



City of Phoenix
PLANNING AND DEVELOPMENT DEPARTMENT

Staff Report Z-30-19-8
March 26, 2020

Laveen Village Planning Committee April 13, 2020
Meeting Date:
Planning Commission Hearing Date: May 7, 2020
Request From: S-1 (Ranch or Farm Residence District) (4.87 acres)
Request To: C-2 (Intermediate Commercial District) (4.87 acres)
Proposed Use: Commercial
Location: Southwest corner of 43rd Avenue and Baseline Road
Owner: John Silva Farms LTD Partnership
Applicant: Barnett Jacobs Real Estate, LLC
Representative: Steve Bowser, Helix Engineering, LLC
Staff Recommendation: Approval, subject to stipulations

<u>General Plan Conformity</u>			
<u>General Plan Land Use Map Designation</u>		Current: Residential 2 to 3.5 dwelling units per acre Proposed: (GPA-LV-3-19-8) Commercial	
<u>Street Map Classification</u>	43rd Avenue	Arterial	50-foot west half street
	Baseline Road	Major Arterial Scenic Drive	65-foot south half street

CELEBRATE OUR DIVERSE NEIGHBORHOODS CORE VALUE; CERTAINTY & CHARACTER; DESIGN PRINCIPLE: Create new development or redevelopment that is sensitive to the scale and character of the surrounding neighborhoods and incorporates adequate development standards to prevent negative impact(s) on the residential properties.

As stipulated, the proposed development will provide an enhanced building design utilizing stone veneer, incorporating overhangs over building entrances and windows, utilizing pitched roof accents, as well as integrating the drive-through with a canopy that is architecturally consistent with the main building.

CONNECT PEOPLE AND PLACES CORE VALUE; CANALS & TRAILS; DESIGN PRINCIPLE: Provide multi-use trail connections where appropriate.

The proposed development will provide a multi-use trail along Baseline Road, which will help promote the connectivity of the overall trail system in the Laveen Village.

BUILD THE SUSTAINABLE DESERT CITY CORE VALUE; TREES AND SHADE; DESIGN PRINCIPLE: Integrate trees and shade into the design of new development and redevelopment projects throughout Phoenix.

As stipulated, the development will provide minimum two-inch caliper shade trees on both sides of detached sidewalks and a 50-foot landscape setback along Baseline Road to promote a shady, pedestrian-friendly environment and will help reduce the urban heat island effect in this area.

Applicable Plans, Overlays and Initiatives

[Laveen Southwest Growth Study](#) – See Background Item Nos. 3 and 6.

[Complete Streets Guiding Principles](#) – See Background Item No. 7.

[Tree and Shade Master Plan](#) – See Background Item No. 8.

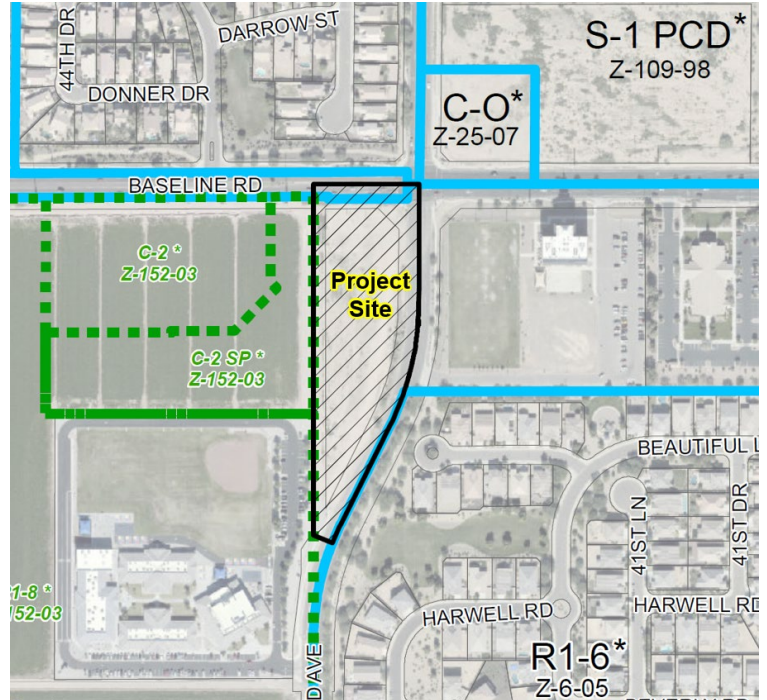
[Reimagine Phoenix](#) – See Background Item No. 9.

Surrounding Land Uses/Zoning		
	<u>Land Use</u>	<u>Zoning</u>
On Site	Vacant lot	S-1
North	Single-family residential	R1-8
South	Single-family residential	R1-6, S-1 (Approved R1-8)
East	School and single-family residential	S-1 and R1-6
West	Agricultural land and school	S-1 (Approved C-2, C-2 SP, and R1-8)

C-2 Intermediate Commercial		
		<i>*if variance required</i>
<u>Standards</u>	<u>Requirements</u>	<u>Proposed Site Plan</u>
Gross Acreage	-	4.87
Building Setbacks		
<i>Adjacent to Streets</i>	Average 25 feet (Minimum 20 feet for up to 50 percent of structure)	Met – 37 feet (43rd Avenue) Met – Approximately 98 feet (Baseline Road)
<i>Interior</i>	<u>West:</u> 0 feet (with approved C-2 zoning on adjacent parcel)	Met – Approximately 120 feet (West)
Landscape Setbacks		
<i>Streetscape</i>	Average 25 feet (Minimum 20 feet for up to 50 percent of frontage)	Met – 25 feet (Baseline Road) <i>However, 50 feet will be required per the Baseline Road Scenic Drive standards</i> Met – 25 feet (43rd Avenue)
<i>Perimeter Property Lines (not adjacent to a street)</i>	West property line: Minimum 10 feet adjacent to S-1 and approved R1-8; 0 feet adjacent to approved C-2	Met – 20 feet (west) Met – 0 feet (south)
Lot Coverage	Maximum 50 percent	Met – 5.8 percent
Building Height	2 stories or 30 feet	Met – 24 feet
Parking	22 spaces required	Met – 38 spaces provided

Background/Issues/Analysis

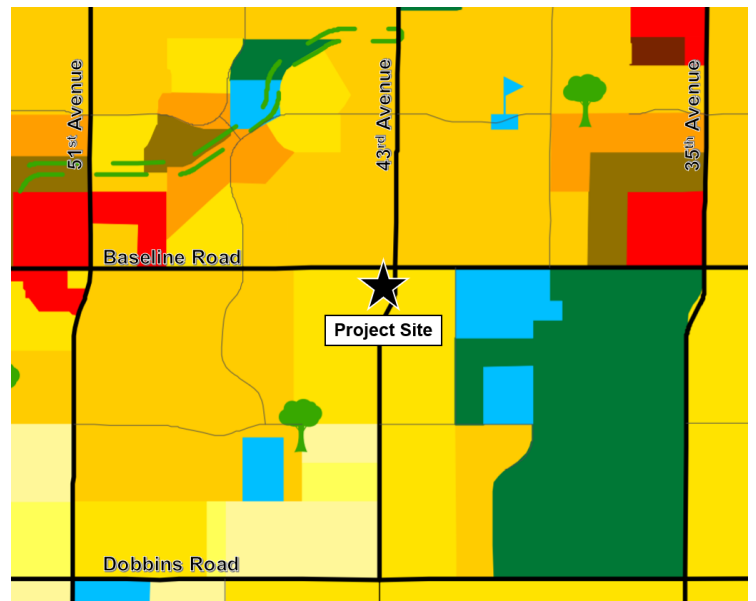
1. This is a request to rezone 4.87 acres located on the southwest corner of 43rd Avenue and Baseline Road from S-1 (Ranch or Farm Residence District) to C-2 (Intermediate Commercial District) to allow commercial uses. Specifically, the applicant seeks to construct a drive-through restaurant on the northern portion of the site, which will be subject to obtaining a use permit through the Zoning Adjustment Hearing Officer public hearing process.



Source: City of Phoenix Planning and Development Department

2. The site has a General Plan Land Use Map designation of Residential 2 to 3.5 dwelling units per acre. The proposed commercial use is not consistent with this designation, and the applicant has initiated a companion General Map Amendment to change the designation to Commercial.

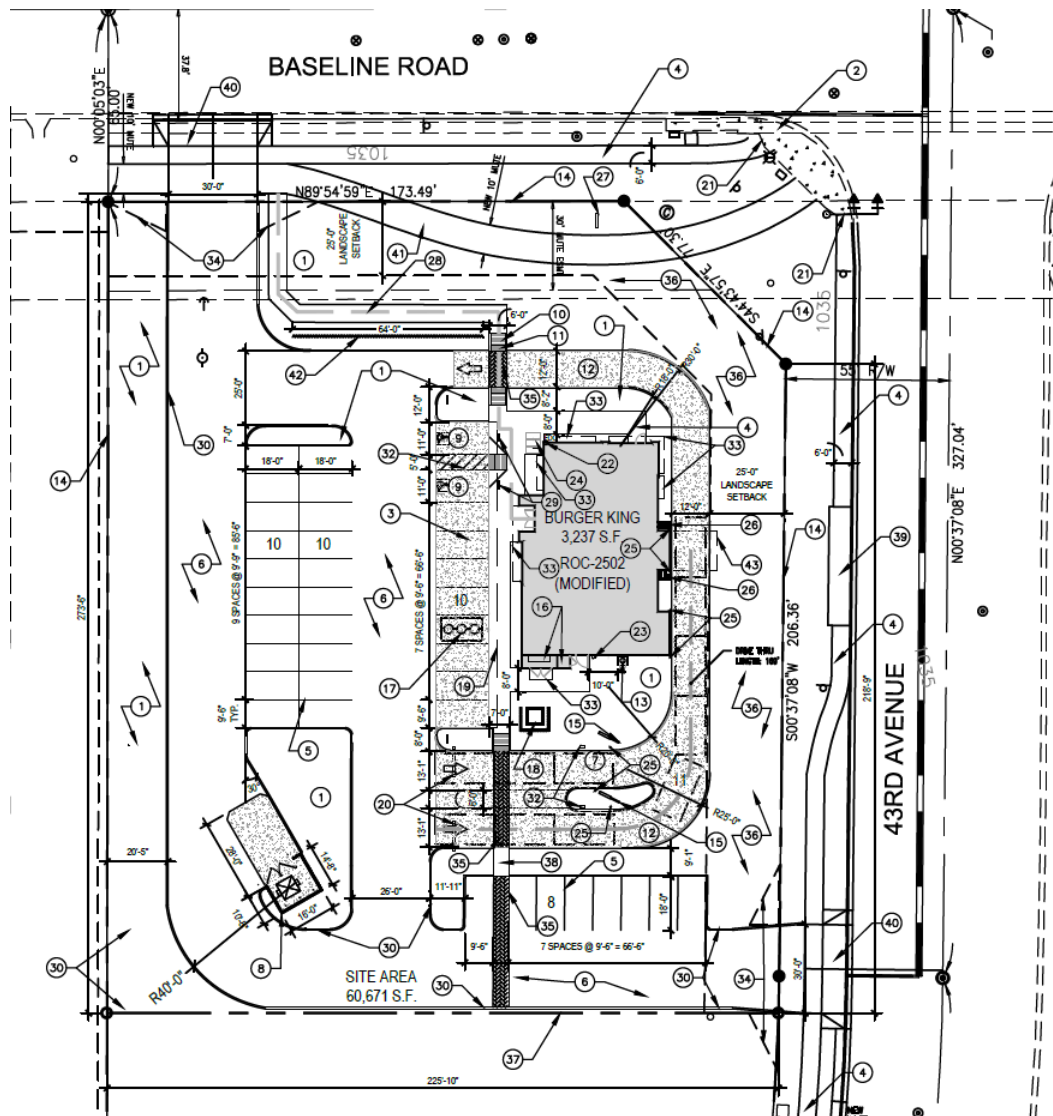
The approximately 11.75-acre parcel adjacent to the west has approved C-2 zoning which is not consistent with the General Plan Land Use Map designation. Taken together, these two parcels require a general plan amendment to amend the Land Use designation to Commercial. Please see the staff report for GPA-LV-3-19-8 for further information.



Source: City of Phoenix Planning and Development Department

3. The site is located within the boundaries of the Laveen Southwest Growth Study, which was adopted in 1998 to analyze the existing conditions of the Laveen Village and provide a land use and design planning recommendations. The study outlines a framework to help shape the growth that Laveen was starting to experience, while accounting for newly-annexed farmland as well as the future development of the South Mountain Freeway Loop, which has since been completed. This study calls for commercial development that incorporates use of deep landscape setbacks between streets, and any buildings or parking, shaded arcades, pitched roofs and a variety of building materials, which will achieve the desired character for Laveen. The site plan and elevations provided incorporate several of these features, as outlined in the background items below.

4. Staff is recommending that the development be in general conformance to the site plan date stamped January 14, 2020, per Stipulation No. 1, which depicts an approximately 3,237-square-foot restaurant building with a drive-through lane that wraps around the south, east, and north sides of the building. This plan depicts pedestrian connections from Baseline Road, through the site, to the building entrance, and to the future development site to the south, a feature which is also addressed in Stipulation No. 10, with the added recommendation that the pedestrian path connect to the bus bay on southbound 43rd Avenue. Further, note no. 36 on the site plan indicates a landscape area which includes a 4-foot-high landscaped mound/berm that will serve to screen the drive-through component of the restaurant, which is addressed in Stipulation No. 8. Finally, to help mitigate the impact of a drive-through facility at this location, the site plan includes a drive-through canopy that is architecturally integrated with the main building, a feature that is recommended in Stipulation No. 4.



Source: One! Architecture

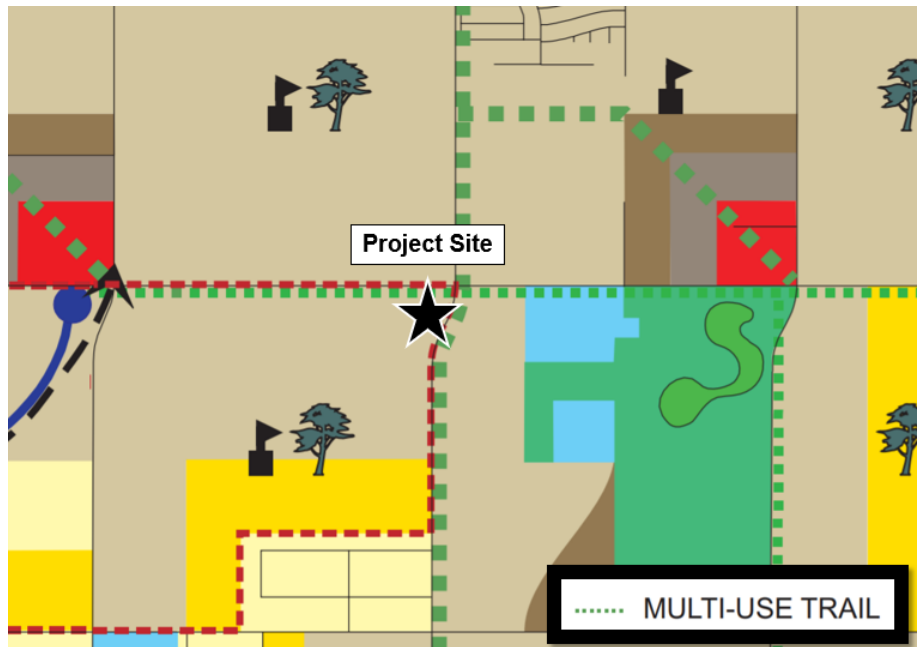
The drive-through restaurant is the first phase of development, while the remaining approximately 80,500 square feet to the south will be developed at a later time. As there are currently no development plans for this southern portion, staff is recommending that a conceptual site plan and elevations be reviewed and approved by the Planning Hearing Officer through the public hearing process to ensure that the community has a chance to review the remainder of the development prior to approval, as well as to ensure consistency with the development to the north. Specifically, the development to the south must be architecturally consistent with the northern parcel, and a pedestrian connection between both portions of the site must be provided. This is addressed in Stipulation No. 3.

- Staff is recommending that the development be in general conformance with the elevations date stamped January 14, 2020, as they incorporate several of the design features that are recommended in the Laveen Southwest Growth Study and pay homage to the rural heritage of the Laveen Village. Specifically, the elevations provided depict the use of river rock stone veneer on all sides of the building, awnings or overhangs over all doors and windows, the use of varied rooflines and pitched roof accents, and an architecturally consistent drive-through canopy. These are addressed in Stipulation No. 2.



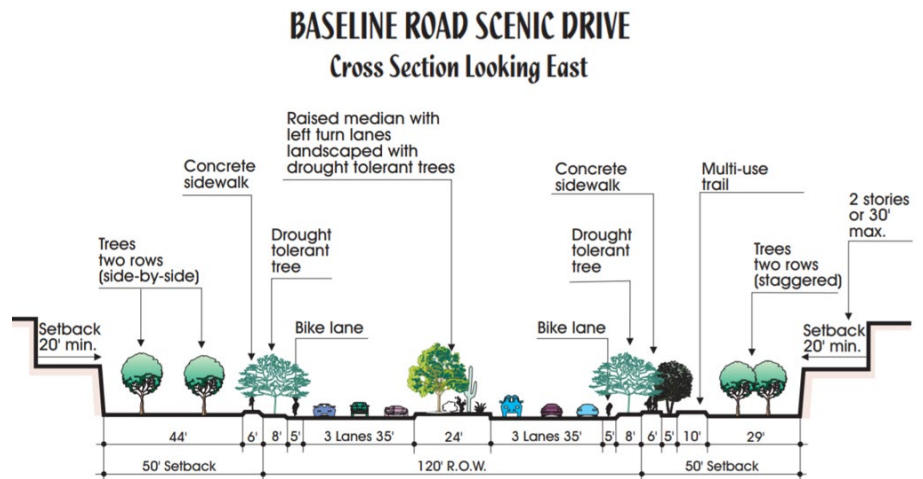
Source: One! Architecture

6. The Laveen Southwest Growth Study provides a framework for an overall multi-use trail system which connects major community assets such as the Laveen Conveyance Channel, public parks and open space areas, and the South Mountain Preserve. This proposed development will provide a multi-use trail along the northern perimeter of the site, bridging the gap between existing trails to the east and west of the site and promoting overall trail connectivity along Baseline Road. This is addressed in Stipulation 13.



Source: City of Phoenix Planning and Development Department

The Laveen Southwest Growth Study also contains recommendations regarding the streetscape treatment of Baseline Road that includes large landscape setbacks, detached sidewalks, multi-use trails and bike lanes. To provide consistency with other developments along Baseline Road, staff is recommending adherence to the Baseline Road Scenic Drive cross section along the northern portion of the site and construction of a multi-use trail along the south side of Baseline Road, per Stipulation Nos. 7 and 13.



Source: City of Phoenix Planning and Development Department

7. In 2014, the City of Phoenix City Council adopted the Complete Streets Guiding Principles. The principles are intended to promote improvements that provide an accessible, safe, connected transportation system to include all modes, such as

bicycles, pedestrians, transit, and vehicles. To support these principles related to pedestrian connectivity and safety, staff is recommending that the development provide a minimum of four inverted U-bicycle racks, artistic style rack, or outdoor/covered facilities for bicyclists, located near building entrances so that users are able to easily park their bicycles to visit the commercial establishment on the site. This is addressed in Stipulation No. 9. To further promote an environment that is safe for pedestrians, staff is recommending that all pedestrian pathways be constructed with decorative pavers or other alternative materials, so that these are clearly distinguishable from vehicular travel lanes, per Stipulation No. 10.

8. The Tree and Shade Master Plan has a goal of treating the urban forest as infrastructure to ensure that trees are an integral part of the city's planning and development process. By investing in trees and the urban forest, the city can reduce its carbon footprint, decrease energy costs, reduce storm water runoff, increase biodiversity, address the urban heat island effect, clean the air, and increase property values. In addition, trees can help to create walkable streets and vibrant pedestrian places. To support the City's urban forestry efforts, staff is recommending that the landscape areas between the detached sidewalks and back of curb be planted with minimum 3-inch caliper large canopy, single-trunk trees at minimum 20-feet on center to provide pedestrians with a shaded environment. This is addressed in Stipulation No. 6. Further, the landscape setback along Baseline Road will measure a minimum of 50 feet to comply with the Baseline Road Scenic Drive standards within the Laveen Southwest Growth Study, per Stipulation No. 7. Staff is recommending that this and all other landscape setbacks be planted with minimum 50 percent 2-inch caliper and minimum 50 percent 3-inch caliper shade trees, planted 20 feet on center and positioned to shade multi-use trails where present, which will further promote shade and create a pleasant multimodal thoroughfare for users of the trail. This is addressed in Stipulation No. 5.
9. As part of the Reimagine Phoenix initiative, the City of Phoenix is committed to increasing the waste diversion rate to 40 percent by 2020 and to better manage its solid waste resources. The applicant does not have a recycling plan in place and has not addressed how they will be managing their waste, other than standard landfilling.

COMMUNITY INPUT SUMMARY

10. At the time this staff report was written, staff had not received any letters or comments from the community.

INTERDEPARTMENTAL COMMENTS

11. The Aviation Department has determined that the subject site is within the Phoenix Sky Harbor International Airport (PHX) traffic pattern airspace and has required that the developer record a Notice to Prospective Purchasers of Proximity to Airport in order to disclose the existence and operational characteristics of the airports to future owners or tenants of the property. This is addressed in Stipulation No. 11.

12. The Public Transit Department has required dedication of right-of-way and construction of one bus stop pad along southbound 43rd Avenue south of Baseline Road. The bus stop pad shall be constructed according to City of Phoenix Standard Detail P1260. The bus stop pad shall be spaced from the intersection of 43rd Avenue and Baseline Road as per City of Phoenix Standard Detail P1258. This is addressed in Stipulation No. 12.
13. The Parks and Recreation Department has required a that a 30-foot-wide Multi-Use Trail Easement be dedicated along Baseline Road and a 10-foot-wide Multi-Use Trail be constructed within that easement. This is addressed in Stipulation No. 13.
14. The Street Transportation Department has required that the developer construct half-street improvements for the west half of 43rd Avenue for the full length of the parcel, including detached sidewalks, as well as the sidewalk and landscaping for the full frontage of Baseline Road. The Street Transportation Department has required that all street improvements comply with all ADA accessibility standards. These are addressed in Stipulations No. 14, 15 and 16.
15. The site has not been identified as being archaeologically sensitive. However, in the event archaeological materials are encountered during construction, all ground disturbing activities must cease within 33 feet of the discovery and the City of Phoenix Archaeology Office must be notified immediately and allowed time to properly assess the materials. This is addressed in Stipulation No. 17.
16. The City of Phoenix Floodplain Management division of the Public Works Department has determined that this parcel is not in a Special Flood Hazard Area (SFHA), but it is located in a Shaded Zone X, on panel 2195 L of the Flood Insurance Rate Maps (FIRM) dated February 10, 2017.

OTHER

17. Development and use of the site is subject to all applicable codes and ordinances. Zoning approval does not negate other ordinance requirements. Other formal actions such as, but not limited to, zoning adjustments and abandonments, may be required

Findings

1. As stipulated, the proposed development is consistent with the design guidelines of the Laveen Southwest Growth Study.
2. The proposed development is appropriately located at the intersection of a major arterial scenic drive and an arterial street.
3. As stipulated, the proposed development will provide robust landscaping and detached sidewalks along its perimeter and will add to the value of the Baseline Road Scenic Drive on the north portion of the parcel.

Stipulations

1. The north portion of the development shall be in general conformance with the site plan date stamped January 14, 2020, as modified by the following stipulations and approved by the Planning and Development Department.
2. The north portion of the development shall be in general conformance with the elevations date stamped January 14, 2020, with specific regard to the following design features and as approved by the Planning and Development Department.
 - a. Building materials of river rock stone veneer, wood (when shaded by overhangs or deep recesses), slump block, ceramic tile (matte finish), stucco, exposed aggregate concrete shall be used on buildings.
 - b. Use of overhangs over building entrances and windows to promote shade.
 - c. Pitched roof accents to break up building mass.
3. Conceptual site plan and elevations for the southern portion of the site shall be reviewed and approved by the Planning Hearing Officer through the public hearing process for stipulation modification prior to preliminary site plan approval with specific regard to the inclusion of the below elements. This is a legislative review for conceptual purposes only. Specific development standards and requirements will be determined by the Planning Hearing Officer and the Planning and Development Department.
 - a. The development shall be architecturally consistent with the north parcel.
 - b. A pedestrian connection from the north to the south portion of the site shall be provided.
4. Any drive-through restaurant pick-up windows shall be architecturally integrated in proportion, color, material and texture to the building it serves by providing awnings or architecturally integrated structures for weather protection, as approved by the Planning and Development Department.
5. All required landscape setbacks along the perimeter of the site shall include minimum 50 percent 3-inch caliper trees and minimum 50 percent 4-inch caliper or multi-trunk trees, planted 20 feet on center, or in equivalent groupings, and positioned to shade the multi-use trail (MUT) where present, as approved by the Planning and Development Department.
6. All sidewalks shall be detached with a minimum 5-foot-wide landscape area located between the sidewalk and back of curb and planted to the following standards, as approved by the Planning and Development Department.

- a. Minimum 3-inch caliper large canopy, single-trunk, shade trees placed a minimum of 25 feet on center or in equivalent groupings to provide a minimum of 75 percent shade on adjacent sidewalks.
 - b. Drought tolerant shrubs and vegetative groundcovers with a maximum mature height of 24 inches to provide a minimum of 75 percent live coverage at maturity.
7. Baseline Road shall be improved per the cross-section standards for the Baseline Road Scenic Drive as depicted in the Laveen Southwest Growth Study, including a 50-foot landscaped setback. The developer shall be responsible for any of said improvements, as approved by the Planning and Development Department.
8. Any drive-through restaurants with the drive-through facing a public street shall be screened by a minimum 4-foot landscaped mound/berm along the perimeter street, as approved by the Planning and Development Department.
9. The developer shall provide a minimum of four inverted U-bicycle racks, artistic style rack (in adherence to the City of Phoenix Preferred Designs in Appendix K or the Comprehensive Bicycle Master Plan) or "Outdoor/Covered Facilities" for guests and employees. These facilities shall be located near building entrances, installed per the requirements of Section 1307.H of the Zoning Ordinance, and approved by the Planning and Development Department.
10. The developer shall provide a system of clearly defined, accessible pathways constructed of decorative pavers, stamped or colored concrete, or other pavement treatments that visually contrast with the adjacent parking and drive aisle surfaces; and which provide direct connections between the following site elements: all building entrances and exits; bus stop; to the future development to the south; and where pedestrian paths cross drive aisles. The above conditions shall be approved by the Planning and Development Department.
11. The developer shall record a Notice to Prospective Purchasers of Proximity to Airport in order to disclose the existence and operational characteristics of Phoenix Sky Harbor International Airport (PHX) to future owners or tenants of the property.
12. The developer shall dedicate the right-of-way and construct a bus bay (detail #P1260) along southbound 43rd Avenue south of Baseline Road, as approved by the Planning and Development Department.
13. A minimum 10-foot public multi-use trail shall be constructed within a 30-foot easement in accordance with MAG supplemental detail 429 along Baseline Road, as approved by the Parks and Recreation Department.

14. The developer shall construct half-street improvements for the west half of 43rd Avenue for the full length of the parcel consistent with cross-section 'D' (including detached sidewalks) of the Street Classification Map, as approved by the Planning and Development Department.
15. The developer shall construct the sidewalk and landscaping for the full width frontage of Baseline Road, as approved by the Planning and Development Department.
16. The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals, as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.
17. In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground-disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.

Writer

Sofia Mastikhina

March 26, 2020

Team Leader

Samantha Keating

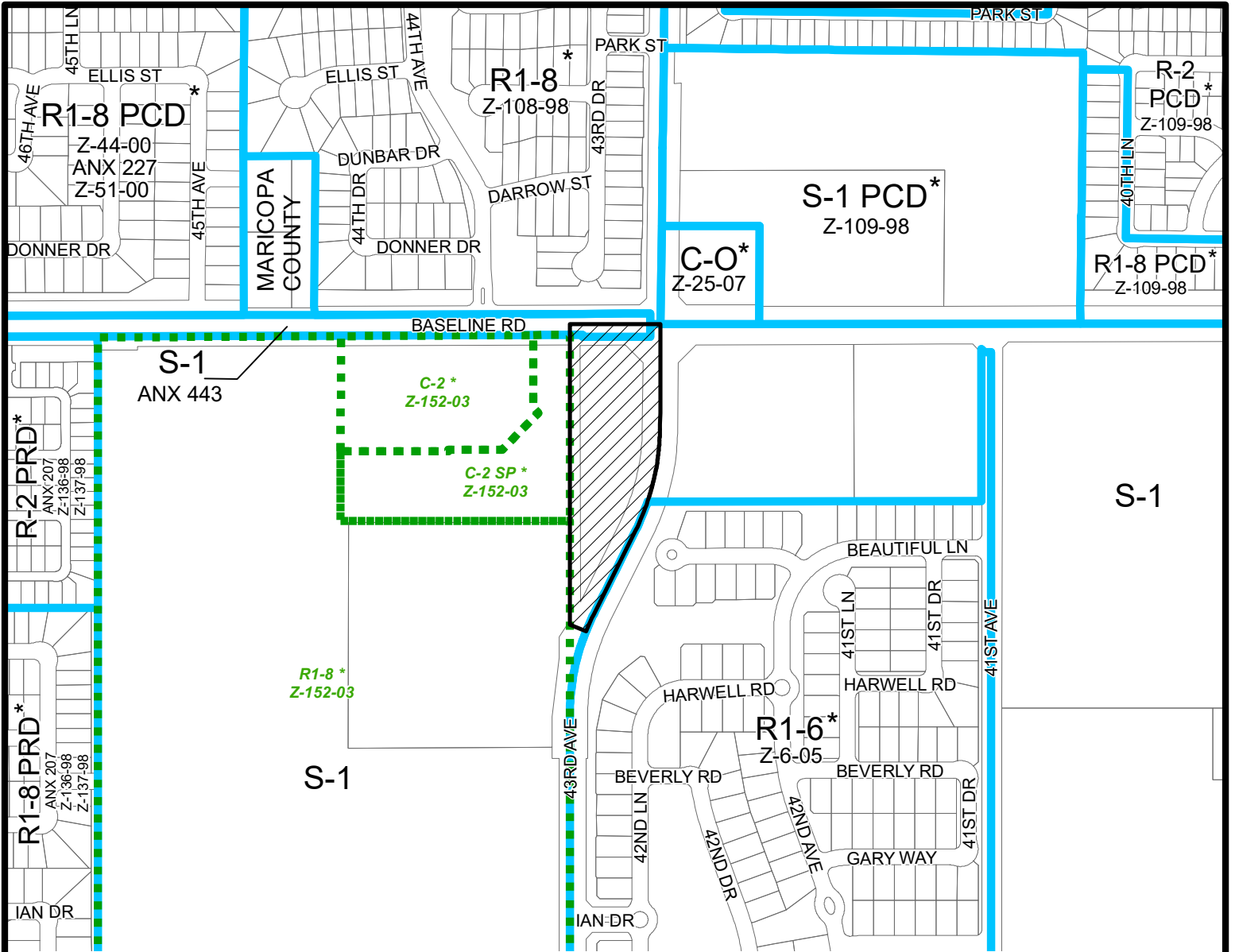
Exhibits

Sketch Map

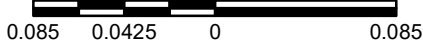
Aerial

Site plan date stamped January 14, 2020

Elevations date stamped January 14, 2020 (2 pages)



Miles

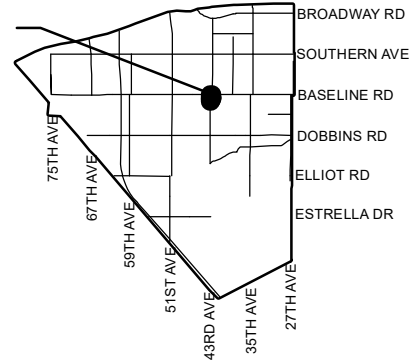


LAVEEN VILLAGE

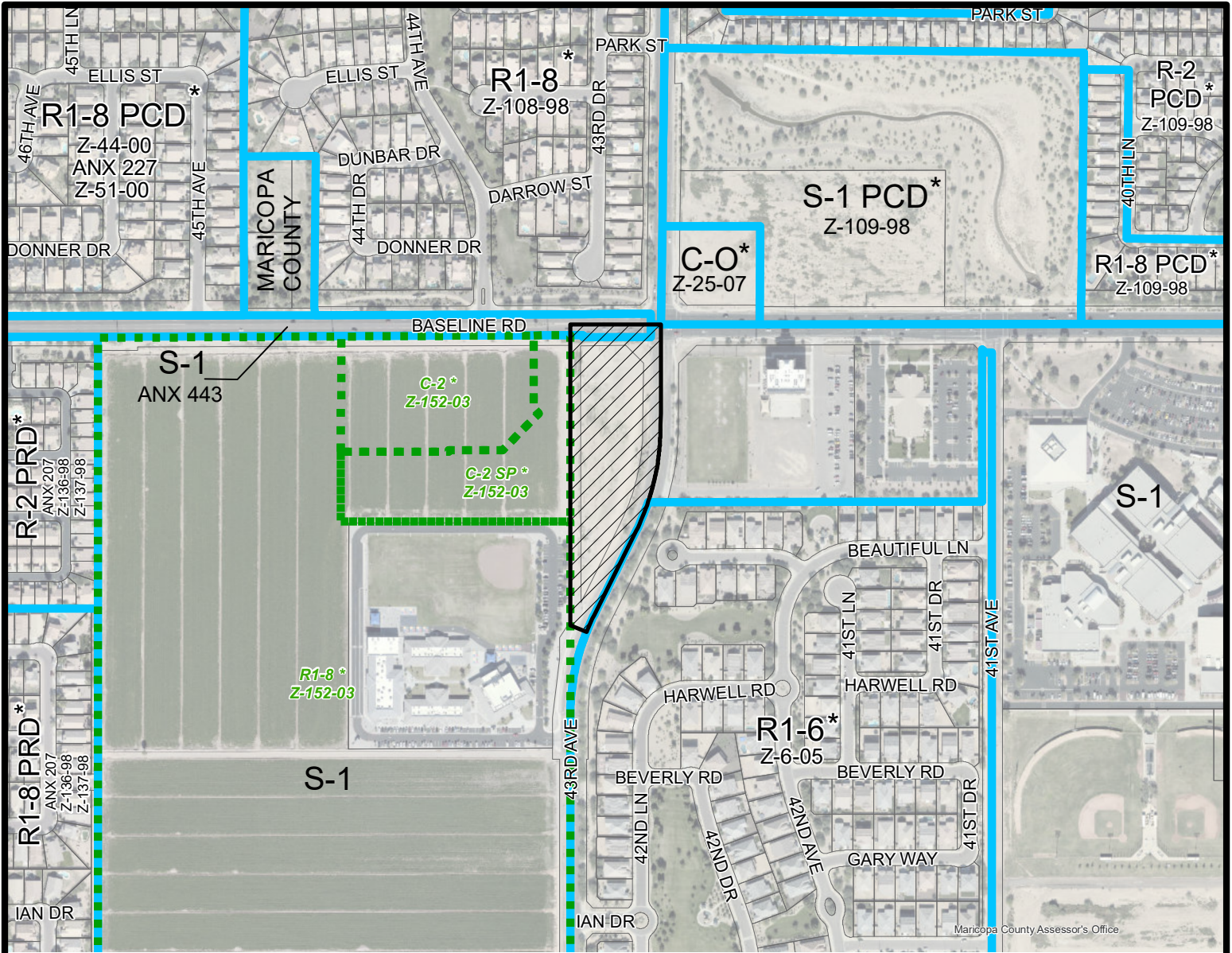
CITY COUNCIL DISTRICT: 8



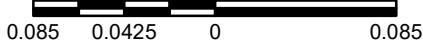
Z-30-19



APPLICANT'S NAME: Barnett Jacobs Real Estate, LLC		REQUESTED CHANGE:	
APPLICATION NO. Z-30-19		FROM: S-1 (4.87 a.c.)	
DATE: 7/5/2019 <small>REVISION DATES:</small>		TO: C-2 (4.87 a.c.)	
<small>GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX.</small> 4.87 Acres		<small>AERIAL PHOTO & QUARTER SEC. NO.</small> QS 01-19	<small>ZONING MAP</small> D-6
MULTIPLES PERMITTED		* UNITS P.R.D. OPTION	
S-1		N/A	
C-2		84	
* Maximum Units Allowed with P.R.D. Bonus			



Miles

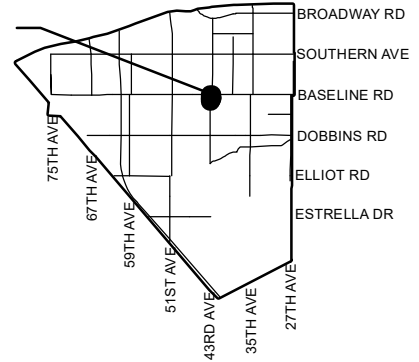


LAVEEN VILLAGE

CITY COUNCIL DISTRICT: 8



Z-30-19



APPLICANT'S NAME: **Barnett Jacobs Real Estate, LLC**

REQUESTED CHANGE:

FROM: **S-1 (4.87 a.c.)**

APPLICATION NO. **Z-30-19**

DATE: **7/5/2019**
REVISION DATES:

GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX.

4.87 Acres

AERIAL PHOTO & QUARTER SEC. NO.
QS 01-19

ZONING MAP
D-6

TO: **C-2 (4.87 a.c.)**

MULTIPLES PERMITTED

S-1

C-2

CONVENTIONAL OPTION

4

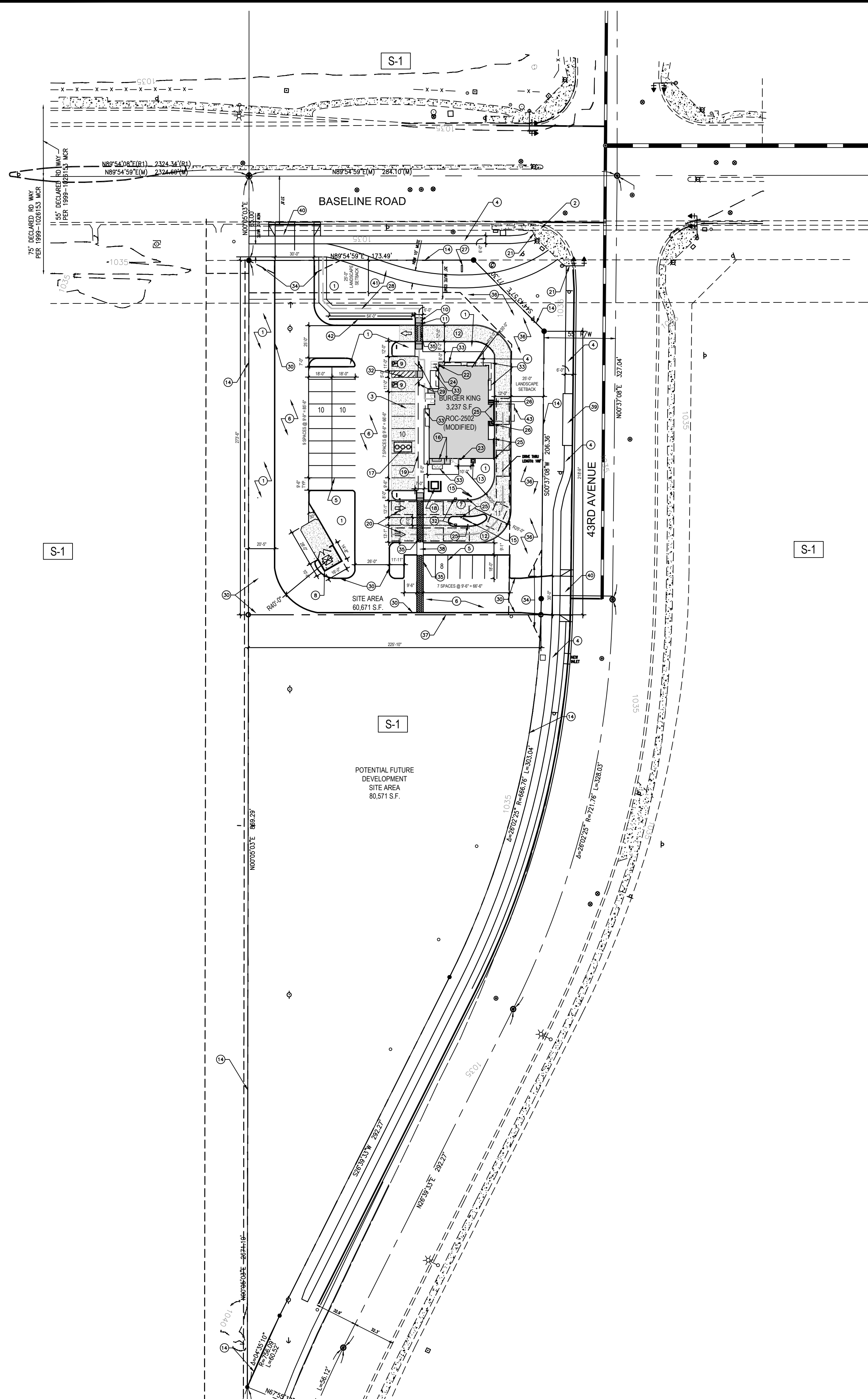
70

*** UNITS P.R.D. OPTION**

N/A

84

* Maximum Units Allowed with P.R.D. Bonus



PROPOSED SITE PLAN
1" = 50'

General Notes

- A. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
- B. ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
- C. STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURED BACK 10' FROM THE PROPERTY LINE AND 20' ALONG THE PROPERTY LINE ON EACH SIDE OF THE DRIVEWAYS ENTRANCES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'-0".
- D. STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURING 33' X 33' ALONG THE PROPERTY LINES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'-0".
- E. ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ONE FOOT CANDLE AT THE PROPERTY LINE, NO NOISE, ODOR, OR VIBRATION WILL BE EMITTED BY USES IN THE AREA OUTSIDE OF THE SITE.
- F. OWNERS OF PROPERTY ADJACENT TO PUBLIC RIGHTS-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING LOCATED WITHIN THE RIGHTS-OF-WAY, IN ACCORDANCE WITH APPROVED PLANS.
- G. ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT.
- H. ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTERS AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
- I. BARBED, RAZOR, OR CONCERTINA WIRE (OR SIMILAR) SHALL NOT BE USED ON THIS SITE WHERE VISIBLE FROM PUBLIC STREETS OR ADJACENT RESIDENTIAL AREAS.
- J. ALL SIGNAGE REQUIRES SEPARATE REVIEWS, APPROVALS, AND PERMITS. NO SIGNS ARE APPROVED PER THIS PLAN.
- K. REMOVE ALL UNUSED DRIVEWAYS AND REPLACE ANY BROKEN OR OUT-OF-GRADE CURB, GUTTER, AND SIDEWALK ON ALL STREETS.
- L. UPDATE ALL EXISTING OFF-SITE IMPROVEMENTS (SIDEWALKS, CURB RAMPS, AND DRIVEWAYS) TO CURRENT ADA GUIDELINES.
- M. PARKING LOT AND SECURITY LIGHTING SHALL NOT EXCEED A MAXIMUM OF 15' IN HEIGHT INCLUDING LAMP, POLE, AND BASE WITHIN 150' OF RESIDENTIAL DISTRICT.

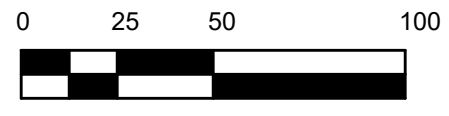
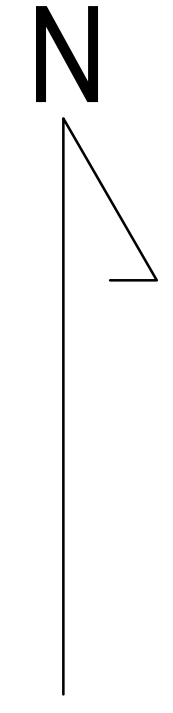
Site Plan Keynotes

1. PROVIDE LANDSCAPE AREA. SEE LANDSCAPE DRAWINGS.
2. EXISTING SIDEWALK TO REMAIN.
3. PROVIDE BLACK CONCRETE PAVING (HATCHED AREA). SEE CIVIL DRAWINGS.
4. PROVIDE CONCRETE SIDEWALK. SEE CIVIL DRAWINGS.
5. PROVIDE PARKING STRIPING PER CITY STANDARDS, TYPICAL.
6. PROVIDE ASPHALT PAVING, SEE CIVIL DRAWINGS.
7. DRIVE-THRU QUEUEING LANE, 169' QUEUEING LENGTH.
8. CMU TRASH ENCLOSURE PER CITY STANDARDS.
9. ACCESSIBLE PARKING PER A.D.A.
10. PROVIDE CONCRETE SIDEWALK RAMP TO MEET ADAAG ACCESSIBLE GUIDELINES.
11. PROVIDE DETECTABLE WARNING STRIPS PER ADAAG 4.29.5. PROVIDE TEK-WAY DOME BRICK RED.
12. PROVIDE BLACK CONCRETE DRIVE-THRU PAVING (HATCHED AREA). SEE CIVIL DRAWINGS. COLOR TO BE SOLOMON ONLYX 920 OR APPROVED EQUAL.
13. CO2 TANK ON 4" SQUARE x 4" THICK CONCRETE PAD. PROVIDE 20 GA. METAL STUD ENCLOSURE WITH ACCESS DOOR AND FILL BOX. ROUTE LINES TO BAG-IN-BOX CARBONATORS. PROVIDE WARNING STICKERS AS REQUIRED.
14. PROPERTY LINE.
15. PROVIDE MENU/ORDER BOARD. SIGNAGE UNDER SEPARATE PERMIT.
16. EXTERIOR SERVICE ENTRANCE SECTION (SES) AND FIRE RISER ROOM.
17. PROVIDE UNDERGROUND GREASE INTERCEPTOR. PROVIDE EXPANSION JOINTS BETWEEN COVERS AND WHERE NECESSARY TO PREVENT CRACKING. SEE CIVIL AND PLUMBING DRAWINGS.
18. PROPOSED TRANSFORMER LOCATION. G.C. TO COORDINATE WITH DEVELOPER AND POWER COMPANY. PROVIDE CONCRETE PAD. PROVIDE 3'-0" HIGH SPLIT FACE CMU SCREEN WALL AROUND 3 SIDES AS SHOWN. PAINT TO MATCH 'GRANITE'.
19. 2'-0" PARKING OVERHANG.
20. MAXIMUM HEIGHT CLEARANCE BAR, UNDER SEPARATE PERMIT. CONTRACTOR TO PROVIDE ELECTRICAL.
21. CONNECT TO EXISTING SIDEWALK. VERIFY EXACT LOCATION AND EXISTING CONDITIONS.
22. PROVIDE FIRE DEPARTMENT CONNECTION (FDC) LOCATED WITHIN 200' OF FIRE HYDRANT WITH I.D. SIGNAGE. FDC SHALL BE LOCATED AND ARRANGED SO THAT THE HOSE CAN BE READILY ATTACHED. LANDSCAPING WILL BE MAINTAINED TO PROVIDE VIABILITY AND HAVE AN UNOBSTRUCTED ACCESS. SEE CIVIL DRAWINGS.
23. PROPOSED GAS METER LOCATION. G.C. TO COORDINATE INSTALLATION WITH GAS COMPANY.
24. BIKE RACK, PER CITY STANDARDS. 3 SPACES PROVIDED.
25. PROVIDE 6"Ø CONCRETE FILLED PIPE BOLLARD.
26. PROVIDE ROOF DRAIN CONCRETE DRAINAGE SWALE.
27. PROPOSED MONUMENT SIGN LOCATION.
28. ACCESSIBLE ROUTE TO PUBLIC WAY PER CITY AND ADAAG STANDARDS.
29. PROVIDE ACCESSIBLE PARKING SIGN.
30. PROVIDE 6" CONCRETE CURB, TYPICAL. SEE CIVIL DRAWINGS.
31. DRIVE-THRU SPEAKER POST.
32. ACCESSIBLE PAINTED ROUTE STRIPING PER CITY STANDARDS.
33. LINE OF CANOPY OVERHANG, TYPICAL.
34. 10' X 20' SITE VISIBILITY TRIANGLE.
35. STAMPED CONCRETE AT PEDESTRIAN WALK WAY TO CONTRAST IN COLOR. HERRINGBONE PATTERN, COLOR: BURNT SIENNA - SEE ARCHITECTURAL DETAILS.
36. LANDSCAPE SCREENING TO BE 4' HIGH ALONG DRIVE-THRU LANE.
37. PROPOSED BOUNDARY LINE.
38. DEPRESSED SIDEWALK.
39. NEW BUS STOP PAD, TO BE CONSTRUCTED IN ACCORDANCE WITH CITY OF PHOENIX STANDARD DETAILS P1260 AND P1258. SEE CIVIL DRAWINGS.
40. NEW DRIVEWAY, TO BE CONSTRUCTED IN ACCORDANCE WITH CITY OF PHOENIX STANDARD DETAIL P1255-2, 30'-0" WIDE. SEE CIVIL DRAWINGS.
41. MULTI-USE TRAIL (MUT) IN ACCORDANCE WITH SECTION 429 PER CITY OF PHOENIX MAG SUPPLEMENT. MUT SHALL BE A 10'-0" WIDE COMPOSED OF COMPACTED DECOMPOSED GRANITE SURFACE. MUST MEET OR EXCEED ADA REQUIREMENTS AND SHALL BE BARRIER FREE.
42. PROVIDE 3'-0" (MIN.) HIGH SCREEN WALL. WALL TO BE 8" SPLIT FACE CMU W/ STONE CAP. PAINT TO MATCH 'GRANITE'.
43. DASHED LINE INDICATES COVERED DRIVE THRU CANOPY. SEE EXTERIOR ELEVATIONS, SHEETS A4.1 & A4.2.

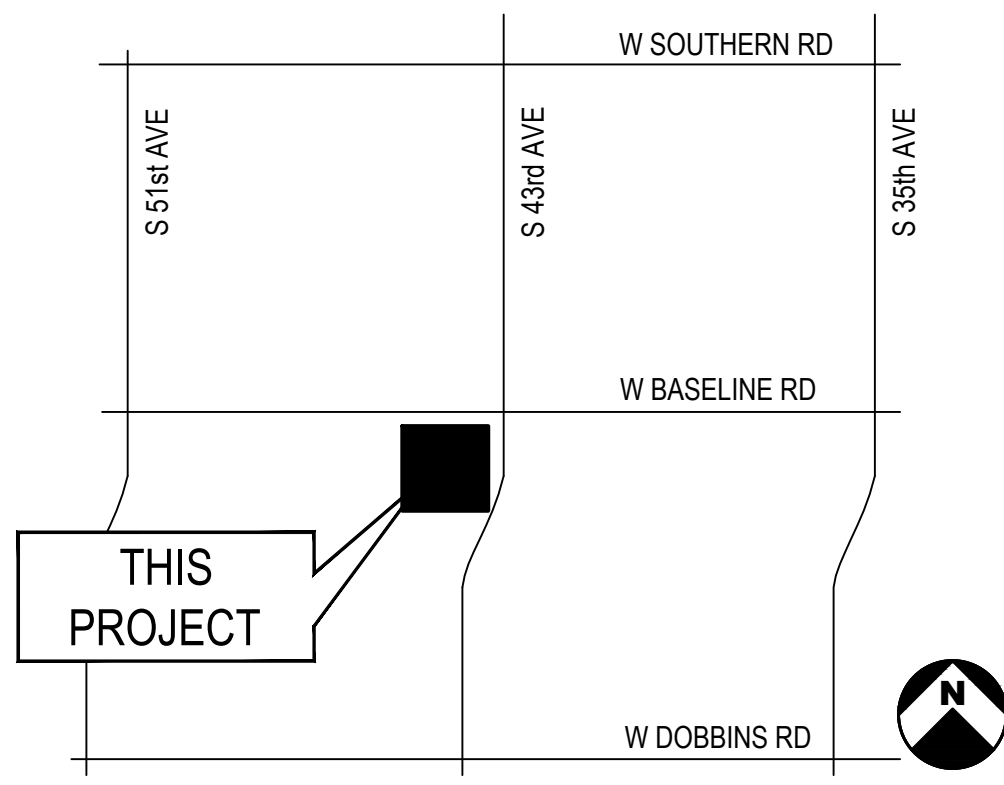
CITY OF PHOENIX

JAN 14 2020

Planning & Development
Department



Vicinity Map



Burger King

4305 W. BASELINE ROAD, PHOENIX, AZ 85339

Owner

BARNETT MANAGEMENT COMPANY
CONTACT: BRAD FLAHIFF
650 N. 99TH AVE. SUITE #108
AVONDALE, AZ 85323
PHONE: 602-577-9492
EMAIL: brad@barnettmgt.com

Architect

ONE ARCHITECTURE, PLLC
CONTACT: NATHAN BISCH
8801 N. CENTRAL AVENUE SUITE #101
PHOENIX, AZ 85020
PHONE: 602-266-1688
EMAIL: nathan.bisch@onearchitecture.us

About this project...

THIS PROJECT IS FOR A NEW 3,237 S.F. BURGER KING RESTAURANT. THE NEW BUILDING WILL INCLUDE A DRIVE THRU WITH A DOUBLE ORDER LANE AT THE BEGINNING.

City of Phoenix Construction Codes

THIS PROJECT SHALL ADHERE TO THE FOLLOWING CODES:

- 2018 INTERNATIONAL BUILDING CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL PLUMBING CODE
- 2018 INTERNATIONAL FUEL GAS CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE
- 2017 NATIONAL ELECTRIC CODE

Legal Description

THAT PORTION OF LOT 4 OF NORTHWEST QUARTER OF NORTHWEST QUARTER, SECTION 3, TOWNSHIP 1 SOUTH, RANGE 2 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA LYING WESTERLY OF WESTERLY RIGHT OF WAY LINE OF ROAD DESCRIBED IN DOCUMENT NUMBER 2001-0149020 OF OFFICIAL RECORDS;

EXCEPT WEST 33 FEET AND NORTH 65 FEET THEREOF.

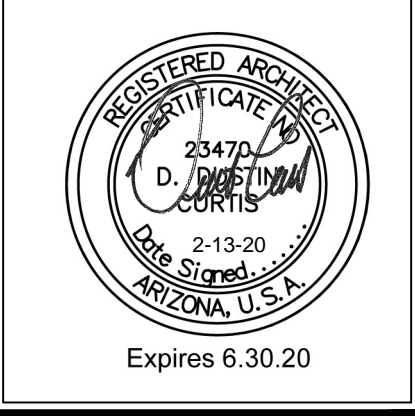
Project Information

ADDRESS:	4305 W. BASELINE RD, PHOENIX, AZ 85027	
PARCEL:	300-13-004G	
EXISTING ZONING:	S-1 - SUBURBAN DISTRICT	
PROPOSED ZONING:	C-2 - INTERMEDIATE COMMERCIAL	
SITE AREA GROSS:	141,242 S.F. (3.242 AC.)	
SITE AREA NET:	113,561 S.F. (2.61 AC.)	
DEVELOPED AREA NET:	60,671 S.F. (1.39 AC.)	
COVERAGE (%):	5.8	
OCCUPANCY TYPE:	A-2 RESTAURANT, NON-SEPARATED	
CONSTRUCTION TYPE:	V-B	
FIRE SPRINKLERS:	YES	
FIRE ALARMS:	YES	
BUILDING GROSS:	3,237 S.F.	
BUILDING NET:	3,004 S.F.	
CANOPY AREA:	482 S.F.	
TOTAL BUILDING AREA:	3,719 S.F.	
ALLOWABLE AREA:	PER IBC TABLE 503 = 6,000 SF/FLOOR	
AREA INCREASES:	NONE REQUIRED	
ALLOWABLE HEIGHT:	30 FEET	
PROPOSED HEIGHT:	24 FEET (1 STORY)	
OCCUPANT LOAD:	83 OCCUPANTS	
NET SQ. FT. =	3,004 S.F.	GROSS SQ. FT. = 3,237 S.F.
DINING:	1106 / 15 N	= 73.7 USE 74
KITCHEN/PREP:	1380 / 200 G	= 6.9 USE 7
OFFICE/CREW:	122 / 100 G	= 1.2 USE 1.5
RESTROOMS/HALL:	326 / 0 G	= 0 USE 0
SES/FIRE RISER:	79 / 300 G	= 0.26 USE 0.5
TOTAL MIXED GROSS & NET S.F.:	3013 S.F.	
(FOR THIS CALCULATION ONLY)		
TOTAL:	82.06 USE 83	
EXITS REQUIRED:	2	
EXITS PROVIDED:	3	

Parking Calculations

FOR THIS PROJECT:		
PARKING REQUIRED:		
RESTAURANT:	1106 / 50	= 22.1 USE 22
TOTAL:	22.1 USE 22	
PARKING PROVIDED:		
TOTAL:	38 SPACES	
ACCESSIBLE PARKING REQUIRED:	2 SPACES	
ACCESSIBLE PARKING PROVIDED:	2 SPACES	

KVA: 19-599
Q.S.: 01-19
SDEV: 1900/24
PAPP: 1901406
LSPL:
PROV:



8801 N. Central Ave. Suite 101
Phoenix, Arizona 85020
Phone: 602.266.2712
Fax: 602.266.1688
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Principal:
Dustin Curtis
dustin.curtis@onearchitecture.us
Project Manager:
Nathan Bisch
Nathan.Bisch@onearchitecture.us

Revisions

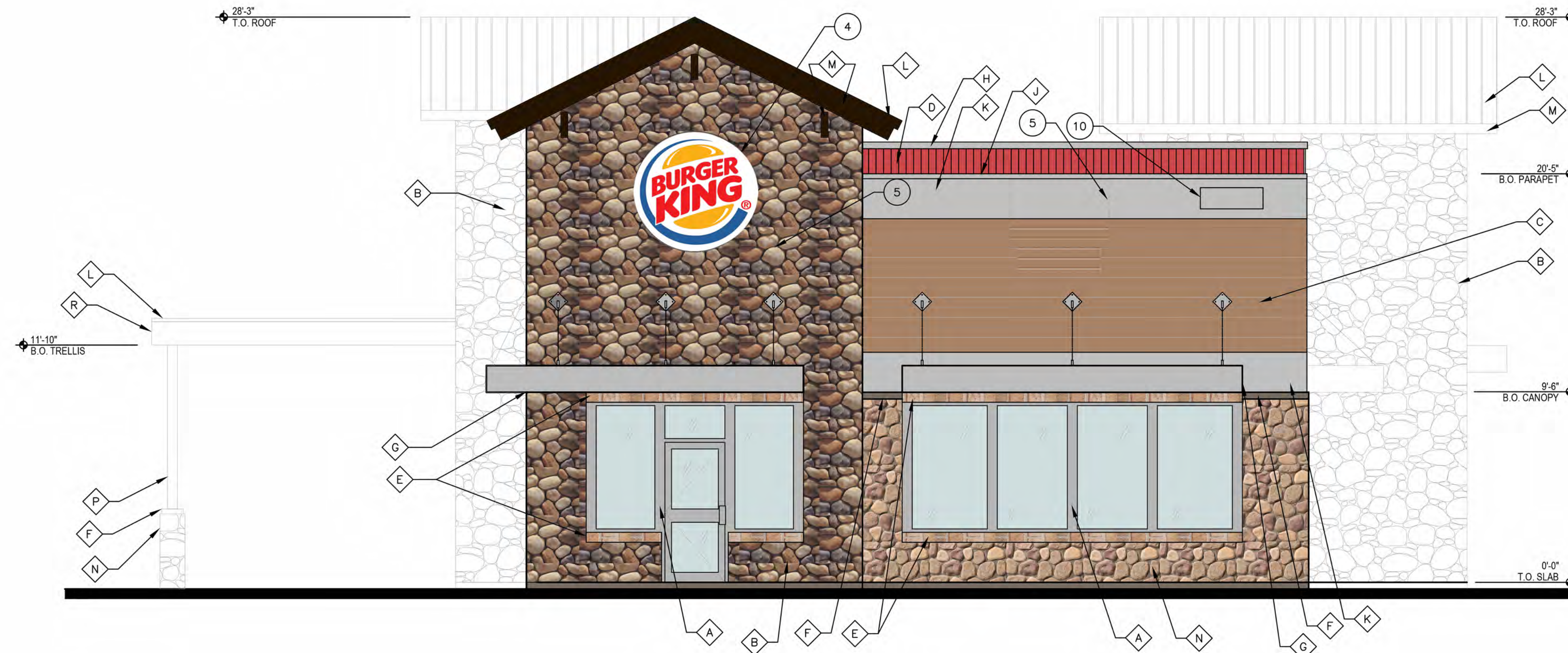


Burger King
4305 W. Baseline Rd.
Phoenix, AZ 85339
6.11.19
AZ-1752

A1.1



1 West Elevation
1/4" = 1'-0"



2 North Elevation
1/4" = 1'-0"

CITY OF PHOENIX

JAN 14 2020

Planning & Development
Department

Finish Legend

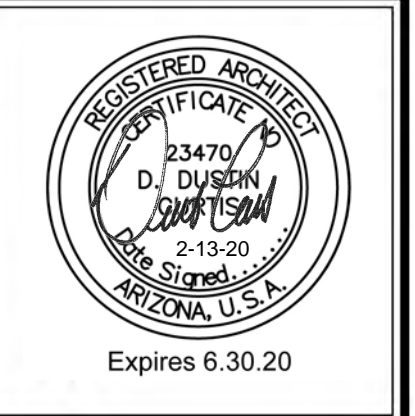
A	ALUMINUM STOREFRONT CLEAR ANODIZED - KAWNEER
B	STONE VENEER: ELDORADO STONE - RIVER ROCK COLOR: COLORADO
C	NICHHA FIBER CEMENT BOARD: VINTAGEWOOD - COLOR: CEDAR EF782
D	PREFABRICATED PARAPET BAND - CORRUGATED METAL PRE-FINISHED LEKTRON (OR APPROVED EQUAL) "AMAZING" 04YR 11/537
E	FACE BRICK SILL / HEADER - BELDEN BRICK COLOR: MOJAVE BLEND
F	STONE ACCENT PAINT: "GRANITE" 1022-6
G	SUSPENDED CANOPY / VALENCE - PREMANUF. ALUMINUM CONST. BY APPROVED SUPPLIER W/ CLEAR ALUMINUM FINISH
H	METAL COPING, TOP OF LIGHT BAND WALL CAP, W.P. HICKMAN SYSTEMS (OR EQ.) PERMA SNAP W/ PAINTED FINISH COLOR "SILVERSMITH"
J	METAL COPING, BOTTOM OF LIGHT BAND, W.P. HICKMAN SYSTEMS (OR EQ.) PERMA SNAP W/ PAINTED FINISH COLOR TO MATCH PPG "SILVERSMITH"
K	METAL ACCENT BAND - FINISH COLOR "SILVERSMITH"
L	STANDING SEAM METAL ROOF: BERRIDGE 24 GAUGE TEE-PANEL COLOR: DARK BRONZE
M	ROOF FASCIA / WOOD BEAMS. PAINT TO MATCH "DARK BRONZE"
N	STONE VENEER: PRO STONE - RIVER ROCK COLOR: SAND BAR
P	6X6 TUBE STEEL. PAINT TO MATCH "GRANITE"
R	CANOPY FASCIA. PAINT TO MATCH "GRANITE"

Keynotes

- NOT ALL KEYNOTES ARE USED ON THIS SHEET.
- SES ROOM.
 - FIRE RISER ROOM.
 - HOLLOW METAL DOOR AND FRAME, PAINT TO MATCH COLOR 'F', GRANITE.
 - SIGNAGE TO BE SURFACE MOUNTED ON STONE TOWERS. SIGNAGE TO BE UNDER SEPARATE PERMIT.
 - DASHED LINED INDICATES LOCATION OF ROOF TOP UNITS.
 - LOCATION OF KNOX BOX 3200 SERIES RECESSED MOUNTED. VERIFY LOCATION WITH CITY FIRE DEPARTMENT REQUIREMENTS AND INSTALL SIGNAGE AS REQUIRED.
 - GAS METER LOCATION.
 - LIGHT FIXTURE, TYPICAL.
 - BACK SIDE OF TOWER, BEYOND.
 - INDICATES ADDRESS NUMBERS LOCATION, HEIGHT AND SIZE. ALL ADDRESS NUMBERS SHALL BE ON CONTRASTING BACKGROUNDS. NUMBERS SHALL BE 12" HIGH MINIMUM PER CITY STANDARDS.
 - MERCHANDISING AREA.

General Notes

- ALL SIGNAGE SHOWN FOR REFERENCE ONLY. SIGNAGE SHALL BE SUBMITTED UNDER SEPARATE REVIEW AND APPROVAL.
- ALL GROUND AND ROOF MOUNTED EQUIPMENT, INCLUDING UTILITIES SHALL BE SCREENED FROM VIEW.
- ALL EIFS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND ICC-ES REPORT #ESR-1232.



ONE!
ARCHITECTURE

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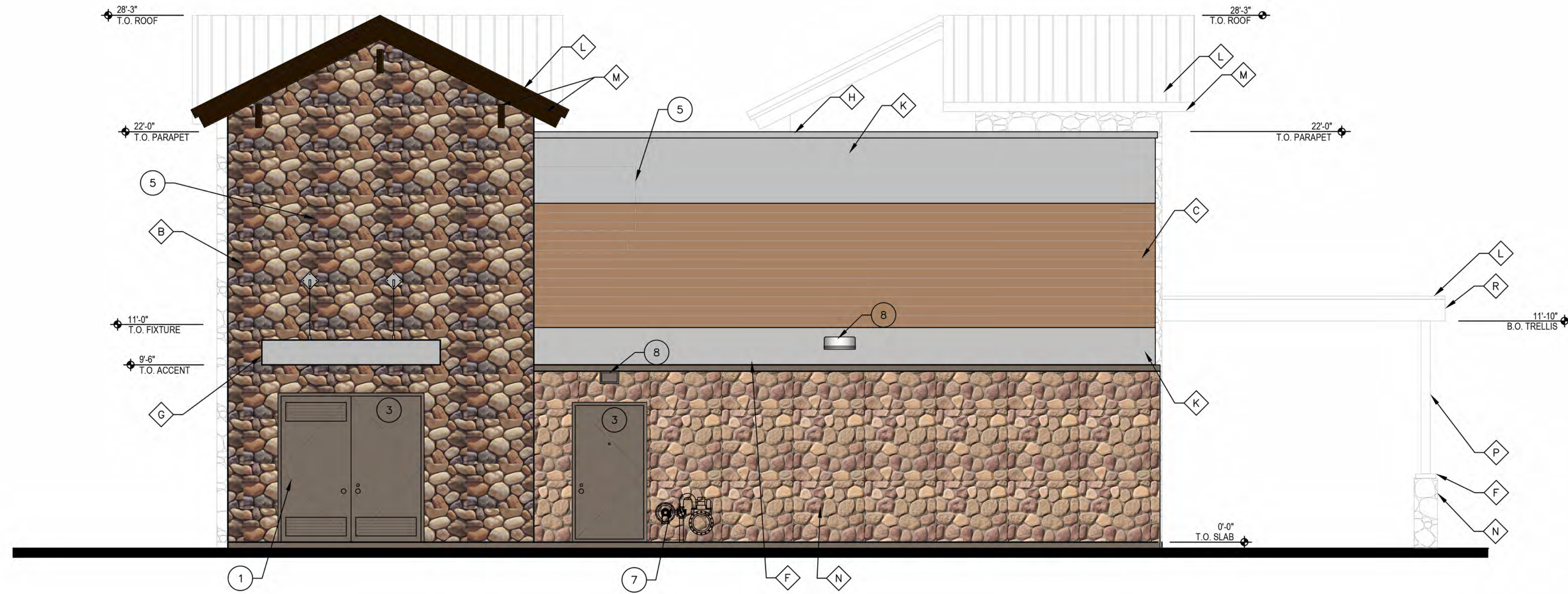
4305 W. Baseline Rd.
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AZ-1752

A4.1

Exterior Elevations



3 South Elevation
1/4" = 1'-0"



4 East Elevation
1/4" = 1'-0"

CITY OF PHOENIX
JAN 14 2020
Planning & Development
Department

Finish Legend

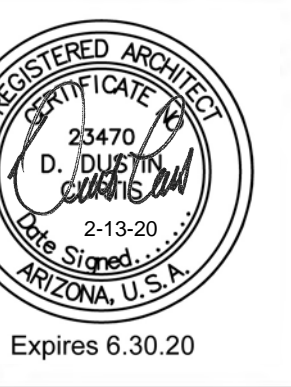
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A4.2

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