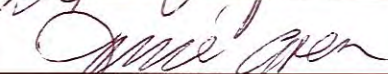
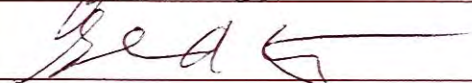
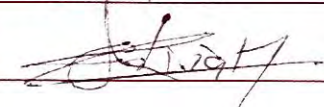
Printed Name	Signature	Address	Date
Peter Garbow		3025 W Augusta Ave	8/22/2020
Kym Garbow Kym Garbow		3025 W Augusta Ave	8/22/2020
Mieubam Mai		3021 W Augusta Ave	8/22/2020
Brandon Fletton	Brandon Fletton	3017 W Augusta Ave	8/22/2020
Daddi Garner	Daddi Garner	3009 W Augusta Ave	8.22.20
FARRY STRICKER		3005 W AUGUSTA Ave	8-22-20
Samuel Lawk		3026 W Hayward Ave	8/22/20
Maria Marquez	Maria Marquez	3018 W Hayward Ave	08/22/20
Kevin Vigil		3021 W Hayward Ave	8/22/20
Bill Wilson		7715 N. 30th Dr	8/22/20
Johnathan Olivas		7711 N. 30th Dr	8/22/20

Petition to stop rezoning of Daysprings Northern Office Park

SEP 10 2020

Planning & Development
Department

Petition summary and background	A new owner is requesting rezoning from Light Office to R-3 Multifamily housing with a to fit 50 studio & 2-bedroom apartments and 86 parking spaces, including a new 2-story building on the south end of the office suites. Entrance/exit will be on Northern with emergency exit on 31 st Ave.
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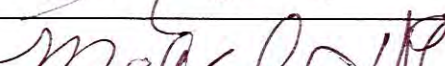


Printed Name	Signature	Address	Date
Aime Vega		7706 N 30 Dr. Phx AZ	08/27/20
Dereck Alvarado		7710 N 30 th Dr	8/22/20
Steven Hoyos		7714 N 30 Dr	8/22/20
Julie A Nelson		7738 N 30 th Dr	9/21/20
Glenn A. Compton		7746 N. 30 th Dr, Phx, AZ.	8/22/20
Bonnie L. Compton	Bonnie L. Compton	7746 N. 30 th Dr Phx, AZ	8/22/20
Adrian Vital		7742 N. 30 th Dr Phx-A	8/22/20

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Printed Name	Signature	Address	Date
Amzie Cox		2803 W. BELMONT AVE PHOENIX, AZ 85051	8/2/20
Nathaniel Cox		2803 W Belmont Ave Phoenix AZ 85051	8/12/20
JOLLY HILL		7811 N 32ND AVE PHX 85051	9/4/20
LEVIN HILL		7811 N 32ND	9/4/20
Melody Hill		7811 N 32ND	9-4-20
Austrian Dunham		7811 N 32 nd Ave	9-4-20
7 NIKOLE PRUMICH		7801 N 32 nd Dr. Phx AZ 85051	9-4-20

SEP 10 2020

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Planning & Development
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Printed Name	Signature	Address	Date
ALLE BROWN	Allen Brown	7836 N. 32ND DR.	8-22-20
Roberto Reba	Roberto Reba	7836 N. 32ND DR	8-20-20
Kristyn Heimer	Kristyn Heimer	3144 W. Lane Ave	8/20/20
JR Heimer	JR HEIMER	3145 W. LANE AVE	8/20/20
Kevin Kleissle	Kevin Kleissle	3144 W. Lane Ave	8/20/20

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SEP 10 2020

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Printed Name	Signature	Address	Date
Nathan Schick	<i>Nathan Schick</i>	7616 N 34th Ave Phoenix	8/24/20
Luke Southwood	<i>Luke Southwood</i>	3101 W Lane Ave Phoenix	8/24/20
Wendy Ann Johnson	<i>Wendy Ann Johnson</i>	3171 W. Lane Ave Phoenix	8/25/20
ESAD VELIC	<i>Esad Velic</i>	3149 W AUGUSTA AVE PHX	8-29-2020
DERVA VELIC	<i>Derra Velic</i>	3149 W AUGUSTA AVE PHX	8-29-2020
DREWAN SIMPSON	<i>Drewan Simpson</i>	3149 W. Augusta Ave PHX	8-29-2020
Bryan Carter	<i>Bryan Carter</i>	3141 W. Augusta Ave Phx	8/29/2020
LOIS EGBERT	<i>Lois Egbert</i>	3121 W AUGUSTA AVE	8/29 2020

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SEP 10 2020

Planning & Development
Department

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Printed Name	Signature	Address	Date
DEBRA A. McCARTHY	<i>Debra A. McCarthy</i>	3023 W. WINTER DR	8/20/20
TOM A MUIR	<i>Tom A. Muir</i>	3220 W NORTHVIEW AVE	8/20/20
MUOI DUNG TAT	<i>Muoi Dung Tat</i>	3034 W WINTER	8/20/20
Maria Cruz	<i>Maria Cruz</i>	3030 W. Wintear	8/20/20
Greg Hacker	<i>Greg Hacker</i>	3031 W. winter Dr	8/20/20
ROSE HACKER ^{Rose Hacker}	<i>Rose Hacker</i>	3031 W. Winter	8/20/20
Sara Furcini	<i>Sara Furcini</i>	3027 W Winter	8/20/20
Suziel Meah	<i>Suziel Meah</i>	302 W winter dr	8/20/20
Nelley Gonzalez	<i>Nelley Gonzalez</i>	3011 W Winter DR	8/20/20
Daniel Cooper	<i>Daniel Cooper</i>	3024 W. Winter Ave	8/20/20
Saul Monje	<i>Saul Monje</i>	3007 W. Winter Dr	8/20/20
ESTHER	<i>Esther</i>	3002 W. winter	
Ernesto Silva	<i>Ernesto Silva</i>	3010 W. winter	8/20/20
Travis Barnhart	<i>Travis Barnhart</i>	1128 W Dr	
Monyha Barnhart	<i>Monyha Barnhart</i>	3003 W winter D 3003 W winter Dr	8/20/20 8.20.2020

* Originally thought was error. Owner is Chinese American and filled out later by Julie DeGraffenreid.

SEP 10 2020

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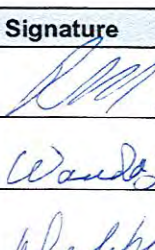
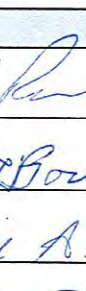

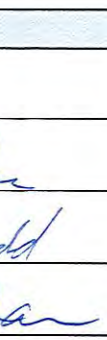
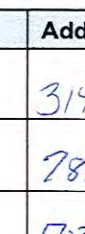
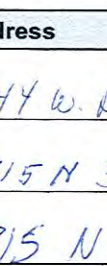
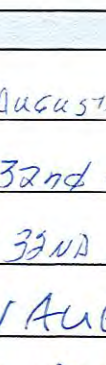
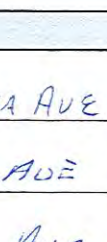
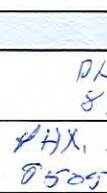
Printed Name	Signature	Address	Date
Trina Scoll	<i>[Signature]</i>	2925 W. Belmont Ave	8/7/20
Emily De Santiago	<i>[Signature]</i>	3022 W. Belmont Ave	8/7/20
Linda De Santiago	<i>[Signature]</i>	3022 W. Belmont Ave	8/7/20
Anai De Santiago	<i>[Signature]</i>	3022 W. Belmont Ave	8/7/20
Karen De Santiago	<i>[Signature]</i>	3022 W. Belmont Ave	8/7/20
Jacinto De Santiago	<i>[Signature]</i>	3022 W. Belmont Ave	8/7/20
Grace De Santiago	<i>[Signature]</i>	3022 W. Belmont Ave	8/7/20
VALENTIN MEJIAS	<i>[Signature]</i>	2849 W Belmont Ave	8/9/20
Lesbia C. Mejias	<i>[Signature]</i>	2849 W Belmont Ave	8/9/20

SEP 10 2020

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Printed Name	Signature	Address	Date
RANDALL BENNETT		3144 W. AUGUSTA AVE PHX, AZ 85051	8-12-2020
JAN DAL BOUCHER		7815 N 32nd AVE PHX, AZ 85051	8-12-2020
Debbie A TODD		7815 N 32nd AVE PHX, AZ 85051	8-12-2020
JOHN M. JORDAN		3130 W AUGUSTA PHX, AZ 85057	8/12/2020
TOM SZYMANSKI		3129 W AUGUSTA PHX, AZ 85051	8/12/2020
Robert Meyer		7751 N 32 DR PHX 85051	8/12/2020
Bobby Hernandez		3138 W Augusta	8/12/20
TERESA Almeida		3116 W AUGUSTA	8/21/20
SINJAIR NOE		3116 W. AUGUSTA AVE. Phx, AZ 85051	8/21/2020

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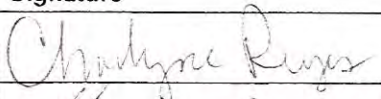
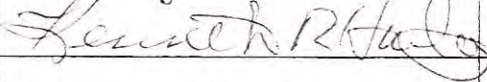
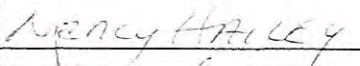
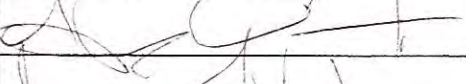

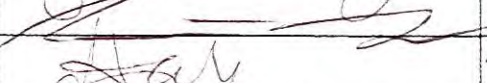
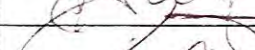
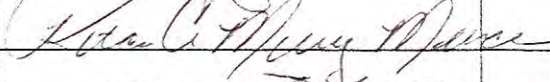

CITY OF PHOENIX

SEP 10 2020

Planning & Development
Department

Ordinance # 2020-000000 Rezoning of Daysprings Northern Office Park

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Printed Name	Signature	Address	Date
Charlyne Reyes		3141 W Lane Ave	8/27/2020
LEN HAILE		3324 W LANE AVE	8/29/2020
Nancy Hailey		3324 West Lane Ave	8/29/2020
FELONY VERDUGO		7844 N. 33 AVE	8-29/2020
JOANNE VERDUGO		7844 N 33 AVE	8-29-2020
Stephanie Loma		7844 N 33 AVE	8-29-2020
Elena Lioi		7831 N 33 AVE	8, 29, 2020
RITA MURRAY MEECE		3127 W LANE AVE	8-30-2020
MARTIN G. MEECE		3127 W LANE AVE	8-30-2020

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Petition to stop rezoning of Daysprings Northern Office Park SEP 10 2020

Planning & Development

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Printed Name	Signature	Address	Date
Marci Shields	<i>Marci Shields</i>	2850 W. Belmont Ave Phx AZ 85051	8/10/2020
BRIAN HATCH	<i>[Signature]</i>	2904 W Belmont 85051	8/12/2020
STEPHEN WARDMANN	<i>SP Waldman</i>	3016 W. BELMONT 85051	8/12/2020
Mary Pat Waldman	<i>Mary Pat Waldman</i>	3016 W. Belmont Ave 85051	8/12/20
Helen Chagolla	<i>Helen Chagolla</i>	3301 W MORTEN Ave Phx 85051	8/13/2020
MARY FORD	<i>Mary Ford</i>	3005 W. BELMONT AVE	8/13/2020
Don Suarez	<i>Don Suarez</i>	3006 W Belmont Ave	8/13/20
JOSE E PEREZ T	<i>Jose E Perez T</i>	3006 W Belmont Ave	8/13/20
Johns Hight	<i>3215</i>	3215 W OPAWAD	8/13/20
Karen Johnson	<i>Karen Johnson</i>	2911 W. Belmont Phx	8/15/20

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SEP 10 2020

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PEDRO C CASTILLO		3202 W LANE AVE.	8/26/2020
Carol A Tucker		3138 W Lane Ave	8/26/20
HAL B. BEYER		3175 W. Lane Ave	8/26/20
Heleen R Cook		7821 N 32 Dr.	8/26/20
Jean Dumbart		3229 W Lane Ave	8/26/20
Melinda Whittington		7802 W. 32 Dr. 85051	8/27/20
Jose Diaz		7769 W 33 AVE	8-27-2020
Laura Luna		3222 W Lane Ave 85051	8-27-2020
Shane Higbee		3124 W Lane	8-27-20
Andriana Higbee		3124 W. Lane	8-27-20
Jose Reyes		3141 W. Lane Ave	8/27/2020

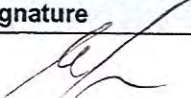
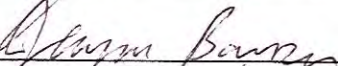
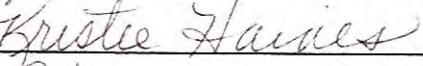
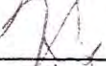

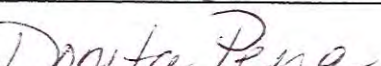
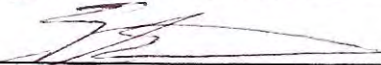
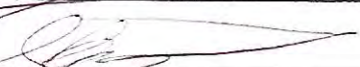

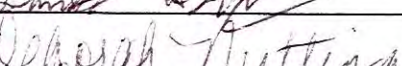
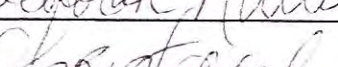
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SEP 10 2020

Petition to stop rezoning of Daysprings Northern Office Park

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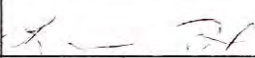
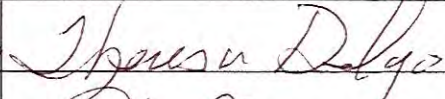
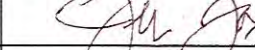

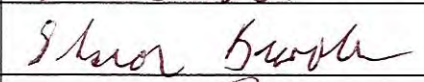

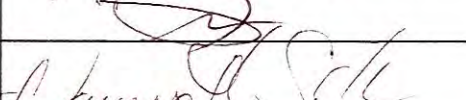
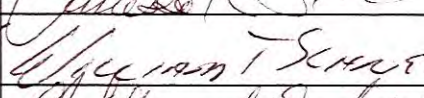
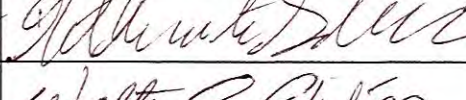

Printed Name	Signature	Address	Date
Slaves Sajidovic		3210 W. Lane AVE	8-23-20
Jayme Barber		3210 W. Lane Ave	8-23-20
Kristie Haines		3150 W. Lane Ave	8/24/20
James Cigna		3150 W. Lane Ave	8/24/20
Mike Pena		3153 W Lane AV	8/24/20
Dorita Pena		3153 W. Lane Ave	8/24/20
SAM ERSEN		3209 W. LANE	8/24/20
SAWYER PEDERSEN		3158 W. LANE	8/24/20
Samantha Holimer		3145 W. Lane Ave	8/24/20
Deborah Nutting		2841 W. Diana Ave.	8/25/20
Christeen Pham		3159 W Lane Ave	8/26/20

SEP 10 2020

Petition to stop rezoning of Daysprings Northern Office Park

Planning & Development
Department

Petition summary and background	A new owner is requesting rezoning from Light Office to R-3 Multifamily housing with a to fit 50 studio & 2-bedroom apartments and 86 parking spaces, including a new 2-story building on the south end of the office suites. Entrance/exit will be on Northern with emergency exit on 31 st Ave.
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Printed Name	Signature	Address	Date
Larry Fox		2827 W. Belmont Ave	8/10/20
Theresa Delgado		2838 W Belmont Ave	8/10/20
Ceri Fox		2827 W. Belmont Ave	8/10/20
W T BROOKER		2846 W BELMONT AVE	8-10-20
SHARON BROOKER		2846 W BELMONT AVE	8-10-20
Eduardo Gonzalez		2719 W Belmont Ave	8/10/20
Samuel Gonzalez		2750 W Belmont Ave	8/10/20
Vanessa K Schneider		2902 W Belmont Ave	8/10/20
Walter E. Philipp	Walter E. Philipp	2902 W Belmont Ave	8/10/20
Nathaniel Schneider		2902 West Belmont Ave	8/10/20
WALTER E. PHILIPP		2905 W. BELMONT AVE	8/10/20

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Printed Name	Signature	Address	Date
Terri Stevens	<i>[Signature]</i>	2901W Belmont Ave	8/7/20
Joyce Finn	<i>[Signature]</i>	2841 W. BELMONT AVE	8/7/20
Sarah Watson	<i>[Signature]</i>	2834 W. Belmont Ave	8/7/20
Derek Floyd	<i>[Signature]</i>	2824 w Belmont Ave	8/7/20
RICHARD FINN	<i>[Signature]</i>	2841 W BELMONT	8/7/20
Richard GAINES	<i>[Signature]</i>	2835 w Belmont	8-7-2020
Marjorie Paez	<i>[Signature]</i>	2735 W. Belmont	8-7-2020
Luis Paez	<i>[Signature]</i>	2735 w Belmont	8-7-2020
Eric Whitney	<i>[Signature]</i>	2912 w Belmont	8-7-2020
Mike Borrelli	<i>[Signature]</i>	2914 W Belmont Ave	8-7-2020
ANNA M. Borrelli	<i>[Signature]</i>	2914 w Belmont Ave	8-7-2020

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Printed Name	Signature	Address	Date
Lynnda Ruth Diamond	<i>Lynnda Ruth Diamond</i>	3102 W Augusta Ave	8-6-2020
Kenneth Barrett Diamond	<i>Kenneth Barrett Diamond</i>	3102 W. Augusta Ave.	8-6-2020
RONALD RHEAUME	<i>Ronald Rheaume</i>	3101 W. Augusta	8-06-2020
RONALD RHEAUME	<i>Ronald Rheaume</i>	3101 W. AUGUSTA	08-06-2020
Richard Rooney	<i>Richard Rooney</i>	3115 W Augusta	08-06-2020
Jamien M. Minos	<i>Jamien Minos</i>	3115 W Augusta Ave	8/6/2020
Debra A. LaPlante	<i>Debra A. LaPlante</i>	3110 W. Augusta Ave	8/6/2020
MARC LAPLANTE	<i>Marc LaPlante</i>	3110 W. Augusta Ave	8/6/2020
Kubiela Londono	<i>Kubiela Londono</i>	3110 W Wayward Ave	8/14/2020
Debra Nelson	<i>Debra Nelson</i>	3129 W. Belmont Ave	8/21/2020
CAROL E. SMITH	<i>Carol E. Smith</i>	3109 W. Belmont	8/21/2020


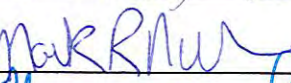
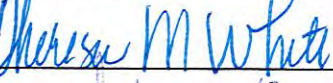
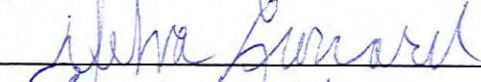

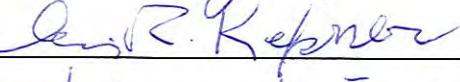
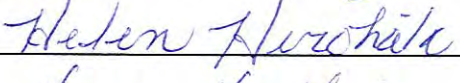


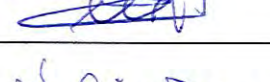
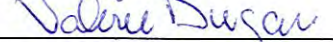
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Printed Name	Signature	Address	Date
Adam Busse		3129 W. Belmont Ave	8/22/20
MARK R. NELSON		3129 W. BELMONT AVE	8/22/20
Theresa M White		3135 W Belmont Ave	8/22/20
DEBRA LEONARD		3136 W. Belmont Ave	8/22/20
Elizabeth Kepner		3155 W Belmont Ave	8/22/20
Craig Kepner		3155 W Belmont Ave	8/22/20
Helen HIROHATA		3122 W. BELMONT AVE	8/22/20
HARRY HIROHATA		3122 W. Belmont Ave	8/22/20
Patrick Paoli		3116 W. Belmont Ave	8/24/20
Cristobal Mendez		3116 W Belmont Ave	8/24/20
VALERIE DUGAN		3115 W. BELMONT AVE	8/24/20

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Printed Name	Signature	Address	Date
Bell Kelly		3353 W Northview PHX AZ 85051	8-24-2020
Kendra Hornsher		3353 W Northview Phx 85051	8/24/2020
Carla Naylor		3205 W. ORANGEWOOD Ave 85051	8/25/2020
KENNETH NAYLOR		3205 W. ORANGEWOOD Ave 85051	8/25/2020
Shannon Silva		3326 W. Northview Ave PHX AZ 85051	8/25/2020
Brianna McCauslin		3326 W. Northview Ave PHX 85051	8/25/2020
Elizabeth Banueks		3338 W. Northview Ave PHX 85051	8/25/2020
Rosie Entzminger		3338 W. Northview Ave PHX 85051	8/25/2020
James Entzminger		3338 W. Northview Ave PHX 85051	8/25/2020
Boyd Higgins		7200 N 34 AVE PHX 85051	8/27/2020
Virginia Dennis		7200 N 34 AVE PHX 85051	8/27/2020


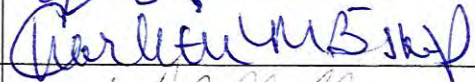
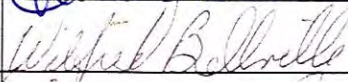
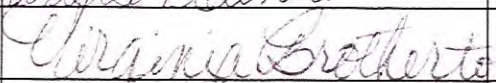
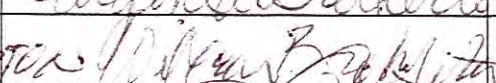
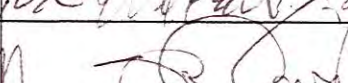
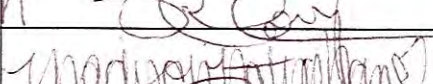
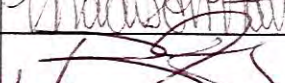

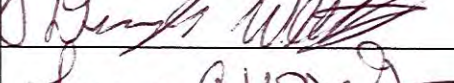
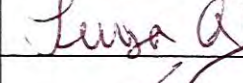
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Printed Name	Signature	Address	Date
JAMES BISHOP		3149 W BELMONT AVE PHX 85051	8/16/20
Charlette Bishop		3149 W. Belmont Ave. PHX 85051	8-16-20
Wilfred Bellville		3115 W. Belmont Ave. PHX 85051	08/24/2020
Virginia Brotherton		7615 N. 33rd PHX 85051	8/24/2020
WILLIAM BROTHERTON		7615 N. 33rd PHX 85051	8-24-20
Stacey Nottingham		3128 W. Belmont Ave	8/24/2020
Madison Nottingham		3128 W Belmont ave	8/24/2020
Brittany Whitney		3142 W Belmont ave	8/28/2020
Douglas Whitney		3142 W Belmont ave	8/28/2020
Teresa Woods		7142 N. 30th Ave	8/28/2020
Steve Woods		7142 N. 30th Ave	8/28/2020

North Glen Square

Neighborhood Association
Post Office Box 39485
Phoenix, Arizona 85069-9485

northglensquare@gmail.com

CITY OF PHOENIX

SEP 10 2020

**Planning & Development
Department**

Nick-
I don't know if
they have formally
responded but
Page 3 has North
Glen Square's position
on 2-28-20
Julie

*****AUTO**SCH 5-DIGIT 8

Julie & Jim Degraffenreid
3006 W Augusta Ave
Phoenix AZ 85051-6678

2#321



North Glen Square Crime Statistics May - July 2020



Type of Crime	MAY	JUNE	JULY	TOTALS
Homicide	0	0	0	0
Sexual Assault	0	0	0	0
Robbery	2	4	2	8
Aggravated Assault	5	5	3	13
TOTALS	7	9	5	21

Type of Crime	MAY	JUNE	JULY	TOTALS
Burglary	3	5	6	14
Theft/Larceny	0	2	1	3
Motor Vehicle Theft	1	3	3	7
Arson	1	0	0	1
TOTALS	5	10	10	25

Proposed Development at 31st Ave/Northern

Owners of the Daysprings Office Park at 31st Ave and Northern have applied to rezone the property from Commercial Office (C-O) to R-3A (multifamily residential) to retrofit the existing office buildings into 50 apartment units. The property currently consists of three buildings, which would be preserved and remodeled. An additional building would be built to the south of the existing buildings in the same style. Neighbors in the immediate vicinity were notified in June. A public meeting was held virtually on July 14th.

NGSNA leaders were initially supportive of the goals of the project. We have been working with the VIP Coalition over the last few years on a revitalization plan for the 27th Ave corridor. The plan calls for finding redevelopment opportunities for vacant and underused commercial properties. This property would be one such opportunity. Vacant commercial property is a huge source of blight for our neighborhoods. Turning this property into workforce housing could mitigate a huge problem.

After several meetings with the developer and neighbors, the board decided to change course. The immediate neighbors would be the most impacted by this rezoning. All are strongly opposed for numerous reasons including parking, density, traffic, and safety. One concern is the only entry/exit on Northern very close to the intersection. While the proposed site plan meets the minimum parking required by the City, it appears insufficient for the number of units and residents. Concern is high that overflow parking would impact immediate neighbors. Despite assurances about workforce housing and preference given to teachers, neighbors are skeptical that the property will be able to sustain those commitments long-term. While we still think the vacant commercial property could still be a major problem, there are too many concerns by impacted neighbors to ignore. Therefore, NGSNA will be opposing this rezoning.

We do not know the schedule yet for Alhambra Village or the Planning Commission. We will share via email and Facebook when we find out.

September 2020 Virtual Meeting

Zoom: <https://zoom.us/>

Meeting ID: 870 1502 9479

Passcode: NGSNA

Phone Only: 1-669-900-9128

Phone Passcode: 745556

You can attend Zoom meetings on a tablet, PC/Mac or smart phone. You'll need to download the app for use on mobile devices. For PC/Mac, you can choose to install the browser plugin for your computer or access the meeting directly. Use the meeting ID and Password at meeting time.

You may also call in directly using the phone number and passcode.

CITY OF PHOENIX

SEP 10 2020

Planning & Development
Department

September 5, 2020

Alhambra Village Planning Committee
c/o Nick Klimek
City of Phoenix
200 W. Washington Street, 2nd Floor
Phoenix, AZ 85003

Dear Committee Members:

I am writing to you about the proposed rezoning of 3031 W. Northern Avenue, Case Z-28-20. At both North Glen Square Neighborhood Association and public meetings associated with this project, the surrounding residents are overwhelming against the property being rezoned to anything other than C-0, light commercial use.

Many residents have already written to express their opposition. In addition, during the hottest summer on record in Phoenix, volunteers have secured over 220 signatures of neighbors opposed to the rezoning. Those signatures are enclosed.

Please consider these when making your decision about rezoning this property to a residential designation. With the property located at the Southeast intersection of 31st and Northern Avenues it will create danger for vehicles and pedestrians alike. With the sole property entrance/exit on Northern Avenue and with it so close to the intersection, a bus stop and a Circle K, the addition of 50 to 86 vehicles daily would produce dangerous driving conditions for everyone traveling in that area. With less than two parking places per unit, overflow parking will inevitably spill into the surrounding neighborhood. The increase of vehicles and pedestrians coupled with the existing 24-hour Circle K (with gas station), makes this dangerous for area residents, families walking and biking to/from Mariposa Park, and children attending Cortez High School.

The current buildings were designated and built decades ago as C-0 for weekday intermittent business use. The General Plan recognized that having a small medical, financial, etc. office complex would have lighter traffic and pedestrians would be safely confined within the complex. The neighborhood welcomes small businesses, offices, medical practices and the like occupying the property, which is why we want it to remain C-0 as it was intended.

Sincerely,



Julie A. DeGraffenreid

Enclosures

August 3, 2020

Nick Klimek
The City of Phoenix Village Planner
nick.klimek@phoenix.gov

RE: 3031 W. Northern rezoning #Z-28-20

Dear Mr. Klimek,

In June we received a letter from the law firm of Tiffany & Bosco regarding the rezoning application for the Daysprings Office Suites complex at 3031 W. Northern. The application is to convert the office suites to 50 apartments with the addition of a new building and a request for a density waiver. I wrote to you at that time with questions, you were quick to respond by calling me and having a discussion before the proposed Zoom meeting called for July 14. I also found out there was to be a zoom call on July 2, that was a "pre-meeting" with the developer and the local neighborhood associations in advance of the neighborhood meeting. I attended both meetings.

My husband and I also talked with many of our neighbors who are elders either without technology or with limited ability to join Zoom meetings and respond to this kind of communication.

While I am aware that Tiffany & Bosco sent notifications to the residents within 600 ft. of the proposed project, I feel a much larger portion of the unique neighborhood that is North Glen Square Neighborhood in the Alhambra Village is affected by this decision and have not had the opportunity to know what is happening.

It was evident at the two meetings that many of the residents are not in favor of the application by Tiffany & Bosco on behalf of Brian Holmason as he attempts to sell the property to Brian Schuelter and Russell Black. We are concerned about the density of such a project.

This week we received another application notice that Tiffany & Bosco has changed the application from CO2 with a density waiver to R3 multi-family. When I researched R3, I thought that the density of that was 12 units per acre which would translate to 36 apartments. Now Tiffany and Bosco pointed out at the July 14 meeting that they would be allowed 68 apartments under this zoning, but are "only asking" for 50. The implication was clear that we should be happy they were not asking for more.

I am not a property development expert, but we have lived in this neighborhood for over 20 years and lived less than a mile away for 5 years before that. Please submit this letter to the planning commission as my rejection that this proposed project is a perfect fit for the neighborhood.

- North Glen Square Neighborhood with R1-6 zoning and many large 1 and 2 acre lots with animal privileges is a unique area in a city as large as Phoenix which no longer has the ability to have a rural environment in the middle of the city.
- Most of the neighborhood is stable and residents have lived here many years. Property does not come on the market often and is quickly sold. One 2 acre property with a barn just sold for over \$800,000.00 - not an area where a 450 sq ft. apartment would fit in.
- There are many apartments in the surrounding area with new family apartments with garages being built on 27th Ave and Orangewood. If you examine the outskirts of North Glen Square, you will see many apartments.
- The members of VIP Coalition pointed out the changes that are proposed at Metro Center, which is now closed, but outlines many opportunities for apartments as part of the plan. I am sure they will be affordable “workplace” housing.
- The Washington school district pointed out a need for such “workplace” housing. With the new apartment on Northern and 19th Ave, and 27th and Orangewood, I see the opportunity for housing for employees. The cost of \$1000.00 for 450 sq. ft. and \$1300.00 for 750 sq. ft. is unreasonable for this “workplace” housing. You can rent a house in this neighborhood for that amount of money.
- The density of this proposed project is too high. Currently there are 110 parking spaces for 24 office suites. I understand that legally, the developers are meeting the very meager parking requirements for 50 apartments(they repeated this many times during the meeting, but we all know it is insufficient to meet the needs of the residents once if it is fully rented. That means that residents and their guests will be parking in the adjoining streets.
- 31st Ave already has issues with drivers exceeding the 25 mile an hour posted speed limit. This limit is because 31st. Ave is narrow and does not have sidewalks on both sides of the street. Additional residents from such a high density development will only add to the existing traffic issues. With parking on 31st Ave unavailable, renters in the high density development will look for parkings on the adjacent side streets in front of existing residences. The existing homeowners do not find this acceptable.
- This area is not a high density Portland, OR, nor do we wish to copy the type of development like Portland where developers are not expected to provide off street parking, making it a neighborhood problem. We do not want to become

Washington, DC where residents must have a parking permit and cannot find parking within a mile of their own houses because they were built before cars and driveways.

- The City of Phoenix cannot possibly see that a 1 bedroom apartment only needs 1 parking space. If there is a couple renting this, most likely they will have 2 vehicles. Already this means that more parking is required. Then the requirement for a 2 bedroom is 1.5 spaces. I don't see any .5 cars driving on Phoenix streets. This is an absurd calculation to allow developers to inadequately provide for the needs of the residents.
- The proposed plan architectural rendering showing patios and walls out to the street which means that the developers will remove much of the mature landscaping of the property to accommodate this. It will change the look of the property which is currently nicely landscaped to shade the building. Though the developers insist it will beautify and enhance the area, I examined a project they completed on McDowell and 18th St. The landscaping consisted of a small patch of grass by the pool and 4 tiny trees which will take 20 years to come to maturity. Not an enhancement at all. (Note: residents at this property are already parking on the street as the allotted spaces are insufficient).
- There is an indication that an emergency exit for the use of the Fire Department and trash removal along 31st. Ave. Unless this is a coded gate, residents will use and will impact traffic in the neighborhood. The proposed access on Northern is very close to the current bus stop and a left turn lane south on Northern at 31st. I see this becoming a traffic issue from a safety standpoint as well.
- There seems to be little greenspace afforded the residents of the apartments. It appears to be all building and parking lot making it look very industrial which is not the look of the neighborhood. The recent building of the Vietnamese church with ample parking and much landscaping along Northern has beautified the street. We do not see this happening with this high density proposal. There just isn't enough space to do that. The sidewalk between the buildings is very narrow. Do City Planners physically walk the property to see if the changes are feasible from what the drawings show? If the owner cannot make the project cash flow with the current requirements, perhaps this is not the project to consider. Tiffany & Bosco mentioned that under 50 apartments would not cash flow, but that is not the problem of the neighborhood to accommodate the developers cash flow. They should be doing those calculations in advance of buying the property.

- The architectural rendering shows the proposed new 2-story building to be stick and stucco with a row or two of brick. The current buildings are entirely of brick; the new building would neither enhance or match the existing structures and look out of place. Again, the developers promise to “add and enhance” while not actually doing that. I fear that if the application is approved, they will do as little as possible while maximizing their profit. I doubt they will even retain this property after completion leaving the neighborhood open to owners who might apply for low income status, thus changing again the nature of the property and the impact on the neighborhood. Tiffany & Bosco spoke about a property that the developers had done on McDowell and 36th St. When I checked this out on June 30, it had not even started. This does not speak well of transparency and evidence of a “quality project”.
- The proposed project, while meeting minimums required does nothing to add to the rural sense of this neighborhood or the residents who have long chosen to live here. The attorney and developers are well aware of how little they need to do, not how well to do this type of project and enhance a community.

I am very concerned that many of the elders in the neighborhood will not be able to contact the city offices, but many are concerned about the negative change a project like this will bring to the neighborhood. Excessive density, poor planning, increased traffic, insufficient parking and future parking in the surrounding neighborhood, removal of mature trees, buildings not in common with surrounding residential housing, all contribute to an application which should be rejected for this area.

This neighborhood needs a supermarket to replace Safeway which burned two years ago and stable restaurants and retail to replace Metro Center, not a way to increase density of housing. It will destroy a rural neighborhood which needs to be preserved in the heart of Phoenix.

Please enter my opposition to this project in the official paperwork of the application to the City Planning Commission and Village Planning Board.

Sincerely,

Debra LaPlante (602) 809-3430
Marc LaPlante
3310 W. Augusta Ave.
Phoenix, AZ 85051

From: [Kyle Marshall](#)
Cc: [Nick Klimek](#); [Council District 5 PCC](#)
Subject: 3031 Northern
Date: Friday, August 14, 2020 8:04:47 AM

Hello, as a resident of the North Glen Neighborhood, I am writing to express my disapproval of the proposed redevelopment at 3031 Northern Ave.

Respectfully,

Kyle Marshall

August 2, 2020

REPURPOSE APARTMENTS NORTH GLEN SQUARE

To whom It may concern:

We raised our family in this North Glen Square neighborhood. We have lived this area for 35 years. Our attraction to this neighborhood was established single family homes with maintained yards and a park within walking distance. We like our rural area in the city. Now we feel the City of Phoenix is threatening our peace by converting commercial to high density apartment complex at 3031 West Northern.

Fifty apartments are too many for this property and parking space will be a problem.

Looking at our neighborhood there are already enough apartments and townhouses east and west of the location. This proposed use of property is not a good fit for this neighborhood. We surveyed this area for high density residences. New townhouses are being built south of Myrtle on the east side of 27th Avenue. The LemonTree apartments are north of Glendale on 27th Avenue. An empty complex exists on the corner of 27th Ave and Myrtle. Northern Palms apartments are on Northern and 24th Ave and two townhouse complexes are between 31st and 33rd Avenues. Add small apartment complexes throughout our North Glen Square.

The Residence Inn north of Northern by the freeway is a conversion project to apartments. It seems obvious that our neighborhood supports enough high density residences. Tell us why we need another one crammed into a small space.

The traffic on Northern is already dangerous. This would just add more cars and accidents to the corner of Northern and 31 Avenues where drivers are accessing Circle K. A left and turn arrow was just installed at that corner.

Please don't add blight to our neighborhood and lower our home values.

Sincerely,

Mitch Boykan
Toby Clayman

From: [Sue Rounds](#)
To: [Nick Klimek](#)
Subject: 31st Ave and Northern Rezone
Date: Thursday, July 23, 2020 6:59:31 AM

Nick,

I live at 33rd Ave and Belmont. We have lived in this neighborhood for over 30 years. Please don't rezone 31st Ave and Northern for multi housing. Our neighborhood is surrounded by many apartment complexes. We don't need another.

Thank you!

Sue Rounds
602-768-3005

From: tooltom58@aol.com
To: [Nick Klimek](#); [Council District 5 PCC](#); phoenixvipcoalition@gmail.com; northglensquare@gmail.com
Subject: Comments/Objections to 3031 Northern proposed conversion
Date: Wednesday, July 22, 2020 8:40:34 PM

An open letter to the City of Phoenix Zoning employees, and those Elected to represent me:

Re: The rezoning and redevelopment of the Dayspring Office Complex.

I want to voice my concerns over the project as it is being put forth to us by the developer.

- A. **Overcrowding:** I understand that this project is in compliance with the allowed density of the site, if and only if the rezoning request is granted. This has become a real numbers game with what is being presented. The average one bedroom apartment in Phoenix is 714 sq. ft. We are being told that 26 units of 450 sq. ft. are in the plans. (An average studio unit comprises an average of 472 sq. ft.) This small size allows for ½ parking space per unit, instead of one. The 2 bedroom units being proposed are 750 sq. ft., where the average is 1006 sq. ft. If the one bedroom units were to be of average size, there would be only 16 units.
- B. **Traffic Egress:** The only driveway to be used for ingress/ egress is on Northern Ave. The alignment of this drive falls directly in the middle of the left turn bay to be used by Westbound traffic to proceed South on 31st Ave. Leaving the complex to head West on Northern will be very difficult due to the volume of Eastbound traffic, and the blockage of going Westbound by vehicles stopped in the turn bay. A safety provision should only allow for Eastbound (right turn) departures.
- C. **Traffic Ingress:** Entering the complex will also cause a safety issue, because cars will stop ½ the way up the turn bay, to turn left into the complex. This will block the proper usage of the bay, by those wishing to turn left onto Southbound 31st. A safety provision should prohibit left turns into the complex.
- D. **Neighborhood traffic:** This development will put a large increase of traffic volume into the surrounding neighborhoods. 31st Ave is 40 feet wide along the complex frontage. Further South from Belmont to Orangewood, the pavement is only 18 feet wide. The additional apartment traffic will be diverted through the neighboring streets to allow easier ingress to the site's parking lot. I see more cars using 31st Ave, approaching from the south to turn right onto Northern, and then right into the complex. Belmont already has speed humps from 27th to 31st, and a no left turn sign to deter traffic from skirting 27th Ave and Northern, by using the street as a shortcut. Orangewood also had recent speed humps installed. If this was done to slow and deter traffic, what will the increased volume bring? I use 31st Ave to access Northern from my house, and have had to leave the pavement to avoid being sideswiped by oncoming vehicles along Mariposa park, where there is curbing on one side of the road.
- E. **Easements:** I see that a Variance request is shown on the Site plan along 31st Ave. It specifies 20 feet. I'm not sure of the specifics for building within so many feet of the center line of 31st Ave. On my street, (Northview) I removed the earthen irrigation berm along the curb, and wanted to replace it with an 18" retaining wall. I was told that nothing could be built within 25 feet of the street centerline. This put the wall 10 feet back from the curb. If the property easement is similar on 31st Ave, It would put the restriction of building any structure to 35

feet from the street centerline. I don't feel a variance is necessary along this property line.

- F. Parking: I am fully aware that the current proposal complies with zoning under the requested rezoning. I again bring up the numbers game by constructing below average size units. Today's working class tends to share spaces to reduce housing costs. If a couple rents a 1Br. Unit, there will likely be 2 cars/unit. If 2 couples share a 2Br. Unit, there could be as many as 4 cars/unit. There will be a modest amount of curbside parking along 31st. The exit-only driveway will preclude parking near Augusta. There is also a no parking sign, prohibiting parking along 31st Ave as it nears Northern. There may be add'l parking for a possible 10 cars. Any excess required parking will cause people to park in front of the houses on the 2 streets along the west side of 31st Ave.
- G. Neighborhood sentiment: There is a very vocal negative response to this project being put forth by those who are directly affected by this development (The 600 ft. zone which required notification.) Many people in the North Glen Square neighborhood do not want this development to proceed. We are the people whose opinions should be considered when a development of this nature is proposed.

I understand that the VIP coalition has worked tirelessly to improve the area surrounding the 27th Ave corridor. Many of their ideas and projects are valued and successful. The group keeps making a comparison of the office building conversion on 23rd Ave, to this proposed conversion on 32nd St. I cannot see any reasonable comparisons. The conversion on 23rd is replacing a commercial building in a commercial district, with a residential unit. The 3031 Northern proposal is replacing a small commercial building (2 ½ acres) nestled within a single family residential area. I am all for repurposing the property, but I do not feel a Rezoning of the land is appropriate. I am in favor of their plans for redeveloping the K-Mart property. It seems to hold many benefits within their multi-use plan.

If the city is obligated to represent its citizens and look to the welfare and advantages to the surrounding area, THIS IS NOT a good fit. I see all requests for rezoning and variances only benefitting the current property owner by assisting in the sale of a distressed piece of developed land. I also see it benefitting the developer whose sole interest is in maximizing profits by repurposing this parcel. (A property set forth as an example of their good stewardship on McDowell Rd, turns out to be nothing less than an undeveloped parcel, with nothing to show for their efforts)

I don't feel that it is appropriate for the City to grant a re-zoning request, as this plan does not meet the test of benefitting the area. The City has recently approved the conversion of the Residence in along I-17 North of Northern. This makes good sense! A large residential property along a major transportation corridor. It even includes a pedestrian walkway to access 27th Ave.

Just because 3031 is a proposal to improve the lands usage, it isn't necessarily the correct or best solution. Let's wait and find a more widely accepted proposal for this parcel. I also feel that re-zoning this lot to C-2 or R-3 opens up another set of issues due to the allowed uses under these codes, that are not currently being requested. Rezoning will allow many other potential detrimental uses within this parcel, which are also undesirable to the adjacent

property owners.

Thank-you for your Attention to this matter, Tom Muir 3220 W. Northview Ave Phx 85051.

From: [Debra McCarthy](#)
To: [Nick Klimek](#)
Subject: 3031 W Northern Ave apt proposal
Date: Tuesday, July 21, 2020 10:53:35 AM

Dear Nick Klimek, nick.klimek@phoenix.gov

I would like to voice my strong objection to the proposed apartments at 3031 W Northern Avenue Phoenix 85051, case #Z-28-20, parcel 141-02-011F. I live just east of this location.

There are so many reasons why this is a bad idea. The most important is that it is not appropriate for our neighborhood. The homeowners realize this and do not want it.

The density is not acceptable in our single-family home neighborhood. Our neighborhood has a rural feel that we are very happy with and includes horse property, some large lots, and family homes. It's a peaceful quiet neighborhood ideal for raising children or retiring and everything in between. Adding all these small apartments will definitely lower our property value and the charm of our area, increase traffic and crime. The reason I moved here in the first place is for this quiet and charm and single-family homes. I never would have moved here if those apartments were there or if I knew that someday they would be. I am very doubtful that teachers, firemen, and police will move into these as the lawyer keeps trying to push at us. (In fact, the developer and the lawyers are really pushing their sales pitch on us with many doubtful scenarios. Unfortunately, they have lost their credibility with me and with a lot of the other neighbors through their stretching the truth and outright lying as we have found out).

Although the proposed apartment owners say they have sufficient parking legally, we all know that is not how it will turn out. A one-bedroom apartment will have 2 adults living there in most cases. That will be 2 cars – one in the apartment complex and the other in front of my or my neighbor's house. That is not acceptable. Put yourselves in our position.

There is an abundance of apartments already in our area and one large complex on 27th Avenue and Myrtle just being built. I am not opposed to having this office building be redeveloped, but this is not the right redevelopment project for this spot and this neighborhood.

I'm glad there is not an entrance/exit proposed on 31st Avenue, but an entrance/exit to this building on Northern is going to be so close to the intersection...an intersection that has a lot of accidents already. It will cause congestion and safety issues.

I am for eliminating blight and the possibility of transients in our area. But this is NOT the solution. We should not just accept this first solution to come along because it is the first one proposed. We need to seek out the RIGHT solution. The VIP coalition is doing wonderful things. Let's not mess that up with this project.

Please do not let this happen in our neighborhood.

Debby McCarthy

3023 W. Winter Drive

Phoenix, AZ 85051

From: [Sinclair Noe](#)
To: [Nick Klimek](#)
Subject: Opposed to 3031 W. Northern zoning change
Date: Thursday, July 16, 2020 3:26:52 PM

Mr. Klimek,

I have previously written to you that my wife and I are opposed to the zoning change at 3031 W. Northern, Phoenix to C-2 with density waiver. Now we hear the developers want to change to R-3a zoning.

There has been no official notice sent to residents of the R-3a zoning change request, but there was a teleconference on July 14; based upon that information, we would like to formally list our opposition to the zoning change proposal.

Please count me and my wife as NO votes on this scheme.

Sincerely,

Sinclair Noe and Teresa Almeida
3116 W. Augusta Ave.
Phoenix, AZ 85051

TO:

Nick Klimek
The City of Phoenix Village Planner
Nick.klimek@phoenix.gov

FROM:

Sinclair Noe & Teresa Almeida
3116 W. Augusta Ave.
Phoenix, AZ 85051
sinclairnoe@yahoo.com

RE:

3031 W. Northern Ave. rezoning # Z-28-20

Dear Mr. Klimek,

We received a letter from the law firm of Tiffany & Bosco regarding a rezoning application for the property located at 3031 W. Northern to convert the existing office buildings into residential apartments and add a new building and request for a density waiver.

While I recognize the need for housing in Phoenix, I think the proposal for 3031 W. Northern does not meet the needs nor the spirit of the Phoenix General Plan's efforts to enhance our existing vibrant neighborhoods. It does not appear to address vital infrastructure, nor does it address our future growth in an intentional, comprehensive manner that is environmentally conscious and protects our community.

Please enter into your records that we oppose this request for rezoning.

We also have several questions about the application which we hope you will be able to answer:

1). The letter claimed the property is 2.95 acres gross acreage, however real estate sales listings and tax information indicates the property is 2.1 acres. It appears they are trying to measure to the middle of adjacent streets.

1a). Do the owners of the property pay taxes on 2.1 acres or 2.95 acres?

1b). Do the owners have title to 2.1 acres or 2.95 acres?

1c). Is the rezoning request based upon a measurement of 2.1 acres or 2.95 acres?

1d). Is the density waiver based upon a measurement of 2.1 acres or 2.95 acres?

1e). In what alternate universe and based upon what laws does a private party think they own the middle of Northern Avenue? If I want to build an addition to my own property or sell my property – can I just make believe that my property line is in the middle of the street? Sorry for being snarky but this makes no sense at all, and it comes across as a dishonest representation of the actual property size.

2). It is my understanding that the property is currently zoned C-0 and they are requesting change to C-02 with density waiver.

2a). What is the current number of permissible apartment units (density) allowed under C-0?

2b). What is the possible number of permissible apartment units (density) allowed under C-02 -with and without a density waiver?

3). One major concern with the proposed project is that parking spaces for the property will be reduced and that tenant parking may spill out into residential neighborhoods.

3a). What does the code require for parking spaces for each one bedroom and for each two bedroom unit, plus parking for guests?

3b). Does a density waiver alter the requirements for parking spaces? If yes, how?

3c). What are the minimum requirements for the dimensions of each parking space?

3d). It appears the plans call for 86 parking spaces, representing approximately a 20 percent reduction in current parking spaces. Is this correct?

3e). If tenants and their guests parking needs exceed available parking spaces on property, where will tenants park? Will there be on-street parking allowed? If so, where? Will there be permitted parking required in the neighborhood? Bottom line – I do not want people parking in front of

my house and I believe it would be dangerous to allow street parking along 31st Ave.

4). What are the city requirements for setbacks from sidewalks and adjacent properties for walls, parking spaces/parking shaded structures? It appears the wall will go right to the sidewalk in certain areas and parking spaces/structures will immediately abut adjacent land.

5). Several of the trees currently on the property are large and mature and provide good shade – it should not be a one to one exchange for a small, young tree. Nor should they be allowed to just chop down legacy trees. According to the General Plan, investment in trees and shade is one of the best things Phoenix can do to improve the city's overall health, prosperity and environment. By integrating trees and shade into the built environment, issues such as storm water management and the urban heat island can be addressed. I fear a change in zoning to C-02 will result in more CO2 pollution in our neighborhood.

5a). What are the city requirements (especially considering the General Plan) for preserving existing trees on the property or adding/replacing trees or shade structures?

5b). Is there any City requirement for an environmental impact statement for this rezoning request? Has any consideration been made for environmental impact on the environment?

6). Has there been any study and/or determination of the impact of adding so many new residences on infrastructure?

6a). Specifically, can City water pipes and sewage lines handle the additional loads or would the extra load lead to shortened functional life expectancy? If the pipes fail, are existing neighborhood residents charged assessments for repairs?

6b). CenturyLink has already acknowledged that they have outdated lines in the neighborhood. Do we know if additional residents would overload the phone/net system? Has CenturyLink committed to an upgrade to handle the excess demand?

6c). What are the plans for trash disposal? Will they use large dumpsters? Where will dumpsters be located? Will there be setback requirements for dumpsters?

7). Will the proposed project use any “green” building concepts/materials in accordance with the Phoenix General Plan?

8). My household received a notice from the law firm of Tiffany & Bosco announcing the zoning change request and a proposed time for a virtual meeting on the matter.

8a). It is my understanding that all residents within a 600-foot distance of the property be notified in mail of the zoning request/meeting – is this correct?

8b). How many actual notifications were mailed out? How can this information be verified?

9). In looking at the copy of the plan, it is not easily discernable if the proposed apartment units will have private patio areas. Also, I could not tell if the tenants will have access to storage areas. Are there city requirements for properly designated storage for tenants? Are those requirements being met in the proposal? When tenants’ personal property such as bicycles, toys, lawn furniture, BBQs, etc. are scattered about in a haphazard manner which may be dangerous and may result in visual pollution not in keeping with the nature of the neighborhood.

10). Traffic is a major concern for the neighborhood.

10a). Has there been any study of the impact of increased traffic and pollution along 31st Ave, which is a residential neighborhood with children and a posted speed limit of 25 mph?

10b). Has there been any study of the impact of additional traffic on Northern and specifically the intersection of 31st Ave and Northern.

10c). There is a bus stop on Northern, approximately in front of the property. It would seem that adding 50 apartment units would increase bus ridership. Are there any plans to build a pull-out for buses to load/unload without restricting traffic?

11). I visited the 3031northern.com website and it appears that they want to build two new units on the south side of the property. It appears those units will be stucco, not the brick used on the existing buildings. The result is a hodgepodge of building styles, which we do not consider in keeping with the neighborhood. In

simple terms, it looks ugly. Does the city require some standards for architectural appropriateness or just to avoid ugly?

12). Can the developer provide a better copy of the proposed plans/site map? Maybe I am just getting old, but I had to use a magnifying glass on the print copy and I had to enlarge the online copy – and still, it was difficult/impossible to read. Tiny print and blurred copies do not meet the requirements for proper filing. If there is nothing to hide, please stop hiding it.

13). The notification said you are preparing a report on the review and hearing process. When will the report be finished and available to the public, and where can we find it?

I appreciate your consideration and await answers to my concerns about the project.

Also, please confirm that our objection to this project has been officially recorded.

Thank you,

Sinclair Noe & Teresa Almeida

From: [Kristyn](#)
To: [Nick Klimek](#); [Council District 5 PCC](#); [Kristyn Hohimer](#)
Subject: Maricopa County Assessor Parcel #151-02-011F - Case # Z-28-20
Date: Thursday, July 16, 2020 2:40:08 PM

Dear Mr. Klimek and Councilwoman Betty Guardado,

I am writing to you in regards to the rezoning application request for Maricopa County Assessor Parcel #151-02-011F located on the SE corner of 31st Avenue and Northern (Case # Z-28-20); a copy of this letter is also being submitted to the Phoenix Planning and Development Department. As you are aware, the rezoning request is to turn a small, quiet red-brick office space into an atrocious looking 50-unit multistory, multifamily residential development which is NOT suitable for our older and well established neighborhood. I, along with the other residents of North Glen Square, are vehemently against this rezoning proposal and call upon you to deny the request to rezone this property.

I live on Lane Avenue, a mere 2-minute short walk to the property named above and North Glen Square is the neighborhood I grew up in, and moved back to in 2003. My Dad bought his house in 1964 after a move from Utah. He was hired to work at 19th Avenue and Deer Valley. He could have chosen any neighborhood to live in but he and my Mom chose North Glen Square because he says, "It was the BEST in the area back then. There were no rentals in the area." All the houses were single family ranch style homes perfect for raising his 2 children, my Brother & Sister. I came along 2 years later. He and my Mother helped fight (and win) against the rezoning proposal when developers wanted to build Metro Center on the farmland that used to be Northern to at least Butler Avenue and from 31st to 35th Avenue. They fought because that development was a wrong fit for this small neighborhood as is a ludicrous 50-unit apartment building.

Growing up in this neighborhood gave me fond memories of horse property on 31st Avenue from Northern to past Orangewood. I could walk down to Mariposa Park and pet all the horses. I could smell the sweet alfalfa hay in the mornings. We often saw roadrunners in our backyard. The houses in the entire neighborhood were always decorated every Christmas. Many years later, a rezoning happened and most of the beautiful horse property was replaced with smaller houses which meant more people, more cars, more noise and less beauty. I moved away from the area in 1986 due to having my own family. The areas I moved to, 43rd Avenue and Bethany Home Rd., and years later 67th Avenue and Camelback, once nice neighborhoods, degraded and became haven to low income families and renters, and countless crime and drugs. So, in 2003, my two children and I moved back to North Glen Square across the street from the house I grew up in, and where my Dad still resides today. We bought the house from our neighbor who we had known for 25 years and whose son I went to school with. I came back because it was still a good neighborhood to live in. Many of the homeowners of this neighborhood have lived here a very long time; 10, 20, 30, some even over 50 years (like my family). Many of us kids have come back to live in the houses we grew up in. We do so because we love this small single family neighborhood.

Here is what I have experienced since moving back into this neighborhood in 2003 (my backyard is against Northern Avenue): More people - not only residents (due to the unkempt apartment

buildings on the North side of Northern) but vagrants who use our neighborhood as a pass through to 35th Avenue. Vagrants who use our neighborhood streets as their trash can, their vomit bucket, and their bath room. People who come through the neighborhood and steal anything that is not nailed down and if it is nailed down they have stolen tools to help tear things from the nails. More cars - cars with stereos so loud my windows vibrate to the point of almost shattering. Cars hidden in the dark shadows waiting for a drive up drug deal or a thief running from the Circle K. Cars with screeching tires and crashing metal as far, FAR too many accidents occur at the intersection of 31st Avenue and Northern, and in front of the entrance into North Glen Square. Guess where all the traffic goes when there are accidents? That's right! Down my street. Increased crime – things stolen from front yards and garages, houses and cars broken into (someone broke into my house while my teenage daughter was home alone), property destroyed because of said crime, SO MANY police and fire sirens back and forth on Northern on a daily basis, and A LOT of visits from the police helicopter which circles over the area of 31st Avenue and Northern several times a week. But yet, I still live in this neighborhood because it is small and relatively quiet, and I still feel safe here.

Here is what will happen if you allow a 50-unit, multistory apartment building to infiltrate and degrade our long established family neighborhood:

More people (at least 200 if you average four persons in a single apartment) – Ashley Marsh of Tiffany & Bosco, P.A. tried to make a selling point to the NGS residents in the online neighborhood meeting on 7/14/20 saying their people had met with Washington Elementary School on 27th Avenue and Northern and were told there is a need for “workforce housing” in the area. We were also told Brian Holmason, owner of the property of Parcel #151-02-011F, as well as the developers expect teachers, police & firemen/women to be the ones who will occupy the apartments. To that I ask, who is going to vet all tenant applications to ensure those wanting to rent are actually teachers, police & firemen/women? No one. That's who! I can almost guarantee you it will not be teachers and first responders who will move into those tiny apartments. It will be those who are seeking cheap rent and who will cram up to 6-7 people into one apartment. More often than not, apartment dwellers are less invested in the communities they live in and are not long-term residents. Thus, more crime will come to the immediate area as it will invite more vagrants and thieves who will have more places and cars to break into, and a new area to make drug deals and prostitution hookups in. There will be more people making noise at all hours of the night. It will mean more light pollution. And houses directly next to the proposed apartment complex will lose their privacy as complex tenants will be able to see over fences into resident's yards.

More cars, traffic and street degradation – The number of cars of these new residents will greatly impact the North Glen Square neighborhood. It will mean more traffic and traffic accidents at the intersection of 31st Avenue and Northern (which means 100 times more noise directly in my backyard and through my windows – don't forget all the emergency sirens). It will mean more people utilizing 31st Avenue (one lane in each direction) as a “main street” even though the only proposed complex entrance/exit is said to be on Northern. It will mean more cars parked on our neighborhood streets once the residents discover there is not enough parking for all tenants as the developer claims there will be. Northern is a two lane road in both directions already laden with too much traffic. Construction blockades and vehicles will make Northern, as well as 31st Avenue,

unusable for 1 to 2 years during tear down of the office space, building of the apartment complex and the added sewer lines that will need to be installed to support a 50-unit apartment complex. The traffic due to the construction will block the entrance at 31st Drive and Northern as well as Lane Avenue and Augusta Avenue making it difficult for residents and emergency vehicles to access our streets.

The loss of vitality of our long established neighborhood – Aside from all the traffic and subsequent traffic accidents caused by a 1 to 2-year long construction project, it will bring added dirt and construction dust to the entire neighborhood, and will increase breathing difficulties for those with allergies and compromised respiratory issues. In a time of high Covid outbreaks in Arizona we don't need another reason to have our air compromised with added particles. It will cause an undue strain on the established resident's A/C systems as dirt and dust clog vents and filters. Is the seller and the developers willing to buy us new A/C units when they break down due to the added dirt and dust? I don't think so. Adding a 50-unit apartment complex will put a huge strain on our area's SRP electric grid as more A/Cs are used to try to circumvent 115-117 degree heat waves. The area sewers will be inundated with waste causing older pipelines to break. Therefore, causing numerous additional road and construction blockages for repair. Property values in the area will certainly decrease because of the added density of people and cars, the loss of privacy for some homeowners, and the lack of vested interest in our neighborhood because the apartment tenants will be renters, not homeowners.

A more suitable location for the sustainable "workforce housing" Washington Elementary School wants is the old, vacant K-Mart location on I-17 and Northern. It is directly behind Washington Elementary School, and kids and teachers would not have to cross any busy streets to get there; perfect solution with PLENTY of land. Even the revitalization of the 27th Avenue corridor (a main thorough way) is a better location for any new or remodeled apartment complexes; such as the two complexes to the North of Washington Elementary.

North Glen Square is an older, well established community with residents who have been in the area for a very long time, some over 50 years. The apartment complex design is hideous and does not fit in with our neighborhood aesthetics. The property owner, Brian Holmason, and developers, Brian Schuelter and Russel Black, are only interested in what will make them lucrative capital. None of the three men are vested in the people who actually live in North Glen Square nor their wishes for what happens to our neighborhood. They stand to earn a great deal of revenue from building a 50-unit apartment complex while all the residents of NGS will have NOTHING available from the site for community use. There will be absolutely NO amenities available to the residents of NGS. So how can you in good conscience allow this to happen?

A better solution would be for the owner and the developers to come up with a plan that will revitalize the business property so ALL NGS residents can utilize the area. A small cafe, a wellness studio, a community gathering center, a private practice doctor or dentist, a small grocery outlet - places the NGS residents can walk to and support small business. Yes, I know we are still under Covid restrictions but we won't always be. An apartment building is only a win situation for the seller and developers, NOT for the residents of North Glen Square. The 50-unit apartment complex is NOT a viable solution for our neighborhood. The property of Parcel #151-02-011F (Case # Z-28-

20) is better suited as the beautiful red-brick, small business complex it already is. Brian Holmason, Brian Schuelter and Russel Black need to come up with a better plan which will actually serve ALL of the current residents of North Glen Square. An apartment building is a win for the seller and developers only, NOT for the residents of NGS. So, again... I IMPLORÉ you to reject the rezoning proposal (Case # Z-28-20), leave our small neighborhood be, and bring back small businesses we can utilize!

Sincerely,

Kristyn Hohimer
3144 W. Lane Avenue
Phoenix, AZ 85051
(480) 327-9114
WhiteBuffaloAZ1@gmail.com

July 16, 2020

Nick Klimek
200 W. Washington Street, 2nd Floor
Phoenix, AZ 85003

Dear Mr. Klimek,

The following are our reasons why the rezoning of 3031 W. Northern Avenue, Case #Z-43-83 is not good for the neighborhood nor the City of Phoenix.

Property Inadequacies

- Information on website www.3031Northern.com states that because the property is on a "busy arterial" road, the density waiver is appropriate. Because it's a busy arterial road, less congestion, not more, is needed.
- All 4 ADA-compliant parking spaces are by the proposed new building D, which house 1 handicapped-accessible apartment. I asked why no handicapped spaces were near Buildings A-C and was told that the developer thought only the handicapped apartment would need them. While perhaps not illegal, it is very inconvenient to other apartment dwellers and/or their visitors that need handicap parking. Either the parking spaces need to be interspersed or more handicapped parking added.
- The solution to no exiting onto 31st Avenue is through the use of a manual keypad. With technology and human ingenuity, this is not an acceptable long-term solution unless management is continually changing the code as well as notifying the Phoenix Police and Public Works Departments. Because the owner, who will not be living at the property, will be the Manager, this is highly unlikely.
- The reason the Daysprings Northern Office Park is very attractive from the outside is due to its brick construction. The additional building D that is proposed will be made from stucco or similar material. Besides being architecturally different, it will also lessen the lifetime of the building and attractiveness of the property.
- By extending the southern border of the property to Augusta Avenue, the current retention basin will be eliminated. Where will rain run-off be routed when the entire property will be now pushed to the sidewalk?
- The narrative says much of the current landscaping will be kept. However, when the fence is extended to the south and the northwest corner where the sign is now, many of the mature trees will be sacrificed. Keeping oleanders is not the landscaping needed to make the property attractive and reduce the heat island of Phoenix.

Misrepresentations of Developers, Counselors, VIP Coalition and North Glen Square Association

- In order to meet the zoning requirements, the 29 1-bedroom apartments are planned to be efficiencies, i.e., less than 600 sq. ft. The property is billed as multi-family, but with over half of the 50 units being efficiencies, one questions the truth in marketing.
- Information on website www.3031Northern.com (Exhibit 1.) shows the SW corner of 31st Avenue and Northern as being residential when it has a Circle K on it.
- One of the reasons the owner/developer originally cites for this fitting in the City's General Plan is because it is zoned Commercial at that corner. But by neglecting the current C-O property of

- Circle K, they misrepresent that that General Plan would not be fulfilled if the property was not kept a commercial designation.
- Bryan Schlueter, proposed developer of the project, said at a phone meeting on July 2 that there was an example of his work at 3644 E. McDowell Road. When a community member challenged on July 14 because she had investigated the site and saw only a fence and 2 dumpsters, he said that there had been set-backs due to the coronavirus and getting city approvals. Since only a fence, boarded windows and 2 dumpsters had been added to the property, it would appear that nothing has been done to improve the property and the Mr. Schlueter was less than truthful about the work that he has done.
 - The June 25, 2020 letter to neighbors from Tiffany & Bosco has Northern Lights Holdings, LLC ATTN: Brian Holmason with the address of 3031 W. Northern as the owner. The 3031Northern website shows Russell Black as the Principal Owner. Mr. Black has the same address and suite # as Jerry Palmer, the Architect.
 - The proposed new owner, Russell Black, was not present at any of the virtual meetings and open house held in July 2020.
 - It is not evident who owns the property with the letter from Tiffany & Bosco having one person and the website showing another. It also appears Mr. Palmer, who was at the open house meeting on July 14 may also be part of the owners, since he shares an office with the elusive Mr. Black.
 - I repeatedly asked if there was a market research study done during the July 14th open house but never got an answer.
 - The North Glen Square (NGS) has a history of pushing higher density and commercial properties to its perimeter so it can keep a "rural" feel with some acreages and horse properties spread within the core of 31st and Orangewood.
 - Whatever NGS chooses to do in respect to this zoning is separate and not necessarily representative of the people surrounding the proposed zoning change.
 - The VIP Coalition did a good job of what they were intentionally chartered to do: Reduce crime along 27th Avenue and the Black Canyon Freeway.
 - While their current intentions are admirable, they do not represent the people opposing the zoning nor do they live here. Therefore any recommendations made by them should be discounted.
 - The VIP Coalition's goal to "support reasonable levels of increased intensity, respectful of local conditions and surrounding neighborhoods" is not being met through this project. If they had truly cared about the surrounding neighborhoods they would have approached us prior to the required notifications we received on June 26th from Tiffany & Bosco.

Traffic

- With a minimum of 50 more vehicles entering and exiting so close to the intersection of 31st Avenue and Northern, there is a legitimate concern about traffic.
- With the only entrance and exit so close to a bus stop only complicates the issues and potentially endangers bus passengers and pedestrians. (See Exhibit 2.)
- Since going north on 31st Avenue and taking a right onto Northern and then into the complex would be a safe path to access the proposed apartments, the very narrow portion of 31st Avenue from Belmont to Orangewood will need to be widened. The city will have to use eminent domain as the property owners have made it abundantly clear before they will not cede any property to widen the street.

- With 2 exits onto Northern from Circle K, the intersection of 31st Avenue and Northern and the entry/exit of the proposed apartments, and a bus stop so close together, this will become a dangerous intersection for those in vehicles as well as those walking to the Circle K and bus stop.
- Many, many pedestrians do come from north of Northern to that Circle K.
- While we have heard from the City Council and Washington Elementary School District we did not hear any buy in or comments from the Phoenix Police Department.
- Our fear is that the emergency exit will become a de facto exit for the complex. With the amount of traffic and semis going into the Circle K, this will also be dangerous to pedestrians walking to and from Mariposa Park and traffic alike.

Meeting Neighborhood Needs

- The proposed property is aimed at providing sustainable workforce housing. When questioned, Councilwoman Betty Guardado said that workforce housing is 60% of the area median income.
- Using Sperling's Best Places (See Exhibit 3.) the median income for zip code 85051 is \$18,199/year for an individual and \$38,389 for a household. * If you look at zip code 80517, which compromises almost entirely the 27th Avenue length covered by the VIP Coalition, the income is even more depressed. (\$11,682/\$28,385)
- The proposed housing will offer efficiency 1-bedroom apartments for \$1000 and 2-bedroom for \$1500. Based on those prices, this will not be something our community could afford.
- If our own community can't afford it, we are afraid the owners will turn these to Section 8 housing.
- Section 8 housing is available at 31st Drive and Winter Road so it is not that we are discriminatory. But having such property does devalue surrounding property, as I have seen over the last 18 years.
- New apartments are being built at 27th Avenue and Myrtle, which can more than assist with any needs Washington Elementary School teachers may have plus be a direct bus ride north if they are not happy with the Desert Lakes and Palm Desert apartment complexes next to the school.
- The neighborhood of Northern Heights immediately to the east of the property houses 1 Chinese, 3 Vietnamese, 1 African, and 8 Hispanic families in the community of 24 homes. We are more ethnically diverse than any other single family homes in NGS.
- While NGS and the VIP uses the NGS boundary of Northern, Glendale, 27th and 35th, our real neighborhood is Butler, Orangewood, 27th and 35th.
- Looking at a 1-mile radius of the proposed site, there are 4 PADs ranging from 10 to 12 and 5 apartment complexes ranging from R3-5. (See Exhibit 4.) I think this square mile "reflects the Land Use Principle of including 'a mix of housing types and densities where appropriate within each village that support a broad range of lifestyles,'" as stated in the www.3031Northern.com website.
- While NGS, the VIP Coalition, Councilwoman Guardado, and the developers all believe this is best for our neighborhood, they forgot to ask the neighborhood what they need.

I have tried to present our views and objectives in a hopefully rational format. The ever-changing characters, misrepresentations of facts, non-responsiveness of Tiffany & Bosco, and hard push by NGS and the VIP Coalition has unfortunately clouded the issue with more feelings than facts for some people.

We, with others in the neighborhood, continue to vigorously oppose this rezoning and particular project. This has brought our area closer in a vision of what we would like to see happen at the property and hopefully we can move forward with that.

Sincerely,

A handwritten signature in blue ink, appearing to read "Julie DeGraffenreid". The signature is fluid and cursive, with a large loop at the end.

Julie and Jim DeGraffenreid
3006 W. Augusta Avenue
Phoenix, AZ 85051

*Unlike some sites, Sperling's uses data from many sites, such as the U.S. Census, Current Population Survey, Bureau of Labor Statistics, National and local Association of Realtors, to ensure it's data is relevant. www.bestplaces.net/docs/datasource.aspx

Enclosures

Exhibit 1

- 3.5 to 5 du/acre - Traditional Lot
- 10 to 15 du/acre - Higher density attached townhouses, condos, or apartments
- 15+ du/acre - Higher density attached townhouses, condos, or apartments
- Parks/Open Space - Publicly Owned
- Commercial

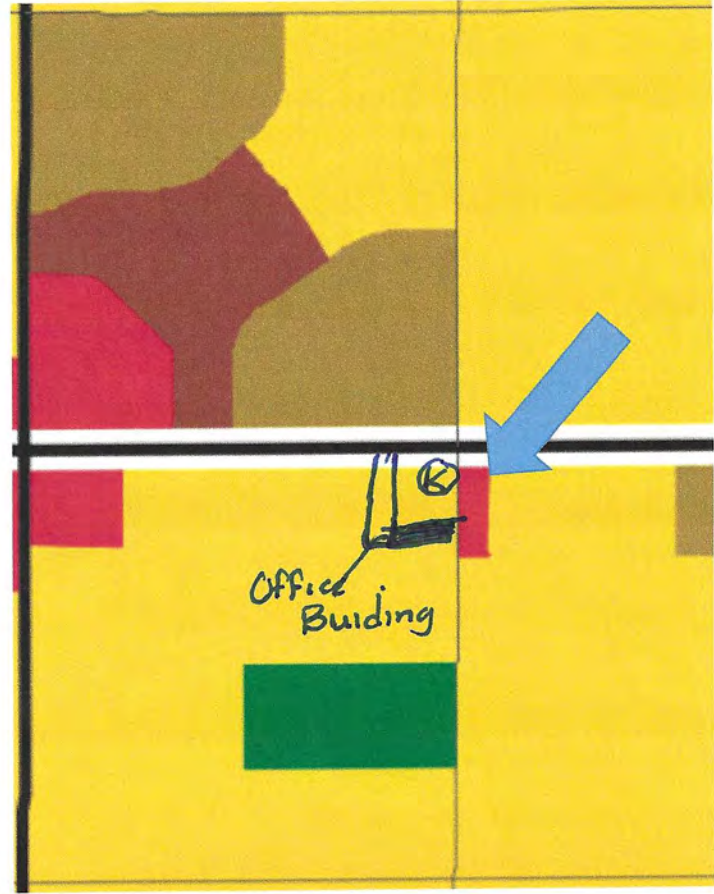


Exhibit 4 – General Plan
3031 W. Northern Ave.

Exhibit 2.



Imagery ©2020 Maxar Technologies, U.S. Geological Survey, Map data ©2020 50 ft

Home
Set location

Exhibit 3.

CATEGORIES

- Overview
- Cost of Living
- Real Estate
- Job Market
- Crime
- Climate
- Weather
- Education
- Stats
- Economy
- Health
- Religion
- People Stats
- Politics & Voting
- Housing Stats
- Commute
- Time
- Rankings
- Reviews

Economy in Zip 85051 (Phoenix, AZ)

Phoenix (zip 85051) has an unemployment rate of 4.2%. The US average is 3.9%.

Phoenix (zip 85051) has seen the job market increase by 3.3% over the last year. Future job growth over the next ten years is predicted to be 48.2%, which is higher than the US average of 33.5%.

Tax Rates for Phoenix (zip 85051)

- The Sales Tax Rate for Phoenix (zip 85051) is 8.6%. The US average is 7.3%.
- The Income Tax Rate for Phoenix (zip 85051) is 4.2%. The US average is 4.6%.
- Tax Rates can have a big impact when [Comparing Cost of Living](#).

Income and Salaries for Phoenix (zip 85051)

- The average income of a Phoenix (zip 85051) resident is \$18,199 a year. The US average is \$28,555 a year.
- The Median household income of a Phoenix (zip 85051) resident is \$38,389 a year. The US average is \$53,482 a year.

COMPARE COST OF LIVING

Compare Zip 85051 (Phoenix, AZ) to any other place in the USA.

Compare Now

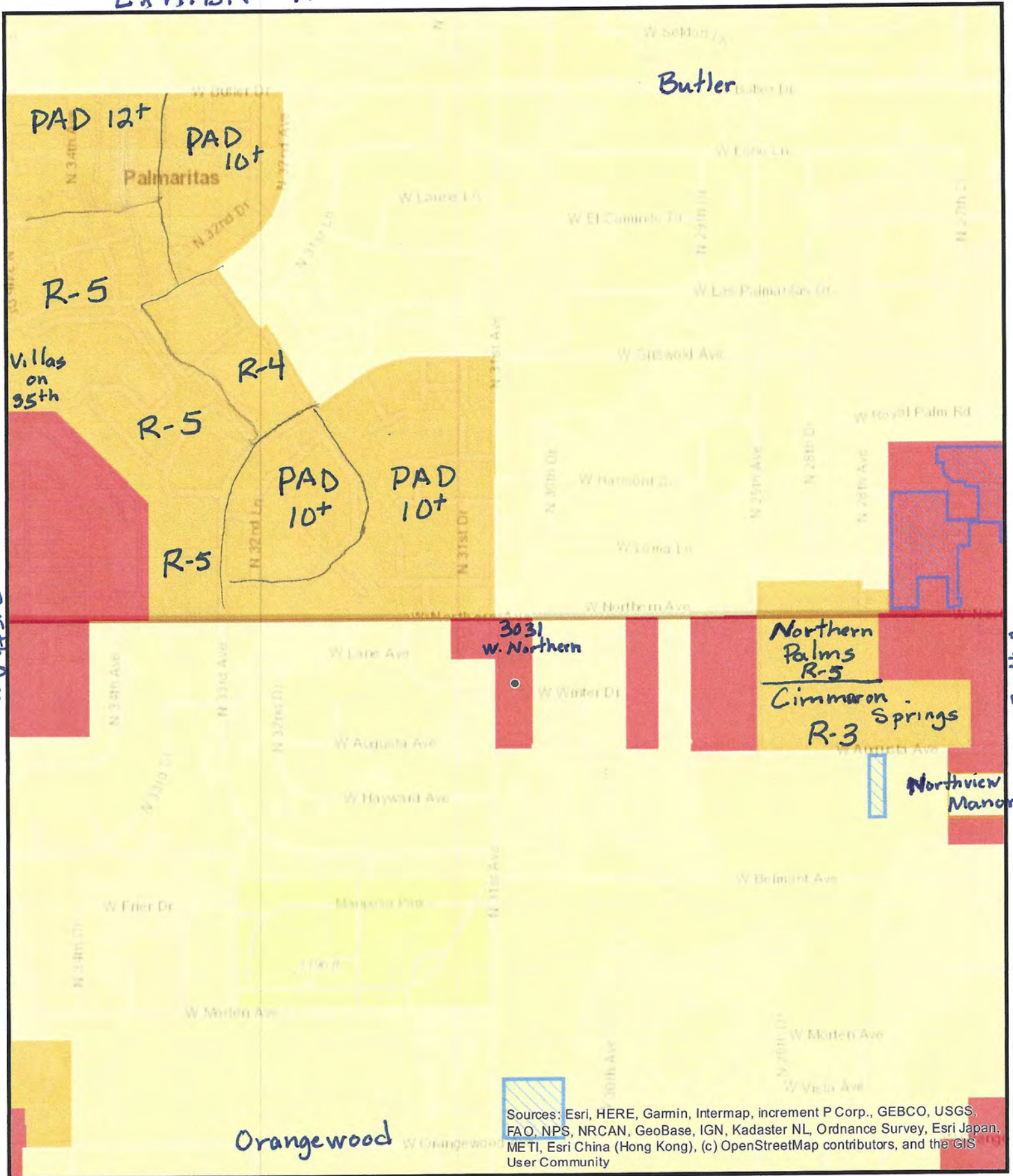
MAPS OF ZIP 85051 (PHOENIX, AZ)

ZIP CODES IN ZIP 85051 (PHOENIX, AZ)

Phoenix (zip 85051)

NEW LISTINGS IN 85051

Exhibit 4.



0 0.1 0.2 mi

My Community Map

This product is intended as reference information only and may not be suitable for legal, engineering, or surveying purposes.

Date: 7/16/2020



City of Phoenix

July 14, 2020

Nick Klimek, AICP
Village Planner
City of Phoenix

Re: Proposed Redevelopment & Zoning Changes – 3031 W Northern Avenue

Dear Mr. Klimek,

This evening, I attended a virtual meeting hosted by Tiffany & Bosco, P.A., in which the proposed development and zoning change to the office complex at [3031 W. Northern Ave](#) was presented to residents of the neighborhood. I am writing to express my strong disfavor of the proposal for the following reasons:

- 1) Insufficient on-property parking
 - a. Tiffany & Bosco's own site plan indicates that a total of 86 parking spaces are required¹, versus the 75 provided by their plan. This shortfall is a function of building an additional 2-story building on a portion of the existing parking area, which of course increases parking space demand while simultaneously reducing parking capacity. "Overflow" parking will be on 31st Ave or most likely W Lane Ave or W Augusta Ave; none of which are designed to accommodate it. This will create a safety issue, especially at night (there will surely be overnight parking). Further, the residential character of W Lane or W Augusta (or any other nearby side streets) would be adversely impacted.
- 2) Design:
 - a. The proposed additional, 2-story building not only adds to the parking shortfall, but also intrudes on the privacy of the adjacent, single-family homes (e.g., one's currently private back yard will instead be subject to 2nd-story residents of "Building D" peering out their window). I personally am located far enough away so as to be unaffected by this, but am genuinely concerned for my neighbors who would be.
- 3) Safety:
 - a. A 50 unit residence will have a significant level of access and egress in the course of the day, especially during the weekday commute hours. The access from Northern Ave is very close to the intersection of Northern Ave and N 31st Ave, and even with its current use as office space, left turns into the complex from westbound Northern Avenue occur with some frequency (and inherent danger).
- 4) Density:
 - a. This is a quiet, safe neighborhood of single family homes. I and the ca. 35 residents who were on tonight's call want it to stay that way (as do many other residents who were unable to attend, I'm sure); both for the retention of the neighborhood's character and our property values.

Thank you for your consideration of these concerns. I trust that this is one of many such communications that you will receive from neighborhood residents on this matter.

Sincerely,

David Sambuceti

3025 W Hayward Ave
Phoenix, AZ 85051-6674
Cell: 508-333-2412
David.Sambuceti@gmail.com

¹ Calculated as 29 1BR units @ 1 space each (29 spaces); plus 21 2 BR units at 1.5 spaces each (32 spaces); plus Guest parking for 50 units @ 0.5 spaces each (25 spaces); {29+32+25= 86; including 4 for Handicap parking)

From: [Glenn Compton](#)
To: [Council District 5 PCC](#)
Cc: [Nick Klimek](#); azm@tblaw.com
Subject: Rezoning Application for Daysprings Office Complex, 3031 W. Northern Ave.
Date: Thursday, July 9, 2020 2:25:43 PM

Dear Vice Mayor Guardado:

Our family moved to our house at 7746 N. 30th Drive in the late 1980s. Our house is located on the south side of Augusta Ave. directly south of Daysprings. When we first moved here, Daysprings was an active business complex, but it had little impact on our neighborhood, since the only access to the complex was a driveway on Northern Ave. just east of 31st Ave.

The information recently provided to us by Tiffany & Bosco, P.A., appears to indicate that the 50 unit apartment complex proposed to replace Daysprings will have access from both Northern Ave. and 31st Ave. We are very concerned that this apartment complex will add a significant amount of additional traffic to our neighborhood. Furthermore, if all 50 units are occupied it appears likely that there will not be adequate parking available in the complex parking lot, and as a result, the excess vehicles from the complex will end up parked on our neighborhood streets.

We fully understand that the Daysprings Office Complex has seen much better days, but we strongly feel that the 50 unit complex proposed to replace it is too many apartments for the space available at the site. Any residential project at that site should be much smaller.

Thank you for your help in this matter.

Sincerely,

Bonnie and Glenn Compton
602-995-2236

From: [Alex Castellanos](#)
To: [Nick Klimek](#)
Subject: Proposed Apartments 31st Ave and Northern
Date: Wednesday, July 1, 2020 12:32:08 PM

Hello Nick,

I recently moved into the North Glen Square neighborhood in October 2018. I previously moved here after living near 7th avenue and Northern for the majority of my life. I cannot even begin to tell you the incredible differences in both of these neighborhoods. I can guarantee it is the presence of so many multi family apartment complexes around this area. There are well taken care of triplexes and such scattered around the area and then there are the ant hills that are these apartment complexes. Despite its many flaws I do love this neighborhood and want to keep the little charm it has left. This development will not enhance anything. I know that you know nothing good comes from dense population areas. We already have too many apartment buildings that surround the area and cause enough crime and foot traffic to the city park here. Adding fuel to the fire is not what is good for the community.

Thank you for your time.