



City of Phoenix
PLANNING AND DEVELOPMENT DEPARTMENT

Staff Report: Z-29-19-6
July 26, 2019

Camelback East [Village Planning Committee](#) Hearing Date August 6, 2019
[Planning Commission](#) Hearing Date September 5, 2019
 Request From: R1-6 (0.78 acres)
 Request To: P-1 (0.78 acres)
 Proposed Use Parking to serve adjacent businesses
 Location Approximately 235 feet east of the northeast corner of 32nd Street and Campbell Avenue
 Owner James Aaron Klusman
 Applicant/ Representative Ed Bull, Burch & Cracchiolo, PA
 Staff Recommendation Approval, subject to stipulations

<u>General Plan Conformity</u>			
<u>General Plan Land Use Map Designation</u>		Residential 3.5 to 5 dwelling units per acre	
<u>Street Map Classification</u>	Campbell Avenue	Minor Collector	33-foot north half street
	Minnezona Circle	Local	25-foot west half street
<p><i>CELEBRATE OUR DIVERSE COMMUNITIES & NEIGHBORHOODS; HEALTHY NEIGHBORHOODS; DESIGN PRINCIPLE: Establish design standards and guidelines for parking lots and structures, setback and build-to lines, blank wall space, shade, and other elements affecting pedestrians, to encourage pedestrian activity and identify options for providing pedestrian-oriented design in different types of development</i></p> <p>The proposed development has been designed to be sensitive to the adjacent neighborhood by incorporating landscaped setbacks and screen walls where adjacent to residential properties and a detached sidewalk along Campbell Avenue.</p>			

CONNECT PEOPLE AND PLACES; COMPLETE STREETS; DESIGN PRINCIPLE:
Development should include convenient bicycle parking.

As stipulated, the development will provide 10 bicycle parking spaces to promote alternative modes of transportation as an amenity along an established residential and commercial corridor.

BUILD THE SUSTAINABLE DESERT CITY; TREES AND SHADE; DESIGN PRINCIPAL: New development should minimize surface parking areas and provide an abundance of shade through either trees or structures on any planned parking areas.

As stipulated, the development will be required to provide 25 percent shade through the use of landscaping throughout the parking lot area.

Applicable Plans, Overlays, and Initiatives

[Complete Streets Guiding Principles](#) – See Item No. 8 below.

[Tree and Shade Master Plan](#) – See Item No. 9 below.

[Comprehensive Bicycle Master Plan](#) – See Item No. 10 below.

Surrounding Land Uses/Zoning

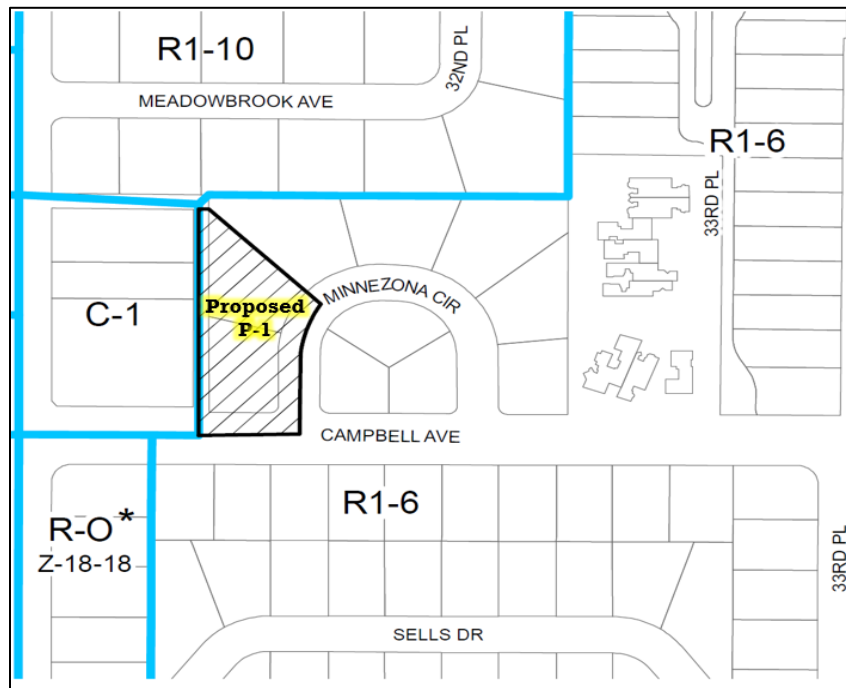
	<u>Land Use</u>	<u>Zoning</u>
On Site	Single-Family Residences	R1-6
North	Single-Family Residence	R1-6 and R1-10
South	Single-Family Residences	R1-6
East	Single-Family Residences	R1-6
West	Commercial Uses	C-1

P-1 Parking District – Passenger Automobile Parking, Limited		
<u>Standards</u>	<u>Requirements</u>	<u>Proposed</u>
<i>Landscape Setbacks</i>	Stipulated as shown on site plan	
Adjacent to Street (South and East)	None	South: 10 feet East: Varies – 10 to 25 feet
Adjacent to Property Line (North and West)	None	North: Varies – 3 to 32 feet West: None
Screening (702.B.7.b)	Required when parking is adjacent to a residential zoning district (north) or separated from a residential zoning district by an alley, local or collector street (south and east).	North: landscaping and trees to provide screening. South: detached sidewalk and 3-foot decorative wall East: landscaping and 6-foot decorative wall

Background/Issues/Analysis

REQUEST

1. This is a rezoning request for a surface parking lot on a 0.78-acre site located approximately 235 feet east of the northeast corner of 32nd Street and Campbell Avenue. The request is to rezone the entire site from R1-6 (Single-Family Residence District) to P-1 (Parking District, Passenger Automobile Parking, Limited) to allow surface parking for adjacent businesses.



Source: City of Phoenix Planning and Development Department

GENERAL PLAN

- The General Plan Land Use Map designation for the subject site is Residential 3.5 to 5 dwelling units per acre. The proposed rezoning request is not consistent with the General Plan Land Use Map designation; however, an amendment is not required as the site is less than 10 acres in size. The surrounding General Plan Land Use Map designations are Residential 3.5 to 5 dwelling units per acre.



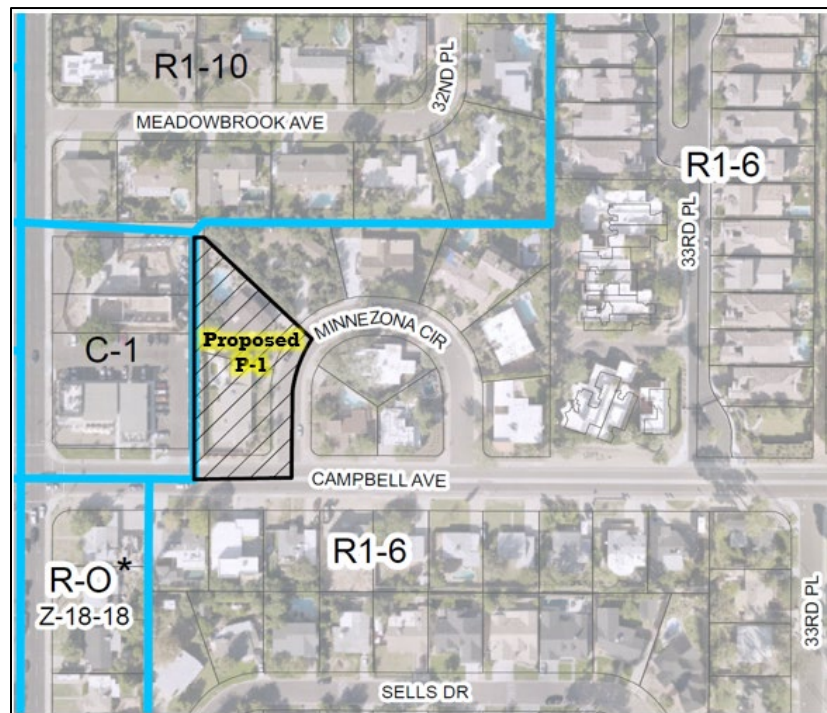
Source: City of Phoenix Planning and Development Department

SURROUNDING LAND USE AND ZONING

- The subject site is currently improved with two single-family residences zoned R1-6.

North, South and East:

Directly to the north of the subject site is a single-family residential home. Directly to the south of the subject site, across Campbell Avenue are single-family residences. Directly to the east of the subject site, across Minnezona Circle, are two single-family residences. All properties directly to the north, south and east are zoned R1-6.



Source: City of Phoenix Planning and Development Department

West:

Directly to the west of the subject site is a restaurant, coffee shop and adaptive reuse commercial project currently under construction zoned C-1 (Neighborhood Retail).

4. The P-1 zoning district is intended to provide off-street parking in appropriate locations for non-residential uses located near residential districts. The P-1 district solely permits surface parking with canopies and allows trash dumpsters and trash enclosures as an accessory use. The conceptual site plan illustrates that there will be a trash enclosure on the site. Staff has requested that the trash enclosure be located a minimum of 80 feet away from the residential zoning district and be oriented to mitigate negative impacts onto surrounding residential uses. This is addressed in Stipulation No. 6.

VEHICULAR ACCESS

5. The conceptual site plan proposes surface parking for a total of 115 parking spaces and is intended to support the commercial and office development to the west of the subject site. In conjunction with the rezoning case, the applicant is pursuing an abandonment of Minnezona Circle to allow a private road with a gated entrance along both the access points. Access to the proposed parking lot is located along 32nd Street and Campbell Avenue. To ensure access is not provided off of Minnezona Circle, staff has requested that a one-foot Vehicular non-access Easement (VNAE) be provided along the east and south property lines, this is addressed in Stipulation No. 8.

LANDSCAPE SETBACKS

6. The P-1 zoning district is silent regarding landscape setback standards with the exception of screening per Section 702.B.7.b which requires landscaping along the perimeter via low walls or landscaping. Setbacks may be determined on a case by case basis and applied through stipulations in the rezoning process. In order to reduce the impact of development on the adjacent residential properties, staff has requested landscape setbacks along the northern, southern and eastern sides of the property. These are addressed in Stipulation Nos. 1, 2 and 3. The conceptual site plan depicts a vehicular turn-around area along Minnezona Circle, a street abandonment or ROW easement will need to be pursued in the future to achieve the proposed street condition. Regardless of method used, there shall be a landscape setback of no less than 10 feet outside of the parking lot area to the east.

SCREENING

7. The proposed surface parking lot area is located adjacent to residential zoning to the north, south and east. To mitigate negative effects on nearby residential properties staff has requested that a 6-foot decorative wall be located along the eastern property line and that sour orange landscape hedges be planted along the wall to provide an enhanced visual interest for nearby residents, and to be unified with the adjacent commercial property to the west. This is addressed in Stipulation No. 5. In addition, staff is requesting that a minimum 3-foot decorative wall be located along

Campbell Avenue to block vehicular headlights on adjacent residential homes to the south. This is addressed in Stipulation No. 3.

AREA PLANS, OVERLAY DISTRICTS, AND INITIATIVES

COMPLETE STREETS GUIDING PRINCIPLES

8. In 2014, the City of Phoenix City Council adopted the Complete Streets Guiding Principles. The principles are intended to promote improvements that provide an accessible, safe, connected transportation system to include all modes, such as bicycles, pedestrians, transit, and vehicles. Staff has requested that a detached sidewalk be provided along Campbell Avenue with trees near the sidewalk to promote safe walking and biking. This is addressed in Stipulation No. 7.

TREE AND SHADE MASTER PLAN

9. The Tree and Shade Master Plan has a goal of treating the urban forest as infrastructure to ensure that trees are an integral part of the city's planning and development process. Sidewalks on the street frontages should be detached from the curbs to allow trees to be planted on both sides of the sidewalk to provide thermal comfort for pedestrians and to reduce the urban heat island effect. To this end, staff is recommending that trees planted along the northern property line adjacent to the single-family home be a larger caliper size, a minimum of 25% shade in the parking lot area, detached sidewalks along Campbell Avenue with trees planted along the sidewalk, and commercial landscape planting standards along the southern and eastern portions of the property. These are addressed in Stipulation Nos. 2 through 4 and 7.

COMPREHENSIVE BICYCLE MASTER PLAN

10. The Comprehensive Bicycle Master Plan notes that transit works in tandem with walking, bicycling, and automobile use to provide commuters with multiple convenient transportation choices. All Valley Metro buses are equipped with bicycle racks (two-bike and three bike) and light rail trains have on-board storage hangers for bicycles. Staff has recommended that a minimum of five inverted U bicycle racks to be provided for guests or employees. This is addressed in Stipulation No. 9.



Inverted-U bicycle rack, where both ends of the "U" reach the ground.

COMMUNITY INPUT SUMMARY

11. At the time this staff report was written, staff has not received correspondence regarding the request.

INTERDEPARTMENTAL COMMENTS

12. The City of Phoenix Street Transportation Department has not proposed any stipulation for the parking lot development. However, they indicated that if the abandonment of Minnezona Circle is approved, permits for the gate would be

required and an HOA would need to be formed to take ownership of the private street.

13. The City of Phoenix Water Services Department has noted the property has existing water and sewer mains that can potentially serve the proposed development. However, there is potential need to up size existing water and sewer infrastructure mains so that any remodels or new buildings will be able to meet domestic and fire code requirements.
14. The City of Phoenix Floodplain Management division of the Public Work Department has determined that this parcel is not in a Special Flood Hazard Area (SFHA), but is located in a Shaded Zone X, on panel 1745 L of the Flood Insurance Rate Maps (FIRM) dated July 4, 2017.
15. The Fire Prevention division of the Fire Department does not anticipate any issues with this request. However, the site or/and building(s) shall comply with the Phoenix Fire Code. The water supply to this site is unknown. Additional water supply may be required to meet the required fire flow per the Phoenix Fire Code.

OTHER

16. The site has not been identified as being archaeologically sensitive. However, in the event archaeological materials are encountered during construction, all ground disturbing activities must cease within 33-feet of the discovery and the City of Phoenix Archaeology Office must be notified immediately and allowed time to properly assess the materials. This is addressed in Stipulation No. 10.
17. Development and use of the site is subject to all applicable codes and ordinances. Zoning approval does not negate other ordinance requirements. Other formal actions such as, but not limited to, zoning adjustments and abandonment me be required.

Findings

1. As stipulated, the proposal will provide an appropriate buffer between the residential uses to the north, south and east.
2. The proposal will add additional parking to address the needs of the adjacent commercial development and reduce any potential overflow parking in the neighborhood.
3. The proposal will have minimal effects on nearby residences.

Stipulations

1. The landscape setback along the eastern property line shall be in general conformance with the site plan date stamped July 25, 2019 including a minimum

setback of 10 feet which may include a maximum 6-foot high fence closure panel that shall be view fencing. The landscaping shall be installed and maintained in accordance with the C-2 standards for planting type, size, quantity and trees shall be planted near the sidewalk to provide shade, as approved by the Planning and Development Department.

2. The landscape setback along the northern property line shall be in general conformance to the site plan date stamped July 25, 2019 including a minimum setback of 3 feet. The landscaping shall include a minimum of 3-inch caliper shade trees to provide screening to the adjacent single-family residence, as approved by the Planning and Development Department.
3. There shall be a minimum 10-foot landscape setback along the southern property line with a maximum 3-foot high decorative wall as depicted on the site plan date stamped June 25, 2019. The landscaping shall be installed and maintained in accordance with the C-2 standards for planting type, size, quantity and trees shall be planted near the sidewalk to provide shade, as approved by the Planning and Development Department.
4. Minimum 25% of the parking lot shall be shaded with landscaping as measured on the summer solstice at noon, as approved by the Planning and Development Department.
5. A minimum 6-foot high decorative wall and minimum 2-inch caliper Sour Orange trees planted four feet on center, shall be provided along the eastern side of the site, as approved by the Planning and Development Department.
6. Any trash enclosures/dumpsters shall not be oriented toward a single-family residential zoning district and shall be located a minimum of 80 feet from the eastern property line, as approved by the Planning and Development Department.
7. A minimum 5-foot wide sidewalk along Campbell Avenue shall be detached with a minimum 5-foot wide landscape strip located between the sidewalk and back of curb and shall include minimum 2-inch caliper shade trees planted 20 feet on center or in equivalent groupings, as approved by the Planning and Development Department.
8. The developer shall dedicate a one-foot Vehicular Non-Access Easement (VNAE) along the eastern and southern property lines, as approved by the Planning and Development Department.
9. A minimum of five inverted-U bicycle racks (10 spaces) for guests or employees shall be provided on site and installed per the requirement of Section 1307.H of the Zoning Ordinance, as approved by the Planning and Development Department.
10. In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground-disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.

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Writer

Maja Brkovic
July 26, 2019

Team Leader

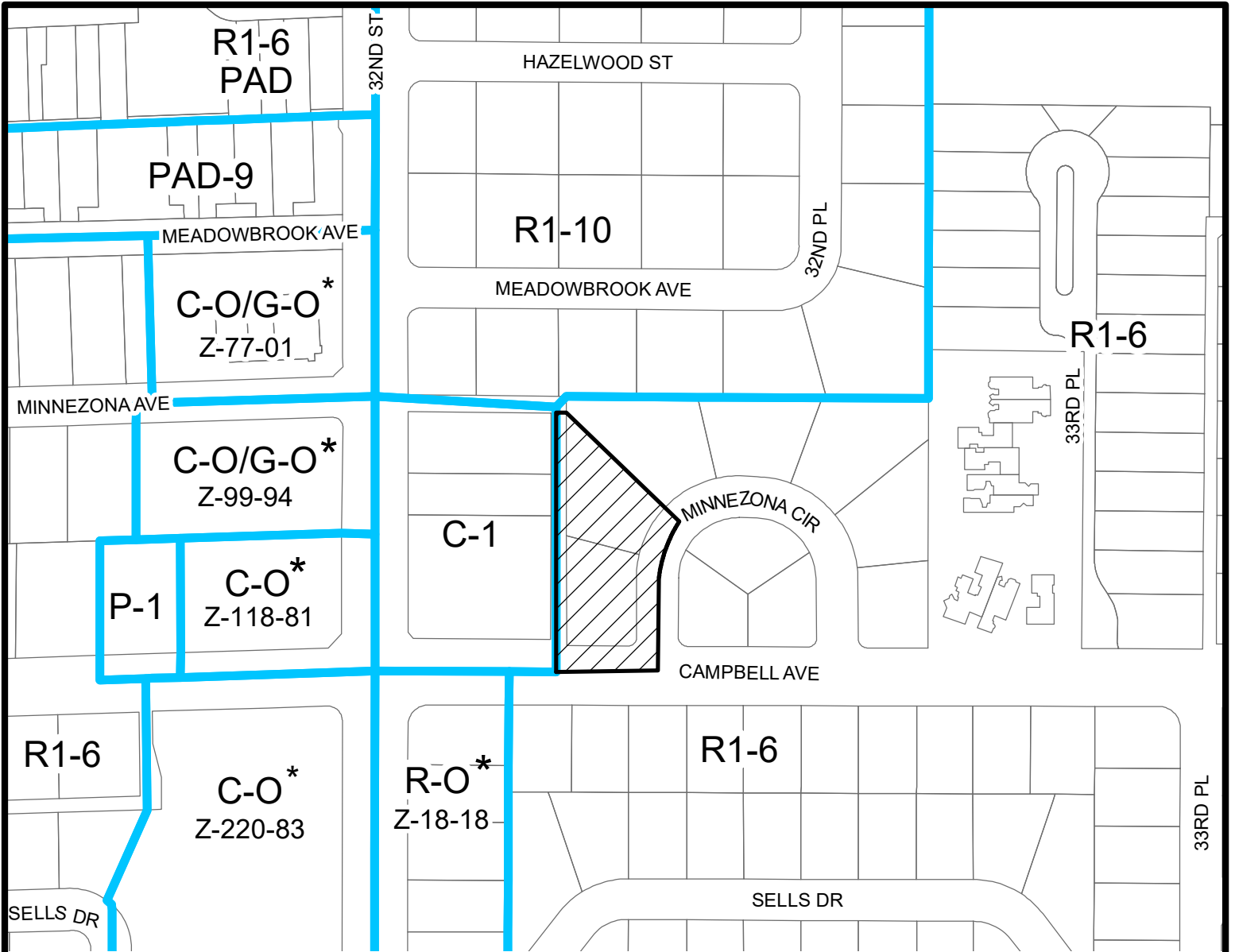
Samantha Keating

Exhibits

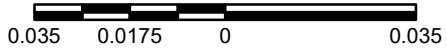
Sketch Map

Aerial

Site Plan date stamped July 26, 2019



Miles

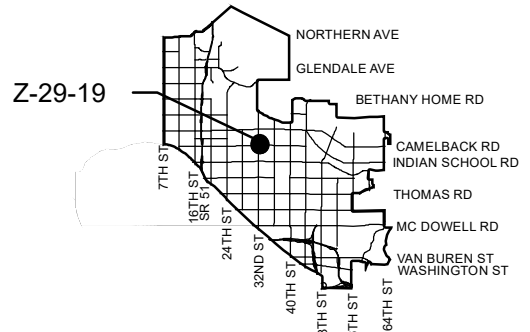


CAMELBACK EAST VILLAGE

CITY COUNCIL DISTRICT: 6

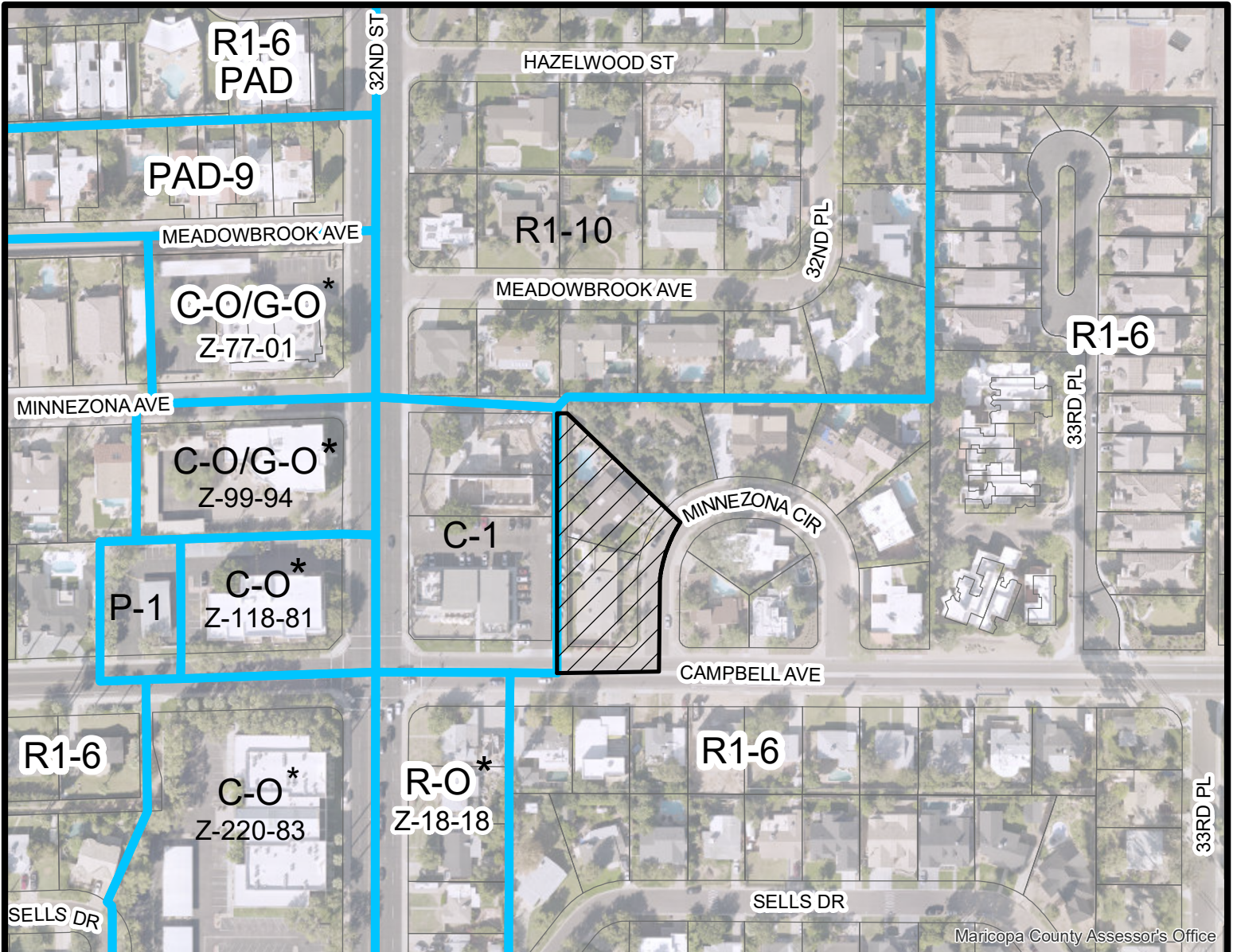


City of Phoenix
PLANNING AND DEVELOPMENT DEPARTMENT



APPLICANT'S NAME: Ed Bull, Burch & Cracchiolo, PA		REQUESTED CHANGE:	
APPLICATION NO. Z-29-19		FROM: R1-6 (0.78 a.c.)	
<small>GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX.</small> 0.78 Acres		TO: P-1 (0.78 a.c.)	
<small>DATE:</small> 5/31/2019 <small>REVISION DATES:</small>		<small>AERIAL PHOTO & QUARTER SEC. NO.</small> QS 18-35	
<small>MULTIPLES PERMITTED</small> R1-6 P-1		<small>CONVENTIONAL OPTION</small> 4 N/A	
		<small>* UNITS P.R.D. OPTION</small> 5 N/A	

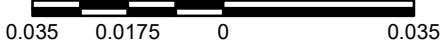
* Maximum Units Allowed with P.R.D. Bonus



Maricopa County Assessor's Office



Miles

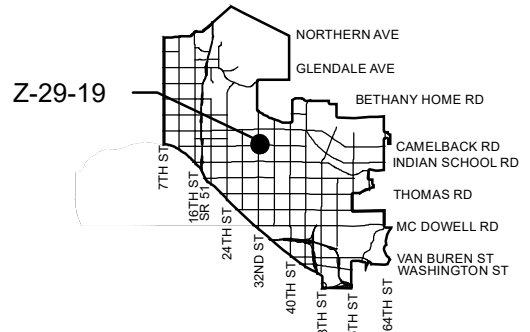


CAMELBACK EAST VILLAGE

CITY COUNCIL DISTRICT: 6



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<small>DATE:</small> 5/31/2019 <small>REVISION DATES:</small>			
<small>AERIAL PHOTO & QUARTER SEC. NO.</small> QS 18-35		<small>ZONING MAP</small> H-10	
MULTIPLES PERMITTED R1-6 P-1		CONVENTIONAL OPTION 4 N/A	
		* UNITS P.R.D. OPTION 5 N/A	

* Maximum Units Allowed with P.R.D. Bonus



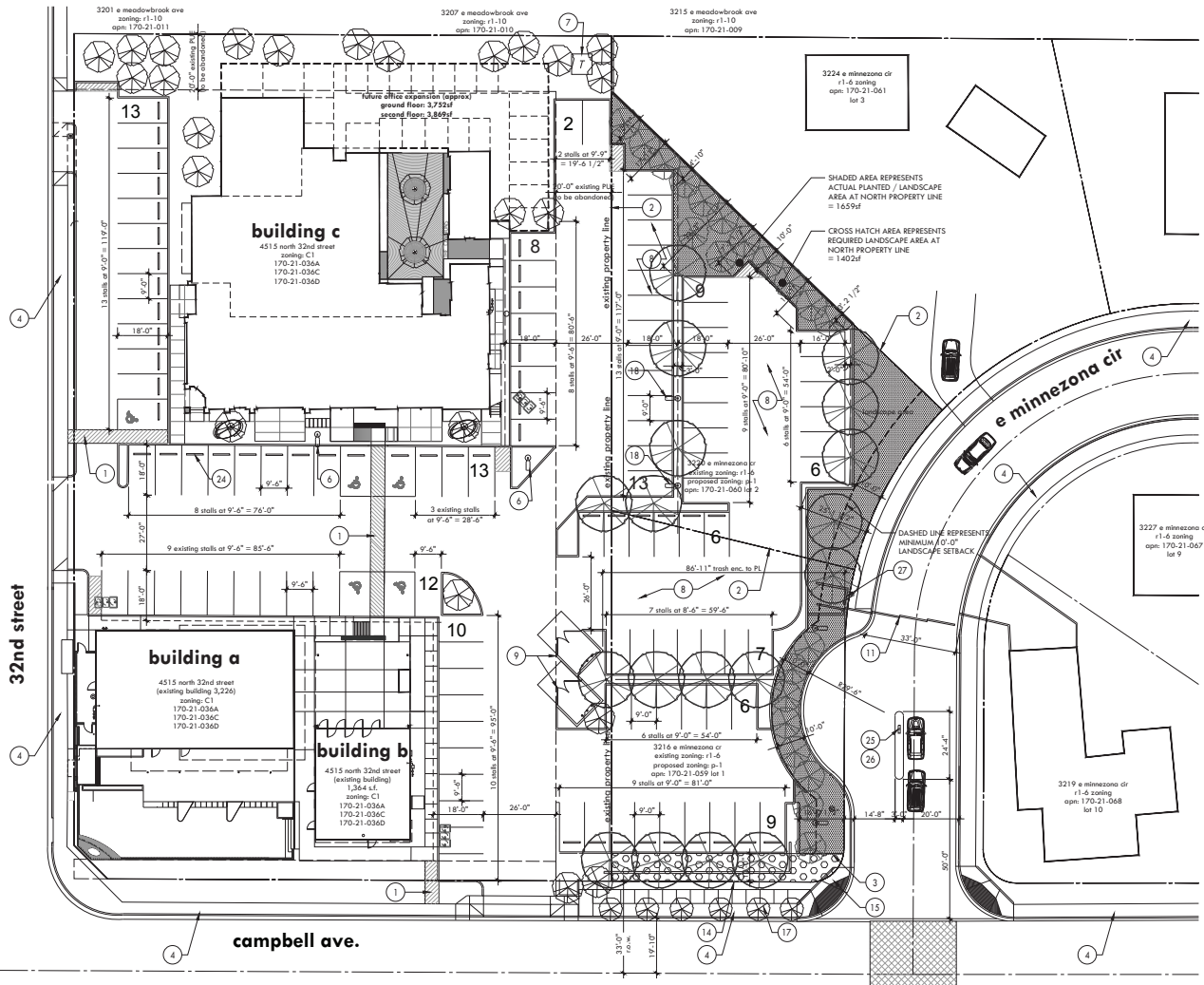
- general notes**
- development and use of this site will conform with all applicable codes and ordinances.
 - this project is located in the city of phoenix water service area and has been designated as having an assumed water supply
 - all new or relocated utilities will be placed underground
 - all signage requires separate approvals and permits
 - any lighting will be placed so as to direct light away from the adjoining residential district and will not exceed one foot candle at the property line, no noise, odor or vibration will be emitted so that it exceeds the general level of noise, odor or vibration emitted by uses outside of the site.
 - owners of property adjacent to public right-of-way will have the responsibility for maintaining all landscaping within the right-of-way in accordance with approved plans.
 - all service areas shall be screened to conceal trash containers, loading docks, transformers, backflow preventers and other mechanical or electrical equipment from eye level adjacent to all public streets.

- keynotes**
- accessible path of travel to public way
 - existing property line show dashed
 - existing hydrant access within 600' of parking lot.
 - existing vertical curb, gutter and sidewalk
 - existing trash enclosure
 - existing site lighting fixture
 - relocated transformer on 6' concrete pad
 - new paved parking and drives
 - new trash enclosure
 - new 72" tall masonry sheetrock, sand blast finish
 - new landscaping ground entry
 - new 54" tall masonry sheetrock, sand blast finish
 - new 48" tall masonry sheetrock, sand blast finish
 - new 36" tall masonry sheetrock, sand blast finish
 - new vertical curb, gutter and sidewalk
 - new 4" vertical concrete curb
 - new tree
 - new site lighting fixture
 - new open steel fencing
 - new gate column
 - new egress only gates, to be equipped with pre-emption device
 - new resident/pedestrian egress gate
 - existing fire riser and/or standpipe
 - existing concrete wheel stop
 - city of phoenix approved knob-box
 - vehicular access gate
 - fence closure panel

- parking information**
- parking provided on this parcel will support parking requirements for adjacent C-1 parcel.
- building c:**
 office (1st + 2nd flr): 17,335sf / 300 = 58 spaces @ 9'-0"x18'
 retail: 2,221.5sf / 300 = 8 spaces @ 9'-0"x18'
 service/utility: 1,450sf / 0 = 0 spaces
 total required: 66 spaces
- building a + b:**
 dining: 1,450sf / 50 = 29 spaces @ 9'-6"x18'
 retail: 550sf / 300 = 2 spaces @ 9'-6"x18'
 service/utility: 2,361sf / 0 = 0 spaces
 total required: 31 spaces
- total parking required: 97 spaces**
total accessible parking required: 5 spaces
total parking provided with new expansion: 113 spaces
- tree coverage:**
 parking area #1 parcel: 14,985sf
 tree coverage required = 3,746sf
 tree coverage provided = 4,425sf > 3,746 = OK

CITY OF PHOENIX
 JUL 25 2019
 Planning & Development
 Department

KIVA: 18-4111
 SDEX:
 PAPP:



1 site plan - preliminary parking plan
 scale | 1" = 20' 0"