



City of Phoenix
PLANNING & DEVELOPMENT DEPARTMENT

Staff Report: Z-29-17-7
June 30, 2017

Estrella Village Planning Committee Meeting Date July 18, 2017
Planning Commission Hearing Date August 3, 2017
Request From: A-1 (12.25 acres), CP/GCP (18.13 acres)
Request To: A-1 (30.38 acres)
Proposed Use Commercial trucking logistics facility
Location Southeast corner of 59th Avenue and Lower Buckeye Road
Owner Arizona Becknell Investors 2007, LLC
Applicant/Representative Vicki Plein, Red River 647 Holdings, LLC
Staff Recommendation Approval, subject to stipulations

General Plan Conformity			
General Plan Land Use Designation		Industrial	
Street Map Classification	59th Avenue	Arterial	50-foot east half street
	Lower Buckeye Road	Arterial	50-foot south half street
<p><i>CONNECT PEOPLE AND PLACES; OPPORTUNITY SITES; LAND USE PRINCIPLE: Support reasonable levels of increased intensity, respectful of local conditions and surrounding neighborhoods.</i></p> <p>The subject site is adjacent to CP/GCP and A-1 zoned properties. The proposal would result in increased intensity that is consistent in scale and character with the surrounding zoning in the area.</p>			
<p><i>STRENGTHEN OUR LOCAL ECONOMY; JOB CREATION (EMPLOYERS) LAND USE PRINCIPLE: Support General Plan Land Use Map and zoning changes that will facilitate the location of employment generating uses in each of the designated employment centers.</i></p> <p>The property is located within the MAG designated Southwest Phoenix Major Employment Center and would provide employment opportunities in the Estrella Village.</p>			

STRENGTHEN OUR LOCAL ECONOMY; MANUFACTURING/INDUSTRIAL DEVELOPMENT; LAND USE PRINCIPLE: Support the expansion of industrial zoning in targeted industrial areas.

The subject property is located within the Southwest Phoenix Major Employment Center and is designated as Industrial on the General Plan Land Use Map. The property is also adjacent to existing A-1 zoning. The proposal will support the expansion of industrial zoning in an appropriate location in the Estrella Village.

CONNECT PEOPLE & PLACES; CORES, CENTERS & CORRIDORS; LAND USE PRINCIPLE: Locate land uses with the greatest height and most intense uses within village cores, centers and corridors based on village character, land use needs, and transportation system capacity.

The subject property is located adjacent to the eastern boundary of the Village Core and located just east of the Loop 202 Freeway alignment. The proposed trucking logistics facility use is consistent in scale and character with the adjacent zoning and well-suited to capitalize on the future transportation system capacity in this area.

Area Plans

The subject property is not within the boundaries of any overlay district, special planning area, specific plan, or area plan.

Surrounding Land Uses/Zoning

	<u>Land Use</u>	<u>Zoning</u>
On Site	Agricultural land	CP/GCP, A-1
North	Warehouse distribution facility	A-1
North across Lower Buckeye Road	Agricultural land	A-1, A-2
South	Agricultural land	CP/GCP, A-1
East	Industrial	A-1
West across 59th Avenue	Agricultural land, SRP	RE-35

A-1 (Light Industrial)		
<u>Standards</u>	<u>Requirements</u>	<u>Proposed</u>
<i>Building Setbacks</i>		
North	25 feet	532 feet- Met
East	None	185 feet- Met
West	25 feet	50 feet- Met
South	None	310 feet- Met
<i>Landscape Setbacks</i>		
North	8 feet times the lot frontage; not less than 5 feet in depth	Not shown on plan
East	None	15 feet- Met
West	8 feet times the lot frontage; not less than 5 feet in depth	50 feet- Met
South	None	198 feet- Met
Lot Coverage	None	6.65%- Met
Building Height	56 feet 80 feet with a Use Permit	29 feet- Met
Parking	1 space per 300 <ul style="list-style-type: none"> • 10,000 square feet/300 =34 space 2 spaces bay x 4 bays=8 spaces 1 space per 1.5 warehouse workers x 30 workers=45 spaces Total=87 spaces	98 spaces- Met

Background/Issues/Analysis

SUBJECT SITE

1. This request is to rezone approximately 30.38 acres located at the southeast corner of 59th Avenue and Lower Buckeye Road from 12.25 acres of A-1 (Light Industrial) and 18.13 acres of CP/GCP (Commerce Park/ General Commerce Park) to A-1. The proposed use is a trucking logistics facility.

The subject property is currently agricultural land. The property has frontage on both 59th Avenue and Lower Buckeye Road, neither of which are fully dedicated or improved in this location. The site is located just east of the Loop 202 Freeway alignment.

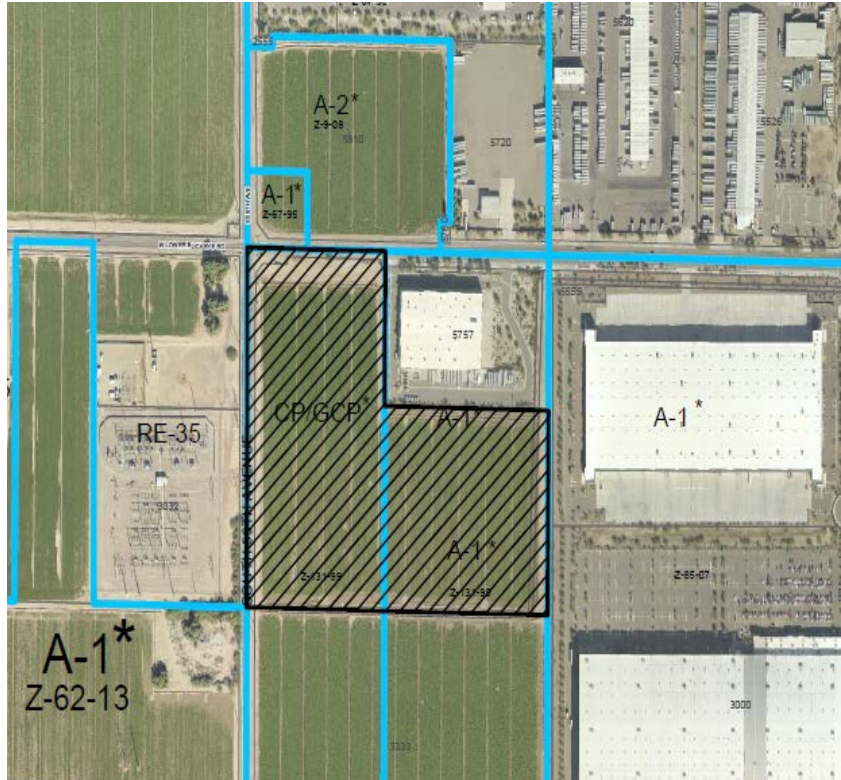
The northern 500-feet of the property is not part of the first phase of development as the applicant has intentions of splitting the land into two separate parcels. Phase

One will consist of the trucking logistics facility on the southern portion of the site. The remainder of the parcel will be developed by a future property owner.

2. The General Plan Land Use Map designation for the subject property is Industrial. The proposed zoning is consistent with the General Plan Land Use designation.

SURROUNDING USES AND ZONING

3. North and south of the subject property is agricultural land. The northern parcels are zoned A-1 and A-2 while the southern parcels are zoned CP/GCP and A-1. The subject property wraps around a warehouse/distribution facility to the north and east of the site. Salt River Project (SRP) and a portion of agricultural land are located on the parcel to the west across 59th Avenue.



The subject property was rezoned in 1999 by Rezoning Case No. Z-131-99-7, which established the CP/GCP and A-1 zoning on the site.

LAND USE

4. The proposed site plan and elevations depict a trucking logistics terminal. This land use is permitted in the A-1 zoning district.

PROPOSAL

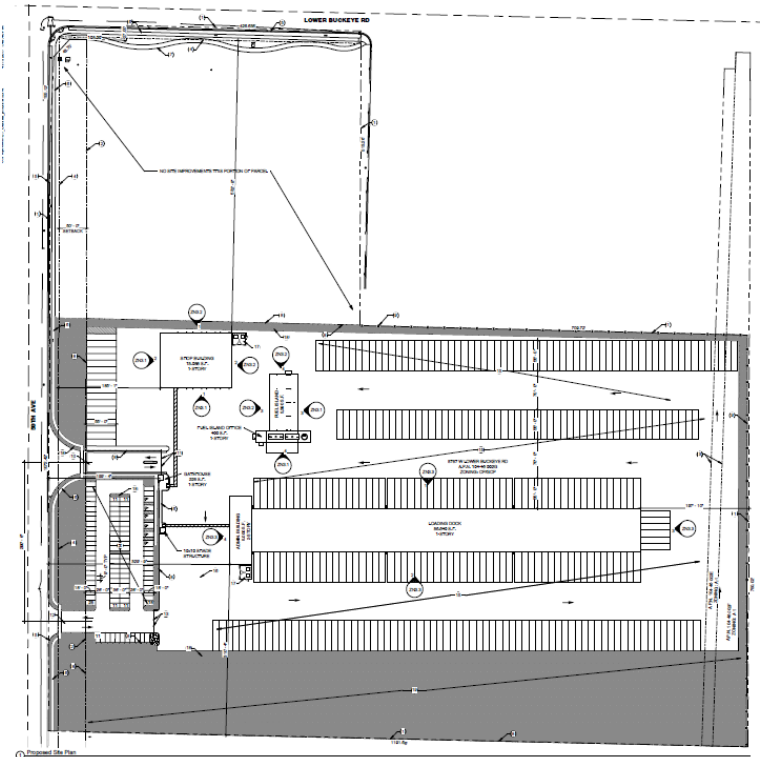
5. Site Plan

The proposed site plan depicts a 56,640 square-foot cross-dock. In addition to the cross-dock, there is a 5,000 square-foot administration office, 5,390 square-foot fuel island canopy and 400 square-foot building, 13,058 square-foot maintenance facility, and 225 square-foot guard booth.

The proposed lot coverage is 6.65%.

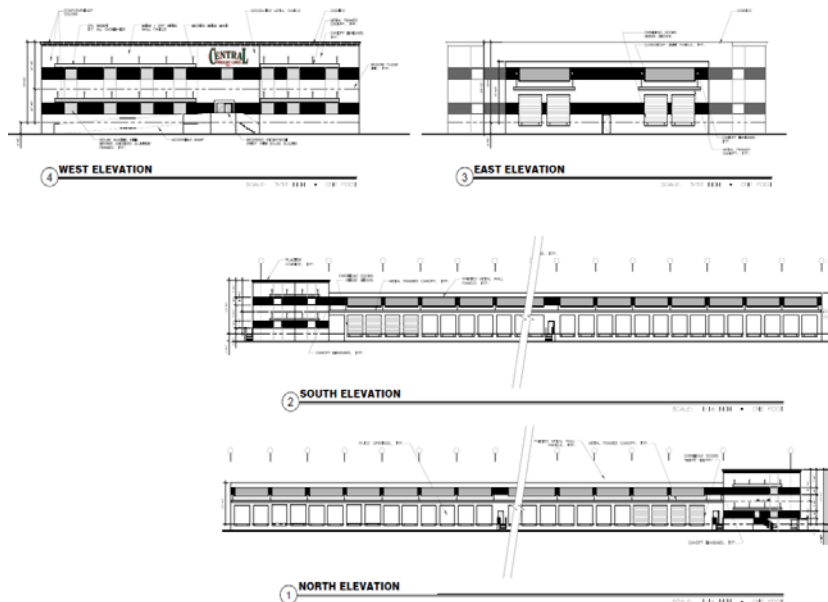
There are two proposed points of access from 59th Avenue.

Public Transit Department staff is proposing a stipulation that requires a bus stop pad along eastbound Lower Buckeye Road east of 59th Avenue built in accordance with City of Phoenix Standard Detail P1262 placed approximately 60 to 110-feet from the intersection.



6. Elevations

The maximum building height shown on the elevations is two stories and 33-feet. The building height ranges from 10-feet high for the guard booth to 29-feet high for the administration building.



7. Landscaping

As stipulated, a minimum 30-foot landscape setback shall be provided along both 59th Avenue and Lower Buckeye Road. All landscape setbacks shall be planted

with a minimum 50% 2-inch caliper trees and a minimum 50% 3-inch caliper or multi-trunk trees planted 20-feet on center or equivalent groupings, with a minimum of five 5-gallon shrubs per tree. In addition, staff is proposing a stipulation to comply with the Estrella Village Arterial Street Landscaping Program is required.

MISCELLANEOUS

8. As part of the Reimagine Phoenix initiative, the City of Phoenix is committed to increasing the waste diversion rate to 40 percent by 2020 and to better manage its solid waste resources. Section 716 of the Phoenix Zoning Ordinances establishes standards to encourage the provision of recycling containers for multi-family, commercial and mixed-use developments meeting certain criteria. The provision of recycling containers was not addressed in the applicant's submittals.

DEPARTMENT COMMENTS

9. The Fire Department does not anticipate any problems with this case. They noted that the site and/or buildings shall comply with the Phoenix Fire Code.
10. The Floodplain Management division indicated that the parcel is not in a Special Flood Hazard Area (SFHA), but is located in a Shaded Zone X, on panel 2195 L of the Flood Insurance Rate Maps (FIRM) dated October 16, 2013.
11. The Parks and Recreation Department has requested a 10-foot wide public multi-use trail to be constructed within a 30-foot wide multi-use trail easement along the south side of Lower Buckeye Road. Staff is proposing a stipulation to address this request.
12. The Street Transportation Department has requested stipulations that require the developer to dedicate right-of-way totaling 55 feet for the east half of 59th Avenue and the south half of Lower Buckeye Road for the length of the site. In addition, Street Transportation is proposing a stipulation that the developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, driveways, streetlights, median islands, landscaping and other incidentals as per plans approved by the City. All improvements shall comply with all ADA accessibility standards.
13. The Aviation and Water Services Departments had no comments regarding the request.

OTHER

14. Development and use of the site is subject to all applicable codes and ordinances. Zoning approval does not negate other ordinance requirements. Other formal actions such as, but not limited to, zoning adjustments and abandonments, may be required.

Findings

1. The request is consistent with the General Plan Land Use Map designation of Industrial.
2. The A-1 zoning district will allow development that is consistent in scale and character with the land use pattern in the surrounding area.
3. The subject property has been identified as part of the Southwest Phoenix Major Employment Center as designated by the Maricopa Association of Governments (MAG).

Stipulations

1. A minimum 30-foot landscape setback shall be provided along both 59th Avenue and Lower Buckeye Road. All landscape setbacks shall be planted with a minimum 50% 2-inch caliper trees and a minimum 50% 3-inch caliper or multi-trunk trees planted 20-feet on center or equivalent groupings, with a minimum of five 5-gallon shrubs per tree, as approved by the Planning and Development Department.
2. The development shall comply with the Estrella Village Arterial Street Landscaping Program.
3. A 10-foot wide public multi-use trail shall be constructed within a 30-foot wide multi-use trail easement in accordance with the MAG supplemental detail, along south side of Lower Buckeye Road, as approved by the Parks and Recreation Department.
4. Right-of-way totaling 55 feet shall be dedicated for the south half of Lower Buckeye Road and the east half of 59th Avenue, as approved by Planning and Development Department.
5. The developer shall construct a bus stop pad along eastbound Lower Buckeye Road east of 59th Avenue. The bus stop pad should be built according to City of Phoenix Standard Detail P1262 and placed approximately 60 to 110-feet from the intersection.
6. The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, driveways, streetlights, median islands, landscaping and other incidentals as per plans approved by the City. All improvements shall comply with all ADA accessibility standards.
7. In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.

Staff Report: Z-29-17-7

June 30, 2017

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Writer

Elyse DiMartino

June 30, 2017

Team Leader

Joshua Bednarek

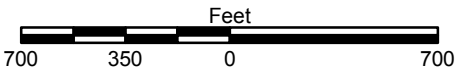
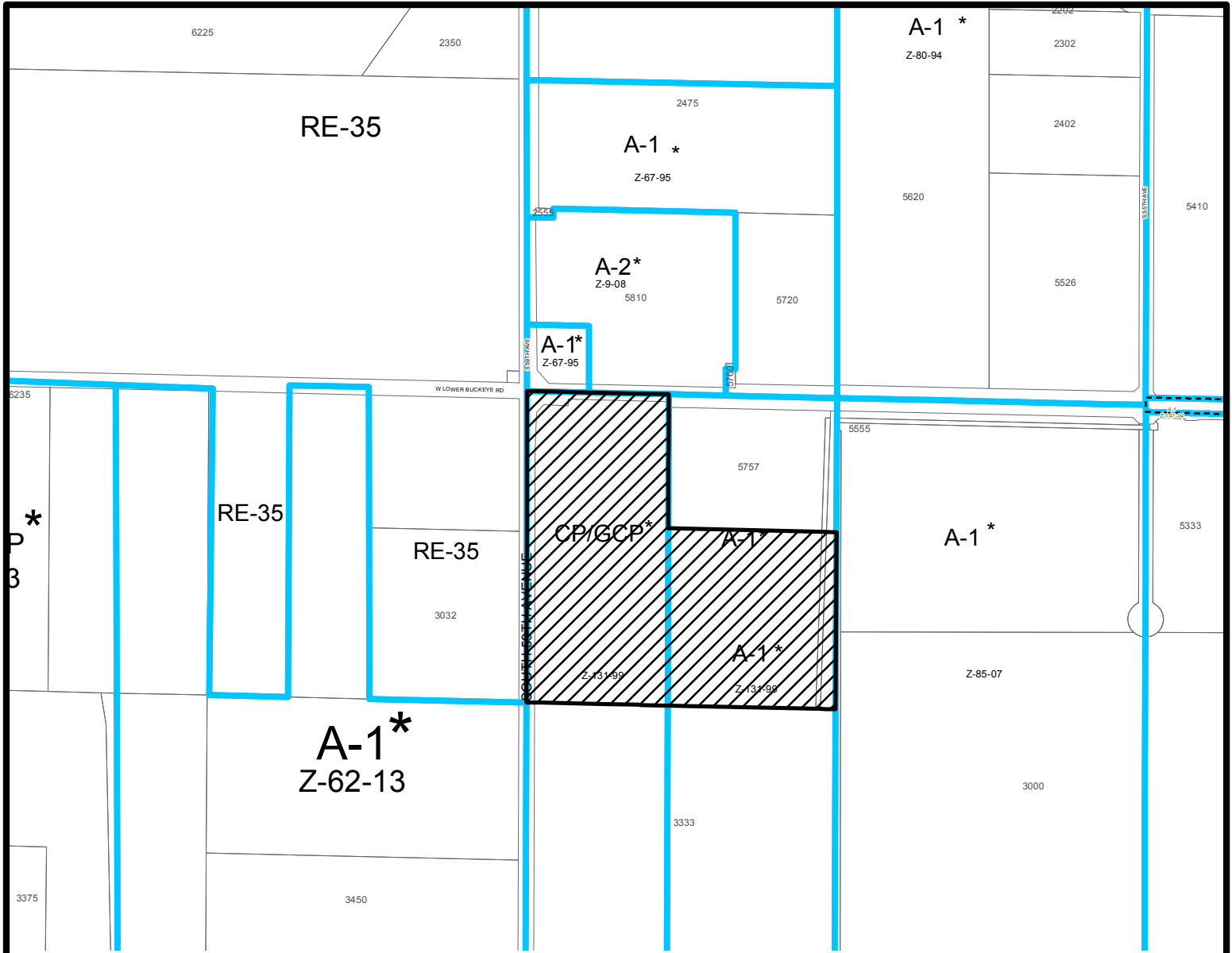
Attachments

Sketch Map

Aerial

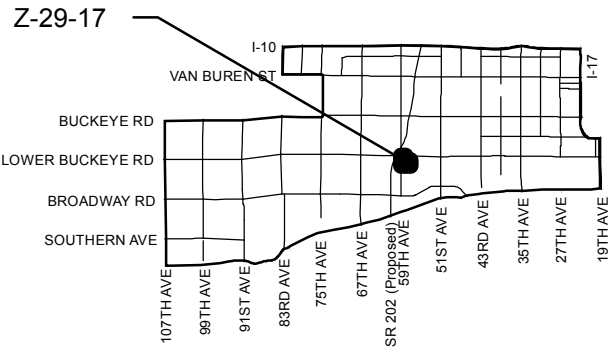
Site Plan Date Stamped April 19, 2017 (1 page)

Elevations Date Stamped April 19, 2017 (3 pages)



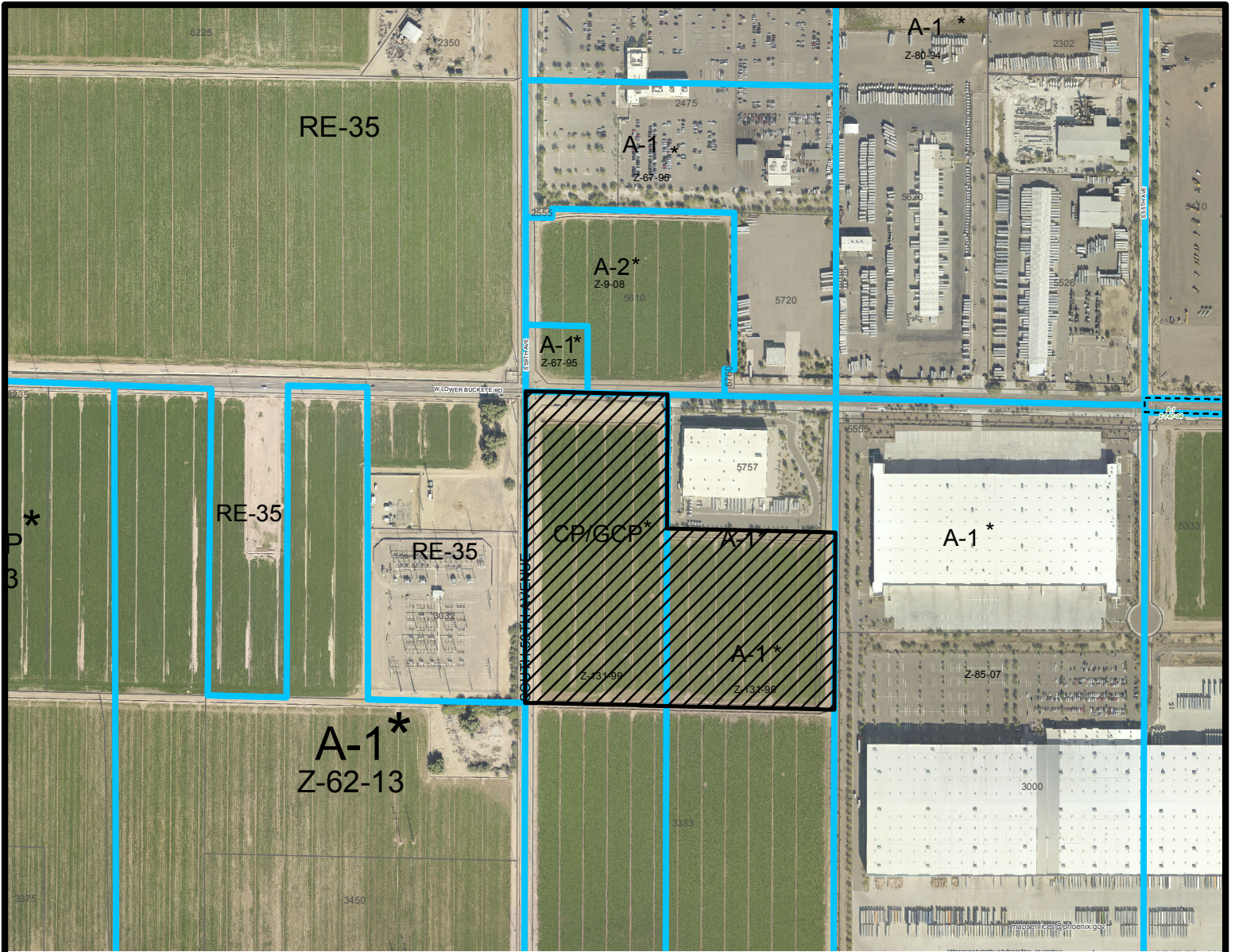
ESTRELLA VILLAGE

CITY COUNCIL DISTRICT: 7



APPLICANT'S NAME: Vicki Plein		REQUESTED CHANGE: FROM: A-1, (12.25 a.c.) CP/GCP, (18.13 a.c.) TO: A-1, (30.38 a.c.)					
APPLICATION NO. Z-29-17	DATE: 05/15/2017 REVISION DATES:	<table border="1"> <tr> <td>AERIAL PHOTO & QUARTER SEC. NO.</td> <td>ZONING MAP</td> </tr> <tr> <td>QS 6-15</td> <td>E-5</td> </tr> </table>		AERIAL PHOTO & QUARTER SEC. NO.	ZONING MAP	QS 6-15	E-5
AERIAL PHOTO & QUARTER SEC. NO.	ZONING MAP						
QS 6-15	E-5						
GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX. 30.38 Acres							
MULTIPLES PERMITTED A-1, CP/GCP A-1		CONVENTIONAL OPTION N/A, N/A N/A					
		* UNITS P.R.D. OPTION N/A, N/A N/A					

* Maximum Units Allowed with P.R.D. Bonus



Feet

700 350 0 700

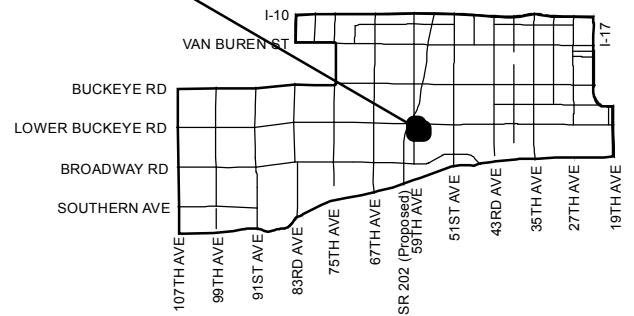
ESTRELLA VILLAGE

CITY COUNCIL DISTRICT: 7



City of Phoenix
PLANNING AND DEVELOPMENT DEPARTMENT

Z-29-17



APPLICANT'S NAME: Vicki Plein

APPLICATION NO. Z-29-17

DATE: 05/15/2017
REVISION DATES:

GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX.

30.38 Acres

AERIAL PHOTO & QUARTER SEC. NO. QS 6-15
ZONING MAP E-5

REQUESTED CHANGE:

FROM: A-1, (12.25 a.c.)
CP/GCP, (18.13 a.c.)

TO: A-1, (30.38 a.c.)

MULTIPLES PERMITTED

A-1, CP/GCP
A-1

CONVENTIONAL OPTION

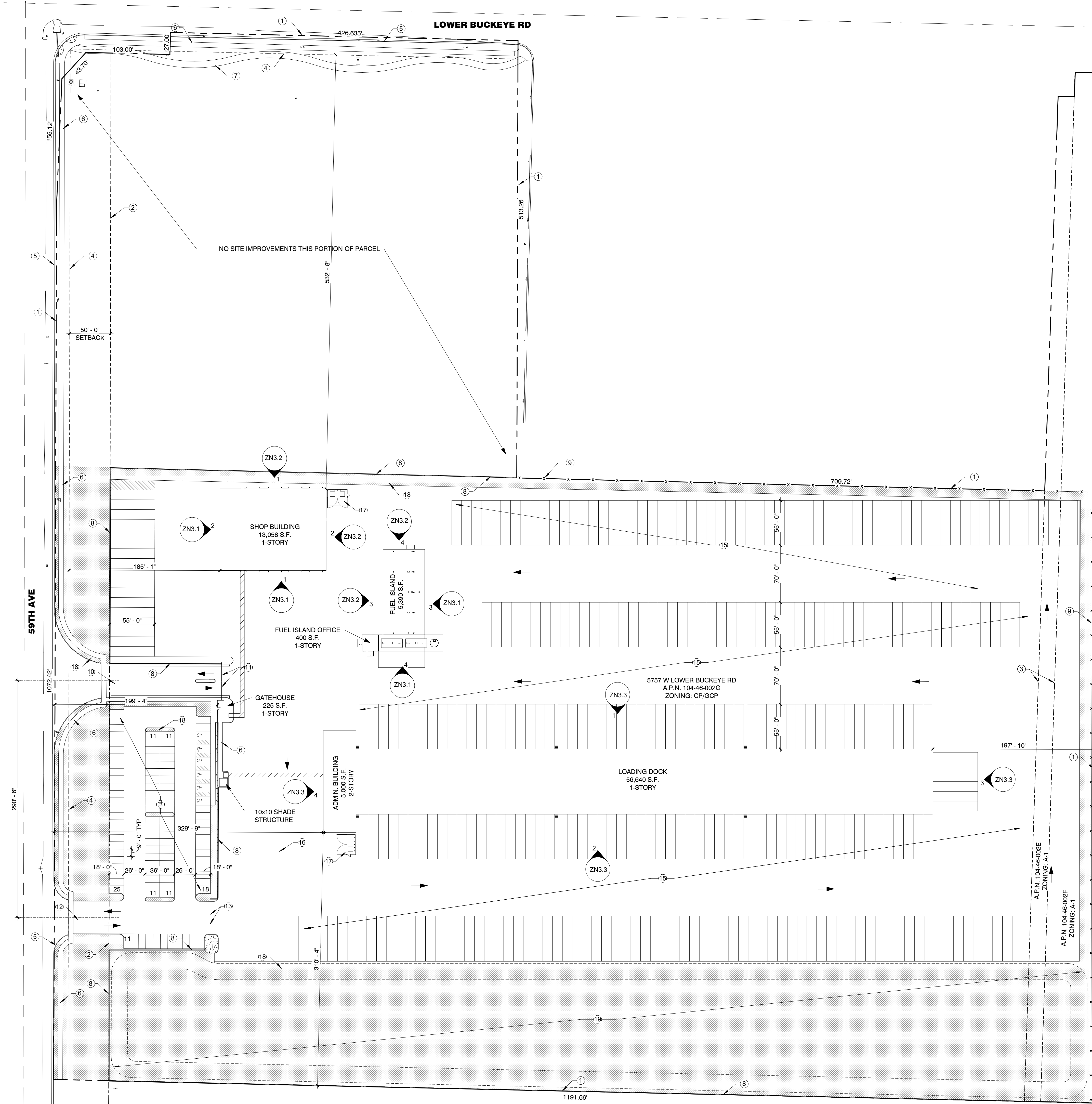
N/A, N/A
N/A

*** UNITS P.R.D. OPTION**

N/A, N/A
N/A

* Maximum Units Allowed with P.R.D. Bonus

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- SHEET KEYED NOTES**
- PROPERTY LINE
 - SETBACK LINE
 - EXISTING 20' WIDE EASEMENT
 - PROPOSED FUTURE RIGHT OF WAY LINE
 - NEW CONCRETE CURB, TYP
 - NEW CONCRETE SIDEWALK
 - NEW MULTI-USE TRAIL
 - NEW 8" HIGH CMU SITE FENCE WITH STUCCO FINISH
 - NEW 8" HIGH CHAINLINK FENCE
 - NEW 40' WIDE DRIVE ENTRANCE
 - NEW TRAFFIC CONTROL ARM
 - NEW 40' WIDE FIRE APPARATUS ENTRANCE
 - NEW FIRE APPARATUS ACCES GATE, PROVIDE KNOX PADLOCK DUAL LOCKING BAR AND PAINT STRIPING AS REQUIRED
 - NEW ASPHALT EMPLOYEE PARKING
 - NEW ASPHALT TRACTOR TRAILER MANEUVERING/PARKING AREA
 - 20' WIDE FIRE APPARATUS ACCESS
 - TRASH ENCLOSURE
 - LANDSCAPE AREA, TYP
 - PROPOSED RETENTION AREA

PROJECT NARRATIVE

THIS PROJECT CONSISTS DEVELOPING A NEW TRUCKING TERMINAL WITH ADMINISTRATION SPACE AND MAINTENANCE SHOP ON 21.98 ACRES OF A CURRENTLY UNDEVELOPED 28.83 ACRE PARCEL.

PROJECT DATA

PROJECT ADDRESS:	5757 W LOWER BUCKEY RD PHOENIX, AZ 85043
ASSESSORS PARCEL #(s):	104-46-002G, 104-46-002E (PORTION) & 104-46-002F (PORTION)
GROSS LOT AREA:	1,255,905 S.F. (28.83 ACRES)
NET LOT AREA:	1,210,874 S.F. (27.79 ACRES)
DEVELOPED AREA:	957,456 S.F. (21.98 ACRES)
UNDEVELOPED AREA:	298,449 S.F. (6.85 ACRES)
ZONING:	CP/GCP / A-1
PROPERTY USE:	TRUCK LOADING & MAINTENANCE
OCCUPANCY (CONST. TYPE)	S-1 (TYPE II-B)

BUILDING AREAS

SHOP BUILDING:	13,058 S.F.
FUEL OFFICE:	400 S.F.
FUEL CANOPY:	5,390
ADMIN BUILDING:	5,000 S.F.
LOADING DOCK:	56,640 S.F.
GATEHOUSE:	50 S.F.
SHADE STRUCTURE:	100 S.F.
TOTAL:	80,638 S.F.

F.A.R. 0.064

BUILDING MAX HEIGHT: 33'-0" (2-STORY)

LOT COVERAGE PERCENT: 6.65%

LANDSCAPE AREA PROVIDED: 256,842 S.F.

PARKING REQUIRED

ADMIN BUILDING:	10,000 S.F. / 300 = 34
SHOP BUILDING:	2 PER BAY X 4 BAYS = 8 SPACES
LOADING DOCK:	1.5 PER WORKER X 30 = 45 SPACES
TOTAL REQUIRED:	87 SPACES

PARKING PROVIDED: 98 SPACES

- LANDSCAPING NOTES**
- ALL LANDSCAPING ALONG STREETS SHALL BE PER THE REQUIREMENTS OF THE ESTRELLA VILLAGE ARTERIAL STREET LANDSCAPE GUIDE.
 - ALL ONSITE LANDSCAPING SHALL BE PER THE ESTRELLA VILLAGE TREES AND PLANTS LIST.



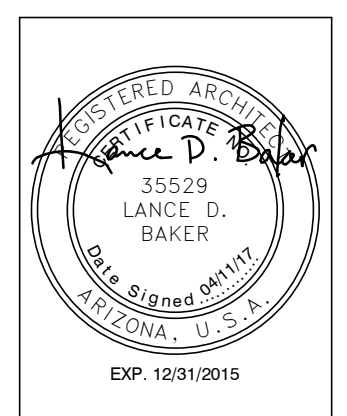
VICINITY MAP

CITY APPROVAL

KIVA #:
 SDV#:
 PAPP#:

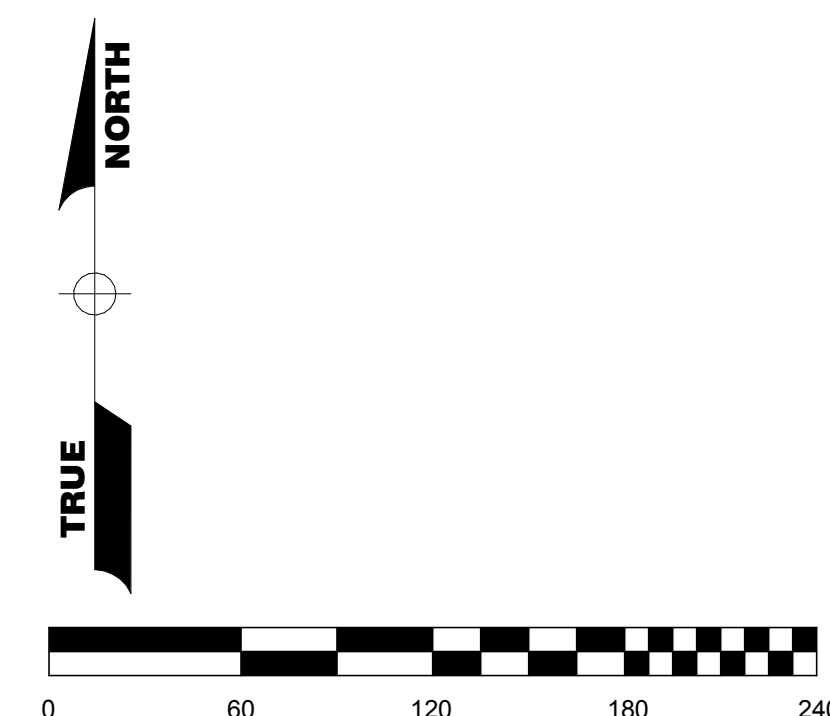
REVISIONS

59LBR LOGISTICS TERMINAL



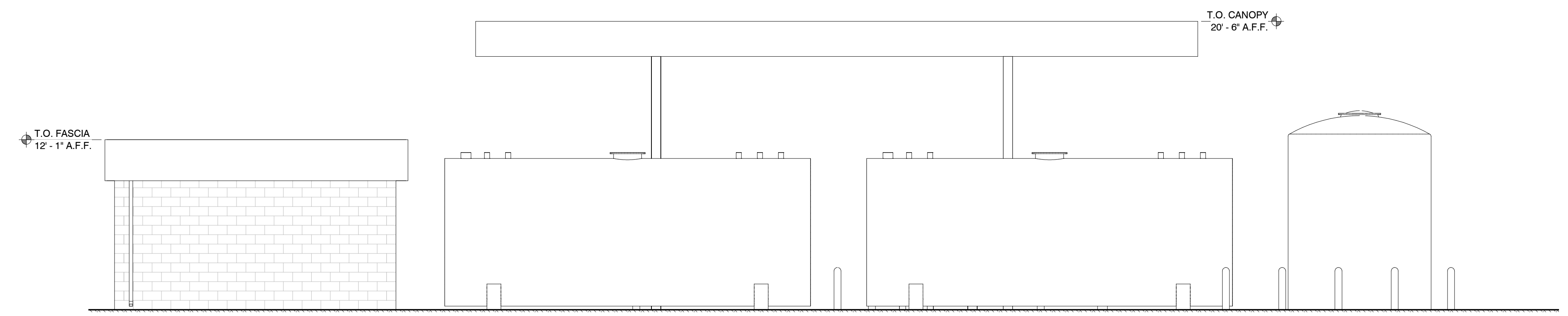
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Drawn By:	JLM
Reviewed By:	LDB
SDI Project No:	3757
Date:	2017-04-11
Sheet:	

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SITE PLAN

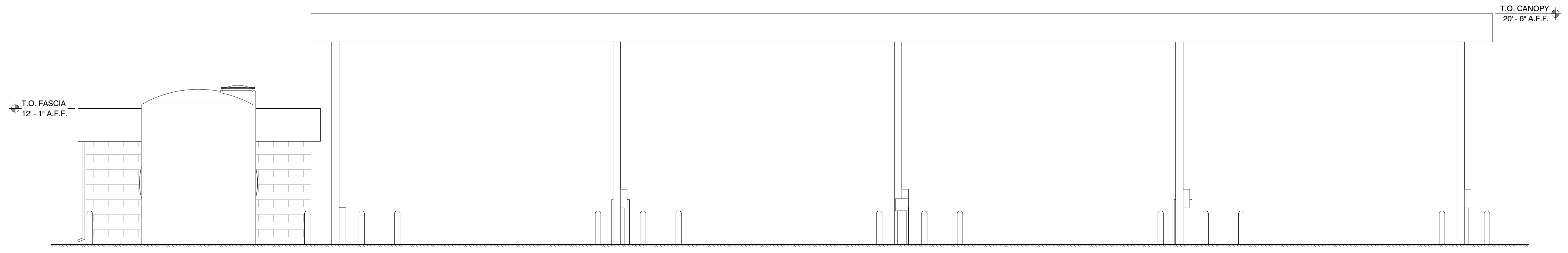


1 Proposed Site Plan
 1" = 60'-0"

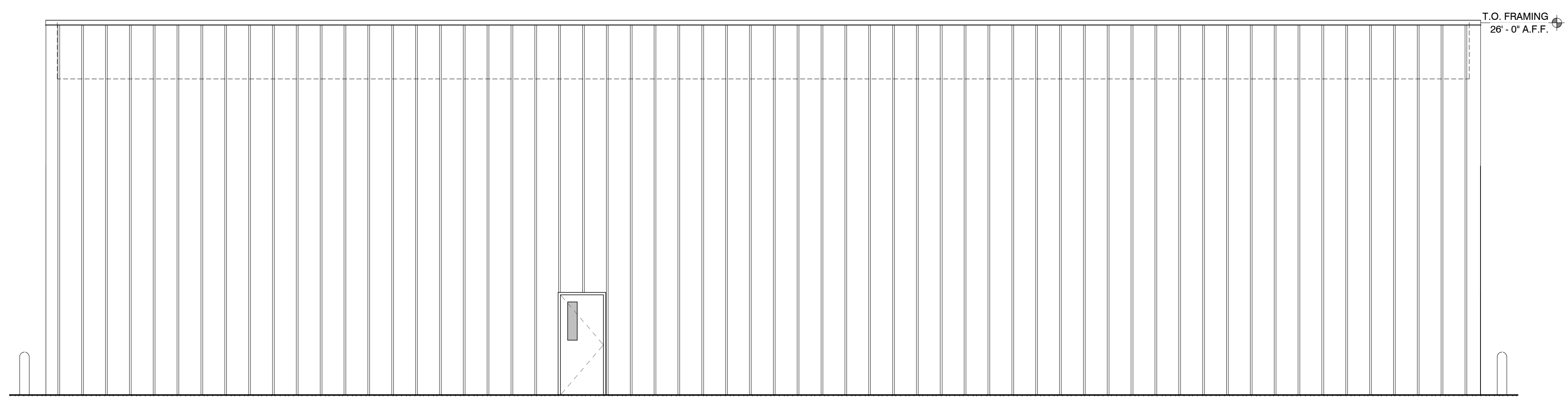
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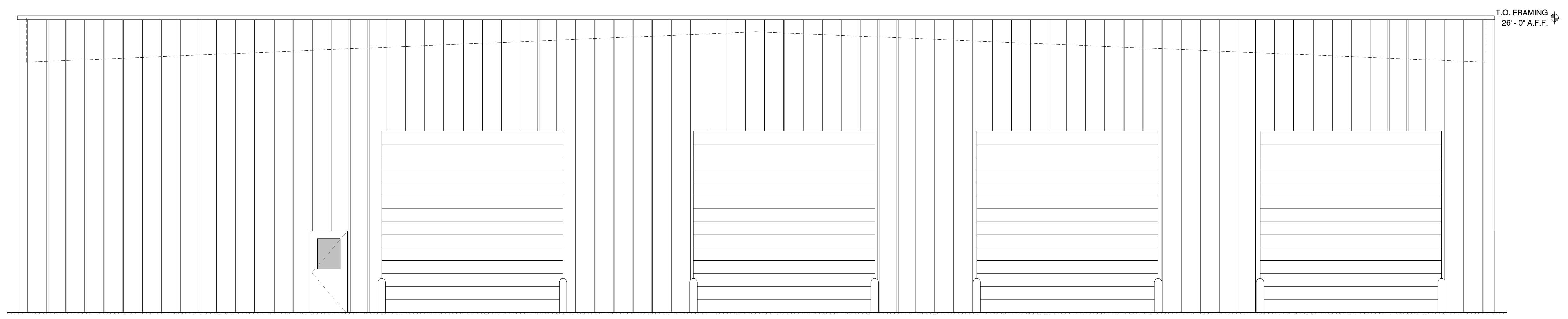
4 East Fuel Island Elevation
 3/16" = 1'-0"



3 North Fuel Island Elevation
 3/16" = 1'-0"

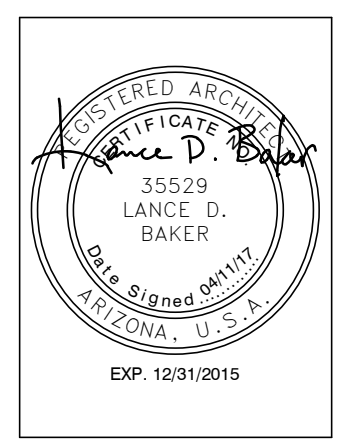


2 West Building Elevation
 3/16" = 1'-0"



1 South Building Elevation
 3/16" = 1'-0"

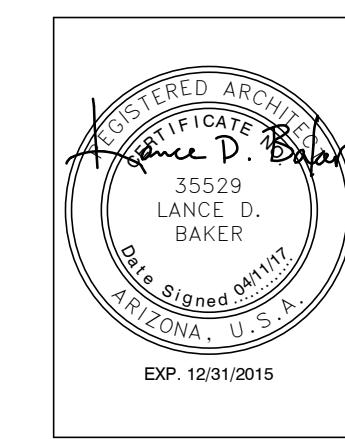
59LBR LOGISTICS TERMINAL



REVISIONS	

Phase: CD
 Drawn By: JLM
 Reviewed By: LDB
 SDI Project No: 3757
 Date: 2017-04-11

59LBR LOGISTICS TERMINAL

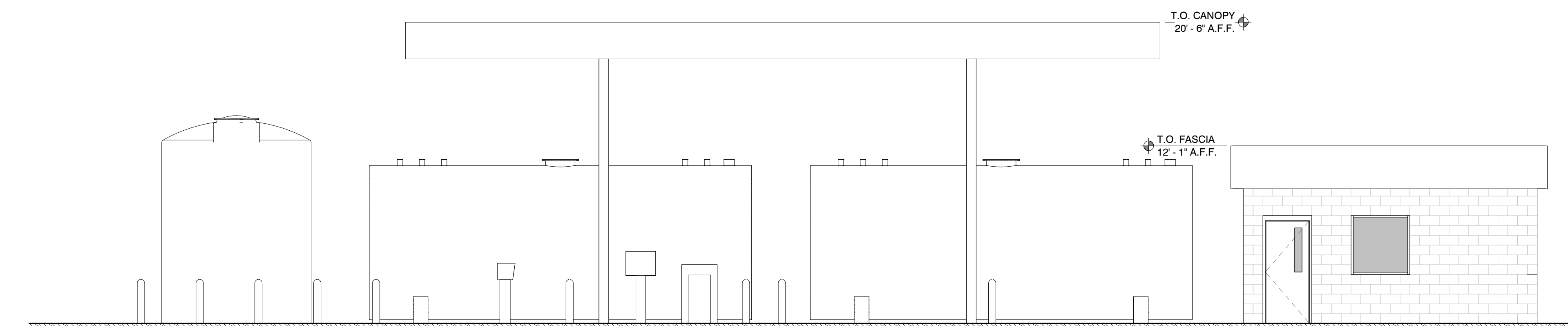


REVISIONS	

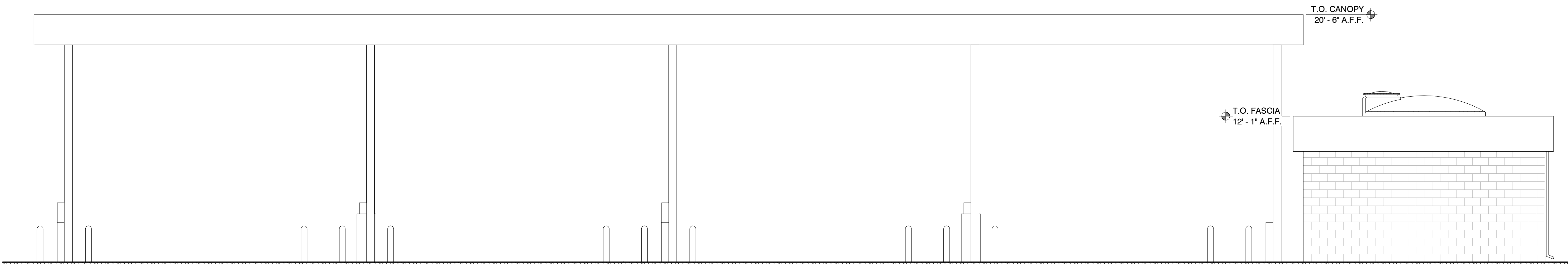
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 Reviewed By: LDB
 SDI Project No: 3757
 Date: 2017-04-11

Sheet
ZN3.2
 EXTERIOR ELEVATIONS

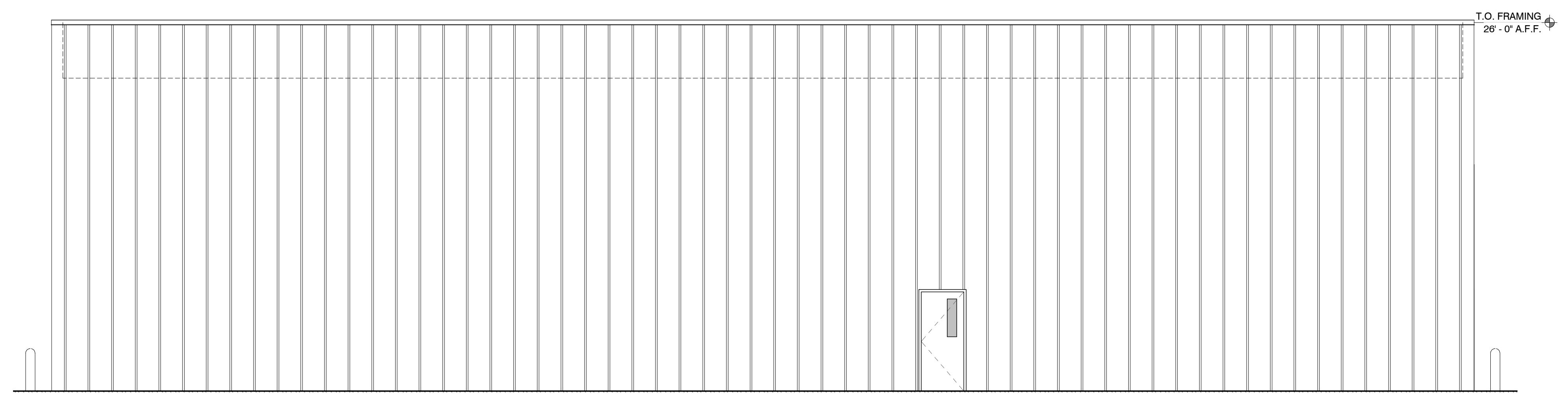
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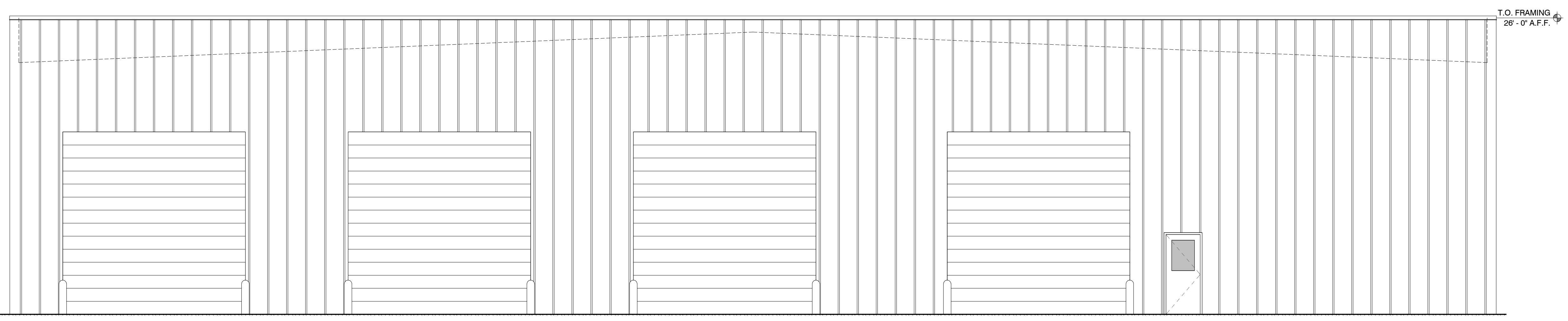
④ West Fuel Island Elevation
 3/16" = 1'-0"



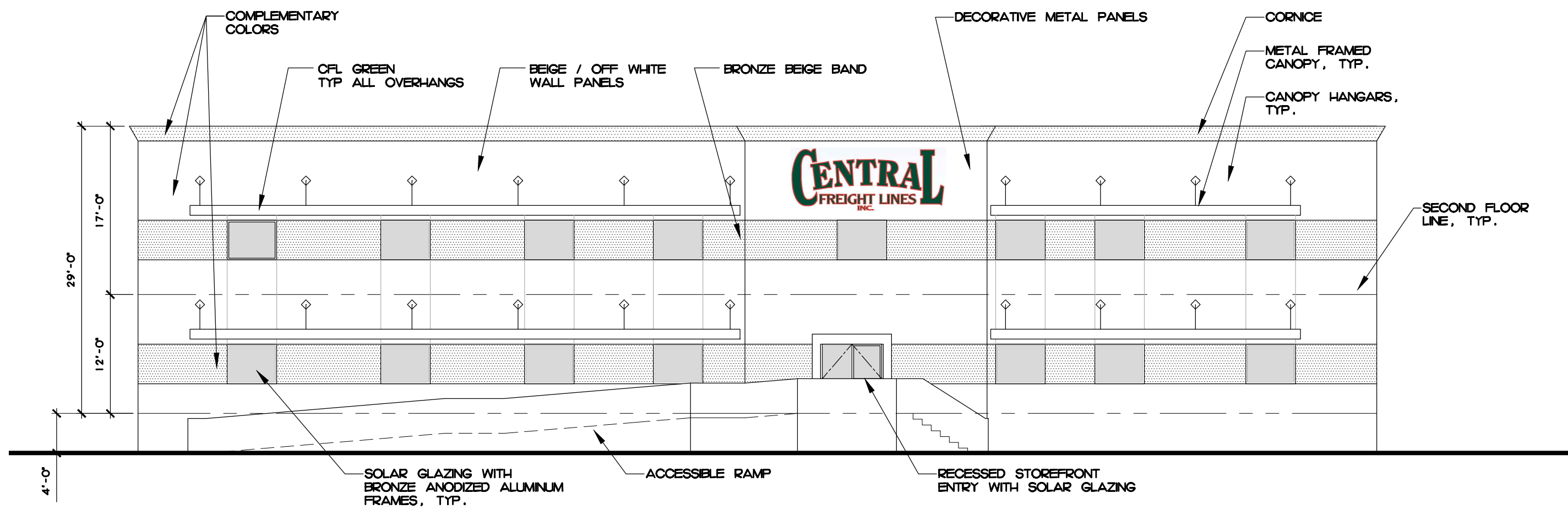
③ South Fuel Island Elevation
 3/16" = 1'-0"



② East Building Elevation
 3/16" = 1'-0"

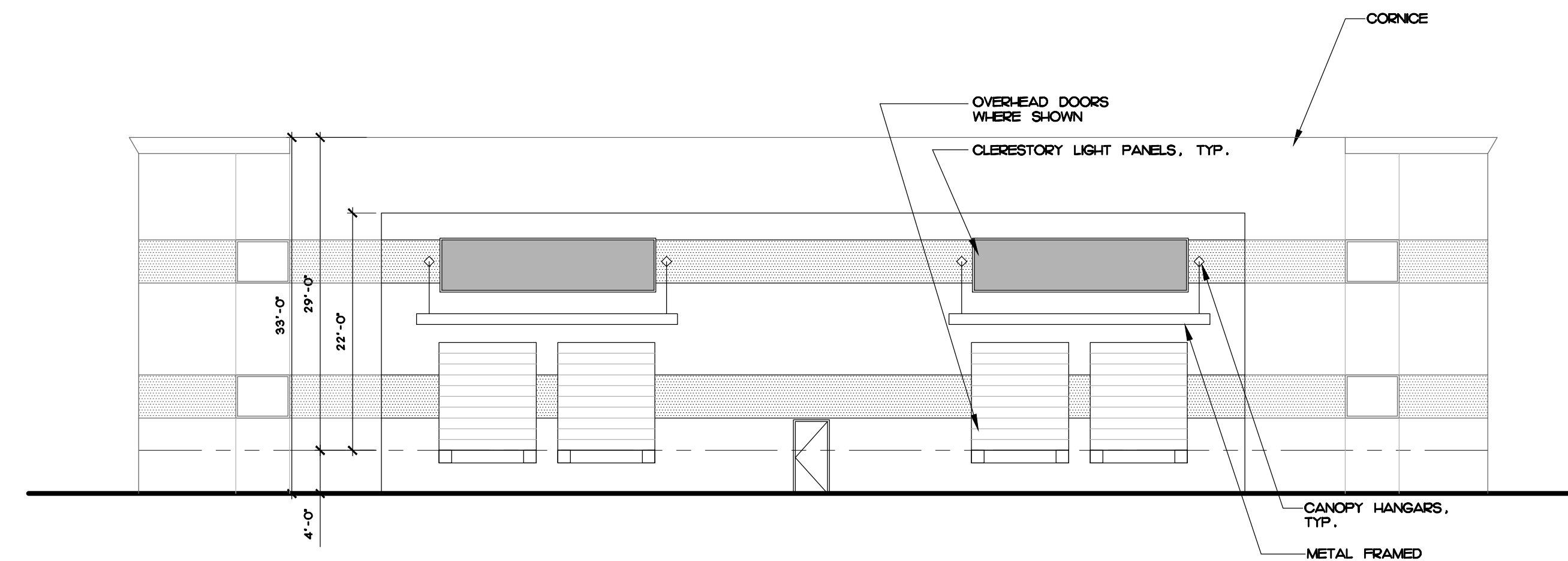


① North Building Elevation
 3/16" = 1'-0"



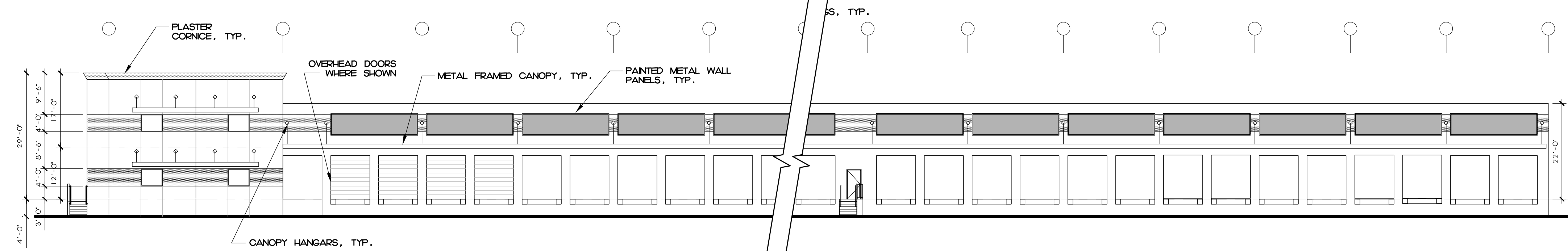
4 WEST ELEVATION

SCALE: 3/32 INCH = ONE FOOT



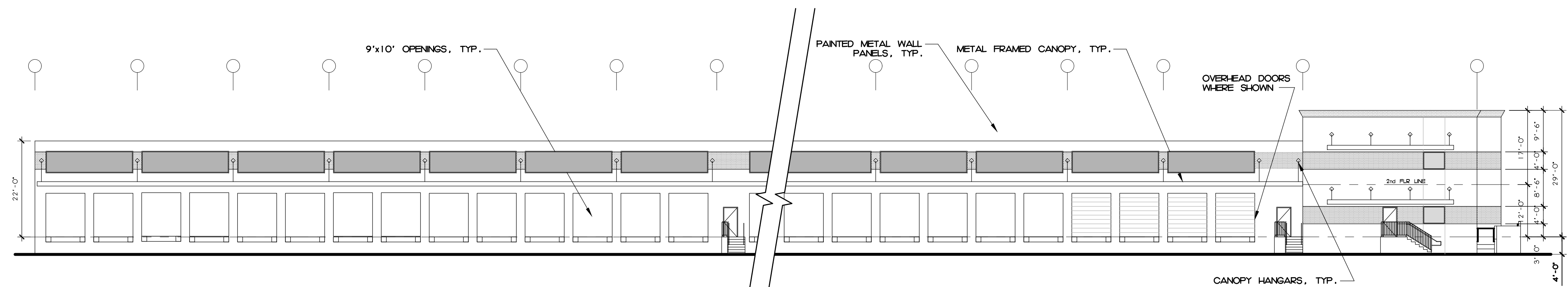
3 EAST ELEVATION

SCALE: 3/32 INCH = ONE FOOT



2 SOUTH ELEVATION

SCALE: 1/16 INCH = ONE FOOT



1 NORTH ELEVATION

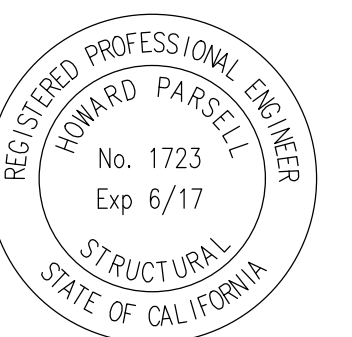
SCALE: 1/16 INCH = ONE FOOT

PROJECT NAME:

New Truck Facility for:
59 LDR Logistics Terminal

59th St. Phoenix, AZ

SEAL / SIGNATURE



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EXTERIOR ELEVATIONS

DATE: 03-09-17

PROJECT NO: 6336

ZN3.3