



**City of Phoenix**  
 PLANNING AND DEVELOPMENT DEPARTMENT

**Staff Report Z-34-16-2**  
 July 19, 2016

**Paradise Valley Village Planning Committee Meeting Date:** August 1, 2016

**Planning Commission Hearing Date:** September 1, 2016

**Request From:** R-3 (4.58 acres)  
 C-2 (4.35 acres)

**Request To:** C-2 (8.93 acres)

**Proposed Use:** Automobile service station with food / convenience store and future commercial pad

**Location:** Northeast corner of Cave Creek Road and Greenway Parkway

**Owner:** Wong Survivors Trust

**Applicant:** Robert Costello / QuikTrip Corporation

**Representative:** Charles Huellmantel, Huellmantel and Affiliates

**Staff Recommendation:** Approval, subject to stipulations

<b>General Plan Conformity</b>			
<b>General Plan Land Use Designations</b>		Commercial Residential 5 to 15 du/acre	
<b>Street Map Classification</b>	Cave Creek Road	Major Arterial	55 foot east half
	Greenway Parkway	Arterial	55 foot north half
	Paradise Lane	Local	30 foot south half
	N 25 <sup>th</sup> Street	Local	30 foot west half
<b><i>CONNECT PEOPLE AND PLACES CORE VALUE; OPPORTUNITY SITES; LAND USE PRINCIPLE: Support reasonable levels of increased intensity, respectful of local conditions and surrounding neighborhoods.</i></b>			
The proposed development is sensitive to surrounding residential development and is located along Cave Creek Road, a major arterial street, and Greenway Parkway, an			

arterial street, thereby warranting the reasonable levels of increased intensity required for the project.

***CELEBRATE OUR DIVERSE COMMUNITIES & NEIGHBORHOODS CORE VALUE; CLEAN NEIGHBORHOODS; LAND USE PRINCIPLE: Facilitate the acquisition of vacant, underutilized and blighted parcels for appropriate redevelopment, compatible with the adjacent neighborhoods character and adopted area plans.***

The subject site for the proposed rezoning is vacant, and the proposed development, which is compatible with the surrounding neighborhood, has the potential to stimulate reinvestment in the area.

***CELEBRATE OUR DIVERSE COMMUNITIES & NEIGHBORHOODS CORE VALUE; CERTAINTY & CHARACTER; LAND USE PRINCIPLE: New development and expansion or redevelopment of existing development in or near residential areas should be compatible with existing uses and consistent with adopted plans.***

The site is located adjacent to a residential area and is compatible with the existing commercial uses along Cave Creek Road and Greenway Parkway.

Surrounding Land Uses/Zoning		
	<u>Land Use</u>	<u>Zoning</u>
<b>On Site</b>	Vacant Lot	C-2 / R-3
<b>North</b>	Commercial / Mobile Home Development	R-3 SP / C-2 SP
<b>South</b>	Commercial	C-1 / C-2
<b>East</b>	Multifamily Residential	R-3
<b>West</b>	Commercial	C-2 / PUD

Intermediate Commercial (C-2)		
<u>Standards</u>	<u>Requirements</u>	<u>Proposed</u>
<i>Landscaped Setbacks</i>		
Street	25 feet	Met – 25 feet
<i>Building Setbacks</i>		
Street	25 feet	Met – 25 feet
Lot Coverage	50% maximum	Met – 5% (Does not include future commercial)
Building Height	24 feet maximum	Met – 22 feet
Parking	2 spaces per service bay 1 space per 300 s.f. floor area of retail	Met - 83 spaces provided

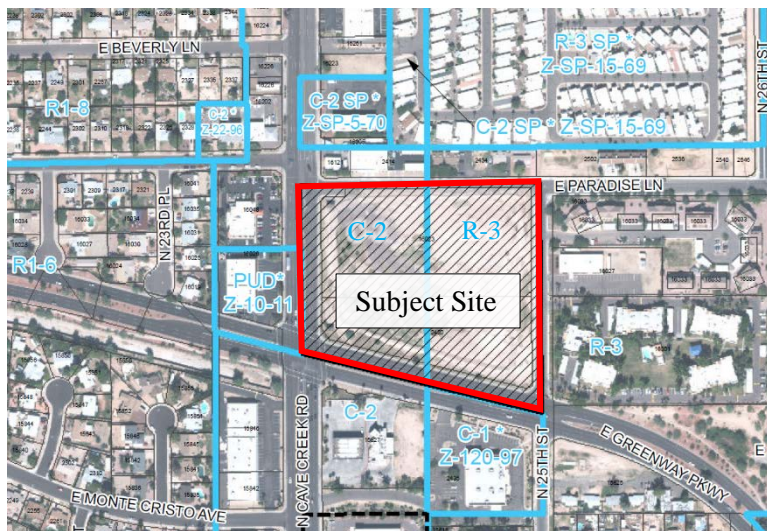
### Background/Issues/Analysis

1. This request is to rezone an 8.93 acre site located at the northeast corner of Cave Creek Road and Greenway Parkway from R-3 (Multifamily Residence District) and C-2 (Intermediate Commercial District) to C-2 (Intermediate Commercial District) to allow an automobile service station with food/convenience store and future commercial pad.

2. The General Plan Land Use Map designation is currently Commercial on the western half of the site and Residential 5-15 du/acre on the eastern half of the site. Although the requested use for the eastern half of the subject site is not consistent with the General Plan designation, an amendment is not required as this area is less than 10 acres in size.



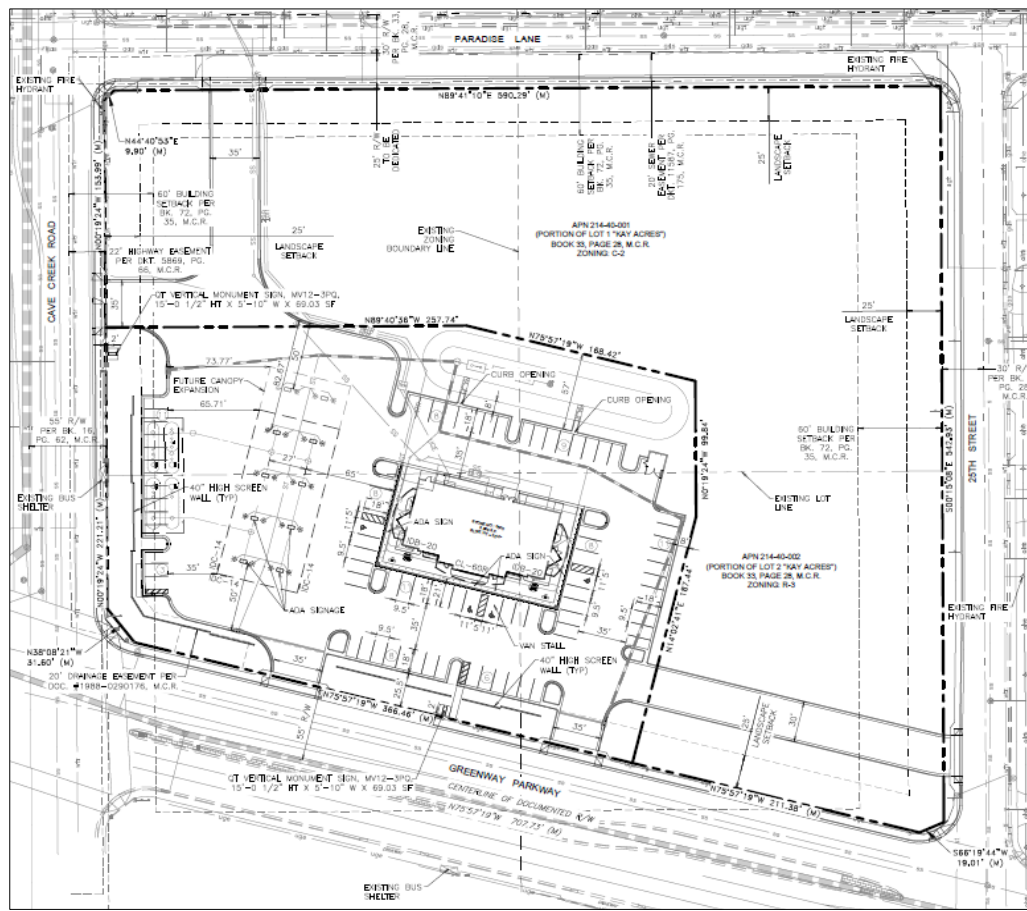
3. The site is currently vacant, undeveloped land. The western half of the subject site is zoned C-2 (Intermediate Commercial District) and the eastern half is zoned R-3 (Multifamily Residence District). Surrounding properties are zoned for mostly commercial and some multifamily residential uses. Multifamily residences, zoned R-3 (Multifamily Residence District), are located to the east of the subject site. South of the subject site is commercial development, zoned C-2 (Intermediate Commercial District) and C-1 (Neighborhood Retail). To the west of the site, across Cave Creek Road, is commercial development, zoned C-2 (Intermediate Commercial District) and PUD (Planned Unit Development). Additional commercial development, zoned C-2 (Intermediate Commercial District), and a mobile home development, zoned R-3 SP (Multifamily Residence District) are located to the north of the site.



5. The proposed development will consist of an automobile service station with food/convenience store (QuikTrip) and future commercial pad that are accessed by all four adjacent streets: Cave Creek Road, a major arterial street; Greenway Parkway, an arterial street; Paradise Lane and N 25<sup>th</sup> Street, which are local streets.

On the southwest portion of the site, the proposed site plan depicts a 5,858 square foot convenience store building and eight service bays, with 83 parking spaces provided on site. The proposed site plan also shows 25 foot landscape setbacks from the street, which meet the C-2 zoning ordinance requirements. The proposed elevations show the height of the convenience store at 22 feet and includes architectural detailing such as a brick exterior, offsets, and overhang canopies.

A stipulation has been included requiring general conformance to the site plan and elevations.





6. The remainder of the subject site will not be developed in this request, but will be available as a commercial pad for future development. Pedestrian connections on site will be important especially when the commercial pad is developed. To ensure that pedestrians have access to the entire subject site, staff is recommending a stipulation to provide pedestrian connections between the buildings on site.
7. The Aviation Department has provided comments regarding this request. The property is in the Public Airport Disclosure area. This area may be subject to overflights of aircraft operating at the Airport. Therefore, there is a recommended stipulation that a Notice to Prospective Purchasers, which follows policy regarding properties in the City of Phoenix underlying the flight patterns of Phoenix Deer Valley Airport, is required.
8. It has been determined that this parcel is not in a Special Flood Hazard Area (SFHA), but is located in a Shaded Zone X, on panel 1295 L of the Flood Insurance Rate Maps (FIRM) dated October 16, 2013.
9. The City of Phoenix Water Services Department has noted that a water main extension will be required along Greenway Parkway for the length of the property.
10. No fire code issues are anticipated with this case and the site and/or buildings shall comply with the Phoenix Fire Code.
11. Development and use of the site is subject to all applicable codes and ordinances. Zoning approval does not negate other ordinance requirements. Zoning adjustments, abandonments or other formal actions may also be required.

## **Findings**

1. The C-2 zoning district will allow development which is consistent in scale and character with the surrounding land use pattern.
2. The proposal will develop a long vacant and undeveloped site and provide a commercial pad for future development.

## **Stipulations**

1. The development shall be in general conformance with the site plan and elevations date stamped May 20, 2016, as approved by the Planning and Development Department.
2. The development shall provide pedestrian connections between the buildings on site, as approved by the Planning and Development Department.
3. The developer shall record a Notice to Prospective Purchasers of Proximity to Airport in order to disclose the existence, and operational characteristics of Phoenix Deer Valley Airport (DVT) to future owners or tenants of the property. The form and content of such documents shall be according to the templates and instructions provided which have been viewed and approved by the City Attorney.

## **Writer**

Hannah Oliver

July 19, 2016

## **Team Leader**

Marc Thornton

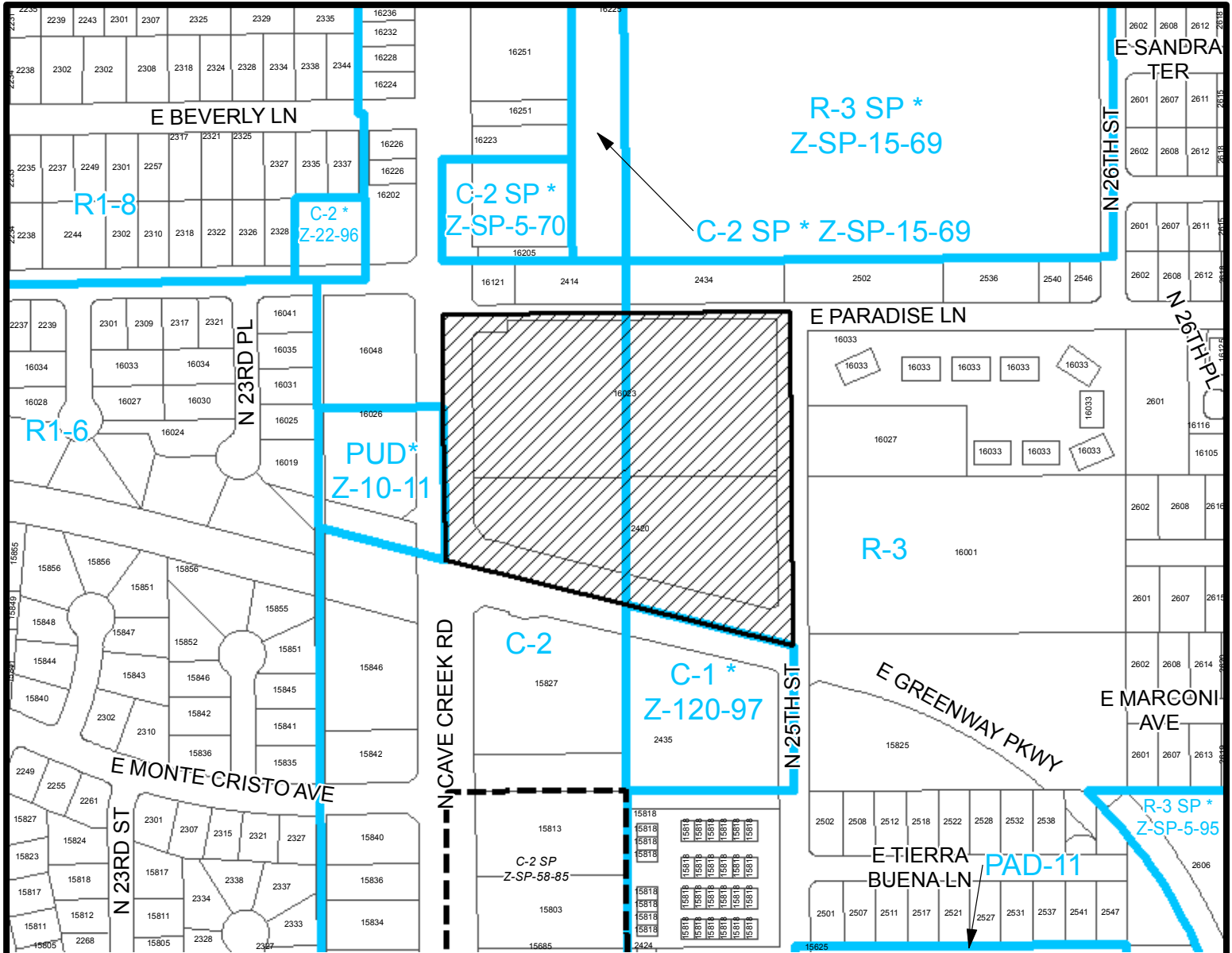
## **Attachments**

Sketch Map

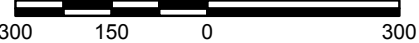
Aerial

Site Plan date stamped May 20, 2016

Elevations date stamped May 20, 2016



Feet

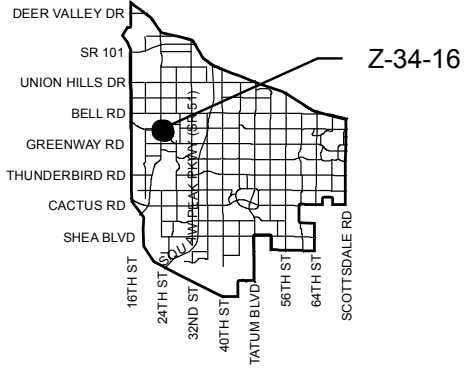


**PARADISE VALLEY VILLAGE**  
CITY COUNCIL DISTRICT: 2



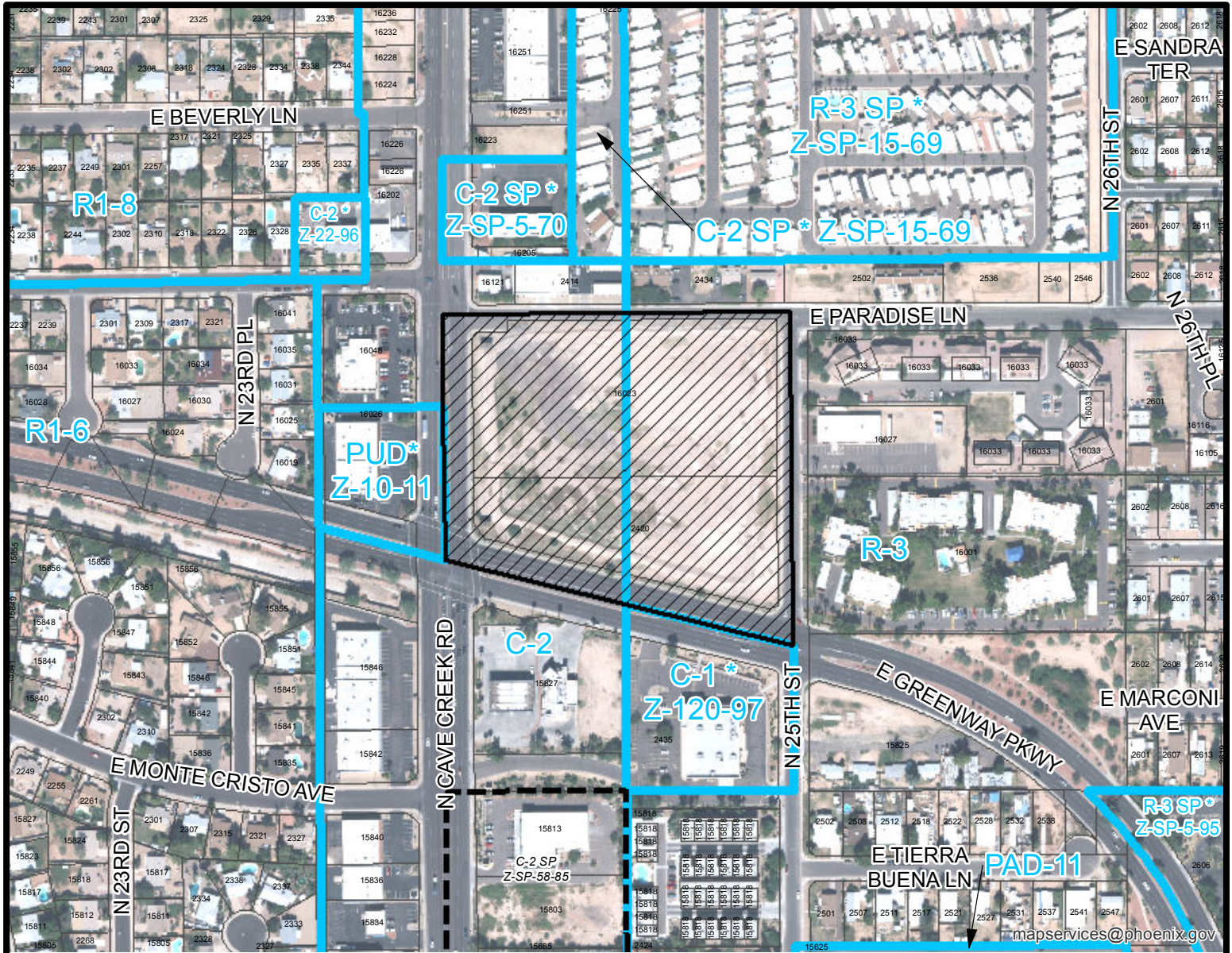
**City of Phoenix**

PLANNING & DEVELOPMENT DEPARTMENT

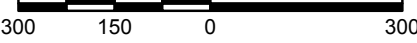


<b>APPLICANT'S NAME:</b> Robert Costello/ QuikTrip Corporation		<b>REQUESTED CHANGE:</b> FROM: R-3, (4.58 a.c.) C-2, (4.35 a.c.) TO: C-2., (8.93 a.c.)	
<b>APPLICATION NO.</b> Z-34-16	<b>DATE:</b> 5/26/16 <b>REVISION DATES:</b>		
GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX.  8.93 Acres	<b>AERIAL PHOTO &amp;          QUARTER SEC. NO.</b> QS 35-33	<b>ZONING MAP</b> L-9	
<b>MULTIPLES PERMITTED</b> R-3, C-2 C-2	<b>CONVENTIONAL OPTION</b> 66, 61 125		<b>* UNITS P.R.D. OPTION</b> 80, 76 155

\* Maximum Units Allowed with P.R.D. Bonus



Feet

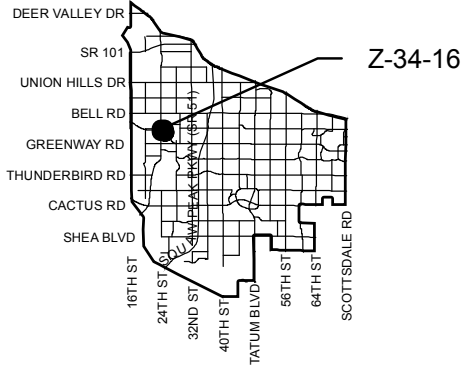


**PARADISE VALLEY VILLAGE**  
CITY COUNCIL DISTRICT: 2



**City of Phoenix**

PLANNING & DEVELOPMENT DEPARTMENT



**APPLICANT'S NAME:**  
Robert Costello/ QuikTrip Corporation

**APPLICATION NO.** Z-34-16

**DATE:** 5/26/16  
**REVISION DATES:**

GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX.

8.93 Acres

**AERIAL PHOTO & QUARTER SEC. NO.**  
QS 35-33

**ZONING MAP**  
L-9

**REQUESTED CHANGE:**

**FROM:** R-3, (4.58 a.c.)  
C-2, ( 4.35 a.c.)

**TO:** C-2., (8.93 a.c.)

**MULTIPLES PERMITTED**

R-3, C-2  
C-2

**CONVENTIONAL OPTION**

66, 61  
125

**\* UNITS P.R.D. OPTION**

80, 76  
155

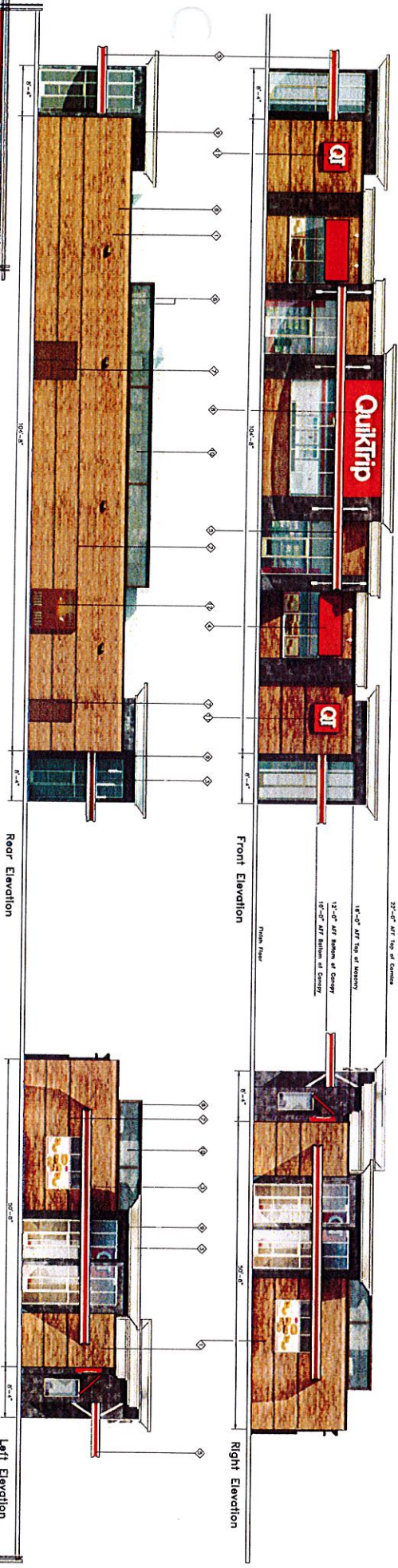
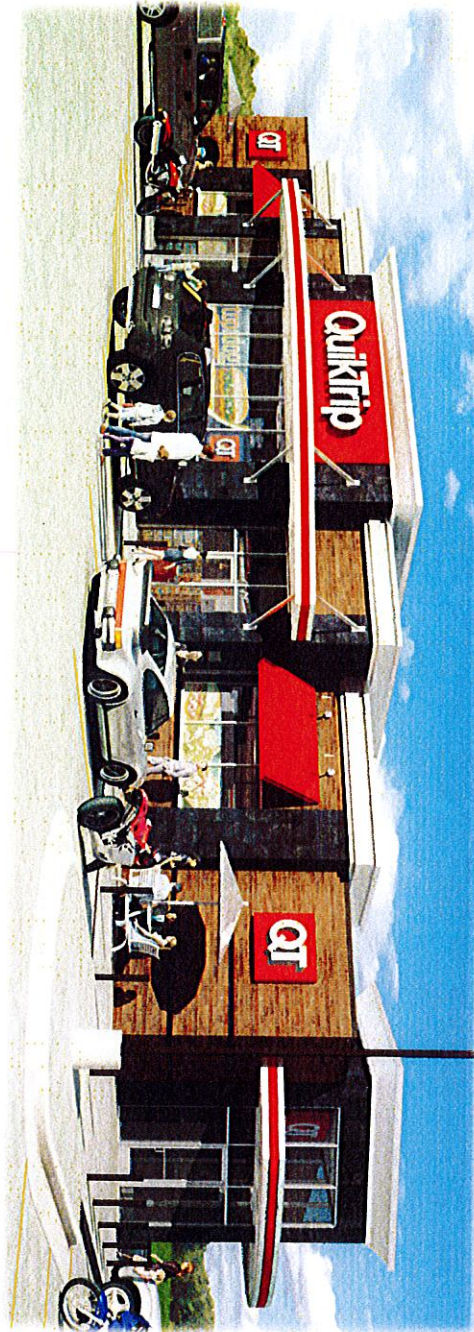
\* Maximum Units Allowed with P.R.D. Bonus





MAY 20 2016

Planning & Development  
Department



**QT QuikTrip**  
4755 South 13th Street, Phoenix, AZ 85042  
Phone: 602.734.2300  
Fax: 602.734.2300  
Email: 602.734.2300

Store # 0406 Angled Entry Building Elevations  
Serial # 05-0406-BSTL  
Scale: 1/16" = 1'-0"  
Issue Date: 04.05.16

Address: 2420 E. Greenway Pkwy  
City, State: Phoenix, AZ

Drawn By: TR  
Rev/Issues:

NO.	DATE	DESCRIPTION	BY	CHKD
1		ISSUED FOR PERMITS		
2		REVISIONS		
3		REVISIONS		
4		REVISIONS		
5		REVISIONS		
6		REVISIONS		
7		REVISIONS		
8		REVISIONS		
9		REVISIONS		
10		REVISIONS		
11		REVISIONS		
12		REVISIONS		
13		REVISIONS		
14		REVISIONS		
15		REVISIONS		
16		REVISIONS		
17		REVISIONS		
18		REVISIONS		
19		REVISIONS		
20		REVISIONS		
21		REVISIONS		
22		REVISIONS		
23		REVISIONS		
24		REVISIONS		
25		REVISIONS		
26		REVISIONS		
27		REVISIONS		
28		REVISIONS		
29		REVISIONS		
30		REVISIONS		