



City of Phoenix
PLANNING AND DEVELOPMENT DEPARTMENT

Staff Report: Z-43-15-6
October 26, 2015

Camelback East Village Planning Committee Hearing Date November 3, 2015
Planning Commission Hearing Date November 10, 2015

Request From: R-O (1.03 acres)
Request To: C-1 (1.03 acres)
Proposed Use Restaurant
Location Approximately 400 feet east of the southeast corner of 40th Street and Camelback Road

Owner Curtis Rapp
Applicant's Representative David Cisiewski
Staff Recommendation Approval, subject to stipulations

General Plan Conformity			
General Plan Land Use Designation		Residential 10 to 15 du / acre	
Street Map Classification	Camelback Road	Arterial	40-foot south half street
<p>CONSERVATION, REHABILITATION & REDEVELOPMENT ELEMENT, GOAL 5: PREVENTION OR ELIMINATION OF DETERIORATION AND BLIGHT CONDITIONS SHOULD BE PROMOTED TO ENCOURAGE NEW DEVELOPMENT AND INVESTMENT.</p> <p>The proposal will develop a long vacant and blighted property into an asset for the community.</p>			
<p>RECREATION ELEMENT, GOAL 3: A FUNCTIONAL NETWORK OF SHARED URBAN TRAILS THAT ARE ACCESSIBLE, CONVENIENT, AND CONNECTED TO PARKS, MAJOR OPEN SPACES, AND VILLAGE CORES, SHOULD BE DEVELOPED THROUGHOUT THE CITY. THE TRAILS SHOULD CONNECT WITH FUTURE REGIONAL TRAIL SYSTEMS WHEREVER POSSIBLE.</p> <p>The proposed restaurant will provide an amenity along the city's existing network of urban trails. This new amenity will improve the experience for trail users.</p>			

Surrounding Land Uses/Zoning		
	<u>Land Use</u>	<u>Zoning</u>
On Site	Vacant	R-O
North	Office	C-O
South	Truck Rental	C-2 SP
East	Multi-Family Residential	R-3
West	Truck Rental	C-2 SP

C-1 (Neighborhood Commercial)		
<u>Standards</u>	<u>Requirements</u>	<u>Proposed</u> (*Variance required)
<i>Building Setbacks</i>		
Street	Average 25 feet (north)	*Not Met – 20 feet
Side	0 feet (southwest) 25 feet (east)	Met – 47 feet *Not Met – 5 feet
<i>Landscape Setbacks</i>		
Street	Average 25 feet (north)	*Not Met – 5 feet
Side	0 feet (southwest) 10 feet (east)	Met - 5 feet *Not Met – 5 feet
Lot Coverage	Maximum 50%	Met – 7%
Building Height	Maximum 30 feet	Met – 15 feet
Parking	Minimum 23 required	Met – 23 provided

Background/Issues/Analysis

1. This is a request to rezone a 1.03 acre parcel from R-O (Residential Office) to C-1 (Neighborhood Retail) to allow for a restaurant.
2. The site is vacant. The unusual triangular shape and small size of the property has made it difficult to develop. The site is also encumbered with a 20 foot access easement along the southwest side of the property for canal maintenance. Parking and open space are allowed within the easement, but no buildings are permitted.
3. The General Plan designation for the parcel is Residential 10 to 15 du / acre. Although the proposal is not consistent with the General Plan designation, an amendment is not required as the subject parcel is less than 10 acres.
4. The site’s location near pedestrian and bicycle amenities such as the Arizona Canal, and high density uses such as multi-family residential, lends itself toward a walkable environment. The applicant has agreed to provide a detached sidewalk along Camelback Road, a dedicated and marked pedestrian walkway to connect with the canal trail, and onsite dedicated bicycle parking. Stipulations

have been included to address both of these requirements. Stipulations have also been included to require additional right-of-way and a sidewalk easement to accommodate the new sidewalk.

5. The City of Phoenix Floodplain Management division of the Street Transportation Department has determined that the site is located in Special Flood Hazard Areas called a Zone A on panel 1765 L of the Flood Insurance Rate Maps (FIRM) dated October 16, 2013.

The Architect/Engineer is required to show the floodplain boundary limits on the Grading and Drainage plan and ensure that impacts to the proposed facilities have been considered, following the National Flood Insurance Program (NFIP) Regulations (44 CFR Paragraph 60.3). This includes, but not limited to provisions in the latest versions of the Floodplain Ordinance of the Phoenix City Code. A copy of the Grading and Drainage Plan needs to be submitted to the Floodplain Management section of Street Transportation Department for review and approval of Floodplain requirements prior to issuance of a Grading Permit.

6. Development and use of the site is subject to all applicable codes and ordinances. Zoning approval does not negate other ordinance requirements. Other formal actions such as, but not limited to, zoning adjustments and abandonment may be required. Because of the odd shape of the subject site, the applicant will be required to obtain several variances for setback reductions for the proposed restaurant.

Findings

1. The proposal is consistent with the surrounding commercial land uses.
2. As stipulated, the proposal would include pedestrian scale amenities including a detached sidewalk, connection to the Arizona Canal Trail system, and bicycle parking.
3. The proposal would develop a long vacant and blighted property into an asset for the community.

Stipulations

1. The development shall be in general conformance with the site plan and elevations date stamped October 19, 2015, except as modified by the following stipulations and approved by the Planning and Development Department.
2. The sidewalk along Camelback Road shall be detached with a minimum five foot wide landscaped strip located between the sidewalk and back of curb as approved by the Planning and Development Department.

3. A pedestrian and bicycle path crossing, constructed of decorative pavers, stamped or colored concrete, or another material, other than those used to pave the parking surfaces and drive aisles, shall be provided from the building entrance to the Arizona Canal trail system, as approved by the Planning and Development Department.
4. The property owner shall provide a bike rack with a minimum capacity of five bikes as approved by the Planning and Development Department.
5. The property owner shall dedicate a total of 50 feet of right-of-way for the south half of Camelback Road, as approved by the Planning and Development Department.
6. The property owner shall dedicate a 5 foot wide sidewalk easement along the south side of Camelback Road as approved by the Planning and Development Department.

Writer

Xandon Keating

10/20/15

Team Leader

Joshua Bednarek

Attachments

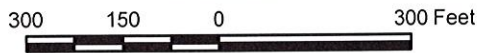
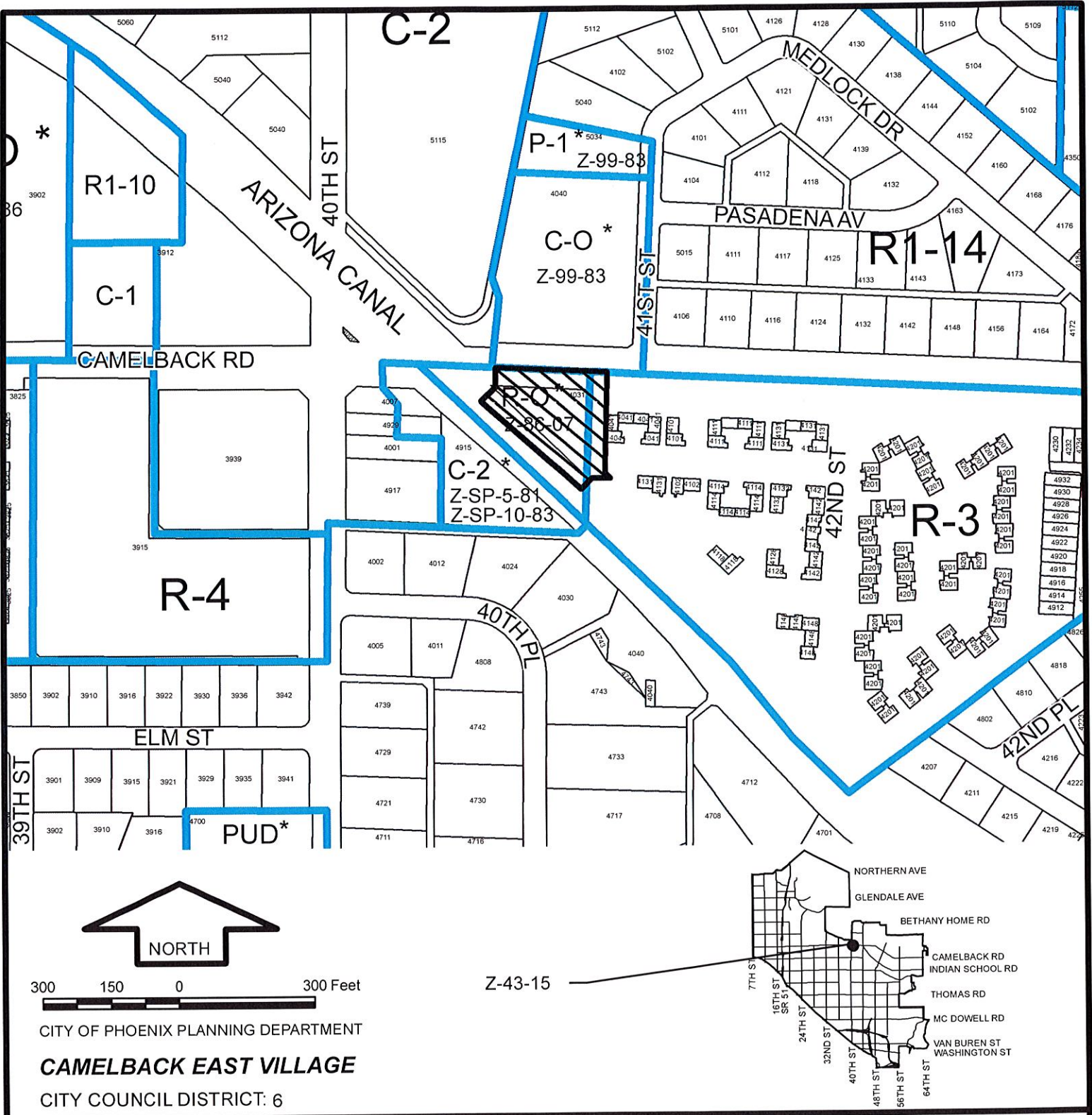
Sketch Map

Aerial

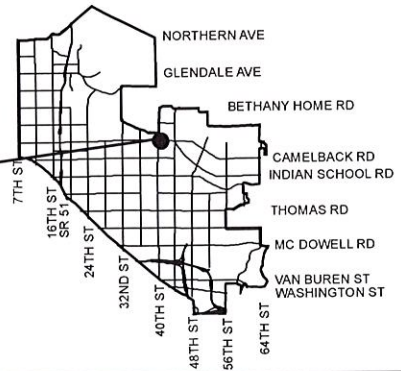
Site Plan (date stamped 10/19/15)

Elevations (date stamped 10/19/15)

Site Rendering (date stamped 10/19/15)

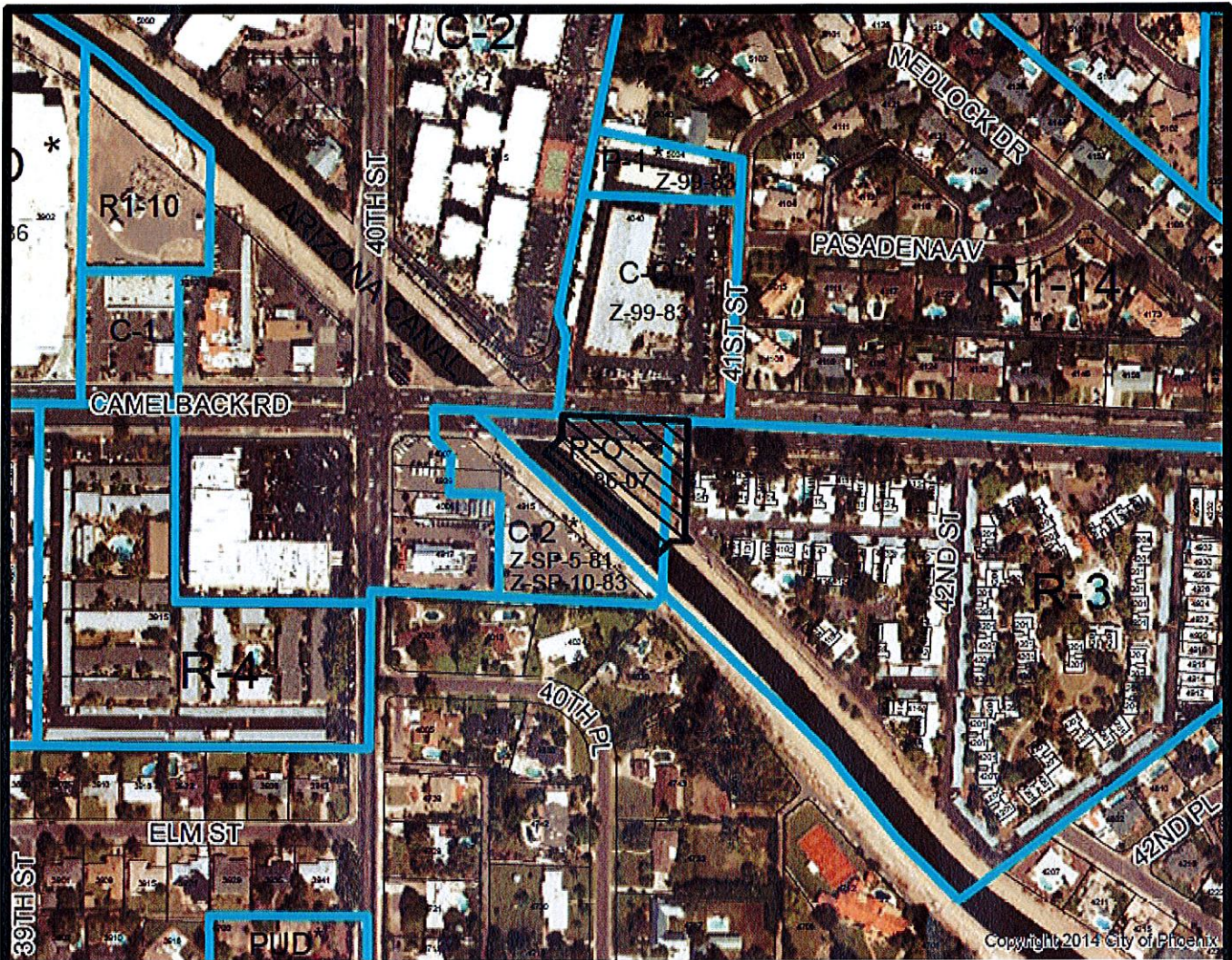


CITY OF PHOENIX PLANNING DEPARTMENT
CAMELBACK EAST VILLAGE
 CITY COUNCIL DISTRICT: 6



APPLICANT'S NAME: Pool Real Estate, LLC		REQUESTED CHANGE: FROM: R-O (1.03 a.c.)	
APPLICATION NO. Z-43-15	DATE: 8/31/15 REVISION DATES:		TO: C-1 (1.03 a.c.)
GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX. 1.03 Acres	AERIAL PHOTO & QUARTER SEC. NO QS 18-37	ZONING MAP H-10	
MULTIPLES PERMITTED R-O C-1	CONVENTIONAL OPTION 1 15		* UNITS P.R.D. OPTION 1 18

* Maximum Units Allowed with P.R.D. Bonus



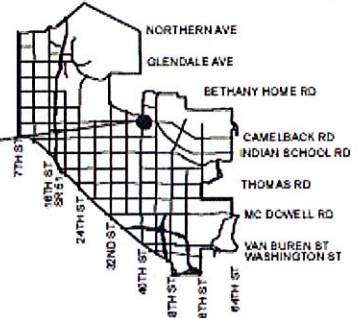
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300 150 0 300 Feet

CITY OF PHOENIX PLANNING DEPARTMENT
CAMELBACK EAST VILLAGE
 CITY COUNCIL DISTRICT: 6

Z-43-15



PROJECT TEAM

OWNER
 AARON POOL
 6826 NORTH 1ST AVENUE
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 TEL: (602) 820-1120
 GADZOOKS@GMAIL.COM

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 NAVIN@PATHANGAYARCHITECTS.COM

PROJECT DATA

ZONING	R-10
PROPOSED ZONING	C-1
APN:	171-34-009C
OCCUPANCY	A-2
CONSTRUCTION TYPE	1A
SITE AREA	0.647 ACRES = 28,190 SF (NET) 1.03 ACRES = 45,091 SF (GROSS)
BUILDING AREA	2000 SQFT.

PROJECT DESCRIPTION

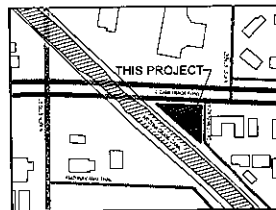
THIS PROPOSED PROJECT IS TO DEVELOP A 2000 SQFT. FAST CASUAL RESTAURANT AT THIS LOCATION. IT IS TO TAKE ADVANTAGE OF THE PEDESTRIAN AND BICYCLE ACCESS FROM THE CANAL.

PARKING CALCULATIONS

PARKING REQUIREMENTS	
REQUIRED:	1 SPACE PER 96 S.F. (INCLUDING OUTSIDE DINING/SALES) EXCLUSIVE OF KITCHEN, REST ROOMS, STORAGE, ETC.
	INTERIOR (800SF/59) = 17
	PATIO (206SF/20) = 4
TOTAL	= 23 SPACES
PROVIDED:	23 SPACES

LEGAL DESCRIPTION

THAT PORTION OF LOT 25, OF CITRUS HOMES, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 7 OF MAPS, PAGE 40, DESCRIBED AS FOLLOWS:
 BEGINNING AT THE NORTHWEST CORNER OF LOT 25, THENCE EAST 232.35 FEET; THENCE SOUTH ALONG LINE DRAWN PERPENDICULAR TO CAMELBACK ROAD TO THE SOUTHWESTERLY BOUNDARY OF SAID LOT 25, A DISTANCE OF 201 FEET, MORE OR LESS;
 THENCE NORTHWEST ALONG SAID SOUTHWESTERLY BOUNDARY TO THE POINT OF BEGINNING, EXCEPTING THE NORTH 1/4.



VICINITY MAP

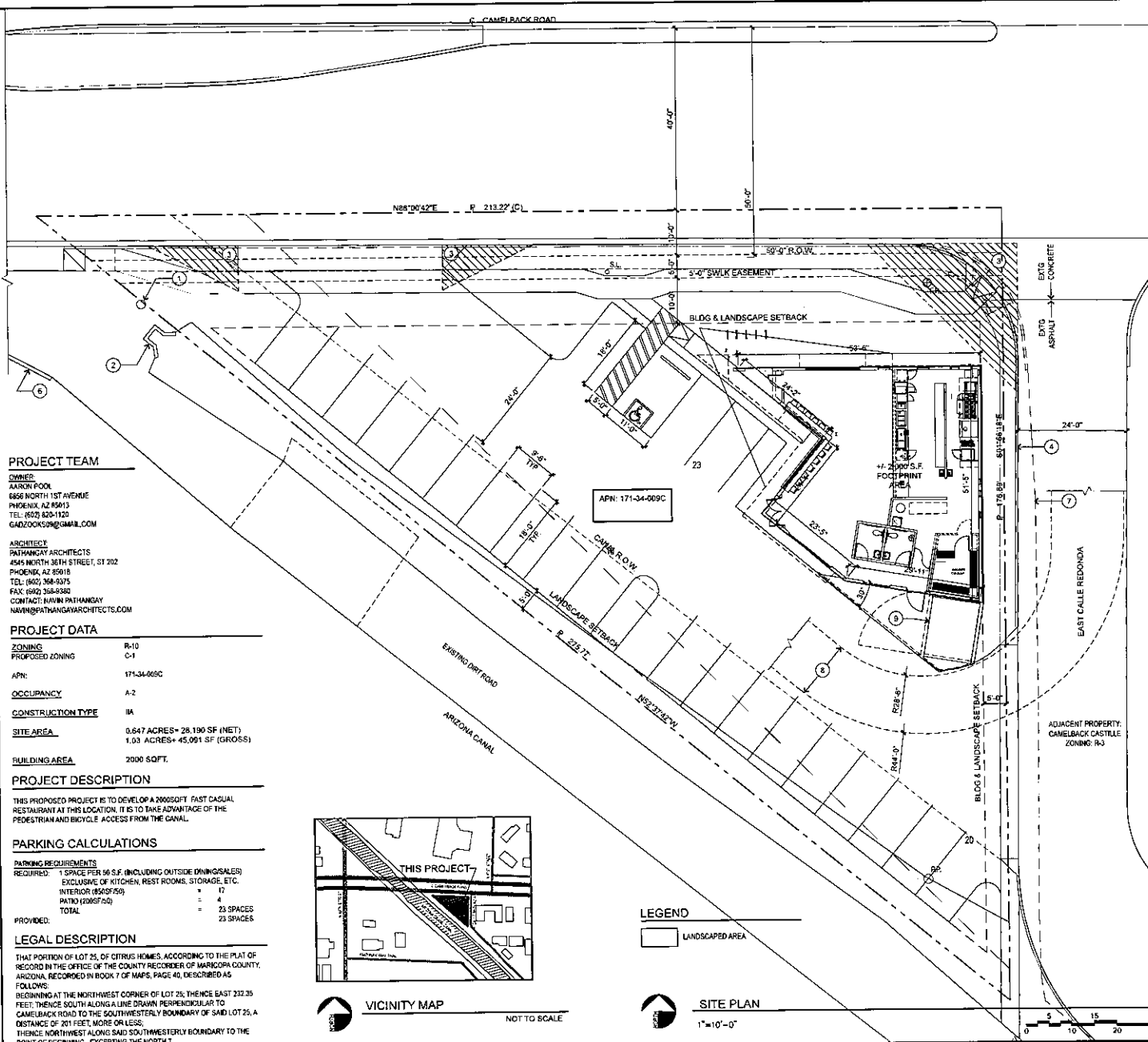
NOT TO SCALE

LEGEND

LANDSCAPED AREA

SITE PLAN

1"=10'-0"



SITE PLAN GENERAL NOTES

1. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
2. ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
3. STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURED BACK 10' FROM THE PROPERTY LINE AND 20' ALONG THE PROPERTY LINE ON EACH SIDE OF THE DRIVEWAY ENTRANCES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 5'.
4. ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ONE FOOT CANDLE AT THE PROPERTY LINE. NO NOISE, ODOR, OR VIBRATION WILL BE EMITTED AT ANY LEVEL EXCEEDING THE GENERAL LEVEL OF NOISE, ODOR, OR VIBRATION EMITTED BY USES IN THE AREA OUTSIDE OF THE SITE.
5. OWNERS OF PROPERTY ADJACENT TO THE PUBLIC RIGHTS-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING LOCATED WITHIN THE RIGHTS-OF-WAY, IN ACCORDANCE WITH THE APPROVED PLANS.
6. THE EXISTING STRUCTURES MUST COMPLY WITH THE CHANGE OF OCCUPANCY PROVISIONS IN THE PHOENIX CONSTRUCTION CODE PRIOR TO USE.
7. AFTER FINAL APPROVAL, THE PROJECT WILL BE INSPECTED FOR ZONING COMPLIANCE DURING CONSTRUCTION AND PRIOR TO OCCUPANCY. THE APPLICANT IS TO NOTIFY CDD PRIOR TO OCCUPANCY TO ARRANGE FOR INSPECTIONS. CALL 282-6881 AND REQUEST A DESIGN REVIEW INSPECTION.
8. ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT.
9. ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTERS AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
10. BARBED, RAZOR, OR CONCERTINA WIRE SHALL NOT BE USED ON THIS SITE WHERE VISIBLE FROM PUBLIC STREETS OR ADJACENT RESIDENTIAL AREAS.
11. SIGNAGE WILL BE REVIEWED UNDER A SEPARATE PERMIT.
12. WALLS ARE NOT APPROVED AS PART OF THE LANDSCAPE PLAN BUT ARE SHOWN FOR REFERENCE ONLY. WALLS ARE EXISTING.
13. ALL RAMPS MUST MEET ADA ACCESSIBILITY GUIDELINES (ADAAG) STANDARDS, 2% MAX CROSS SLOPES, AND 12:1 MAXIMUM LONGITUDINAL SLOPES.

KEY NOTES - SITE PLAN

1. EXISTING POWER POLE TO BE RELOCATED BY OTHERS.
2. EXISTING HEADWALL OF DRAINAGE DITCH.
3. SIGHT VISIBILITY TRIANGLE
4. NEW EDGE OF CURB.
5. NOT USED. YET.
6. EXISTING CANAL HEADWALL.
7. EXISTING EDGE OF ASPHALT.
8. TRASH TRUCK TURNING RADIUS.
9. TRASH ENCLOSURE.

KVA: 15-065
 Q.S.: 19-37
 SDEV: 1500180
 PAPP: 1501480



GADZOOKS 2
ENCHILADAS & SOUP
 4031 E CAMELBACK RD
 PHOENIX 85018



KEY
 PRELIMINARY
 NOT FOR
 CONSTRUCTION

SHEET TITLE
 PRELIMINARY
 SITE PLAN

SHEET NUMBER
A020

DATE
 30 SEPT 2015

BY
 NP

DATE
 2014-11



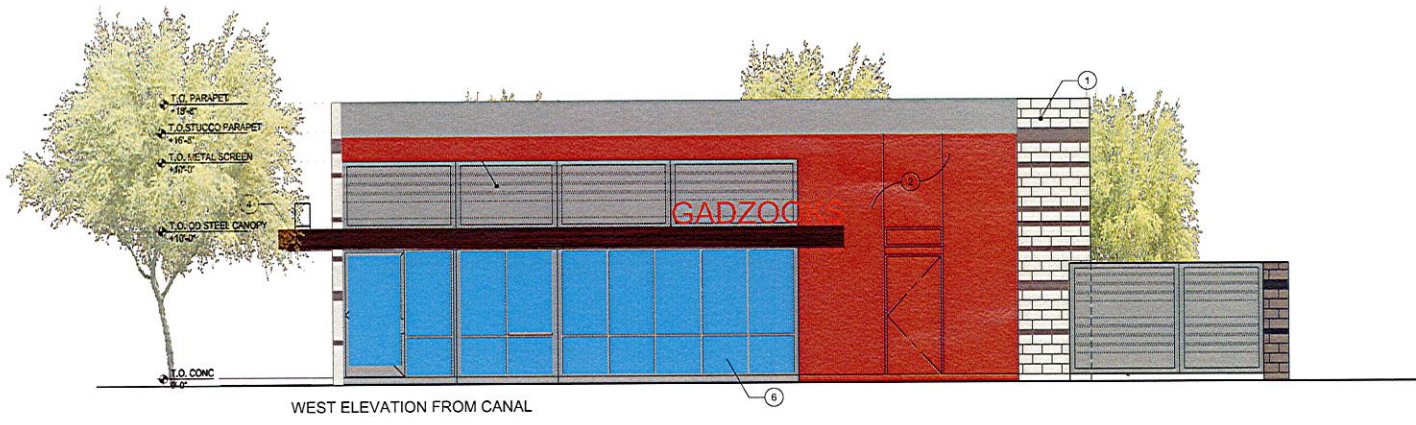
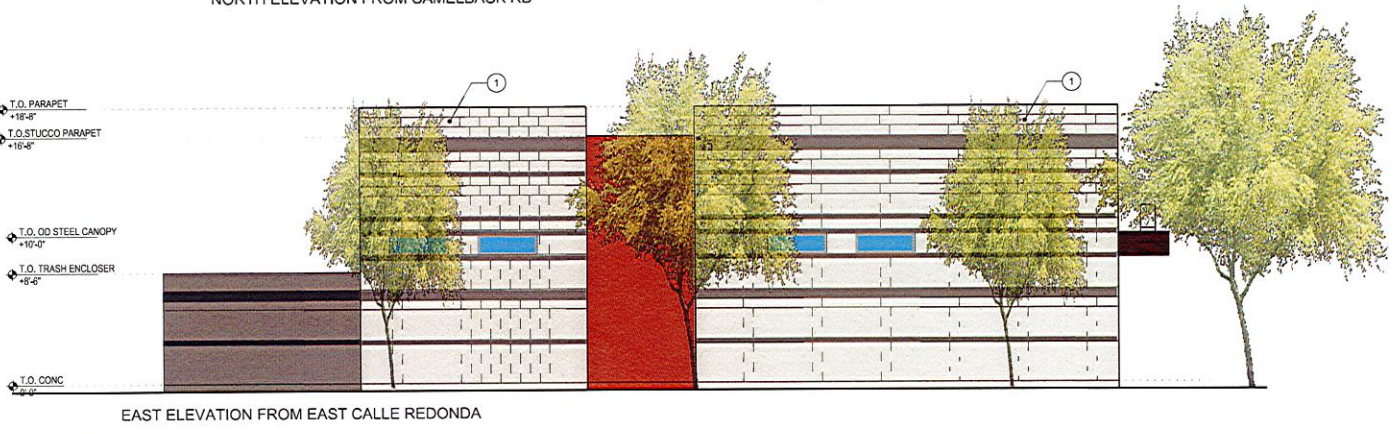
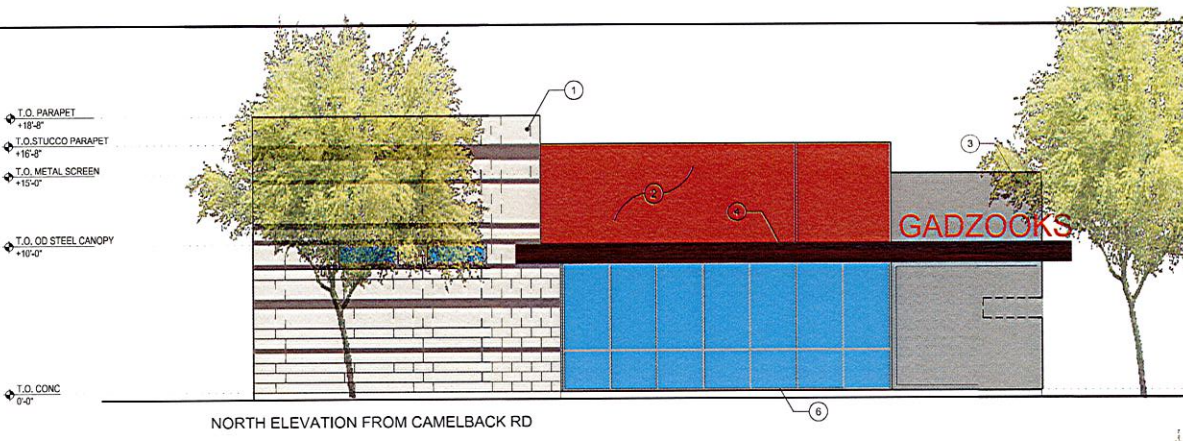
KEY:
 PRELIMINARY
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SHEET TITLE:
 EXTERIOR ELEVATIONS

SHEET NUMBER:
 A401

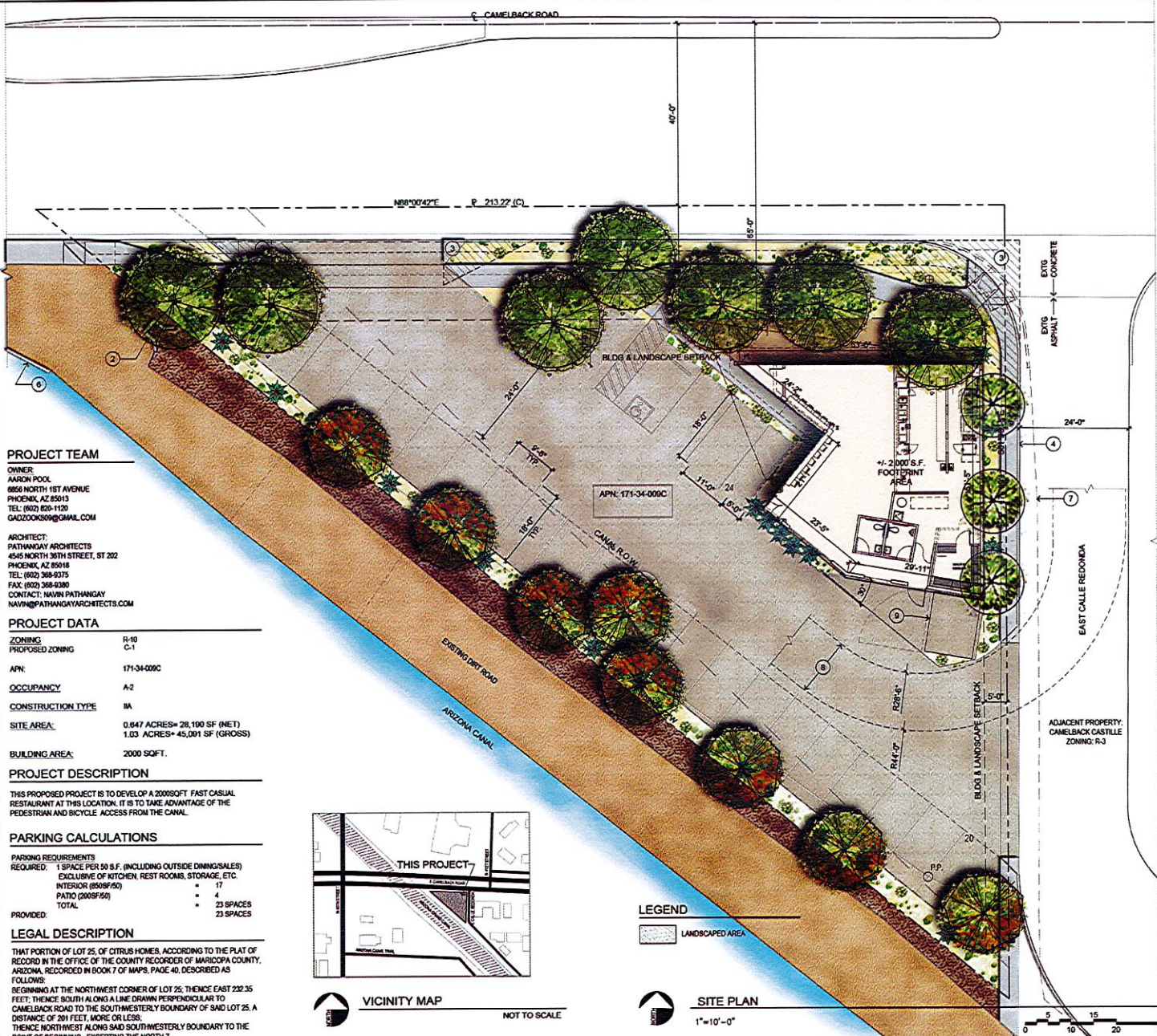
DESIGNED BY: LDM
 DRAWN BY: NP
 DATE: 29 SEPT 2015
 PROJECT NUMBER: 2014-11

- KEY NOTES:
- EXPOSED CONCRETE MASONRY BLOCK, COURSED ASHLAR PATTERN, VARIEGATED COLOR.
 - EXTERIOR INSULATED FINISH SYSTEM (EIFS), SAND FINE TEXTURE (AGGREGATE SIZE NOT TO EXCEED 1.0 MM) w/ AESTHETIC GROOVES, PAINTED PER FINISH SCHEDULE.
 - PERFORATED METAL PANEL SCREEN ENCLOSURE w/ POWDER COAT PER FINISH, COLOR PER SCHEDULE.
 - STEEL RING BEAM, w/ POWDER COAT FINISH, COLOR PER SCHEDULE. SEE STRUCTURAL FOR ADDITIONAL INFO.
 - SIGNAGE UNDER SEPARATE PERMIT.
 - ALUMINUM STOREFRONT GLAZING, TRANSPARENT GLASS U.N.O.



EXTERIOR ELEVATIONS w/ SCREEN ENCLOSURES

1/4" = 1'-0"



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 TEL: (602) 368-9375
 FAX: (602) 368-9380
 CONTACT: NAVIN PATHANGAY
 NAVIN@PATHANGAYARCHITECTS.COM

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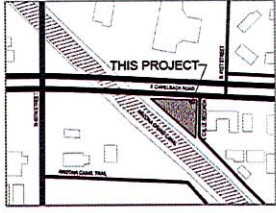
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VICINITY MAP
 NOT TO SCALE

LEGEND
 LANDSCAPED AREA

SITE PLAN
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- NEW EDGE OF CURB.
- NOT USED.
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- EXISTING EDGE OF ASPHALT.
- TRASH TRUCK TURNING RADIUS.
- TRASH ENCLOSURE.

LANDSCAPE LEGEND

BOTANICAL NAME	COMMON NAME	SIZE	QTY
PARSONSONIA ACULEATA	MEXICAN PALO VERDE		
CHILOPSIS LINEARIS 'ART'S SEEDLESS'	SEEDLESS DESERT WILLOW		
DERMATOPHYLLUM SECUNDIFLORUM	TEXAS MOUNTAIN LAUREL		

KVA: 15-085
 Q.S.: 18-37
 SDEV: 1500180
 PAPP: 1501485



4545 NORTH 30TH STREET - SUITE 202
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GADZOOKS 2
ENCHILADAS & SOUP
 4031 E CAMELBACK RD
 PHOENIX 85018

NAVIN PATHANGAY, P.E.
 ARCHITECT

KEY:
PRELIMINARY
NOT FOR
CONSTRUCTION

SHEET TITLE:
PRELIMINARY
SITE PLAN

SHEET NUMBER:
A020

DESIGNED BY: LDM
 CHECKED BY: NP
 DATE: 30 SEPT 2015
 REVISION: 2014-11