



City of Phoenix
PLANNING AND DEVELOPMENT DEPARTMENT

Staff Report Z-33-21-4
September 27, 2021

Encanto [Village Planning Committee](#) Meeting Date: October 4, 2021

[Planning Commission](#) Hearing Date: November 4, 2021

Request From: [P-2 TOD-1](#) (Parking, Interim Transit-Oriented Zoning Overlay One)

Request To: [WU Code T4:2 MT](#) (Walkable Urban Code, Transect 4:2, Transit Midtown Character Area)

Proposed Use: Single-Family Attached

Location: Northeast corner of 1st Avenue and Holly Street

Owner: City of Phoenix

Applicant: Holly 6, LLC

Representative: Studio MA, Inc

Staff Recommendation: Approval, subject to stipulations

General Plan Conformity			
General Plan Land Use Map Designation		Residential 3.5 to 5 dwelling units per acre	
Street Map Classification	Holly Street	Local Street	35 foot north half street
<p><i>CELEBRATE OUR DIVERSE COMMUNITIES AND NEIGHBORHOODS CORE VALUE; HEALTHY NEIGHBORHOODS; DESIGN PRINCIPLE: Establish design standards and guidelines for parking lots and structures, setback and build-to lines, blank wall space, shade, and other elements affecting pedestrians, to encourage pedestrian activity and identify options for providing pedestrian-oriented design in different types of development.</i></p> <p>The development includes design and development standards to encourage walking, bicycling, and transit use. These standards include a shaded streetscape, units fronting onto the public sidewalk, parking situated away from the public street, and on-site amenities.</p>			

CONNECT PEOPLE AND PLACES CORE VALUE; BICYCLES; DESIGN

PRINCIPLE: Development should include convenient bicycle parking.

The development includes bicycle facilities to encourage bicycling and transit use to become a way of life. Features include secure bicycle parking for residents, convenient racks for guests which will complement nearby bikeway improvements including the 3rd and 5th Avenue project.

BUILD THE SUSTAINABLE DESERT CITY CORE VALUE; DESIGN PRINCIPLE:

Integrate trees and shade into the design of new development and redevelopment projects throughout Phoenix.

The development includes robust tree plantings between the back of curb and the building fronts and a detached sidewalk that will be shaded to 75 percent as stipulated. These improvements will serve not only the residents of the development but will also make the walk from the adjacent neighborhood to the light rail and other nearby amenities more comfortable.

CONNECT PEOPLE AND PLACES CORE VALUE; OPPORTUNITY SITES; LAND

USE PRINCIPLE: Promote and encourage compatible development and redevelopment with a mix of housing types in neighborhoods close to employment centers, commercial areas, and where transit or transportation alternatives exist.

The proposal will introduce ownership housing opportunities in Central Phoenix with close access to two light rail stations, a major community park, and the Encanto Village Core. These additional housing opportunities supports goals contained in the Housing Phoenix Plan to preserve and create 50,000 units by 2030.

Applicable Plans, Overlays, and Initiatives

[Transit Oriented Development Strategic Policy Framework](#): Background Item No. 4.

[Midtown Transit Oriented Development Policy Plan](#): Background Item No. 5.

[Tree and Shade Master Plan](#): Background Item No. 9.

[Complete Streets Guidelines](#): Background Item No. 10.

[Housing Phoenix](#): Background Item No. 11.

[Zero Waste PHX](#): Background Item No. 12

Surrounding Land Uses and Zoning		
	<u>Land Use</u>	<u>Zoning</u>
On Site	Vacant Land	P-2 TOD-1
East	Parking Structure	P-2 HRI TOD-1
West	Single-Family Residence	R1-6 HP TOD-1
North	Surface Parking	P-1 HRI TOD-1 P-1 TOD-1
South (across Holly Street)	Parking Structure	P-2 TOD-1

Walkable Urban Code Transect 4:2 MT Single Family Attached Development		
<u>Standards</u>	<u>Requirements</u>	<u>Provisions on the Proposed Site Plan</u>
Gross Acreage	No Minimum	0.71
Total Number of Units	Maximum of 11	6
Density	No Maximum	8.45
Height	3 stories or 40 feet for first 150 feet; 1 foot in 1 foot increase to 48-foot height, 4-story maximum. 15-foot maximum height within ten feet of a single-family zoned district, which height may be increased one foot for each additional one foot of building setback)	2 stories and 25 feet (Met)
Site Standards		
Perimeter Standards		
South (Holly Street)	Minimum 10-foot landscape tract (waived when within 2,000 feet of a light rail station)	10 feet (Met)
Interior (East and North)	Minimum 5-foot landscape setback	12 feet (Met)
Interior (West, Adjacent to Single-Family Zoning)	Minimum 10-foot landscape setback	10 feet (Met)

Maximum Block Length	200-foot maximum	120 feet (Met)
Open Space	Minimum 5 percent	5.8 percent (Met)
Streetscape	5-foot landscape detachment with 5-foot wide sidewalk	5 feet and 5 feet (Met)
Lot Standards		
Minimum Width	20 feet	20 feet (Met)
Alley Access	Within infill development district: alley access allowed	(Met)
Frontage Treatment	Entryway shall be elevated, depressed, or designed to accentuate the primary entrance	Feature to accentuate entrance (Met)
Lot Coverage	100 percent, per Section 615	71 percent (Met)
Parking Requirement	9 covered spaces required	9 garage spaces and 6 on-street guest spaces. (Met)
<i>*Variance or plan revision required</i>		

Background/Issues/Analysis

SUBJECT SITE

1. This request is to rezone 0.71 acres located at the northeast corner of 1st Avenue and Holly Street from P-2 TOD-1 (Parking, Interim Transit-Oriented Zoning Overlay One) to Walkable Urban Code, Transect 4:2 MT (WU Code T4:2, Interim Transit Midtown Character Area) for the purpose of single-family attached development.

SURROUNDING LAND USES AND ZONING

2. The site is vacant and, per historic aerial photographs, has been entirely vacant since at least 1986. The Zoning Sketch Map, included as an exhibit to this report, depicts zoning entitlements for the subject site and the surrounding area.

To the north, east, and south of the subject site are existing parking areas with zoning entitlements that limit the properties exclusively to parking uses. To the west of the subject site is a single-family residence zoned R1-6 HP TOD-1 (Single-Family Residence District, Historic Preservation, Interim Transit-Oriented Zoning Overlay One) located in the Willo Historic District Neighborhood.

GENERAL PLAN LAND USE MAP

3. The General Plan Land Use Map depicts a land use designation of Residential 3.5 to 5.0 dwelling units per acre. The proposed density of 8.45 dwelling units per acre is not consistent with the designation but a General Plan Amendment is not required because the site does not exceed 10 acres.

The subject site is also located within the study areas for the Transit Oriented Strategic Policy Framework and the Midtown Transit Oriented Development Policy Plan areas.

General Plan Land Use Map Excerpt; Source: Planning and Development Department

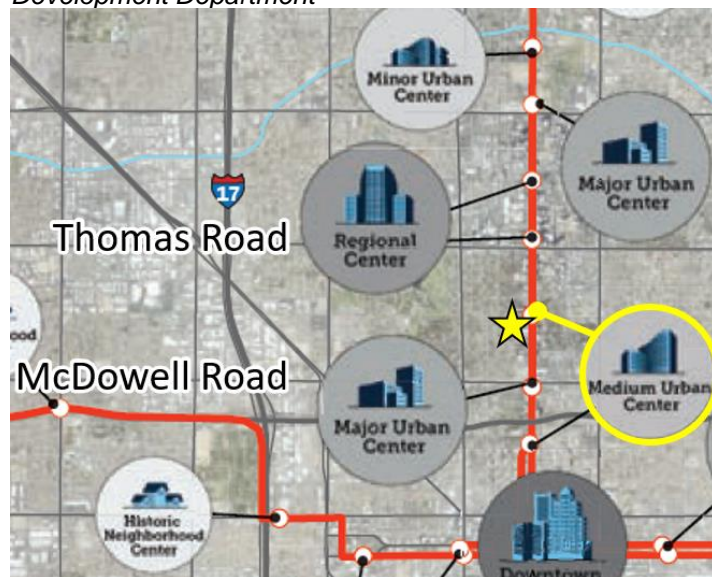


4. **Transit Oriented Development Strategic Policy Framework:**

The Transit Oriented Development Strategic Policy Framework is part of the City's General Plan. The framework identifies planning typologies to describe urban environments.

The subject site is located within 800 feet of the light rail station located at Encanto Boulevard which is identified as a Medium Urban Center Place Type.

Transit Oriented Development Strategic Policy Framework, Place Type Map Excerpt; Source: Planning and Development Department



The Medium Urban Center Place Type provides policy support for three to six story buildings with allowances up to ten when incentive criteria are met. The project's proposed intensity and scale are appropriate for this location given the proximity of single-family homes.

5. **Midtown TOD Policy Plan:**

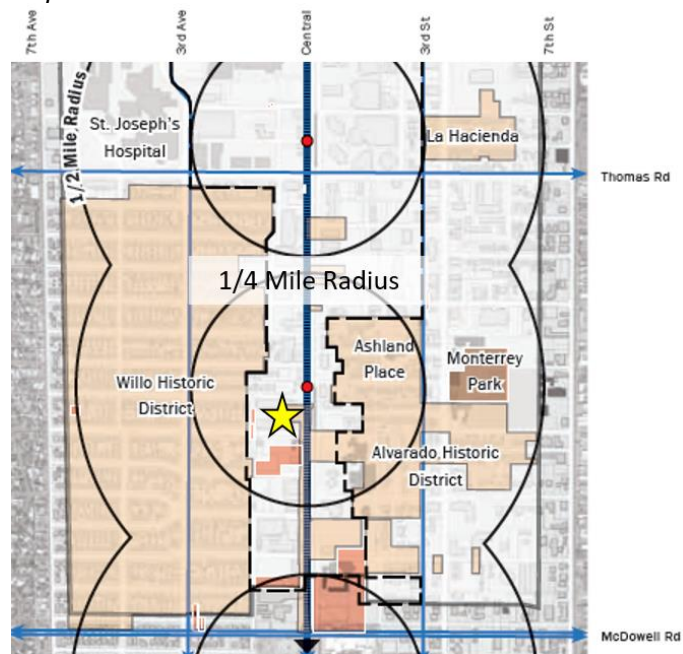
The site is located within the Midtown TOD Planning Area which is bound by 7th Avenue on the west, 7th Street on the east, McDowell Road on the south, and Indian School Road on the north. The policy plan for the Midtown TOD District provides a blueprint for fully achieving the transformative potential of light rail in a sustainable manner.

Changes advocated in the plan can lower transportation costs for residents, create new business opportunities, encourage active, healthy lifestyles, ensure Phoenix increases its competitive advantage in the global marketplace, and improve prosperity by growing the economy in locations with existing infrastructure and public services.

The Midtown TOD District Plan projects a shortfall of 17,520 housing units by 2035 and articulates a goal for more housing and employment in proximity to high-capacity transit.

The proposed project will produce six single-family homes, adjacent to existing single-family homes, in close proximity to light rail.

Midtown TOD Policy Plan, Walk-Shed Map from Light Rail Excerpt; Source: Planning and Development Department



6. The Encanto Village Character Plan was approved and adopted into the Phoenix General Plan through General Plan Amendment GPA-1-19. The project advances the following items identified in the Encanto Village Character Plan:

- Land Use Principle: Include a mix of housing types and densities where appropriate within each village that support a broad range of lifestyles.
- Design Principle: Enhance the compatibility of residential infill projects by

carefully designing the edges of the development to be sensitive to adjacent existing housing. Create landscape buffers and other amenities to link new and existing development.

- Design Principle: Create new development or redevelopment that is sensitive to the scale and character of the surrounding neighborhoods and incorporates adequate development standards to prevent negative impact(s) on the residential properties.

PROPOSAL

7. Site Plan

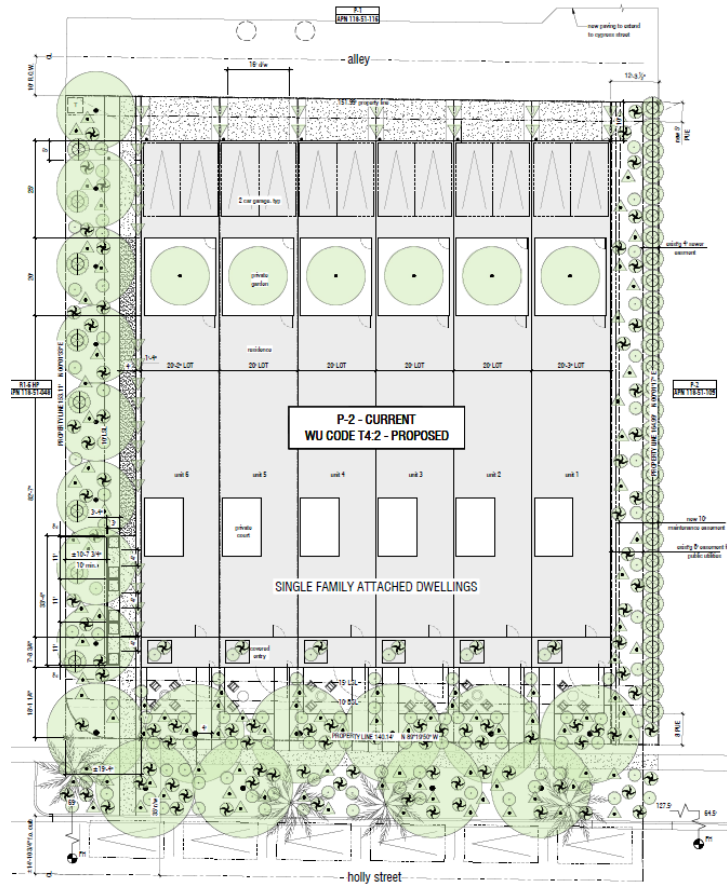
The applicant is proposing six single-family attached dwelling units that will front on Holly Street and have garages which are loaded from the north. Between each of the dwelling units and their respective garage will be a small private yard. In addition to the two car garages accessible from the rear, several guest spaces will be provided on the street as allowed in the Infill Development District and a series of guest bicycle parking spaces near the front building entrances.

To promote compatibility with the Willo Historic District, staff is

recommending Stipulation Nos. 1 – 4 as follows:

- Stipulation No. 1 to require a maximum building height of 30 feet.
- Stipulation No. 2 to limit the development to six lots or dwelling units.
- Stipulation No. 3 to require the landscape area between the back of curb and the sidewalk be replenished with shade trees.
- Stipulation No. 4 to require enhanced landscape plantings along the west property line.

Conceptual Site Plan; Source: Studio MA



8. Conceptual Building Elevations

The applicant is proposing a design which features wood, metal wall panels, and stucco. Oriented to Holly Street, all six units feature prominent entrances as which function as a focal point for each unit and all feature semi-private porches enclosed by a passive solar screen wall made of wood. To reduce potential privacy concerns from the property owner to the west, the western orientation of the building includes a limited number of windows.

Conceptual Building and Streetscape Renderings; Source: Studio MA



STUDIES AND POLICIES

9. [Tree and Shade Master Plan:](#)

The Tree and Shade Master Plan encourages treating the urban forest as infrastructure to ensure the trees are an integral part of the City's planning and development process. Sidewalks on the street frontages should be detached from the curbs to allow trees to be planted on both sides of the sidewalk to provide thermal comfort for pedestrians and to reduce the urban heat island effect. To re-establish the tree canopy in complement to the existing canopy in the Willo Historic District Neighborhood, staff is recommending Stipulation No. 4 to replenish the landscape area between the back of curb and sidewalk with shade trees.

10. [Complete Streets Guidelines:](#)

The City of Phoenix City Council adopted the Complete Streets Guiding Principles. The principles are intended to promote improvements that provide an accessible, safe, connected transportation system to include all modes, such as bicycles, pedestrians, transit, and vehicles. The Walkable Urban Code is designed to facilitate pedestrian, bicycle, and transit-oriented development and includes provisions to advance the goals of the policy guide.

11. [Housing Phoenix:](#)

In June 2020, the Phoenix City Council approved the Housing Phoenix Plan. This Plan contains policy initiatives for the development and preservation of housing with the vision of creating a stronger and more vibrant Phoenix through increased housing options for residents at all income levels and family sizes. Phoenix's rapid population growth and housing underproduction has led to a need for over 163,000 new housing units. Current shortages of housing supply relative to demand are a primary reason why housing costs are increasing.

The proposed development supports the Plan's goal of preserving or creating 50,000 housing units by 2030 by contributing to a variety housing types that will address the supply shortage at a more rapid pace while using vacant or underutilized land in a more sustainable fashion.

12. [Zero Waste Phoenix PHX:](#)

The City of Phoenix is committed to its waste diversion efforts and has set a goal to become a zero waste city, as part of the city's overall 2050 Environmental Sustainability Goals. One of the ways Phoenix can achieve this is to improve and expand its recycling and other waste diversion programs.

Section 716 of the Phoenix Zoning Ordinance establishes standards to encourage the provision of recycling containers for multifamily, commercial and

mixed-use developments meeting certain criteria. The provision of recycling containers was not addressed in the applicant's submittals.

COMMUNITY CORRESPONDENCE

13. As of the writing of this report, several letters of community correspondence have been received but were classified by their authors as general inquiries and did not rise to the point of either support or opposition.

INTERDEPARTMENTAL COMMENTS

14. The Fire Department commented that the site plan must comply with the Phoenix Fire Code and further indicated there are no problems anticipated with the case. Further, the Department commented that they do not know the water supply at this site and noted that additional water supply may be required to meet the required fire flow per the Phoenix Fire Code.
15. The Street Transportation Department comments that the existing landscape planter between the back of curb and the sidewalk should be replenished with shade trees. Additionally, the department provided stipulations to: require a right-of-way dedication, require the alley be paved to the nearest streets, require all streets and improvements in the right-of-way be constructed to ADA standards; these are included in Stipulation Nos. 5 and 6 respectively.
16. The Public Transit Department commented on the need for a robust system of pedestrian pathways on the site to efficiently convey new residents toward the light rail and bus routes. These are addressed within the provisions of the Walkable Urban Code.

OTHER

17. The site has not been identified as being archaeologically sensitive. However, in the event archaeological materials are encountered during construction, all ground disturbing activities must cease within 33-feet of the discovery and the City of Phoenix Archaeology Office must be notified immediately and allowed time to properly assess the materials. This is addressed in Stipulation No. 10.
18. The Aviation Department requires the disclosure of the existence and operational characteristics of Phoenix SkyHarbor Airport be disclosed to tenants and buyers, an aviation agreement be recorded, and that a no-hazard determination be obtained from the FAA. These are addressed in Stipulation Nos. 7 - 9.

19. Development and use of the site are subject to all applicable codes and ordinances. Zoning approval does not negate other ordinance requirements. Other formal actions such as, but not limited to, zoning adjustments and abandonments may be required.

Findings

1. The proposal is compatible with the context of the area and utilizes setbacks and other design considerations to create a transition from the highest intensity near Central Avenue to the lower residential intensities located within the Willo Historic District Neighborhood.
2. The development advances the vision and recommendations contained in the Midtown TOD Policy Plan by redeveloping a vacant site with new residential units in a scale compatible with the adjacent neighborhood.
3. The proposal will create additional housing options in line with the Housing Phoenix Plan's goal of preserving or creating 50,000 housing units by 2030.

Stipulations

1. The maximum building height shall be 30 feet
2. The project shall not exceed 6 lots and/or 6 dwelling units.
3. The existing streetscape landscape area between the curb and sidewalk shall be replenished, as required by Chapter 13, Section 1309.B of the Phoenix Zoning Ordinance and as approved by the Planning and Development Department.
4. The required landscape setback along the western property boundary shall be planted with shade trees placed 20 feet on center or in equivalent groupings, excluding driveway entrances, and all required trees shall be a minimum 3-inch caliper. Existing trees may be utilized toward the requirement. The above conditions shall be approved by the Planning and Development Department.
5. The developer shall provide 20 feet of paving per the local street standards for the full length of the alley to the two nearest cross streets unless otherwise modified by a technical appeal, as approved by the Planning and Development Department.

6. The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals, as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.
7. The property owner shall record documents that disclose the existence, and operational characteristics of Phoenix Sky Harbor Airport to future owners or tenants of the property. The form and content of such documents shall be according to the templates and instructions provided which have been reviewed and approved by the City Attorney.
8. The developer shall grant and record an aviation easement to the City of Phoenix for the site, per the content and form prescribed by the City Attorney prior to final site plan approval.
9. The developer shall provide a No Hazard Determination for the proposed development from the FAA pursuant to the FAA's Form-7460 obstruction analysis review process, prior to construction permit approval, as per plans approved by the Planning and Development Department.
10. In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground-disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.

Writer

Nick Klimek

September 27, 2021

Team Leader

Samantha Keating

Exhibits

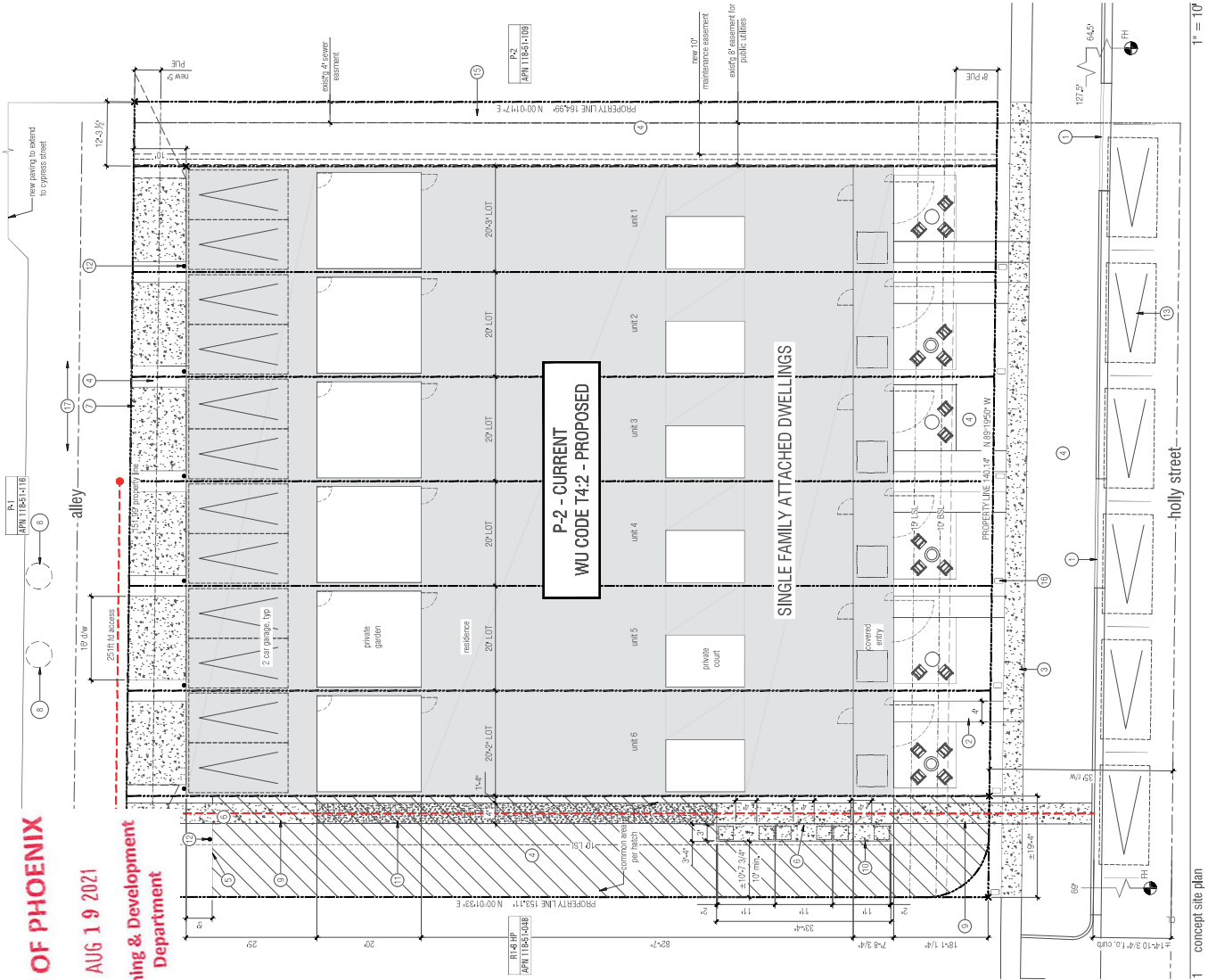
Zoning sketch map

Aerial sketch map

Conceptual Site Plan date stamped August 19, 2021 (3 pages)

Conceptual Building Elevations date stamped August 19, 2021 (4 pages)

Conceptual Renderings date stamped August 19, 2021 (3 pages)



KEYNOTES

#	DESCRIPTION	REF. DTS/SH
1	new curb and gutter to match existing	civil
2	new concrete sidewalk	landscape
3	new concrete sidewalk with $\pm 4"$ curb	civil
4	landscape area	landscape
5	6" metal screen with walk gate	
6	gate	
7	driveway, 10'	
8	existing trash bins	
9	site walkway	landscape
10	4-2" screen wall and gate for recycle bins	landscape
11	site walkway	landscape
12	electrical meter and Tel. data	electrical
13	new proposed resident guest parking 9'x2' x 2'	
14	new electrical transformer	electrical
15	existing public utility easement, lines not possible due to existing sewer line therefore not required per section 130A.11	landscape
16	water meter	civil
17	new 20' wide asphalt paving from west property line up to cypress street	

applicable codes
 The Phoenix Building Construction Code includes the following model codes with local amendments:
 2018 International Residential Code
 2018 International Building Code
 2017 National Electric Code
 2018 International Mechanical Code
 Phoenix Zoning Ordinance - Current

site plan notes
 1. All site work shall conform with applicable codes & ordinances.
 2. All new or relocated utilities will be placed underground.
 3. Structure and landscaping within a triangle measured back 10' from the property line and 20' along the property line on each side of the driveway entrances will be maintained at a minimum height of 3'.
 4. Structures and landscaping within a triangle measuring 52x63' along the property line will be maintained at a minimum height of 3'.
 5. Any lighting will be placed so as to direct light away from the adjacent residential districts and so as to be shielded from the adjacent property line, no more, and no less than 10' from the property line. All lighting shall be shielded from the adjacent property line. All lighting shall be shielded from the adjacent property line. All lighting shall be shielded from the adjacent property line.
 6. All service areas shall be screened to conceal trash containers, loading docks, transformers, load/pull preventers & other mechanical or electrical equipment from eye level. Trash, snow, or concrete will be stored in an area that is not visible from the public streets or adjacent residential areas.
 7. All signage requires separate reviews, approvals, and permits, no signs area approved per this plan.
 8. All signage requires separate reviews, approvals, and permits, no signs area approved per this plan.

development summary table

OVERALL AREA CALCS	area, sf	LC	coverage
total	12,763		
allowable	25,075		51%
gross lot area	31,910		78%
3% common	1,956		0%
2.55% provided	2,553		0%

INDIVIDUAL LOT CALCS	dwelling	area, sf	LC	coverage
garage	495			
total	2,128			
allowable	3,941		64%	
gross lot area	3,300		64%	
3% common	3,300		64%	
2.55% provided	3,300		64%	
allowable	3,327		65%	
allowable				100%

PROJECT DESCRIPTION
 The subject property is a 12.76-acre parcel located in the southwest quarter of section 52, township 2 north, range 3 east of the 1st and 2nd meridians, Maricopa County, Arizona, being more particularly described as follows: ...

LEGAL DESCRIPTION
 A portion of lot 5, block 2, his palmas, book 4 of maps, page 15, records of maricopa county, Arizona, and all her base and meridian, maricopa county, Arizona, being more particularly described as follows: ...

ADJACENT ZONING

LOT SALES

LOT SIZE (sq)

LOT COVERAGE

DENSITY

SPRINKLERS

FIRE ALARMS

ADJACENT ZONING
 refer to preliminary PLAT concept: 20' minimum perimeter: 70% max' per table 130A.2, transect T4
 proposed: 100% per 619 table 6, 6th
 permittee: 15/23 units/gross acre allowed (10 units) proposed: 8.23 units/gross acre (6 units) yes, per table 130C
 no equipment access distance extended per 530.1.1, sec. 1



vicinity map

site

Virginia Ave

Holly St

10'

OVERLAY ZONES

ADJACENT ZONING

LOT SALES

LOT SIZE (sq)

LOT COVERAGE

DENSITY

SPRINKLERS

FIRE ALARMS

vicinity map

site

Virginia Ave

Holly St

10'

KEYNOTES

1. new curb and gutter to match existing

2. new concrete sidewalk

3. new concrete sidewalk with $\pm 4"$ curb

4. landscape area

5. 6" metal screen with walk gate

6. gate

7. driveway, 10'

8. existing trash bins

9. site walkway

10. 4-2" screen wall and gate for recycle bins

11. site walkway

12. electrical meter and Tel. data

13. new proposed resident guest parking 9'x2' x 2'

14. new electrical transformer

15. existing public utility easement, lines not possible due to existing sewer line therefore not required per section 130A.11

16. water meter

17. new 20' wide asphalt paving from west property line up to cypress street

PROJECT DESCRIPTION

The subject property is a 12.76-acre parcel located in the southwest quarter of section 52, township 2 north, range 3 east of the 1st and 2nd meridians, Maricopa County, Arizona, being more particularly described as follows: ...

LEGAL DESCRIPTION

A portion of lot 5, block 2, his palmas, book 4 of maps, page 15, records of maricopa county, Arizona, and all her base and meridian, maricopa county, Arizona, being more particularly described as follows: ...

OVERLAY ZONES

ADJACENT ZONING

LOT SALES

LOT SIZE (sq)

LOT COVERAGE

DENSITY

SPRINKLERS

FIRE ALARMS

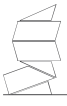
vicinity map

site

Virginia Ave

Holly St

10'



ARCHITECT/APPLICANT
 Studio M, Inc.
 1001 North Central Avenue, Suite 200
 Phoenix, Arizona 85018
 M (602) 251-8300
 info@studiom.com
 184-79

PROJECT ADDRESS
 98+42 W. Holly Street
 Phoenix, Arizona 85003

COPYRIGHT 2021 STUDIO M
 This document is an instrument
 of record and shall be recorded
 in the public records of the
 County of Maricopa, Arizona. It
 shall retain all common law,
 statutory and other reserved
 rights, including the copyright
 therein.

PROJECT TEAM
OWNER
 Studio M, Inc.
 1427 N. 3rd Street #120
 Phoenix, Arizona 85004

OWNER
 DML ENGINEER
 4450 N 12th Street, Suite 228
 Phoenix, Arizona 85014
 phn@dmle.com

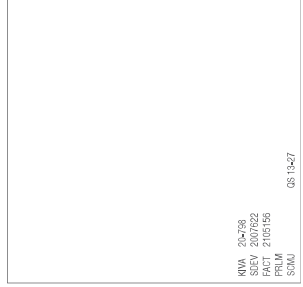
LANDSCAPE ARCHITECT
 4450 N 12th Street, Suite 104
 Phoenix, Arizona 85014
 scott@studiohaha.com

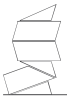


ZONING ANALYSIS

DATE: 12/31/21
 RWA 20-738
 SCV 2007822
 PHASE 1 / FEY
 21031950
 FROM
 SZAU
 05/13/27

standard	required	provided
min. lot dimensions (width and depth)	11x23	complies (meets or exceeds 20' minimum lot width)
min. lot dimensions (width and depth)	11x23	complies (meets or exceeds 20' minimum lot width)
perimeter standards	10' for units fronting street right-of-way, 10' or greater for units not fronting street right-of-way, 10' or greater for units in common ownership or adjacent to priority lanes, 10' adjacent to common ownership	complies (10' fronting street right-of-way, 10' or greater for units not fronting street right-of-way, 10' or greater for units in common ownership or adjacent to priority lanes, 10' adjacent to common ownership)
building setbacks	individual unit lot: none maximum height 3 stories or 40' for flat 150'; 1" increase to 48' height 4-story maximum	complies (none) complies (2 stories, 42'; meets requirement for 15-foot maximum height within ten feet of a single-family zoned district, which height may be increased one foot for each additional one foot of building setback)
lot coverage	100%	complies (individual unit lots: 64%, overall project site: 51%)
common areas	minimum 5% of gross area	complies (greater than 5%)
allowed uses	single-family attached and home occupations per section 608	single-family attached
required review	development review per section 507	single-family attached
street standards	private driveway	complies (alley, private driveway)
608(F)(8)		
<p>(general: sfs permits within infill development district the sfs development option does not eliminate any redevelopment area, special planning district or overlays, where conflicts occur between the requirements of the sfs development option and redevelopment areas, overlays, zoning districts, special planning districts, and specific plans, the requirements of the overlay zoning districts, special planning districts, and specific plans shall apply, no sfs with historic preservation designated properties or districts.</p>		
(b)	provide photographs and explanation of how the sfs project type is complementary and integrates with surrounding neighborhood.	complies (refer to context plan attached, sfs project successfully transitions from high-rise context to historic neighborhood)
(c)	perimeter landscaping setbacks: (1) residences that front on arterial, collector, or local street right-of-way shall provide a minimum 2-foot-wide landscaped area or community maintained landscaping abutting the street, except when within 2,000 feet of a transit station. (2) residences that side on arterial, collector, or local street right-of-way shall provide a minimum 15-foot-wide landscaped area or community maintained landscaping abutting the street. (3) perimeter of the development not abutting right-of-way must provide a minimum two-foot landscaped setback, except that development adjacent to a single-family residential district or historic preservation designated property must provide a minimum two-foot landscaped setback. (4) min. trees spaced 20'-0" or equivalent spacing in next landscaped setback, min. 1.5" caliper 45% of next trees, min. 2" caliper or multi-trunk tree (20" caliper trees), provide min. 5 five-gallon shrubs per tree. (5) open space: only fences to enclose pool or community amenities allowed with next open space. (6) attached single-family units in a row shall not exceed a total length of 200 feet without having a minimum 25'-0" wide open area. (7) parking requirements (8) within infill development district, 12 spaces per efficiency unit, 15 spaces per two-bedroom unit and two spaces per three or more bedroom unit must be provided that are covered or located within a garage and a minimum 225 unreserved guest parking spaces per unit must be provided on site. (9) min. 38' is located within infill development district	n/a (project is located 1,285 ft from light rail station) n/a (residences do not side on right-of-way) complies (perimeter landscaping meets or exceeds minimum requirements); trees not possible in existing easement along east side of property, refer to section 1303A, 1303A.1 complies (no fence is proposed) complies (total length is less than 200 feet)
(d)	alley access	n/a
(e)	within infill development district, alley access is allowed.	complies (site is in infill low, district)
(f)	min. 40' fence height allowed in the required building setback along perimeter right-of-way.	n/a
(g)	signage subject to the regulations of section 705, table 4-1, single-family residential.	complies (no fence is proposed) complies (corner lot address signage only)





ARCHITECT/APPLICANT
Studio M, Inc.
1000 N. 1st Street
Phoenix, Arizona 85018
M (602) 251-3800
M (602) 251-3800
M (602) 251-3800
M (602) 251-3800
M (602) 251-3800

PROJECT NAME
184-129

PROJECT ADDRESS
36-42 W. Holly Street
Phoenix, Arizona 85005

COPYRIGHT 2021 STUDIO M
This document is an instrument of service. It shall remain the property of Studio M, Inc. and shall retain all common law, statutory and other reserved rights, including the copyright herein.

PROJECT TEAM
OWNER
184-129
1427 N. 3rd Street #120
Phoenix, Arizona 85004

OWNER
184-129
1427 N. 3rd Street #120
Phoenix, Arizona 85004

OWNER
184-129
1427 N. 3rd Street #120
Phoenix, Arizona 85004

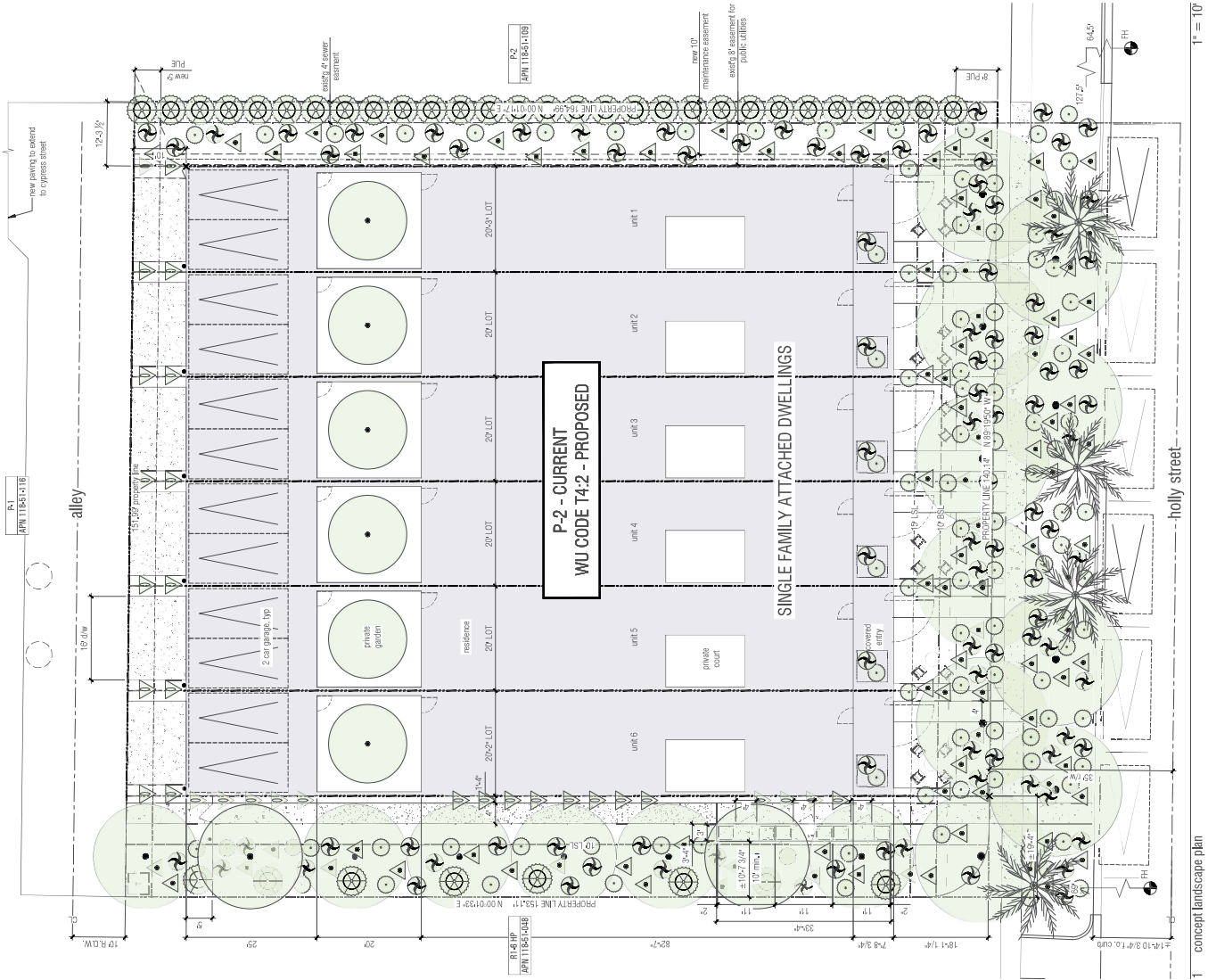
LANDSCAPE ARCHITECT
2140 N. 12th Street, Suite 104
Phoenix, Arizona 85014
www.studiom.com
studio@studiom.com



73
CONCEPT
LANDSCAPE PLAN

Scale
0 5 10 20
1" = 10'-0"

85% DESIGN
Phase 1 of 2
2021.08.09
2021



NWA 20-736
SDEV 2007622
PLUM 2100155
SCM 1900000
08.14.21

concept landscape plan

1" = 10'

EXTERIOR ELEVATION KEYNOTES

#	DESCRIPTION	REF. DETAIL
1	finished grade	cont. landscape
2	stucco	finish schedule
3	window	per plan
4	door	per plan
5	garage door	per plan
6	wood siding	finish schedule
7	screen wall	exposer details
8	electrical meter	electrical
9	screen wall gate	exposer details
10	metal wall panels	finish schedule
11	stem wall	exposer details
12	control joint	finish schedule
13	balcony	exposer details
14	mechanical screen	exposer details
15	4'-6" screen wall and gates for recycle line beyond	per site plan

ARCHITECT/APPLICANT
 cresspine ark, a
 studio inc., 100
 phoenix, arizona 85018
 M (602) 251-8300
 ark@studioark.com

site project no.
 18-129

site project name
 July 6

PROJECT ADDRESS
 98-42 W. Holly Street
 Phoenix, Arizona 85004

COPYRIGHT 2021 STUDIO ARK
 this document is an instrument
 of service and shall remain the
 property of the architect. No part
 shall be reproduced, stored in a
 retrieval system, or transmitted in
 any form or by any means, elec-
 tronic, mechanical, photocopying,
 recording, or by any information
 system, without the prior written
 permission of the architect.

OWNER
 Mr. & Mrs.
 14277 3rd Street #120
 Phoenix, Arizona 85004

ONLINE ENGINEER
 Phoenix and development
 4450 n 12th street, suite 228
 Phoenix, Arizona 85014
 602.998.8888
 phoenix@phoenixengineer.com

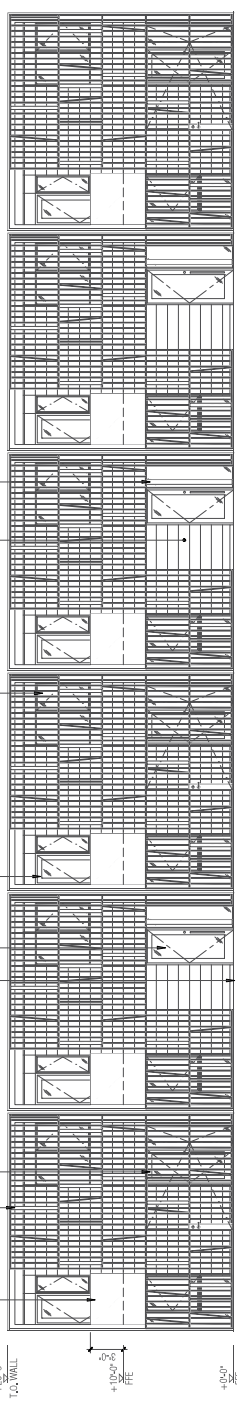
LANDSCAPE ARCHITECT
 21 wall street landscape architecture
 4450 n 12th street, suite 104
 Phoenix, Arizona 85014
 602.998.8888
 scott@21wallst.com



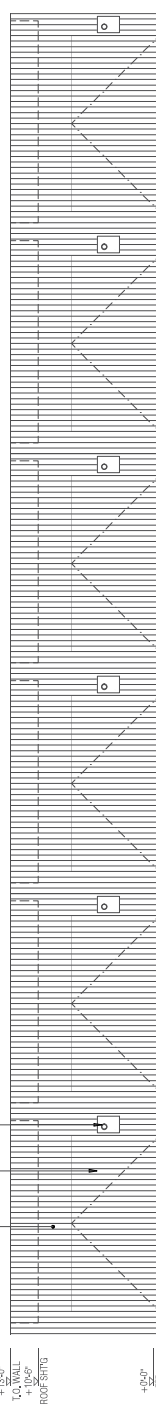
2201
 EXTERIOR
 ELEVATIONS

Scale: 1/8" = 1'-0"
 85% DESIGN
 Phase 1 / Rev
 2021.08.09
 2021

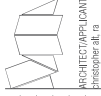
NWA 20-736
 SEVY 2007622
 PROJECT 2100155
 DRAWING EXTERIOR
 SCMA 08.13.21



1 HOLLY STREET ELEVATION 3/16" = 1'-0"



2 ALLEY ELEVATION 3/16" = 1'-0"



ARCHITECT/APPLICANT
 studio ma, inc.
 1800 N. Central Expressway, Suite 100
 Phoenix, Arizona 85018
 M (602) 251-8800
 studio@studioinc.com

PROJECT NO.
 18-179
 FIRE PROJECT NAME
 July 6
 PROJECT ADDRESS
 84-42 W. Holly Street
 Phoenix, Arizona 85004

COPYRIGHT 2021 STUDIO MA
 This document is an instrument of service. It is to be used only for the project and site for which it was prepared. It shall remain the property of Studio MA and shall retain all common law, statutory and other reserved rights, including the copyright therein.

PROJECT TEAM
 OWNER
 14277 N. 36th Street #120
 Phoenix, Arizona 85004

ONLINE ENGINEER
 Phoenix civil development
 4450 N 12th Street, Suite 228
 Phoenix, Arizona 85014
 phoenix@pcdev.com
 phur@pcdev.com

LANDSCAPE ARCHITECT
 21601 N. 24th Street, Suite 104
 Phoenix, Arizona 85014
 phoenix@studioinc.com
 studio@studioinc.com



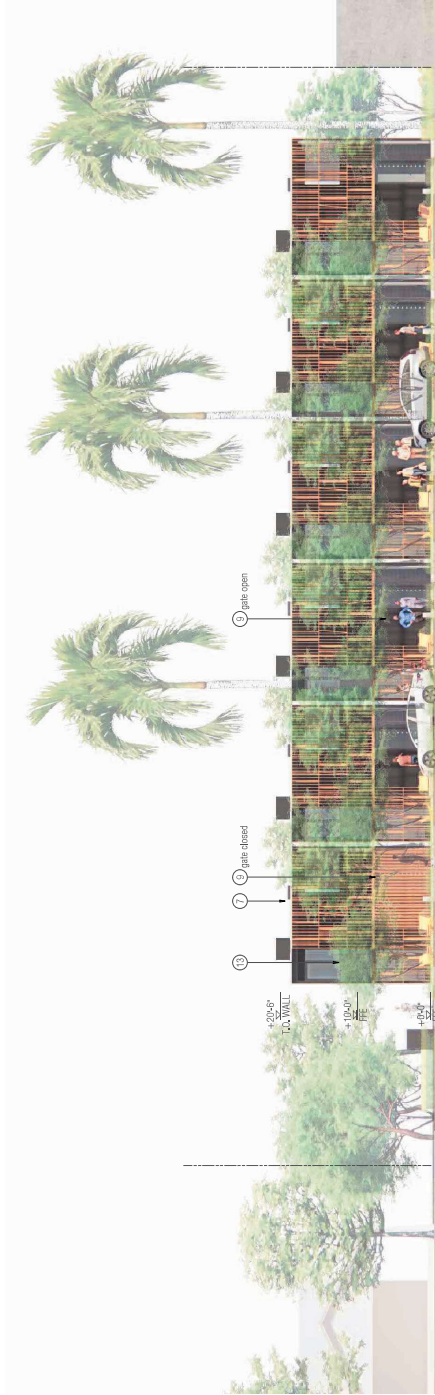
Z201C

EXTERIOR COLOR ELEVATIONS

Scale: 1/8" = 1'-0"
 85% DESIGN
 Phase 1 / Rev
 2021.08.09
 2021

EXTERIOR ELEVATION KEYNOTES

#	DESCRIPTION	REF. DLSH#T
1	finished grade	civil landscape
2	stucco	finish schedule
3	window	per plan
4	door	per plan
5	garage floor	finish schedule
6	wood siding	finish schedule
7	screen wall	exterior details
8	electrical meter	electrical
9	screen wall gate	exterior details
10	metal wall panels	finish schedule
11	stem wall	exterior details
12	concrete joint	finish schedule
13	balcony	exterior details
14	mechanical screen	exterior details
15	4-5/8" screen wall and gates for recycle bins beyond	per site plan

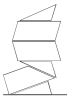


1 HOLLY STREET ELEVATION



2 ALLEY ELEVATION

NWA 20-736
 SDEV 2007622
 PROJECT NO. 2101055
 PHASE 1/REV
 SCMA 08.13.21



ARCHITECT/APPLICANT
 studio ma, inc.
 1427 N. 3rd Street #120
 Phoenix, Arizona 85004
 M (602) 251-8300
 info@studioma.com

PROJECT NO.
 18-129

PROJECT NAME
 18-129

PROJECT ADDRESS
 96-42 N. 10th Street
 Phoenix, Arizona 85008

COPYRIGHT 2021 STUDIO MA
 This document is an instrument
 of service and shall remain the
 property of Studio Ma. No part
 shall be reproduced, stored in a
 retrieval system, or transmitted
 in any form or by any means
 electronic, mechanical, photocopying,
 recording, or by any information
 system, including the copyright
 notice, without the prior written
 permission of Studio Ma.

PROJECT TEAM
 OWNER
 Studio Ma
 1427 N. 3rd Street #120
 Phoenix, Arizona 85004

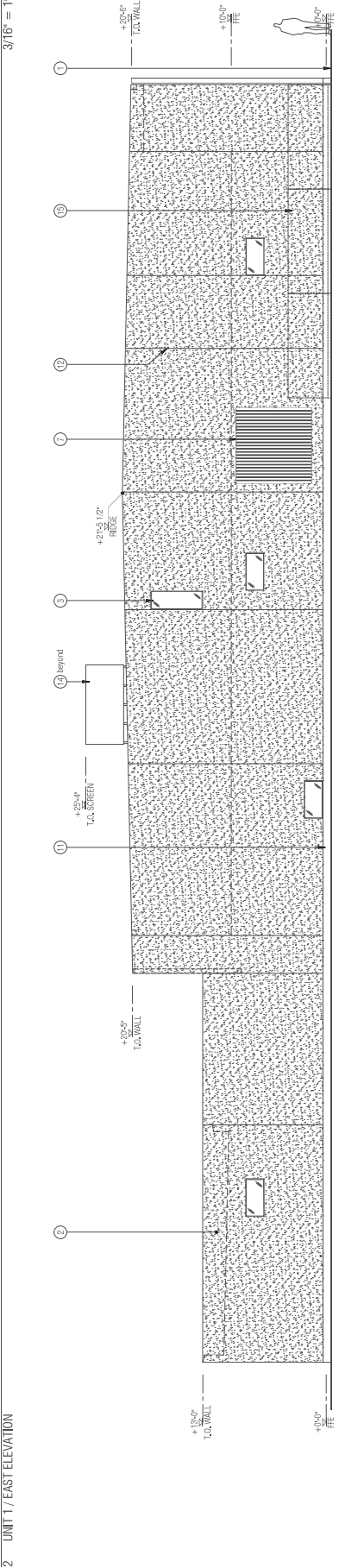
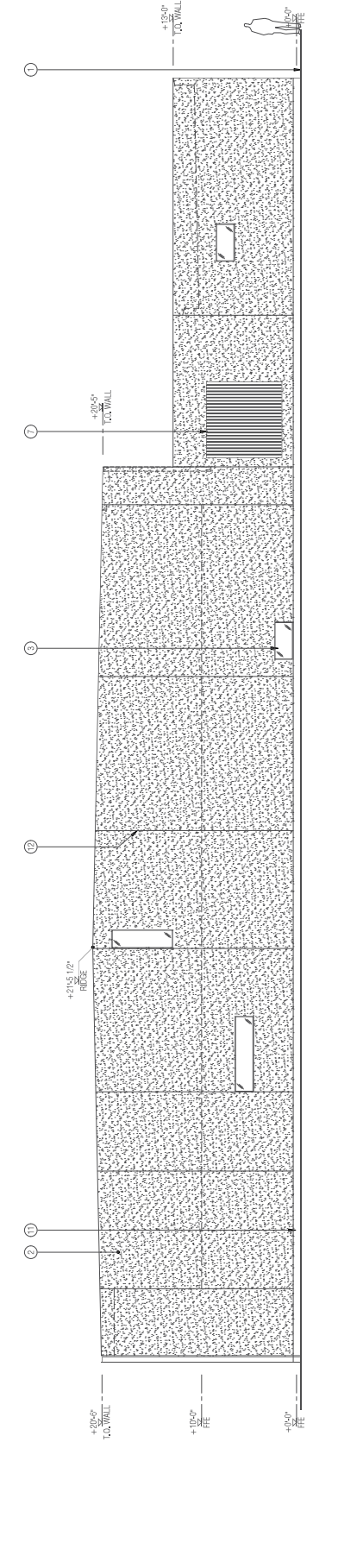
OWNER
 CIVIL ENGINEER
 Phoenix Civil Development
 4450 N 12th Street, Suite 228
 Phoenix, Arizona 85014
 PHOENIX@PHOENIXCVL.COM
 PHOENIX@PHOENIXCVL.COM

LANDSCAPE ARCHITECT
 2140 N. 12th Street, Suite 104
 Phoenix, Arizona 85014
 studio@studioma.com



2202 EXTERIOR ELEVATIONS

DATE: 12/27/21
 SHEET: 05
 85% DESIGN
 Phase 1 of 1
 2021 LR-09
 05 18x27



2 UNIT 1 / EAST ELEVATION
 3 UNIT 6 / WEST ELEVATION

EXTERIOR ELEVATION KEYNOTES

#	DESCRIPTION	REF. DTL/SHT
1	finished grade	civil landscape
2	stucco	finish schedule
3	window	per plan
4	door	per plan
5	garage door	per plan
6	wood siding	finish schedule
7	screen wall	exterior details
8	electrical meter	electrical
9	screen wall gate	exterior details
10	metal wall panels	finish schedule
11	stern wall	exterior details
12	control joint	finish schedule
13	balcony	exterior details
14	mechanical screen	exterior details
15	4-5ft screen wall and gates for recycle bins beyond	per site plan

NOVA 20x28
 SDEV 2001622
 2/20/2020
 PKM
 SCNU

ARCHITECT/APPLICANT
 studio ma, inc.
 1000 N. 10th Street, Suite 228
 Phoenix, Arizona 85014
 M (602) 251-4300
 info@studioma.com

era project no.
 18-23

era project name
 July 6

PROJECT ADDRESS
 96+42 W. Holly Street
 Phoenix, Arizona 85005

COPYRIGHT 2021 STUDIO MA
 This document is an instrument of service. It is to be used only for the project and site for which it was prepared. It shall remain the property of Studio MA and shall retain all common law, statutory and other reserved rights, including the copyright therein.

PROJECT TEAM

OWNER
 1427 N. 3rd Street #120
 Phoenix, Arizona 85004

ONLINE ENGINEER
 gress and development
 4450 N 12th Street, Suite 228
 Phoenix, Arizona 85014
 gress@gressand.com
 gress@gressand.com

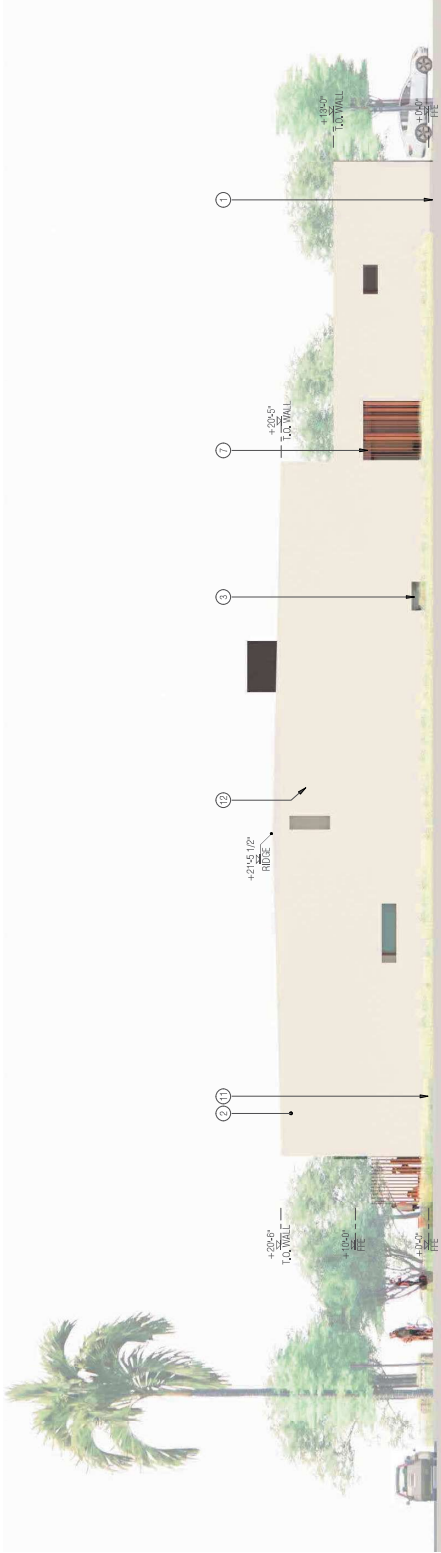
LANDSCAPE ARCHITECT
 4450 N 12th Street, Suite 104
 Phoenix, Arizona 85014
 scott@studioah.com
 scott@studioah.com



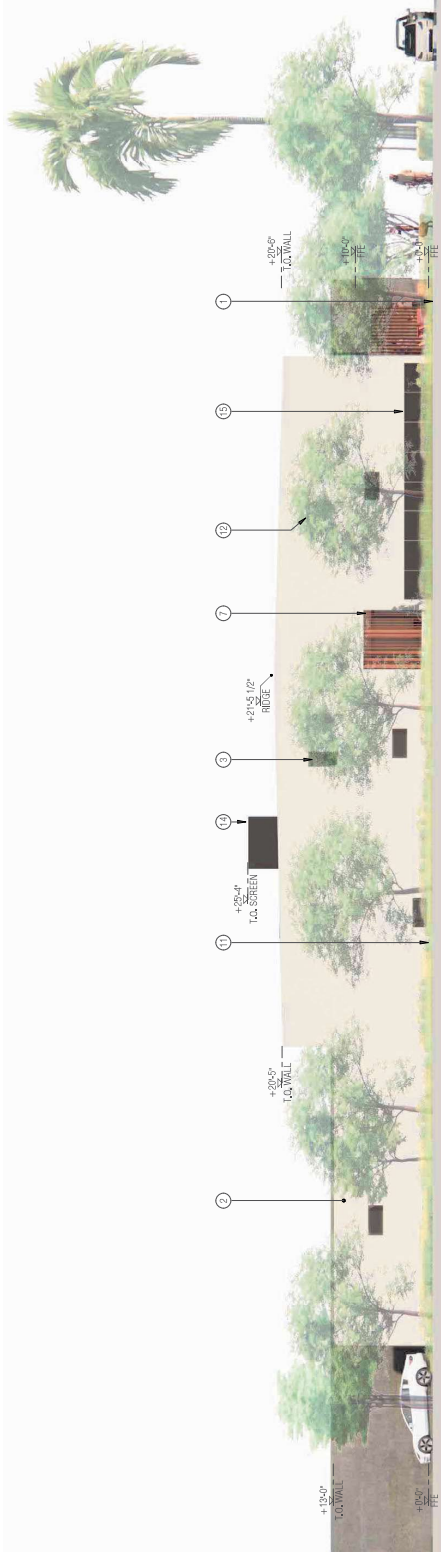
Z202G
 EXTERIOR COLOR
 ELEVATIONS

1/8" = 1'-0"
 05/13/21

NOVA 20x30
 SDEV 2001622
 DATE 2/20/21
 PKM
 SC:AU
 05 13x27



2 UNIT 1 / EAST ELEVATION 1/8" = 1'-0"



1 UNIT 6 / WEST ELEVATION 1/8" = 1'-0"

EXTERIOR ELEVATION KEYNOTES

#	DESCRIPTION	REF. DLSHT
1	finished grade	civil landscape
2	stucco	finish schedule
3	window	per plan
4	door	per plan
5	garage door	per plan
6	wood siding	finish schedule
7	screen wall	exterior details
8	electrical meter	exterior details
9	screen wall gate	exterior details
10	wood wall clade	finish schedule
11	stone wall	exterior details
12	cestral part	finish schedule
13	battery	exterior details
14	mechanical screen	exterior details
15	4-Ft screen wall and gates for recycle bins beyond	per site plan





