



**City of Phoenix**  
PLANNING AND DEVELOPMENT DEPARTMENT

**Staff Report: Z-43-A-99-2**  
June 26, 2014

**North Gateway Village Planning Committee Meeting Date** July 10, 2014

**Planning Commission Hearing Date** August 12, 2014

**Request From:** C-2 PCD NBCOD (25.69 acres)

**Request To:** R-2 PCD NBCOD (25.69 acres)

**Proposed Use** Single-Family Residential

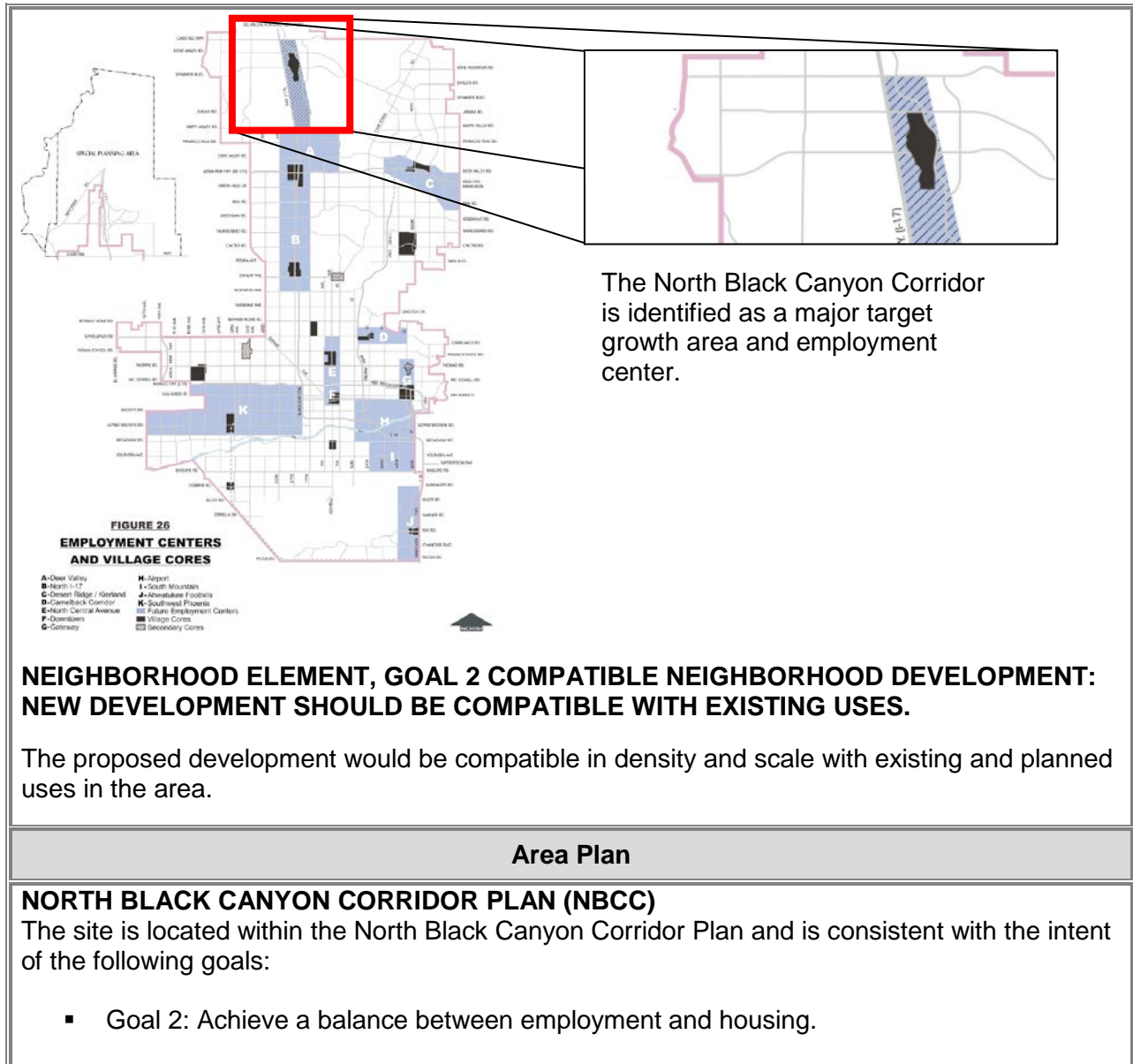
**Location** Northeast corner of North Valley Parkway and Sonoran Desert Drive

**Owner** Evergreen North Valley and Sonoran, LLC

**Applicant/ Representative** Ed Bull, Burch & Cracchiolo PA

**Staff Recommendation** Approval, subject to stipulations

General Plan Conformity			
<b>General Plan Land Use Designation</b>		<u>Existing</u> Commercial (24.08 Acres) Residential 5 to 15 du/ac (1.48 Acres) Residential 2 to 5 du/ac (0.13 Acres)	
		<u>Proposed</u> Residential 5 to 10 du/acre (25.69 Acres), per GPA-NG-1-14-2	
<b>Street Map Classification</b>	North Valley Parkway	Major Arterial	70-foot half-street
	Sonoran Desert Drive	Major Arterial	70-foot half-street
	North Foothills Drive	Minor Collector	30-foot half-street
<p><b><i>Neighborhood Element Goal 1, Policy 1: Promote neighborhood identity through planning that reinforces the existing landscaping and character of the area. Each new development should contribute to the character identified for the village.</i></b></p> <p>This proposal will create 111 new dwelling units within the North Gateway Village and develop a vacant parcel in a manner that is compatible with the area's existing, developing, and planned character.</p>			



**Area Plan**

**NORTH BLACK CANYON CORRIDOR PLAN (NBCC)**

The site is located within the North Black Canyon Corridor Plan and is consistent with the intent of the following goals:

- Goal 2: Achieve a balance between employment and housing.

**Surrounding Land Uses/Zoning**

	<b>Land Use</b>	<b>Zoning</b>
<b>On Site</b>	Vacant	C-2 PCD NBCOD
<b>North</b>	Vacant	PCD NBCOD (Approved R-3)
<b>South</b>	Vacant	C-2 HGT/WVR NBCOD
<b>East</b>	Residential	R-2 PCD NBCOD
<b>West</b>	Vacant	PCD NBCOD (Approved C-2 & CP/GCP M-R)

<b>Single-Family</b>		<i>*if variance required</i>
<b><u>Standards</u></b>	<b><u>Requirements</u></b>	<b><u>Provisions on the Proposed site Plan</u></b>
Development Option	Planned Residential Development	Planned Residential Development
Gross Acreage	N/A	25.69 Acres
Total Number of Units	166/308	111
Density	6.5/12 du/acre with density bonus	4.32 du/acre (MET)
Typical Lot Size	45'(w) x None (d)	31' x 86' to 41' x 86'
Subject to Single-Family Design Review	10% or more of the lots are equal or less	Yes
Open Space	Minimum 5% of gross area- (1.28 Acres)	34.5% Open Space- (8.88 Acres) (MET)

### **Background/Issues/Analysis**

#### GENERAL

1. This request is to rezone a commercially zoned property from C-2 Planned Community District (PCD), North Black Canyon Overlay District (NBCOD) to R-2 PCD NBCOD (single-family residential) in order to develop a single-family subdivision.
2. The subject 25.69-acre property is located at the northeast corner of North Valley Parkway and Sonoran Desert Drive. Currently the property is undeveloped, vacant land. The site is located in an area that consists primarily of single-family residential uses.
3. The General Plan Land Use Map designates the subject site as Commercial (24.08 acres), Residential 5 to 15 du/ac (1.48 Acres), and Residential 2 to 5 du/ac (0.13 Acres). There is a companion General Plan amendment (GPA-NG-1-14-2) to amend the General Plan designation from the above designations to Residential 5-10 du/ac to be consistent with the proposed single-family development.
4. The subject site is located east of a vacant piece of land zoned PCD NBCOD (Approved C-2 & CP/GCP M-R). Land to the north is zoned PCD NBCOD (Approved R-3) and is currently vacant. A single-family dwelling subdivision is located to east of the subject site and is zoned R-2 PCD NBCOD. The land immediately to the south is vacant and zoned C-2 HGT/WVR NBCOD.

5. Located within the North Gateway Village, the proposed zoning, site plan and elevations are consistent with the existing designations and low density single-family residential. Additional stipulations which require view fencing adjacent to the wash to the east and decorative walls along North Valley Parkway, North Foothills Drive, and Sonoran Desert Drive are intended to maintain the existing character of the surrounding neighborhoods and landscape.
6. The proposed development is located within the North Black Canyon Overlay District boundaries. The proposed single family development is compatible with the overlay's design guidelines and requirements by achieving the following:
  - Integrates the natural desert environment into the built environment.
  - Helps to creates a unique identity for the North Black Canyon Corridor.
  - Preserve identified washes and amenities to allow them to serve multi-use functions, including drainage.
7. The development will consist of 111 homes with various façade options available. As submitted, the proposed site plan will complement the existing residential neighborhoods in the area. Stipulations have been included that will include and general conformance to the site plan and elevations.
8. The main entryway is provided on North Valley Parkway with an internal roadway network to provide connectivity. Stipulations have been included to incorporate the design aesthetic utilized in neighboring projects along North Valley Parkway. Additionally, the main entryway and gate design will be required to conform to the North Black Canyon Overlay District.
9. The site proposes over 8.5 acres of open space. Several large open space tracts are provided internal to the site which will be linked by internal pedestrian walkways. These tracts are compatible with the open space provided in adjacent neighborhoods and the surrounding landscape and will be stipulated through the general conformance stipulation as well as a stipulation requiring that a minimum of 30 percent of open space be provided. The eastern portion of the site interfaces with a wash. Per the North Black Canyon Overlay District, additional stipulations have been included for view fencing for lots adjacent to the wash.
10. WATER COMMENTS: Per City Code 37-33 all bounding streets are required to have water infrastructure, if not a main extension is required. There is a 12-inch water main in Sonoran Desert Drive and an 8-inch stub form the 54-inch water main in North Valley Parkway. This stub-out appears to be within the proposed Calle Marita alignment. To prevent Water quality issues, the Water Services Department recommends all water lines to be looped. A 25-foot water and sewer easement with 24-hour maintenance access may be required. If the new ROW will be dedicated as a Private Access Way, it will have to comply with City's Standard

Detail P-1020-2 for Private Access Way requirements. This project is located within Water Pressure Zone 5ED and is not located within a Water Repayment Area.

11. SEWER COMMENTS: Per City Code 28-21 Sewer mains shall be extended to serve property to the point of need. There is an existing 15-inch sewer main in Sonoran Desert Drive. Connect to COP Manhole MH#55-23-405 or MH#55-23-406, or construct a new manhole. The project is not located within a Sewer Repayment Area.
12. Fire prevention does not anticipate any problems with this case. But the site or/and building(s) shall comply with the Phoenix Fire Code.
13. This location is currently not served by an existing route due to its outlying location. There are existing improved stops approximately a quarter-mile from this proposed subdivision. There are no additional Public Transit requests at this time pertaining to this location.
14. Development and use of this site is subject to all applicable codes and ordinances. Zoning approval does not negate other ordinance requirements. Zoning adjustments or other formal actions may also be required independent of the zoning request.

### **Findings**

1. The proposed rezoning provides new housing opportunities which are compatible with the character and feel of the surrounding area.
2. The proposed zoning will complement uses in the surrounding area.
3. As stipulated, the proposal will enhance the access to wash views and create both passive and active recreational opportunities.

### **Stipulations**

Site Plan and Elevations:

1. The zoning stipulations from the original PCD case on this property (Z-43-99-2) shall apply to this site, except as may be superseded by the North Black Canyon Corridor Design Guidelines and as may be modified by the following stipulations:
2. The development shall be in general conformance with the site plan date stamped June 25, 2014 and elevations date stamped May 12, 2014, as approved by the Planning and Development Department
3. An updated General Development Plan for the Sonoran Foothills PCD reflecting the changes approved through this request shall be submitted to the Planning

and Development Department within 90 days of City Council approval of this request.

4. A minimum of 30 percent of the gross project area shall be retained as open space, including washes and hillside areas as approved by the Planning and Development Department.
5. All landscaping in the right-of-way to be maintained by homeowners association (HOA).

Walls:

6. Provide view fencing adjacent to wash to the east, for lots 40-43, 46-49, 52-54, 64, 67, and 99-101 where more than one side of the back yard of a lot is adjacent to open space. In this case, one side must have view fencing and a minimum ten-foot return of view fencing should be used adjacent to the side that is all view fencing. This will typically be along the side yard. And, where two rear yards are in close proximity then one wall should provide view fencing to the open space and the other may be solid.
7. Any perimeter walls adjacent to North Valley Parkway, Sonoran Desert Drive, or North Foothills Drive shall include material and textural differences, such as stucco and/or split face block with a decorative element, as approved by the Planning and Development Department. The NBCC requires stone detail of rock, stone veneer, stonework or faux stone to be incorporated.

Other:

8. Prior to final site plan approval, the property owner shall record documents that disclose to purchasers of the property within the development the existence and operational characteristics of the mining operation near the development, that it is an active mine, has the potential to be active seven days a week, 24 hours a day, and is anticipated to continue until the rock resources are exhausted, which could be for 20 or more years.

Streets Transportation:

9. The developer shall construct the 3rd northbound lane on North Valley Parkway, between Sonoran Desert Drive and North Foothills Drive as per plans approved by the City. All improvements shall comply with all ADA accessibility standards.

Trails:

10. A 10-foot multi-use trail shall be constructed within a 30-foot multi-use trail easement along Sonoran Desert Drive and North Valley Parkway as approved by the Planning and Development Department.

**Writer**

Ray Brown

**Team Leader**

Josh Bednarek

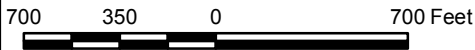
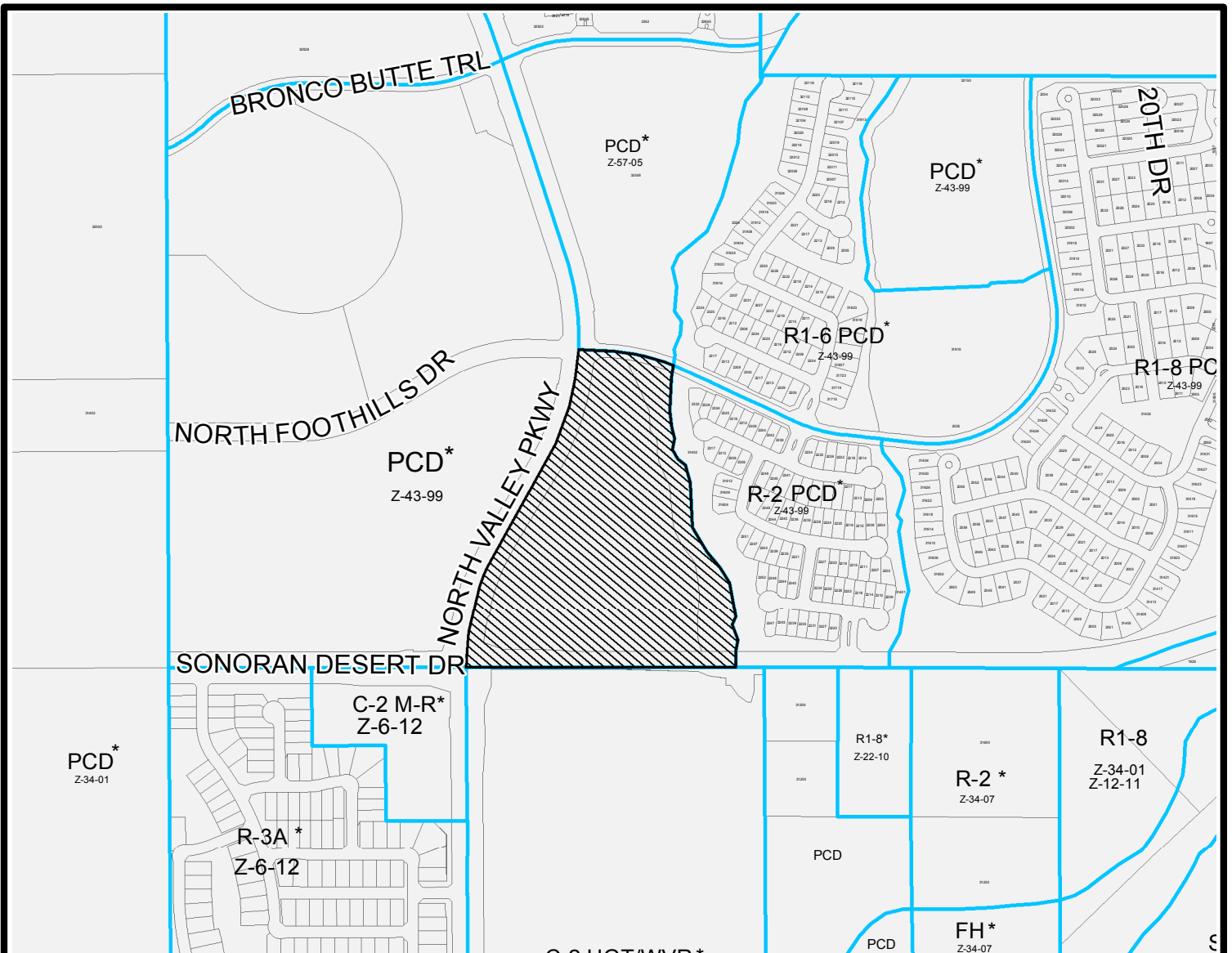
**Attachments**

Zoning sketch

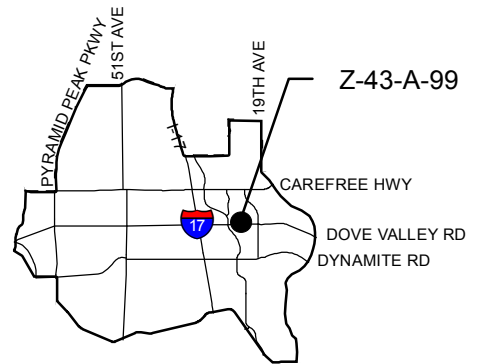
Aerial

Site Plan date stamped June 25, 2014

Elevations date stamped May 12, 2014 (18 pages)



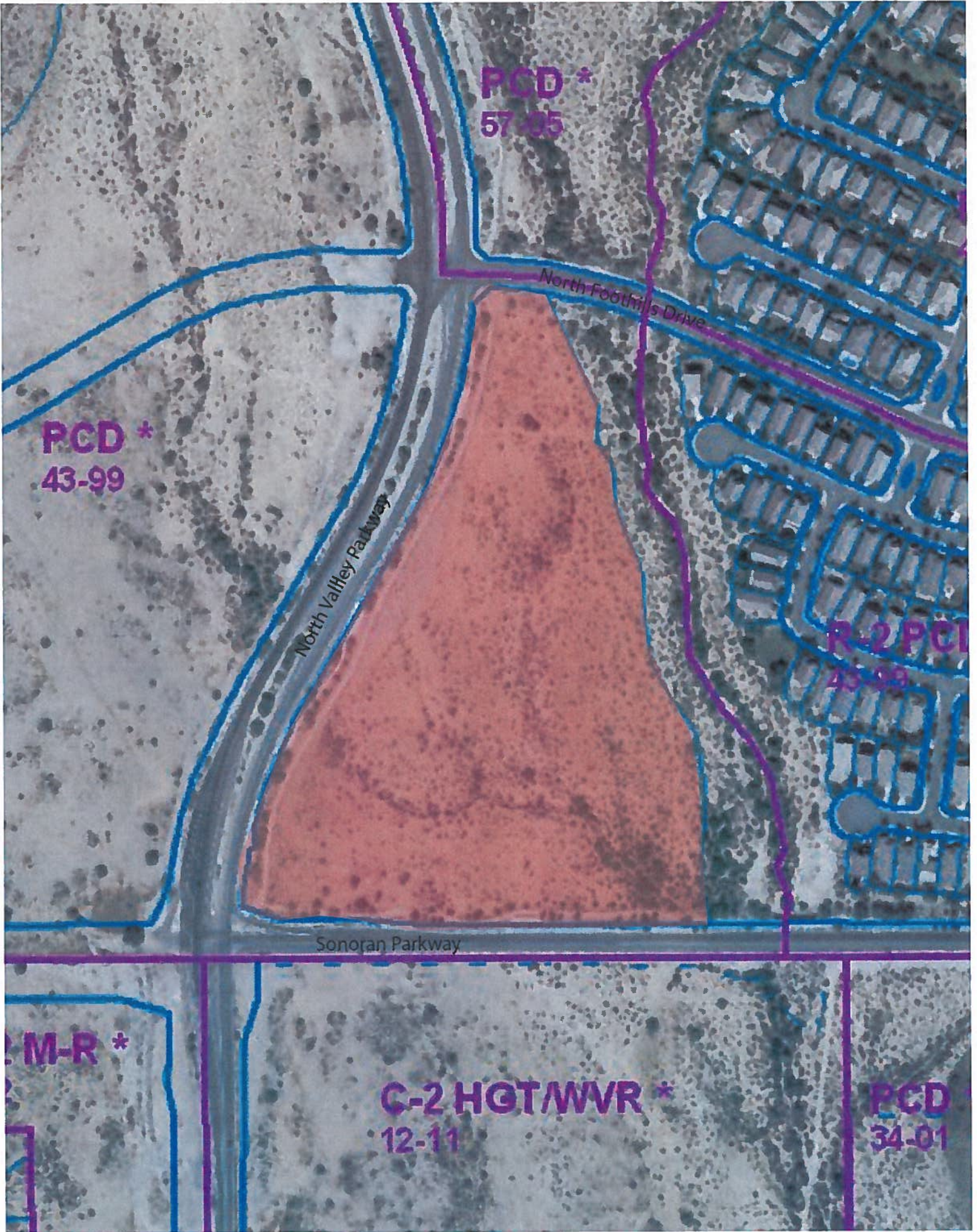
CITY OF PHOENIX PLANNING DEPARTMENT  
**NORTH GATEWAY VILLAGE**  
 CITY COUNCIL DISTRICT: 2



<b>APPLICANT'S NAME:</b> Ed Bull, Burch & Cracchiolo PA		<b>REQUESTED CHANGE:</b>	
<b>APPLICATION NO.</b> Z-43-A-99		<b>FROM:</b> C-2 PCD NBCOD, (25.69 a.c.)	
<small>GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX.</small> <b>25.69 Acres</b>		<b>TO:</b> R-2 PCD NBCOD, (25.69 a.c.)	
<b>DATE:</b> 5/16/14 <small>REVISION DATES:</small>			
<small>AERIAL PHOTO &amp; QUARTER SEC. NO.</small> <b>QS 55-23</b>		<small>ZONING MAP</small> <b>Q-7</b>	
<b>MULTIPLES PERMITTED</b>		<b>CONVENTIONAL OPTION</b>	
C-2		372	
R-2		256	
		<b>* UNITS P.R.D. OPTION</b>	
		447	
		308	

\* Maximum Units Allowed with P.R.D. Bonus





PCD \*  
57-05

PCD \*  
43-99

R-2 PCD  
43-99

North Valley Parkway

North Foothills Drive

Sonoran Parkway

M-R \*

C-2 HGT/WVR \*  
12-11

PCD  
34-01



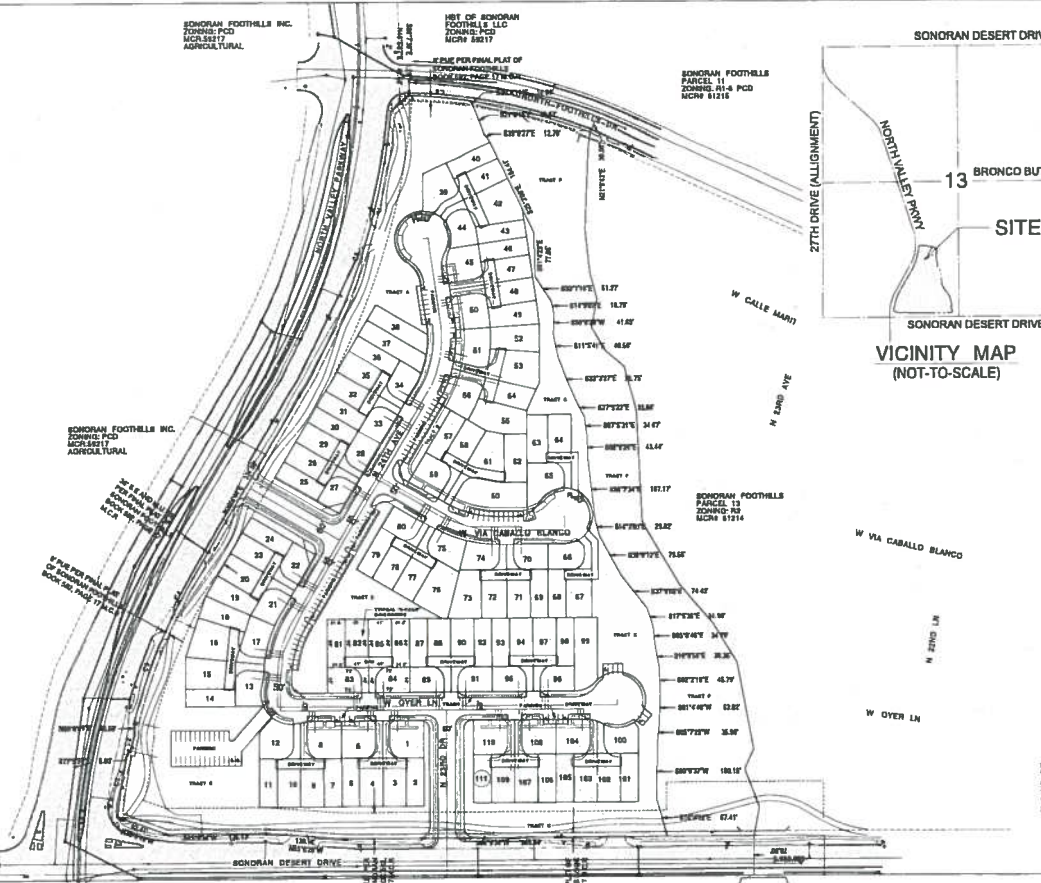
**GENERAL NOTES:**

- 1) DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
- 2) THIS PROJECT IS LOCATED IN THE CITY OF PHOENIX WATER SERVICE AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSIGNED WATER FLOW.
- 3) ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
- 4) ALL SIGNAGE REQUIRES SEPARATE APPROVALS AND PERMITS.
- 5) ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM THE ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ONE FOOT CANDLE AT THE PROPERTY LINE. NO NOISE, DOOR OR VIBRATION WILL BE EXCEEDED SO THAT IT EXCEEDS THE GENERAL LEVEL OF NOISE OR VIBRATION LIMITED BY USES OUTSIDE OF THE SITE.
- 6) OWNERS OF PROPERTY ADJACENT TO PUBLIC RIGHT-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING WITHIN THE RIGHT-OF-WAY IN ACCORDANCE WITH APPROVED PLANS.
- 7) THE MAXIMUM LOT COVERAGE IS AS FOLLOWS: 4% FOR PRIMARY STRUCTURES, PLUS 1% FOR ATTACHED BRIDGE STRUCTURES.
- 8) EACH LOT IN THIS SUBDIVISION IS PERMITTED ONE DWELLING UNIT.
- 9) AN ASSOCIATION INCLUDING ALL PROPERTY OWNERS IN THE DEVELOPMENT WILL BE FORMED AND HAVE BECOME A TRACT OR MANAGEMENT INCLUDING PRIVATE STREETS, LANDSCAPED AREAS, AND SHARING FACILITIES IN ACCORDANCE WITH APPROVED PLANS.
- 10) AFTER FINAL APPROVAL THE PROJECT WILL BE INSPECTED FOR ZONING COMPLIANCE DURING CONSTRUCTION AND PRIOR TO OCCUPANCY. THE APPLICANT IS TO NOTIFY PHD PRIOR TO A SITE INSPECTION.
- 11) A MINIMUM 18-FOOT SETBACK SHALL BE PROVIDED FROM THE BACK OF THE SIDEWALK TO THE FACE OF THE GARAGE DOOR.
- 12) STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURING 24 FEET X 24 FEET ALONG THE PROPERTY LINES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3 FEET.
- 13) STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURING 24 FEET X 24 FEET ALONG THE PROPERTY LINES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3 FEET.
- 14) FINAL BUILDING PERMIT CANNOT BE OBTAINED UNTIL BUILDING OR APPROVED ASSURANCES ARE PROVIDED FOR THE LANDSCAPING WITHIN THE RIGHT-OF-WAY.

**CITY OF PHOENIX**

JUN 25 2014

**Planning & Development Department**



**CONCEPTUAL SUBDIVISION PLAN FOR SONORAN FOOTHILLS PARCEL 10**



**PREPARED FOR:**  
 SONORAN NORTH VALLEY & SONORAN, L.L.C.  
 130 E. CAMBRIDGE ROAD, STE 410  
 PHOENIX, AZ 85014  
 PHONE: (602) 951-7118  
 CONTACT: KEITH PEROME

**APPLICANT:**  
 BURCH & CRACKFORD, P.A.  
 102 E. OSWEGO ROAD, STE 200  
 PHOENIX, AZ 85014  
 PHONE: (602) 234-4813  
 FAX: (602) 234-7811  
 CONTACT: BOB BULL

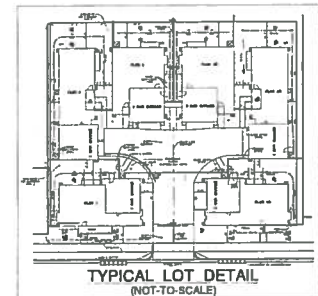
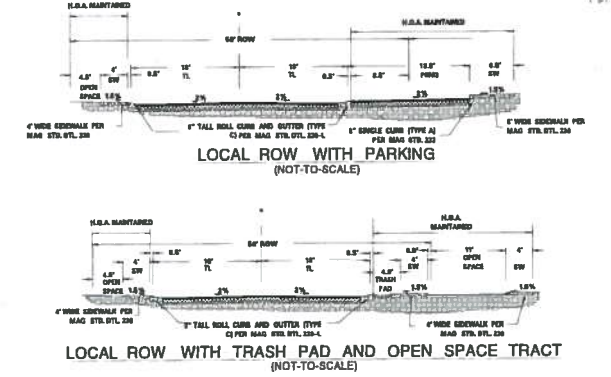
**PREPARED BY:**  
 COE & MAN LOO CONSULTANTS INC.  
 4550 N. 128TH STREET  
 PHOENIX, AZ 85018  
 PHONE: (602) 954-1700  
 FAX: (602) 954-1701  
 CONTACT: RYAN WOOD

**LEGAL DESCRIPTION:**  
 PARCEL 10 OF SONORAN FOOTHILLS PCD, ACCORDING TO THE PLAN OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 332 OF MAPS, PAGE 17.

**BENCHMARK:**  
 BENCHMARK IS ADOT DRABBS CAP #1889-66 IN TOP OF BARRIER WALL AT THE NORTHEAST CORNER OF CAMBRIDGE HIGHWAY BRIDGE OVER GROUND LEVEL 1770'-0" WEST OF THE NORTHEAST CORNER OF SECTION 17, T14N, R2E ELEVATION = 1565.17 FEET (CITY OF PHOENIX DATUM)

**BASIS OF BEARING:**  
 BASIS OF BEARING IS THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 17, T14N, R2E WHICH BEARS SOUTH 88 DEGREES 49 MINUTES 34 SECONDS WEST.

- LEGEND:**
- PROPOSED LOT LINE
  - PROPOSED ROW LINE
  - PROPOSED BOUNDARY LINE
  - PROPOSED ROW CENTERLINE
  - RIGHT VISIBILITY LINE
  - INDICATES VEHICULAR NON-ACCESS EASEMENT
  - INDICATES PUBLIC UTILITY EASEMENT
- UTILITIES/SERVICES:**
- WATER: CITY OF PHOENIX
  - SEWER: CITY OF PHOENIX
  - POWER: SALT RIVER PROJECT
  - CABLE: COX
  - GAS: SOUTHWEST GAS
  - TELEPHONE: CENTURY LINK
  - FIRE: CITY OF PHOENIX
  - POLICE: CITY OF PHOENIX
  - SCHOOL: PARADISE VALLEY UNION
  - DISTRICT: PARADISE VALLEY UNION
  - REFUSE: CITY OF PHOENIX



**SITE DATA**

SONORAN FOOTHILLS PARCEL 10	
GROSS AREA (ACRES)	25.76
NET AREA (ACRES)	17.82
EXISTING ZONING	C-2 PCD (R8000)
PROPOSED ZONING	R-2 PCD (R8000)
ASSESSORS PARCEL NUMBERS (APNs)	294-12-018
PROPOSED LOT SIZE	S.F. CLUSTER
TOTAL NUMBER OF LOTS	111
GARAGE PARKING (2 PER UNIT)	222
GUEST PARKING SPACES	111
TOTAL PARKING SPACES	333
GROSS DENSITY	4.31 DU/AC
OPEN SPACE (ACRES)	8.88 (34.5%)

**LOT COVERAGE CALCULATION**

	50 FT	AC
GROSS AREA	1,311,918	25.76
INDICATED ROW	338,297	7.72
NET AREA	403,583	9.24
PRIMARY STRUCTURES		
DIVIDED BY 111 LOTS	1,456.49	0.03
SHADE STRUCTURE		
NET AREA 4.0%	40,358	0.92
DIVIDED BY 111 LOTS	363	0.01
TOTAL	1813	0.04

**TRACTS**

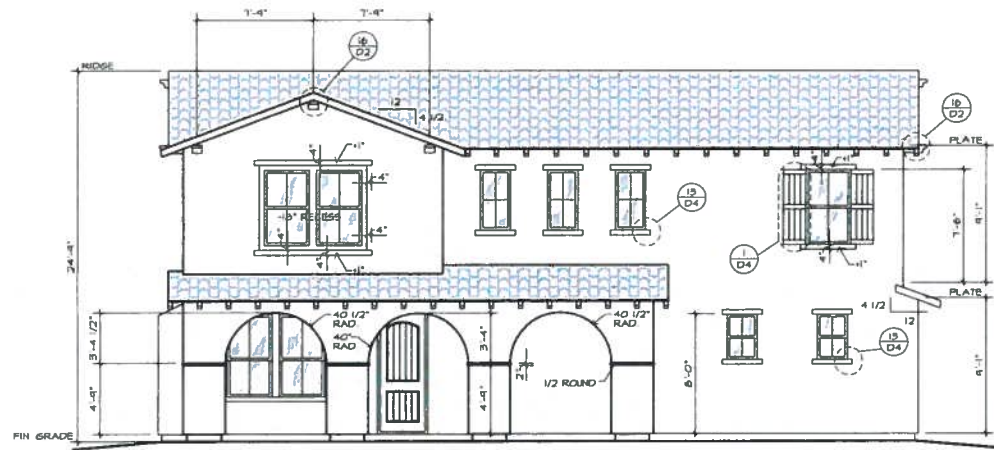
TRACTS	AREA ACRES	S.F.	DESCRIPTION
A	1.25	54,450	OPEN SPACE/LANDSCAPE TRACT (TRACT TENTION/CRANMANAGEMENT U.T.E.)
B	2.08	89,734	OPEN SPACE/LANDSCAPE TRACT (TRACT TENTION/CRANMANAGEMENT U.T.E.)
C	1.51	65,776	OPEN SPACE/LANDSCAPE TRACT (TRACT TENTION/CRANMANAGEMENT U.T.E.)
D	0.51	22,216	OPEN SPACE/LANDSCAPE TRACT (TRACT TENTION)
E	0.69	3,000	LANDSCAPE TRACT
F	3.48	150,718	WASH
TOTAL	8.58	348,813	

RVA 01 018  
 PAPP-130134  
 DATE: 06-19-14

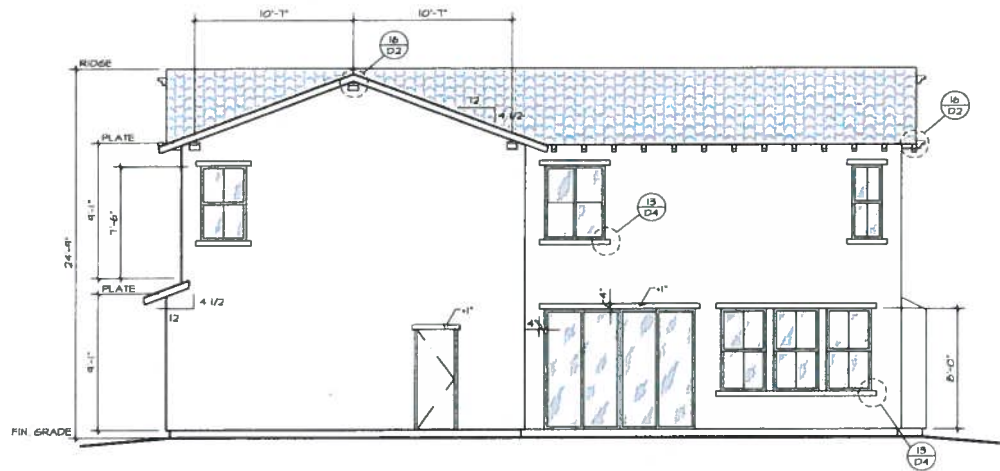
**ICVL CONSULTANTS**  
 4550 N. 128th Street  
 Phoenix, AZ, 85014  
 Phone: (602) 294-8831  
 Fax: (602) 294-0028  
 Web: www.icvl.com

**SHEET NUMBER**  
 01 OF 01  
 CVL Department: PLANNING  
 CVL Project #: 07\_0340301  
 CVL File:

DESIGN: AC  
 DRAWN: AC  
 CHECK: DC



**FRONT ELEVATION "A"**



**REAR ELEVATION "A"**

**GENERAL NOTES**

- EXTERIOR FINISHES TO BE APPLIED STUCCO SYSTEM, TYP
- ROOF FINISHES TO BE CLASS "A" EAGLE INTERLOCKING CONCRETE ROOF TILES (22" ESH-HOOD) WITH FIRESTOP TO PREVENT INTRUSION OF FLAMES AND SMOKE
- EXTERIOR PAINT COLORS TO MATCH DESIGN REVIEW OR PLANNING DEPARTMENT APPROVAL.
- FASCIAS TO BE HOOD IF APPLICABLE
- HANGAR FRAMES TO BE VINYL
- GARAGE DOORS TO BE SECTIONAL GARAGE DOORS.
- FOAM POPOUTS, FOAM ACCENTS, THROUGH ROOF APPLICATIONS, RECESSES AND DECORATIVE CASABLES TO MATCH APPROVED DESIGN REVIEW OR PLANNING DEPARTMENT APPROVAL.
- A PERMANENT ADDRESS IS REQUIRED AND SHALL BE PLAINLY VISIBLE & LEGIBLE FROM THE STREET FRONTING THE PROPERTY.
- SEE ARCHITECTURAL DETAIL SHEETS FOR MORE INFORMATION
- SEE DETAIL 101 FOR HEEP SCABED DETAIL
- SEE DETAILS 301 & 301 FOR STUCCO POPOUT DETAILS
- SEE DETAILS 401 FOR STUCCO POTSHIELD DETAILS
- SEE DETAIL 501 FOR WALL PENETRATION DETAIL
- SEE DETAIL 101 FOR HANGAR FLASHING DETAILS
- SEE DETAIL 1201 FOR FLASHING @ 1" VENT DETAIL
- SEE DETAIL 1201 FOR 1" VENT FLASHING DETAIL
- SEE DETAIL 1201 FOR ROOF PENETRATION DETAIL
- SEE DETAILS 1401 & 1501 FOR THRESHOLD DETAILS
- SEE DETAILS 1 & 2, 3003 FOR OVERHANG DETAILS
- SEE DETAILS 3 & 7, 8, 4003 FOR ROOF FLASHING DETAILS
- SEE DETAILS 17, 18002 FOR EXT. SOPFIT DETAILS
- SEE DETAILS 1003 THRU 1003 FOR HANGAR AND DOOR DETAILS

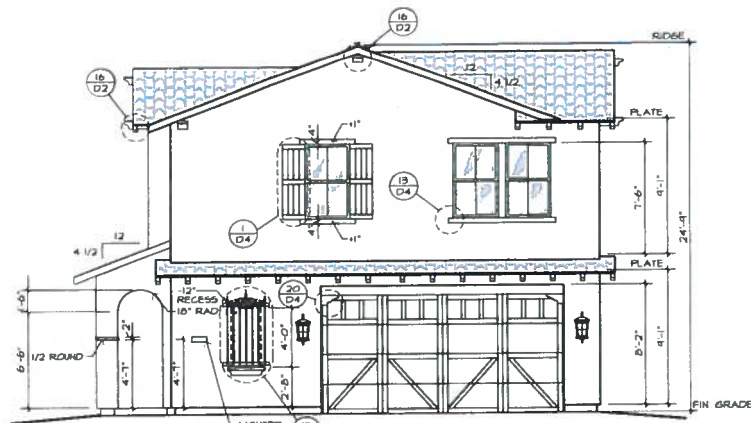
**CITY OF PHOENIX**  
MAY 13 2014  
Planning & Development  
Department

REVISIONS
▲ 7/10/10-2007 CODES
▲ 7/20/10-2007 CODES
▲ 12/14/10-2007 CODES
▲
▲
LATEST REVISION

**SheatHomes**  
1250 CORONA POINT COURT  
SUITE 600  
CORONA, CALIFORNIA 92879  
(951) 270-3751

**PLAN 1**  
**AMBER @ BLACKSTONE**  
**(PA-3B TONNER HILLS)**

SCALE: 1/2" = 1'-0"    1/4" = 1'-0"    1/8" = 1'-0"
ORIGINAL ISSUE DATE: 05/25/10
DRAWN BY: ARCH. DEPT.
<b>44</b>
Copyright ©2010 SheatHomes, L.P.



**RIGHT ELEVATION "A"**



**LEFT ELEVATION "A"**

**GENERAL NOTES**

EXTERIOR FINISHES TO BE APPLIED STUCCO SYSTEM, TYP.  
 ROOF FINISHES TO BE CLASS 'A' EAGLE INTERLOCKING CONCRETE  
 ROOF TILES, 20" x 32" ESB-HOOD WITH FIRESTOP TO PREVENT INTRUSION  
 OF FLAMES AND SMOKE.  
 EXTERIOR PAINT COLORS TO MATCH DESIGN REVIEW OR PLANNING  
 DEPARTMENT APPROVAL.  
 FASCIAS TO BE HOOD IF APPLICABLE.  
 HATCH FINISHES TO BE VINYL.  
 GARAGE DOORS TO BE SECTIONAL GARAGE DOORS.  
 FOAM POROITS, FOAM ACCENTS, WROUGHT IRON APPLICATIONS,  
 RECESSES AND DECORATIVE GRASSES TO MATCH APPROVED  
 DESIGN REVIEW OR PLANNING DEPARTMENT APPROVAL.  
 A PRE-POST ADDRESS IS REQUIRED AND SHALL BE PLAINLY  
 VISIBLE & LEGIBLE FROM THE STREET FRONTING THE PROPERTY.

SEE ARCHITECTURAL DETAIL SHEETS FOR MORE INFORMATION.  
 SEE DETAIL 101 FOR HEEP SAVED DETAIL.  
 SEE DETAILS 301 & 301 FOR STUCCO POROIT DETAILS.  
 SEE DETAILS 401 FOR STUCCO POTSHIELD DETAILS.  
 SEE DETAIL 501 FOR HALL PENETRATION DETAIL.  
 SEE DETAIL 701 FOR WINDOW FLASHING DETAILS.  
 SEE DETAIL 801 FOR FLASHING & VENT DETAIL.  
 SEE DETAIL 1201 FOR BI VENT FLASHING DETAIL.  
 SEE DETAIL 1301 FOR ROOF PENETRATION DETAIL.  
 SEE DETAILS 1401 & 1501 FOR THRESHOLD DETAILS.  
 SEE DETAILS 1, 2, 3002 FOR OVERHANGS DETAILS.  
 SEE DETAILS 5 & 7, 8, 1002 FOR ROOF FLASHING DETAILS.  
 SEE DETAILS 17, 18003 FOR EXT. SIPPY DETAILS.  
 SEE DETAILS 1003 THRU 1003 FOR WINDOW AND DOOR DETAILS.

REVISIONS
△ 7/20/10-2007 CODES
△ 7/20/10-2007 CODES
△ 12/14/10-2007 CODES
△
△
LATEST REVISION

**Sheal Homes**  
 1250 CORONA POINT COURT  
 SUITE 600  
 CORONA, CALIFORNIA 92879  
 (951) 270-3751

**PLAN 1**  
**AMBER @ BLACKSTONE**  
**(PA-3B TONNER HILLS)**

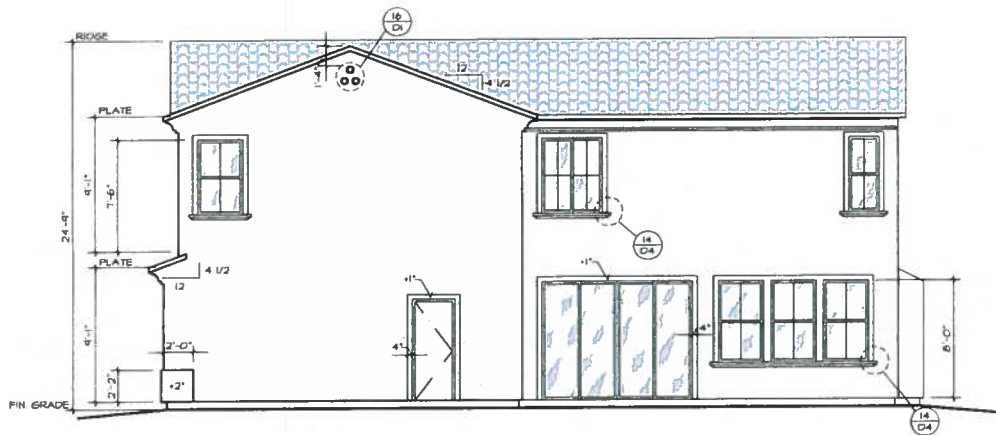
**CITY OF PHOENIX**  
 MAY 13 2014  
 Planning & Development  
 Department

SCALE 1/8" = 1'-0" - 11" x 17" 1/4" = 1'-0" - 24" x 36"
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**FRONT ELEVATION "B"**



**REAR ELEVATION "B"**

**GENERAL NOTES**

- EXTERIOR FINISHES TO BE APPLIED STUCCO SYSTEM TYP.
- ROOF FINISHES TO BE CLASS 'A' STABLE INTERLOCKING CONCRETE ROOF TILES (SEE 2007 ESR-1400) WITH PRESTOP TO PREVENT INTRUSION OF PLANKS AND DECKING.
- EXTERIOR PAINT COLORS TO MATCH DESIGN REVIEW OR PLANNING DEPARTMENT APPROVAL.
- PASCIAS TO BE HOOD IF APPLICABLE.
- WINDSH PRAMES TO BE VINYL.
- GARAGE DOORS TO BE SECTIONAL GARAGE DOORS.
- FOAM POPPETS, FOAM ACCENTS, URGHUNT IRON APPLICATIONS, RECESSES AND DECORATIVE CANALES TO MATCH APPROVED DESIGN REVIEW OR PLANNING DEPARTMENT APPROVAL.
- A PREMISES ADDRESS IS REQUIRED AND SHALL BE PLAINLY VISIBLE & LEGIBLE FROM THE STREET FRONTING THE PROPERTY.
- SEE ARCHITECTURAL DETAIL SHEETS FOR FURTHER INFORMATION.
- SEE DETAIL 101 FOR HEEP SCREED DETAIL.
- SEE DETAILS 201 & 201 FOR STUCCO POPPET DETAIL.
- SEE DETAIL 201 FOR HALL PENETRATION DETAIL.
- SEE DETAIL 201 FOR HALL PENETRATION DETAIL.
- SEE DETAIL 201 FOR HALL PENETRATION DETAIL.
- SEE DETAIL 201 FOR FLASHING SI VENT DETAIL.
- SEE DETAIL 1201 FOR 12 VENT FLASHING DETAIL.
- SEE DETAIL 1301 FOR ROOF PENETRATION DETAIL.
- SEE DETAIL 1401 & 1501 FOR THRESHOLD DETAILS.
- SEE DETAILS 1 & 2, 5002 FOR OVERHANG DETAILS.
- SEE DETAILS 3 & 7, & 402 FOR ROOF FLASHING DETAILS.
- SEE DETAILS 11, 1202 FOR EXT. SOFFIT DETAILS.
- SEE DETAILS 103 THRU 105 FOR WINDOW AND DOOR DETAILS.

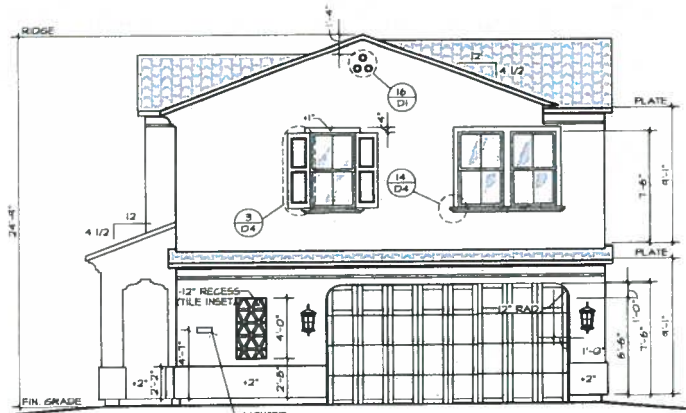
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▲ 7/20/10-2007 CODES
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**Shea Homes**  
 1250 CORONA POINT COURT  
 SUITE 600  
 CORONA, CALIFORNIA 92879  
 (951) 270-3751

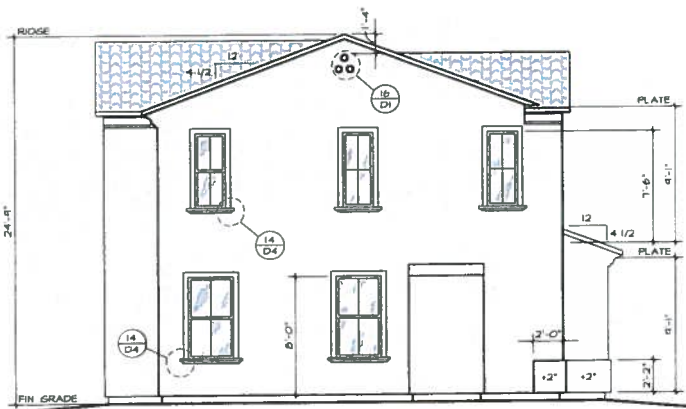
**PLAN 1**  
**AMBER @ BLACKSTONE**  
**(PA-3B TONNER HILLS)**

**CITY OF PHOENIX**  
 MAY 12 2014  
 Planning & Development  
 Department

SCALE: 1/2" = 1'-0" 1" = 1'-0" 1 1/2" = 1'-0" 2" = 1'-0" 2 1/2" = 1'-0" 3" = 1'-0" 3 1/2" = 1'-0" 4" = 1'-0" 4 1/2" = 1'-0" 5" = 1'-0" 5 1/2" = 1'-0" 6" = 1'-0" 6 1/2" = 1'-0" 7" = 1'-0" 7 1/2" = 1'-0" 8" = 1'-0" 8 1/2" = 1'-0" 9" = 1'-0" 9 1/2" = 1'-0" 10" = 1'-0" 10 1/2" = 1'-0" 11" = 1'-0" 11 1/2" = 1'-0" 12" = 1'-0" 12 1/2" = 1'-0" 13" = 1'-0" 13 1/2" = 1'-0" 14" = 1'-0" 14 1/2" = 1'-0" 15" = 1'-0" 15 1/2" = 1'-0" 16" = 1'-0" 16 1/2" = 1'-0" 17" = 1'-0" 17 1/2" = 1'-0" 18" = 1'-0" 18 1/2" = 1'-0" 19" = 1'-0" 19 1/2" = 1'-0" 20" = 1'-0" 20 1/2" = 1'-0" 21" = 1'-0" 21 1/2" = 1'-0" 22" = 1'-0" 22 1/2" = 1'-0" 23" = 1'-0" 23 1/2" = 1'-0" 24" = 1'-0" 24 1/2" = 1'-0" 25" = 1'-0" 25 1/2" = 1'-0" 26" = 1'-0" 26 1/2" = 1'-0" 27" = 1'-0" 27 1/2" = 1'-0" 28" = 1'-0" 28 1/2" = 1'-0" 29" = 1'-0" 29 1/2" = 1'-0" 30" = 1'-0" 30 1/2" = 1'-0" 31" = 1'-0" 31 1/2" = 1'-0" 32" = 1'-0" 32 1/2" = 1'-0" 33" = 1'-0" 33 1/2" = 1'-0" 34" = 1'-0" 34 1/2" = 1'-0" 35" = 1'-0" 35 1/2" = 1'-0" 36" = 1'-0" 36 1/2" = 1'-0" 37" = 1'-0" 37 1/2" = 1'-0" 38" = 1'-0" 38 1/2" = 1'-0" 39" = 1'-0" 39 1/2" = 1'-0" 40" = 1'-0" 40 1/2" = 1'-0" 41" = 1'-0" 41 1/2" = 1'-0" 42" = 1'-0" 42 1/2" = 1'-0" 43" = 1'-0" 43 1/2" = 1'-0" 44" = 1'-0" 44 1/2" = 1'-0" 45" = 1'-0" 45 1/2" = 1'-0" 46" = 1'-0" 46 1/2" = 1'-0" 47" = 1'-0" 47 1/2" = 1'-0" 48" = 1'-0" 48 1/2" = 1'-0" 49" = 1'-0" 49 1/2" = 1'-0" 50" = 1'-0" 50 1/2" = 1'-0" 51" = 1'-0" 51 1/2" = 1'-0" 52" = 1'-0" 52 1/2" = 1'-0" 53" = 1'-0" 53 1/2" = 1'-0" 54" = 1'-0" 54 1/2" = 1'-0" 55" = 1'-0" 55 1/2" = 1'-0" 56" = 1'-0" 56 1/2" = 1'-0" 57" = 1'-0" 57 1/2" = 1'-0" 58" = 1'-0" 58 1/2" = 1'-0" 59" = 1'-0" 59 1/2" = 1'-0" 60" = 1'-0" 60 1/2" = 1'-0" 61" = 1'-0" 61 1/2" = 1'-0" 62" = 1'-0" 62 1/2" = 1'-0" 63" = 1'-0" 63 1/2" = 1'-0" 64" = 1'-0" 64 1/2" = 1'-0" 65" = 1'-0" 65 1/2" = 1'-0" 66" = 1'-0" 66 1/2" = 1'-0" 67" = 1'-0" 67 1/2" = 1'-0" 68" = 1'-0" 68 1/2" = 1'-0" 69" = 1'-0" 69 1/2" = 1'-0" 70" = 1'-0" 70 1/2" = 1'-0" 71" = 1'-0" 71 1/2" = 1'-0" 72" = 1'-0" 72 1/2" = 1'-0" 73" = 1'-0" 73 1/2" = 1'-0" 74" = 1'-0" 74 1/2" = 1'-0" 75" = 1'-0" 75 1/2" = 1'-0" 76" = 1'-0" 76 1/2" = 1'-0" 77" = 1'-0" 77 1/2" = 1'-0" 78" = 1'-0" 78 1/2" = 1'-0" 79" = 1'-0" 79 1/2" = 1'-0" 80" = 1'-0" 80 1/2" = 1'-0" 81" = 1'-0" 81 1/2" = 1'-0" 82" = 1'-0" 82 1/2" = 1'-0" 83" = 1'-0" 83 1/2" = 1'-0" 84" = 1'-0" 84 1/2" = 1'-0" 85" = 1'-0" 85 1/2" = 1'-0" 86" = 1'-0" 86 1/2" = 1'-0" 87" = 1'-0" 87 1/2" = 1'-0" 88" = 1'-0" 88 1/2" = 1'-0" 89" = 1'-0" 89 1/2" = 1'-0" 90" = 1'-0" 90 1/2" = 1'-0" 91" = 1'-0" 91 1/2" = 1'-0" 92" = 1'-0" 92 1/2" = 1'-0" 93" = 1'-0" 93 1/2" = 1'-0" 94" = 1'-0" 94 1/2" = 1'-0" 95" = 1'-0" 95 1/2" = 1'-0" 96" = 1'-0" 96 1/2" = 1'-0" 97" = 1'-0" 97 1/2" = 1'-0" 98" = 1'-0" 98 1/2" = 1'-0" 99" = 1'-0" 99 1/2" = 1'-0" 100" = 1'-0"
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**RIGHT ELEVATION "B"**



**LEFT ELEVATION "B"**

**GENERAL NOTES**

EXTERIOR FINISHES TO BE APPLIED STUCCO SYSTEM, TYP.  
 ROOF FINISHES TO BE CLASS "A" EAGLE INTERLOCKING CONCRETE ROOF TILES ALGO ESM-ROOF WITH FIRESTOP TO PREVENT INTRUSION OF FLAMES AND SMOKE.  
 EXTERIOR PAINT COLORS TO MATCH DESIGN REVIEW OR PLANNING DEPARTMENT APPROVAL.  
 FLASHING TO BE MOOD IF APPLICABLE.  
 WINDOW FRAMES TO BE VINYL.  
 GARAGE DOORS TO BE SECTIONAL GARAGE DOORS.  
 POACH POPRITS, POACH ACCENTS, WRIGHT IRON APPLICATIONS, RECESSED AND DECORATIVE CASUALS TO MATCH APPROVED DESIGN REVIEW OR PLANNING DEPARTMENT APPROVAL.  
 A PREMISES ADDRESS IS REQUIRED AND SHALL BE PLAINLY VISIBLE & LEGIBLE FROM THE STREET FRONTING THE PROPERTY.

SEE ARCHITECTURAL DETAIL SHEETS FOR MORE INFORMATION.  
 SEE DETAIL 100 FOR KEEP SCALED DETAIL.  
 SEE DETAILS 300 & 301 FOR STUCCO POPRIT DETAILS.  
 SEE DETAILS 400 FOR STUCCO POTTSHELF DETAILS.  
 SEE DETAIL 500 FOR HALL PENETRATION DETAIL.  
 SEE DETAIL 600 FOR FLASHING & 1 VENT DETAIL.  
 SEE DETAIL 1200 FOR ROOF PENETRATION DETAIL.  
 SEE DETAIL 1300 FOR 1" VENT FLASHING DETAIL.  
 SEE DETAIL 1400 FOR THRESHOLD DETAILS.  
 SEE DETAILS 1, 2, 3003 FOR OVERHANGS DETAILS.  
 SEE DETAILS 3, 6, 7, 8, 4003 FOR ROOF FLASHING DETAILS.  
 SEE DETAILS 11, 18002 FOR EXT. SORFIT DETAILS.  
 SEE DETAILS 1003 THRU 1005 FOR WINDOW AND DOOR DETAILS.

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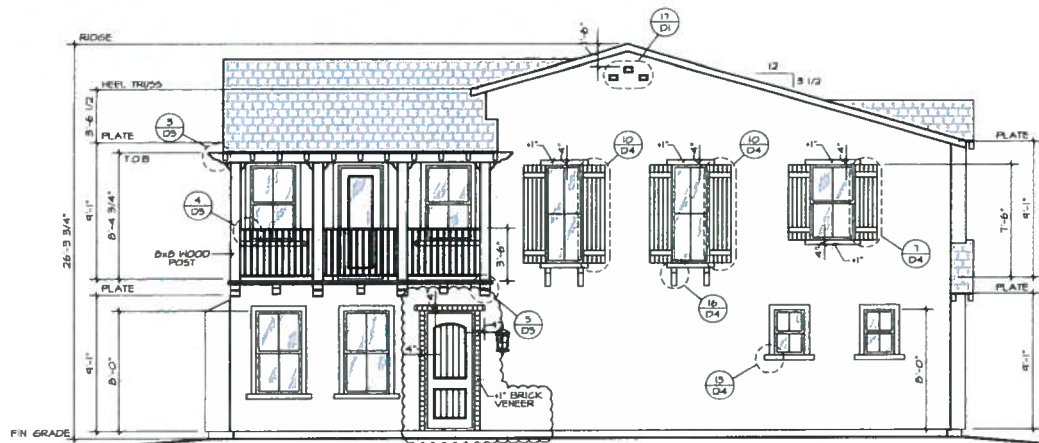
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**PLAN 1**  
**AMBER @ BLACKSTONE**  
**(PA-3B TONNER HILLS)**

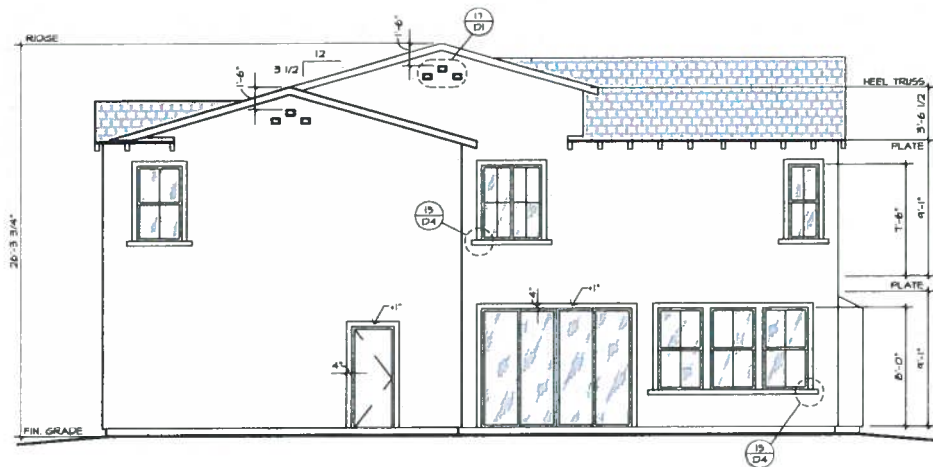
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**FRONT ELEVATION "C"**



**REAR ELEVATION "C"**

**GENERAL NOTES**

EXTERIOR FINISHES TO BE APPLIED STUCCO SYSTEM, TYP.  
 ROOF FINISHES TO BE CLASS "A" EAGLE INTERLOCKING CONCRETE ROOF TILES WITH 5/8"X12"X12" WITH FINISH TOP TO PREVENT INTRUSION OF FLAKES AND SPINDS.  
 EXTERIOR PAINT COLORS TO MATCH DESIGN REVIEW OR PLANNING DEPARTMENT APPROVAL.  
 FLASHING TO BE HOOD IF APPLICABLE.  
 WINDOW FRAMES TO BE VINYL.  
 GARAGE DOORS TO BE SECTIONAL GARAGE DOORS.  
 POAH PROFILES, POAH ACCENTS, HIGHLIGHT BRICK APPLICATIONS, RECESSES AND DECORATIVE CANALES TO MATCH APPROVED DESIGN REVIEW OR PLANNING DEPARTMENT APPROVAL.  
 A FIRE-RISK ADDRESS IS REQUIRED AND SHALL BE PLAINLY VISIBLE 1 LEGIBLE FROM THE STREET FRONTING THE PROPERTY.  
 DECKING SHALL COMPLY WITH CHAPTER 1A SECTION 1004.4 OF THE 2007 IBC AS FOLLOWS:  
 DECKING, SURFACES, STAIR TREADS, RISERS, AND LANDINGS OF DECKS, PORCHES, AND BALCONIES HAVE ANY PORTION OF SUCH SURFACE IS WITHIN 10 FEET OF THE PRIMARY STRUCTURE SHALL COMPLY WITH ONE OF THE FOLLOWING METHODS:  
 1. SHALL BE CONSTRUCTED OF IGNITION-RESISTANT MATERIALS, AND PASS THE PERFORMANCE REQUIREMENTS OF SPH 12-1A-4 PARTS A AND B.  
 2. SHALL BE CONSTRUCTED WITH HEAVY THICKER, EXTERIOR FIBER-REINFORCED-TREATED WOOD OR APPROVED NON-COMBUSTIBLE MATERIALS.  
 3. SHALL PASS THE PERFORMANCE REQUIREMENTS OF SPH 12-1A-4 PART A, (2-1A-1.3) ONLY WITH A NET PEAK HEAT RELEASE RATE OF 250000 BTU PER HOUR (40-MINUTE OBSERVATION PERIOD) AND:  
 a. DECORATIVE SURFACE MATERIAL SHALL PASS THE ACCELERATED HEATHERING TEST AND BE IDENTIFIED AS EXTERIOR TYPE, IN ACCORDANCE WITH ASTM D 3959 AND ASTM D 5307 AND,  
 b. THE EXTERIOR WALL COVERING TO WHICH THE DECK IS ATTACHED AND WITHIN 10 FEET OF THE DECK SHALL BE CONSTRUCTED OF APPROVED NON-COMBUSTIBLE OR IGNITION RESISTANT MATERIAL.  
 EXCEPTION: WALLS ARE NOT REQUIRED TO COMPLY WITH THIS SUBSECTION IF THE DECKING SURFACE MATERIAL CONFORMS TO ASTM E-84 CLASS B FLAME SPREAD.  
 THE USE OF PAINTS, COATINGS, STAINS, OR OTHER SURFACE TREATMENTS ARE NOT AN APPROVED METHOD OR PROTECTION AS REQUIRED IN THIS CHAPTER.

SEE ARCHITECTURAL DETAIL SHEETS FOR MORE INFORMATION.  
 SEE DETAIL 101 FOR HEEP SCREENED DETAIL.  
 SEE DETAILS 201 & 501 FOR STUCCO POOR DETAIL.  
 SEE DETAILS 401 FOR STUCCO POINT-HELP DETAIL.  
 SEE DETAIL 601 FOR WALL PENETRATION DETAIL.  
 SEE DETAIL 701 FOR WINDOW FLASHING DETAILS.  
 SEE DETAIL 801 FOR FLASHING @ 1 VENT DETAIL.  
 SEE DETAIL 1201 FOR 1 VENT FLASHING DETAIL.  
 SEE DETAIL 1301 FOR ROOF PENETRATION DETAIL.  
 SEE DETAILS 1401 & 1501 FOR THRESHOLD DETAILS.  
 SEE DETAILS 1 & 2, 3002 FOR OVERHANG DETAILS.  
 SEE DETAILS 3 & 1, 0, 4002 FOR ROOF FLASHING DETAILS.  
 SEE DETAILS FL 1502 FOR EXT. SORBIT DETAILS.  
 SEE DETAILS 103 THRU 1003 FOR WINDOW AND DOOR DETAILS.

**CITY OF PHOENIX**

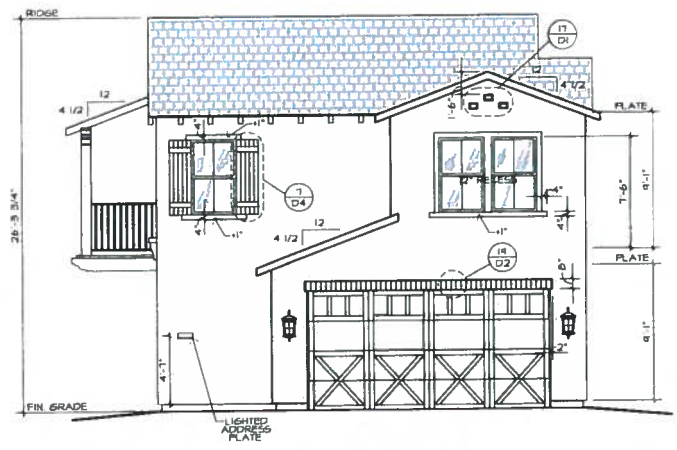
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**PLAN 1**  
**AMBER @ BLACKSTONE**  
**(PA-38 TONNER HILLS)**

SCALE: 1/2" = 1'-0"    1" = 1'-0"
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**RIGHT ELEVATION "C"**



**LEFT ELEVATION "C"**

**GENERAL NOTES**

EXTERIOR FINISHES TO BE APPLIED STUCCO SYSTEM, TYP.  
 ROOF FINISHES TO BE GLASS 1/4" SINGLE INTERLOCKING CONCRETE ROOF TILES ACQUA-BONDING WITH FINESSTOP TO PREVENT INTRUSION OF FLAMES AND EMBERS.  
 EXTERIOR PAINT COLORS TO MATCH DESIGN REVIEW OR PLANNING DEPARTMENT APPROVAL.  
 FASCIAS TO BE HOOD IF APPLICABLE.  
 HHOOD FINISHES TO BE VINYL.  
 GARAGE DOORS TO BE SECTIONAL GARAGE DOORS.  
 POOL PORCELSIN, POOL ACCENTS, WRIGHT IRON APPLICATIONS, RECESSED AND DECORATIVE CANNELS TO MATCH APPROVED DESIGN REVIEW OR PLANNING DEPARTMENT APPROVAL.  
 A PREVIOUS ADDRESS IS REQUIRED AND SHALL BE PLAINLY VISIBLE 1' LESSER FROM THE STREET FRONTING THE PROPERTY.  
 DECORNS SHALL CONFORM WITH CHAPTER 1A SECTION 10A-4 OF THE 2007 CBC AS FOLLOWS:  
 DECORNS, SURFACES, STAIR TREADS, RISERS, AND LANDINGS OF DECKS, PORCHES, AND BALCONIES WHERE ANY PORTION OF SUCH SURFACE IS WITHIN 10 FEET OF THE PRIMARY STRUCTURE SHALL COMPLY WITH ONE OF THE FOLLOWING METHODS:  
 1. SHALL BE CONSTRUCTED OF IGNITION-RESISTANT MATERIALS AND PASS THE PERFORMANCE REQUIREMENTS OF SPH 12-1A-4 PARTS A AND B.  
 2. SHALL BE CONSTRUCTED WITH HEAVY TREX® EXTERIOR FIBER-REINFORCED-TREATED WOOD OR APPROVED NONCOMBUSTIBLE MATERIALS.  
 3. SHALL PASS THE PERFORMANCE REQUIREMENTS OF SPH 12-1A-4 PART A, 12-1A-4(1) ONLY WITH A NET PEAK HEAT RELEASE RATE OF 2000 BTU/FT² FOR A 40-MINUTE OBSERVATION PERIOD AND:  
 a. DECORNS SURFACE MATERIAL SHALL PASS THE ACCELERATED HEATER TEST AND BE IDENTIFIED AS EXTERIOR TYPE, IN ACCORDANCE WITH ASTM D 2898 AND ASTM D 3301 AND,  
 b. THE EXTERIOR SHALL COVERINGS TO WHICH THE DECK IS ATTACHED AND WITHIN 10 FEET OF THE DECK SHALL BE CONSTRUCTED OF APPROVED NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL.  
 EXCEPTION: HALLS ARE NOT REQUIRED TO COMPLY WITH THIS SUBSECTION IF THE DECORNS SURFACE MATERIAL CONFORMS TO ASTM E-84 CLASS 0 FLAME SPREAD.  
 THE USE OF PAINTS, COATINGS, STAINS, OR OTHER SURFACE TREATMENTS ARE NOT AN APPROVED METHOD OR PROTECTION AS REQUIRED IN THIS CHAPTER.  
 SEE ARCHITECTURAL DETAIL SHEETS FOR MORE INFORMATION.  
 SEE DETAIL 101 FOR WEEP SCREED DETAIL.  
 SEE DETAILS 201 & 501 FOR STUCCO POINT-OF-DETAILS.  
 SEE DETAILS 401 FOR STUCCO POINT-SHELF DETAILS.  
 SEE DETAIL 601 FOR HALL PENETRATION DETAIL.  
 SEE DETAIL 701 FOR HHOOD FLASHING DETAILS.  
 SEE DETAIL 801 FOR FLASHING @ 1' VENT DETAIL.  
 SEE DETAIL 1201 FOR 1" VENT FLASHING DETAIL.  
 SEE DETAIL 1501 FOR ROOF PENETRATION DETAIL.  
 SEE DETAILS 1401 & 1501 FOR THRESHOLD DETAILS.  
 SEE DETAILS 1 & 2, 3002 FOR OVERHAND DETAILS.  
 SEE DETAILS 3 & 7, 8, 4002 FOR ROOF FLASHING DETAILS.  
 SEE DETAILS 11, 18002 FOR EXT. SORPT DETAILS.  
 SEE DETAILS 1003 THRU 1005 FOR HHOOD AND DOOR DETAILS.

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**PLAN 1**  
**AMBER @ BLACKSTONE (PA-3B TONNER HILLS)**

**CITY OF PHOENIX**

MAY 13 2014  
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**FRONT ELEVATION "A"**



**REAR ELEVATION "A"**

**GENERAL NOTES**

EXTERIOR FINISHES TO BE APPLIED STUCCO SYSTEM, TYP.  
 ROOF FINISHES TO BE CLASS "A" EAGLE INTERLOCKING CONCRETE ROOF TILES (CZ4 ESR-HQ3) WITH PRESTON TO PREVENT INTRUSION OF PLANES AND DRIBBS.  
 EXTERIOR PAINT COLORS TO MATCH DESIGN REVIEW OR PLANNING DEPARTMENT APPROVAL.  
 FASCIAS TO BE HOOD IF APPLICABLE.  
 WINDOW FRAMES TO BE VINYL.  
 GARAGE DOORS TO BE SECTIONAL GARAGE DOORS.  
 PORCH POSTS, PORCH ACCENTS, WOODST IRON APPLICATIONS, RECESSED AND DECORATIVE CANNELS TO MATCH APPROVED DESIGN REVIEW OR PLANNING DEPARTMENT APPROVAL.  
 A PREVIOUS ADDRESS IS REQUIRED AND SHALL BE PLAINLY VISIBLE & LEGIBLE FROM THE STREET FRONTING THE PROPERTY.

SEE ARCHITECTURAL DETAIL SHEETS FOR MORE INFORMATION:  
 SEE DETAIL UOI FOR HEEP SCROED DETAIL  
 SEE DETAILS 20I & 30I FOR STUCCO POPOUT DETAILS  
 SEE DETAIL 40I FOR MALL PENETRATION DETAIL  
 SEE DETAIL 103 FOR HINDON FLASHING DETAILS  
 SEE DETAIL 101 FOR FLASHING B1 VENT DETAIL  
 SEE DETAIL 120I FOR T3 VENT FLASHING DETAIL  
 SEE DETAIL 130I FOR ROOF PENETRATION DETAIL  
 SEE DETAILS 140I & 150I FOR THRESHOLD DETAILS  
 SEE DETAILS 1, 2, 302 FOR OVERHAND DETAILS  
 SEE DETAILS 5, 6, 7, & 102 FOR ROOF FLASHING DETAILS  
 SEE DETAILS 11, 1402 FOR EXT. SOFFIT DETAILS  
 SEE DETAILS 103 THRU 1013 FOR HINDON AND DOOR DETAILS

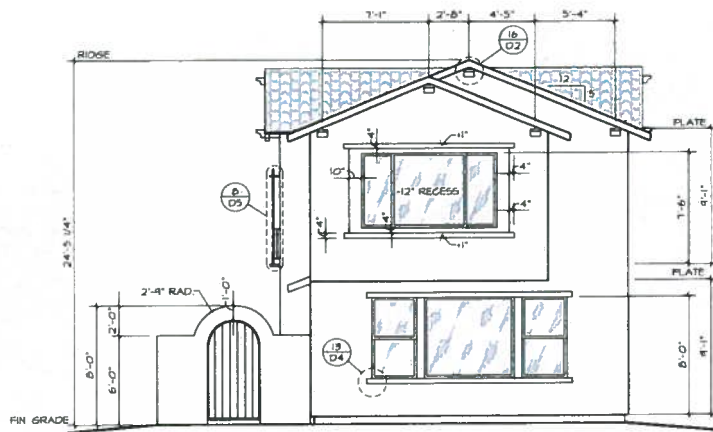
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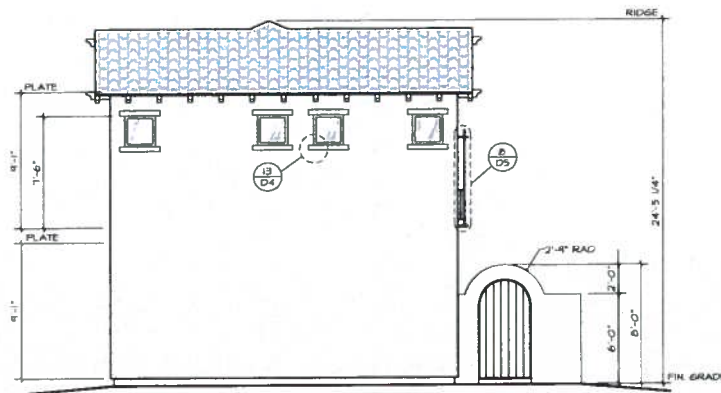
**PLAN 2**  
**AMBER @ BLACKSTONE**  
**(PA-3B TONNER HILLS)**

**CITY OF PHOENIX**  
 MAY 13 2014  
 Planning & Development Department

SCALE: UOI = 1/8" = 1'-0" 1/4" = 1'-0" = 24" x 36"
ORIGINAL ISSUE DATE: 03/25/10
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**RIGHT ELEVATION "A"**



**LEFT ELEVATION "A"**

**GENERAL NOTES**

- EXTERIOR FINISHES TO BE APPLIED STUCCO SYSTEM, TYP
- ROOF FINISHES TO BE CLASS "A" EAGLE INTERLOCKING CONCRETE ROOF TILES 1/2" ESB-HOOD WITH FIRESTOP TO PREVENT INTRUSION OF PLANKS AND DECKING.
- EXTERIOR PAINT COLORS TO MATCH DESIGN REVIEW OR PLANNING DEPARTMENT APPROVAL.
- FASCIAS TO BE WOOD IF APPLICABLE
- HIDDEN FRAMES TO BE VINYL
- GARAGE DOORS TO BE SECTIONAL GARAGE DOORS.
- FOAM POPOUTS, FOAM ACCENTS, WINDSHIELD ISOL APPLICATIONS, RECEIVED AND DECORATIVE GANGLIES TO MATCH APPROVED DESIGN REVIEW OR PLANNING DEPARTMENT APPROVAL.
- A PREHOOSES ADDRESS IS REQUIRED AND SHALL BE PLAINLY VISIBLE 1' LOGSILE FROM THE STREET FRONTING THE PROPERTY
- SEE ARCHITECTURAL DETAIL SHEETS FOR MORE INFORMATION
- SEE DETAIL 101 FOR NEEP SCREEN DETAIL
- SEE DETAILS 201 & 301 FOR STUCCO POPOUT DETAILS
- SEE DETAILS 401 FOR STUCCO POT-HOLE DETAILS
- SEE DETAIL 601 FOR WALL PENETRATION DETAILS
- SEE DETAIL 701 FOR HIDDEN FLASHING DETAILS
- SEE DETAIL 1201 FOR 12" VENT FLASHING DETAIL
- SEE DETAIL 1301 FOR ROOF PENETRATION DETAIL
- SEE DETAILS 1401 & 1501 FOR THRESHOLD DETAILS
- SEE DETAILS 1, 2, 302 FOR OVERHANGS DETAILS
- SEE DETAILS 3, 6, 7, 8, 402 FOR ROOF FLASHING DETAILS
- SEE DETAILS 17, 1802 FOR EXT. SORPT DETAILS
- SEE DETAILS 103 THRU 303 FOR HIDDEN AND DOOR DETAILS

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**PLAN 2**  
**AMBER @ BLACKSTONE**  
**(PA-3B TONNER HILLS)**

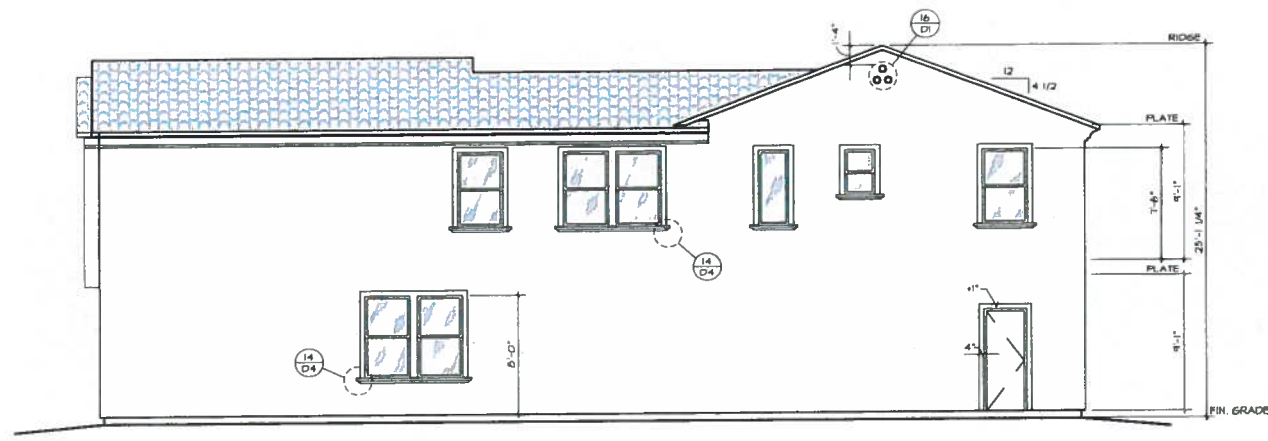
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SCALE:  
 1/8" = 1'-0" = 11" = 11"  
 1/4" = 1'-0" = 24" = 36"  
 ORIGINAL ISSUE DATE:  
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**FRONT ELEVATION "B"**



**REAR ELEVATION "B"**

**GENERAL NOTES**

- EXTERIOR FINISHES TO BE APPLIED STUCCO SYSTEM TYP
- ROOF FINISHES TO BE CLASS 'A' EAGLE INTERLOCKING CONCRETE ROOF TILES 18"x24" ESR-WOOD WITH FIRESTOP TO PREVENT INTRUSION OF FLAMES AND SMOKE
- EXTERIOR PAINT COLORS TO MATCH DESIGN REVIEW OR PLANNING DEPARTMENT APPROVAL.
- FASCIAS TO BE HOOD IF APPLICABLE.
- HINGED FRAMES TO BE VINYL.
- GARAGE DOORS TO BE SECTIONAL GARAGE DOORS.
- FOAM POPPETS, FOAM ACCENTS, HIRSHMIT IRON APPLICATIONS, RELEASES AND DEGRATIVE GRANULES TO MATCH APPROVED DESIGN REVIEW OR PLANNING DEPARTMENT APPROVAL.
- A PREMISES ADDRESS IS REQUIRED AND SHALL BE PLACED VISIBLE & LEGIBLE FROM THE STREET FRONTING THE PROPERTY
- SEE ARCHITECTURAL DETAIL SHEETS FOR SOME NEIGHBORHOODS
- SEE DETAIL 101 FOR HEEP SCALED DETAIL
- SEE DETAILS 301 & 301 FOR STUCCO POPPET DETAIL
- SEE DETAILS 401 FOR STUCCO POTTSHELF DETAIL
- SEE DETAIL 601 FOR HALL PENETRATION DETAIL
- SEE DETAIL 701 FOR HINGED FLASHING DETAIL
- SEE DETAIL 801 FOR FLASHING & VENT DETAIL
- SEE DETAIL 1301 FOR VENT FLASHING DETAIL
- SEE DETAIL 1501 FOR ROOF PENETRATION DETAIL
- SEE DETAILS 1401 & 1501 FOR THRESHOLD DETAILS
- SEE DETAILS 5 & 7 & 402 FOR OVERHANG DETAILS
- SEE DETAILS 11, 1402 FOR EXT. SOPFIT DETAILS
- SEE DETAILS 103 THRU 803 FOR HINGED AND DOOR DETAILS

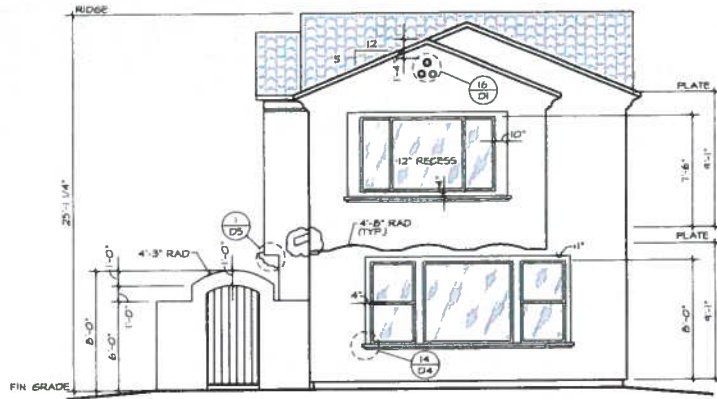
REVISIONS
△ 7/20/10-2007 CODES
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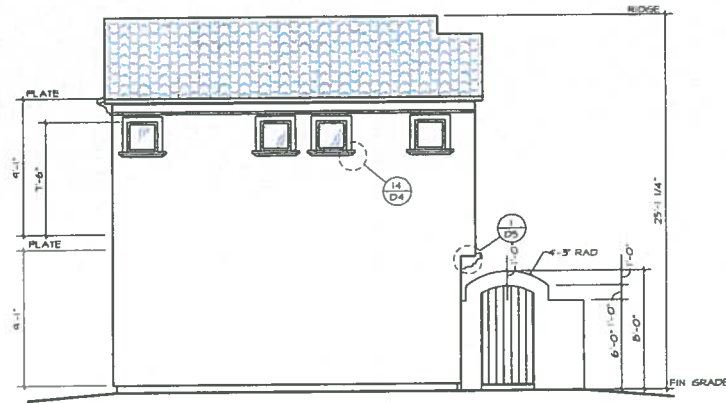
**PLAN 2**  
**AMBER @ BLACKSTONE**  
**(PA-3B TONNER HILLS)**

**CITY OF PHOENIX**  
 MAY 13 2014  
 Planning & Development  
 Department

SCALE 1/8" = 1'-0"    1/4" = 1'-0"    1/2" = 1'-0"    3/4" = 1'-0"    1" = 1'-0"    1 1/4" = 1'-0"    1 1/2" = 1'-0"    1 3/4" = 1'-0"    2" = 1'-0"    2 1/4" = 1'-0"    2 1/2" = 1'-0"    2 3/4" = 1'-0"    3" = 1'-0"    3 1/4" = 1'-0"    3 1/2" = 1'-0"    3 3/4" = 1'-0"    4" = 1'-0"
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**RIGHT ELEVATION "B"**



**LEFT ELEVATION "B"**

**GENERAL NOTES**

- EXTERIOR FINISHES TO BE APPLIED STUCCO SYSTEM, TYP.
- ROOF FINISHES TO BE CLASS "A" EAGLE INTERLOCKING CONCRETE ROOF TILES ECG ESB-HOOD WITH FIRESTOP TO PREVENT INTRUSION OF FLAMES AND SMOKE.
- EXTERIOR PAINT COLORS TO MATCH DESIGN REVIEW OR PLANNING DEPARTMENT APPROVAL.
- FASCIAS TO BE HOOD IF APPLICABLE.
- HIDDEN FRAMES TO BE VINYL.
- GARAGE DOORS TO BE SECTIONAL GARAGE DOORS.
- POAH POPOUTS, POAH ACCENTS, WINDSHIELD WIPER APPLICATIONS, RECESSES AND DECORATIVE CANALES TO MATCH APPROVED DESIGN REVIEW OR PLANNING DEPARTMENT APPROVAL.
- A PREMISES ADDRESS IS REQUIRED AND SHALL BE PLAINLY VISIBLE 4 LEGIBLE FEET FROM THE STREET FRONTING THE PROPERTY.
- SEE ARCHITECTURAL DETAIL SHEETS FOR MORE INFORMATION.
- SEE DETAIL 103 FOR WEEP SCREED DETAIL.
- SEE DETAILS 201 & 301 FOR STUCCO POPOUT DETAILS.
- SEE DETAILS 401 FOR STUCCO POT-HOLD DETAIL.
- SEE DETAIL 601 FOR HALL PENETRATION DETAIL.
- SEE DETAIL 701 FOR HIDDEN FLASHING DETAILS.
- SEE DETAIL 801 FOR FLASHING & 1 VENT DETAIL.
- SEE DETAIL 1201 FOR 1" VENT FLASHING DETAIL.
- SEE DETAIL 1301 FOR ROOF PENETRATION DETAIL.
- SEE DETAILS 1401 & 1501 FOR THRESHOLD DETAILS.
- SEE DETAILS 1 & 2, 302 FOR OVERHANGS DETAILS.
- SEE DETAILS 5, 6, 7 & 402 FOR ROOF FLASHING DETAILS.
- SEE DETAILS 11, 1002 FOR EXT. SOFFIT DETAILS.
- SEE DETAILS 103 THRU 603 FOR HIDDEN AND DOOR DETAILS.

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**PLAN 2**  
**AMBER @ BLACKSTONE**  
**(PA-3B TONNER HILLS)**

**CITY OF PHOENIX**  
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SCALE: 1/2" = 1'-0"    1" = 1'-1 1/2" 1/4" = 1'-0"    3/4" = 3'-0"
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**FRONT ELEVATION "C"**



**REAR ELEVATION "C"**

**GENERAL NOTES**

- EXTERIOR FINISHES TO BE APPLIED STUCCO SYSTEM, TYP.
- ROOF FINISHES TO BE CLASS 'A' EAGLE INTERLOCKING CONCRETE ROOF TILES 22-1/2" BAYWOOD WITH FIRESTOP TO PREVENT INTRUSION OF FLAMES AND SMOKE.
- EXTERIOR PAINT COLORS TO MATCH DESIGN REVIEW OR PLANNING DEPARTMENT APPROVAL.
- PANCIAS TO BE HOOD IF APPLICABLE.
- WINDOW FINISHES TO BE VINYL.
- GARAGE DOORS TO BE SECTIONAL GARAGE DOORS.
- POAH POPOUTS, POAH ACCENTS, WEIGHTY BRCH APPLICATIONS, RECESSED AND DECORATIVE CANALS TO MATCH APPROVED DESIGN REVIEW OR PLANNING DEPARTMENT APPROVAL.
- A PREMISES ADDRESS IS REQUIRED AND SHALL BE PLAINLY VISIBLE 4' LEGIBLE FROM THE STREET FRONTING THE PROPERTY.
- SEE ARCHITECTURAL DETAIL SHEETS FOR MORE INFORMATION.
- SEE DETAIL 101 FOR KEEL SCABED DETAIL.
- SEE DETAILS 301 & 301 FOR STUCCO POPOUT DETAILS.
- SEE DETAIL 401 FOR STUCCO POTSHIELD DETAILS.
- SEE DETAIL 501 FOR HALL PENETRATION DETAILS.
- SEE DETAIL 101 FOR WINDOW FLASHING DETAILS.
- SEE DETAIL 601 FOR FLASHING @ VENT DETAIL.
- SEE DETAIL 1201 FOR 1" VENT FLASHING DETAIL.
- SEE DETAIL 1501 FOR ROOF PENETRATION DETAIL.
- SEE DETAILS 1401 & 1501 FOR THRESHOLD DETAILS.
- SEE DETAILS 5, 6, 7, & 4002 FOR OVERHANG DETAILS.
- SEE DETAILS 11, 14002 FOR EXT SOPFIT DETAILS.
- SEE DETAILS 1003 THRU 1005 FOR WINDOW AND DOOR DETAILS.

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△	7/20/10-2007 CODES
△	12/1/10-2007 CODES
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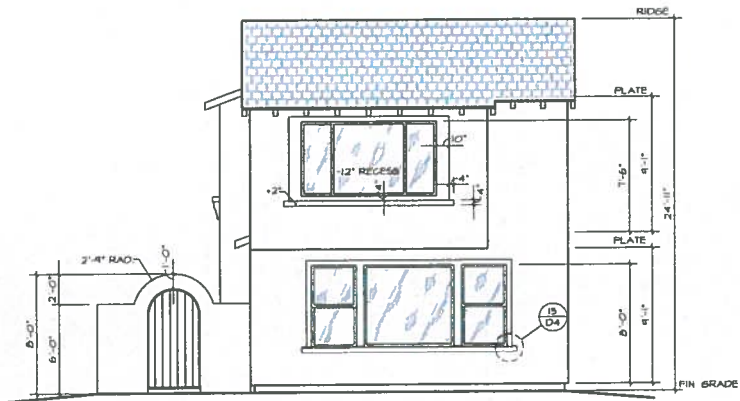
1250 CORONA POINT COURT  
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**PLAN 2**

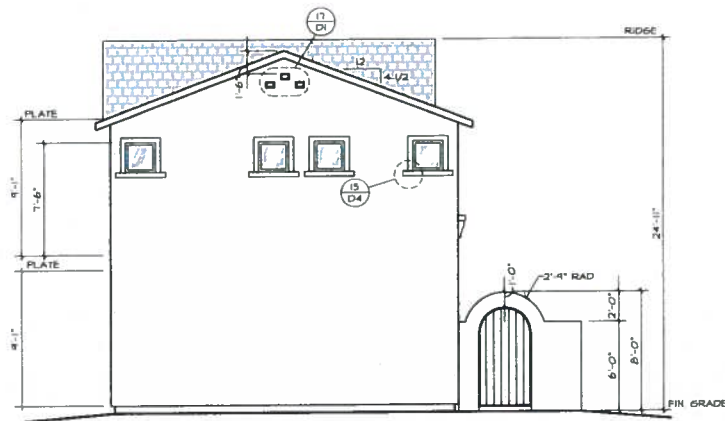
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(PA-3B TONNER HILLS)**

**CITY OF PHOENIX**  
MAY 1 8 2014  
Planning & Development  
Department

SCALE:	1/4" = 1'-0"	3/8" = 1'-0"	1/2" = 1'-0"	5/8" = 1'-0"
ORIGINAL ISSUE DATE:	05/25/10			
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<b>AO</b>				
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**RIGHT ELEVATION "C"**



**LEFT ELEVATION "C"**

**GENERAL NOTES**

EXTERIOR FINISHES TO BE APPLIED STUCCO SYSTEM, TYP.  
 ROOF FINISHES TO BE CLASS "A" EAGLE INTERLOCKING CONCRETE  
 ROOF TILES (CC FISH-HOOD) WITH FIRESTOP TO PREVENT INTRUSION  
 OF FLAMES AND GASES.  
 EXTERIOR PAINT COLORS TO MATCH DESIGN REVIEW OR PLANNING  
 DEPARTMENT APPROVAL.  
 FASCIA'S TO BE HOOD IN APPLICABLE.  
 WINDOW FRAMES TO BE VINYL.  
 GARAGE DOORS TO BE SECTIONAL GARAGE DOORS.  
 FOAM POPPETS, FOAM AGENTS, HIGHLIGHT IRON APPLICATIONS,  
 RECESSES AND DECORATIVE CARVES TO MATCH APPROVED  
 DESIGN REVIEW OR PLANNING DEPARTMENT APPROVAL.  
 A PERMITS ADDRESS IS REQUIRED AND SHALL BE PLAINLY  
 VISIBLE & LEGIBLE FROM THE STREET FRONTING THE PROPERTY

SEE ARCHITECTURAL DETAIL SHEETS FOR MORE INFORMATION  
 SEE DETAIL 100 FOR WEEP SCREED DETAIL  
 SEE DETAILS 300 & 500 FOR STUCCO POPPET DETAILS  
 SEE DETAILS 400 FOR STUCCO POT-HOLE DETAILS  
 SEE DETAIL 600 FOR HALL PENETRATION DETAILS  
 SEE DETAIL 700 FOR WINDOW FLASHING DETAILS  
 SEE DETAIL 800 FOR FLASHING @ 1 VENT DETAIL  
 SEE DETAIL 1200 FOR 1" VENT FLASHING DETAIL  
 SEE DETAIL 1300 FOR ROOF PENETRATION DETAIL  
 SEE DETAILS 1400 & 1500 FOR THRESHOLD DETAILS  
 SEE DETAILS 1, 2, 5002 FOR OVERHANG DETAILS  
 SEE DETAILS 3, 6, 7, 8, 9002 FOR ROOF FLASHING DETAILS  
 SEE DETAILS 17, 18002 FOR EAT, SOPPLY DETAILS  
 SEE DETAILS 1003 THROUGH 1009 FOR WINDOW AND DOOR DETAILS

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▲ 10660-2001 CODES
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▲ 0410711-2010 CODES
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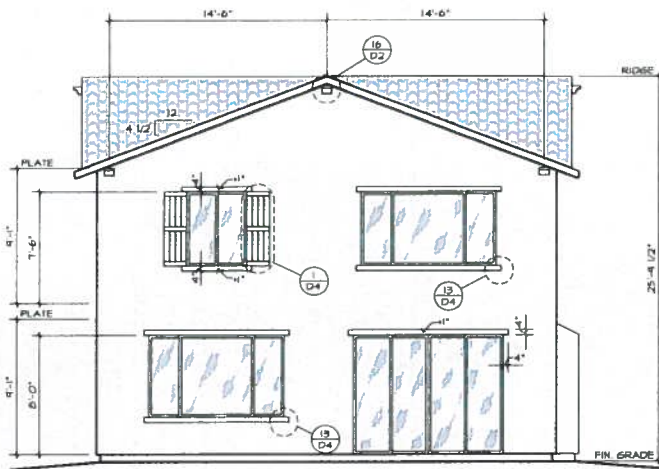
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**PLAN 2**  
**AMBER @ BLACKSTONE**  
**(PA-3B TONNER HILLS)**

SCALE 1/8" = 1'-0" = 11" = 11" 1/4" = 1'-0" = 24" = 56"
ORIGINAL ISSUE DATE: 05/29/10
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**FRONT ELEVATION "A"**



**REAR ELEVATION "A"**

**GENERAL NOTES**

EXTERIOR FINISHES TO BE APPLIED STUCCO SYSTEM TYP  
 ROOF FINISHES TO BE CLASS "A" EAGLE INTERLOCKING CONCRETE  
 ROOF TILES (RC+ ESM-HOOD) WITH FIRESTOP TO PREVENT INTRUSION  
 OF FLAMES AND SMOKE  
 EXTERIOR PAINT COLORS TO MATCH DESIGN REVIEW OR PLANNING  
 DEPARTMENT APPROVAL  
 FASCIAS TO BE HOOD IF APPLICABLE  
 HATCH FINISHES TO BE VINYL  
 GARAGE DOORS TO BE SECTIONAL GARAGE DOORS  
 FOAM POPPETS, FOAM ACCEPTS, HIGHLIGHT IRON APPLICATIONS,  
 RECESSES AND DECORATIVE GABLES TO MATCH APPROVED  
 DESIGN REVIEW OR PLANNING DEPARTMENT APPROVAL  
 A PREMISES ADDRESS IS REQUIRED AND SHALL BE PLACED  
 VISIBLE & LEGIBLE FROM THE STREET FRONTING THE PROPERTY

SEE ARCHITECTURAL DETAIL SHEETS FOR MORE INFORMATION  
 SEE DETAIL 101 FOR HEEP SCARRED DETAIL  
 SEE DETAILS 301 & 301 FOR STUCCO PATCH/REPAIR DETAILS  
 SEE DETAIL 301 FOR HALL PENETRATION DETAIL  
 SEE DETAIL 701 FOR HATCH FINISHING DETAILS  
 SEE DETAIL 801 FOR FLASHING @ 1 VENT DETAIL  
 SEE DETAIL 1201 FOR 1" VENT FLASHING DETAIL  
 SEE DETAIL 1301 FOR ROOF PENETRATION DETAIL  
 SEE DETAILS 1401 & 1501 FOR THRESHOLD DETAILS  
 SEE DETAILS 1, 2, 3, 6, 7, 8, 10, 11 FOR ROOF FLASHING DETAILS  
 SEE DETAILS 17, 18, 19 FOR SILL/SOPRIT DETAILS  
 SEE DETAILS 103 THRU 103 FOR HATCH AND DOOR DETAILS

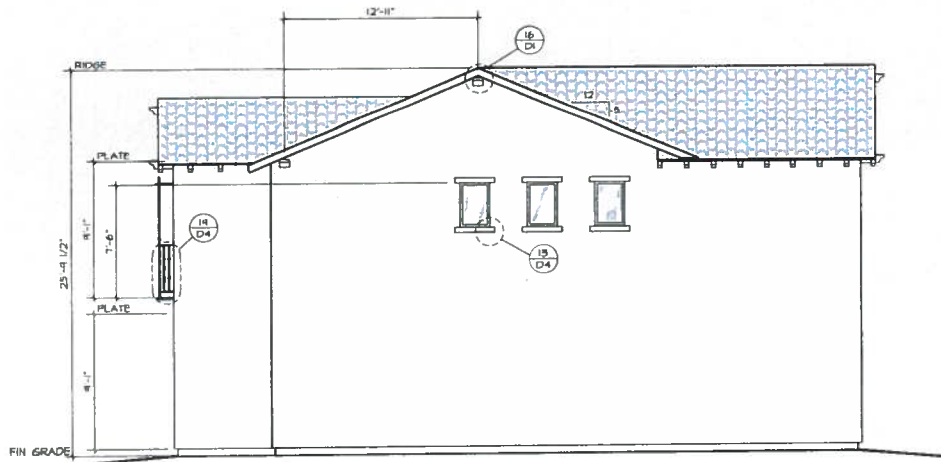
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△ 7/20/10-2007 CODES
△ 12/14/10-2007 CODES
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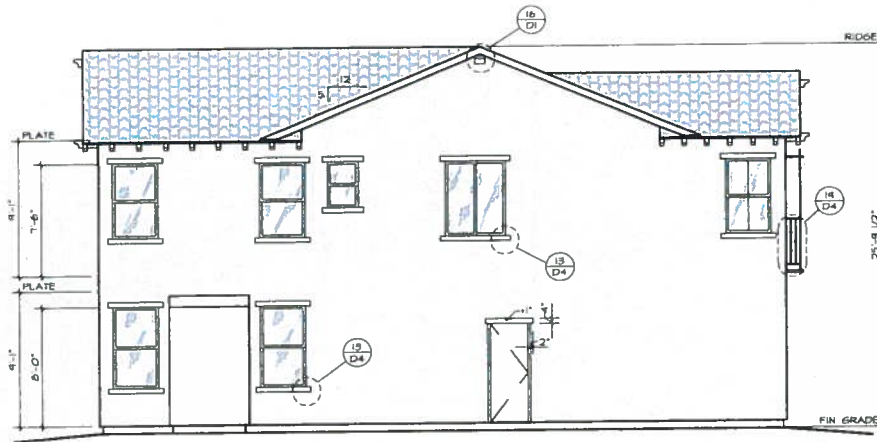
**PLAN 3**  
**AMBER @ BLACKSTONE**  
**(PA-3B TONNER HILLS)**

**CITY OF PHOENIX**  
 MAY 13 2014  
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SCALE: 1/4" = 1'-0" - 11' x 17" 1/4" = 1'-0" - 24' x 36"
ORIGINAL ISSUE DATE: 08/25/10
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**RIGHT ELEVATION "A"**



**LEFT ELEVATION "A"**

**GENERAL NOTES**

EXTERIOR FINISHES TO BE APPLIED STECCO SYSTEM, TYP.  
 ROOF FINISHES TO BE CLASS "A" EAGLE INTERLOCKING CONCRETE ROOF TILES (ICC ESR-1802) WITH FIRESTOP TO PREVENT INTRUSION OF FLAMES AND SMOKE.  
 EXTERIOR PAINT COLORS TO MATCH DESIGN REVIEW OR PLANNING DEPARTMENT APPROVAL.  
 FASCIAS TO BE MOOD IF APPLICABLE.  
 WINDOW FRAMES TO BE VINYL.  
 GARAGE DOORS TO BE SECTIONAL GARAGE DOORS.  
 POAH POPPETS, POAH AGENTS, HIGHLIGHT HIGH APPLICATIONS, RECESSES AND DECORATIVE CAMELS TO MATCH APPROVED DESIGN REVIEW OR PLANNING DEPARTMENT APPROVAL.  
 A PREMISES ADDRESS IS REQUIRED AND SHALL BE PLAINLY VISIBLE 4' LEVELS FROM THE STREET FRONTING THE PROPERTY

SEE ARCHITECTURAL DETAIL SHEETS FOR MORE INFORMATION  
 SEE DETAIL 103 FOR WEEP SCREEN DETAIL  
 SEE DETAILS 302 & 303 FOR STECCO POPPET DETAILS  
 SEE DETAIL 401 FOR STECCO POT-HOLE DETAIL  
 SEE DETAIL 601 FOR WALL PENETRATION DETAILS  
 SEE DETAIL 101 FOR WINDOW FLASHING DETAILS  
 SEE DETAIL 801 FOR FLASHING 6:1 VENT DETAIL  
 SEE DETAIL 1301 FOR 12" VENT FLASHING DETAIL  
 SEE DETAIL 1501 FOR ROOF PENETRATION DETAIL  
 SEE DETAILS 1401 & 1501 FOR THRESHOLD DETAILS  
 SEE DETAILS 1, 2, 3, 402 FOR OVERSHOULDER DETAILS  
 SEE DETAILS 5, 6, 7, 8, 403 FOR ROOF FLASHING DETAILS  
 SEE DETAILS 11, 1802 FOR EXT. SORBIT DETAILS  
 SEE DETAILS 103 THROUGH 105 FOR WINDOW AND DOOR DETAILS

REVISIONS
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**PLAN 3**  
**AMBER @ BLACKSTONE**  
**(PA-3B TONNER HILLS)**

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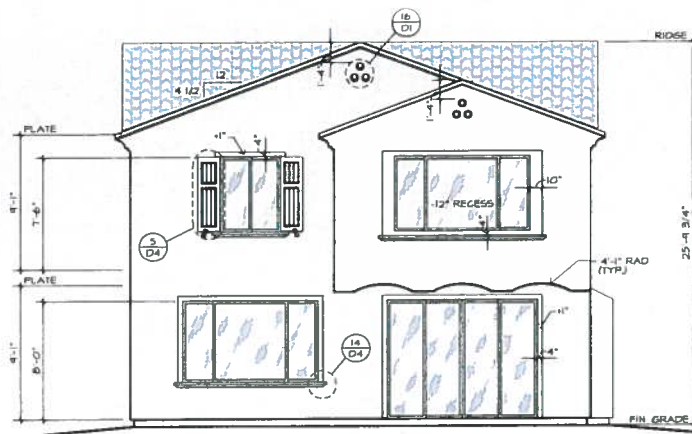
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**FRONT ELEVATION "B"**



**REAR ELEVATION "B"**

**GENERAL NOTES**

- EXTERIOR FINISHES TO BE APPLIED STUCCO SYSTEM, TYP.
- ROOF FINISHES TO BE CLASS 'A' EAGLE INTERLOCKING CONCRETE ROOF TILES ACQ FBR-ROOF WITH PRESHIP TO PREVENT INTRUSION OF PLANKS AND SIDINGS.
- EXTERIOR PAINT COLORS TO MATCH DESIGN REVIEW OR PLANNING DEPARTMENT APPROVAL.
- FASCIAS TO BE HOOD IF APPLICABLE.
- HOOD FRAMES TO BE VINYL.
- GARAGE DOORS TO BE SECTIONAL GARAGE DOORS.
- POAH POPRITS, POAH ACCENTS, UPRIGHT IRON APPLICATIONS, RECESSES AND DECORATIVE CANALES TO MATCH APPROVED DESIGN REVIEW OR PLANNING DEPARTMENT APPROVAL.
- A PREMISES ADDRESS IS REQUIRED AND SHALL BE PLAINLY VISIBLE & LEGIBLE FROM THE STREET FRONTING THE PROPERTY.
- SEE ARCHITECTURAL DETAIL SHEETS FOR HOOD, INTERIORS.
- SEE DETAIL 101 FOR HEEP SIGNED DETAIL.
- SEE DETAILS 201 & 301 FOR STUCCO POPRIT DETAILS.
- SEE DETAILS 401 FOR HALL PENETRATION DETAIL.
- SEE DETAIL 701 FOR HALL PENETRATION DETAIL.
- SEE DETAIL 701 FOR HALL PENETRATION DETAIL.
- SEE DETAIL 801 FOR FLASHING @ 1" VENT DETAIL.
- SEE DETAIL 1201 FOR 1" VENT FLASHING DETAIL.
- SEE DETAIL 1301 FOR ROOF PENETRATION DETAIL.
- SEE DETAILS 1401 & 1501 FOR THRESHOLD DETAILS.
- SEE DETAILS 1, 2, 302 FOR OVERHANG DETAILS.
- SEE DETAILS 5, 6, 7, 8, 402 FOR ROOF FLASHING DETAILS.
- SEE DETAILS 11, 1402 FOR EXT. SORFIT DETAILS.
- SEE DETAILS 103 THRU 1033 FOR HHOOD AND DOOR DETAILS.

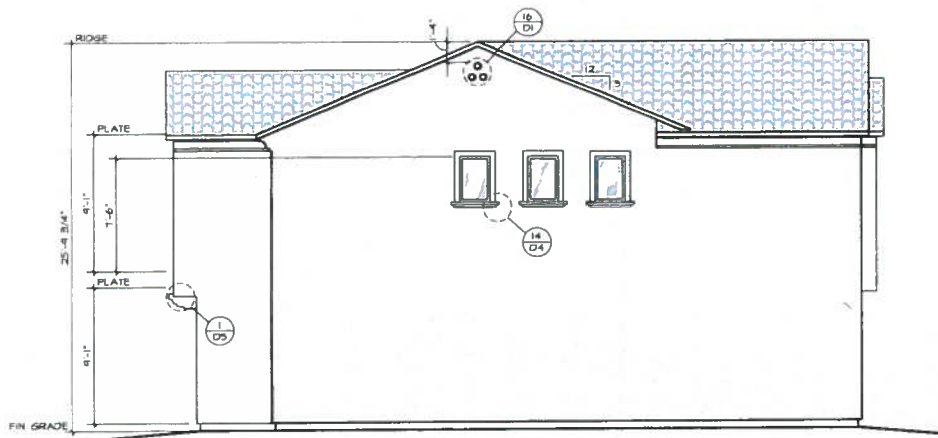
REVISIONS
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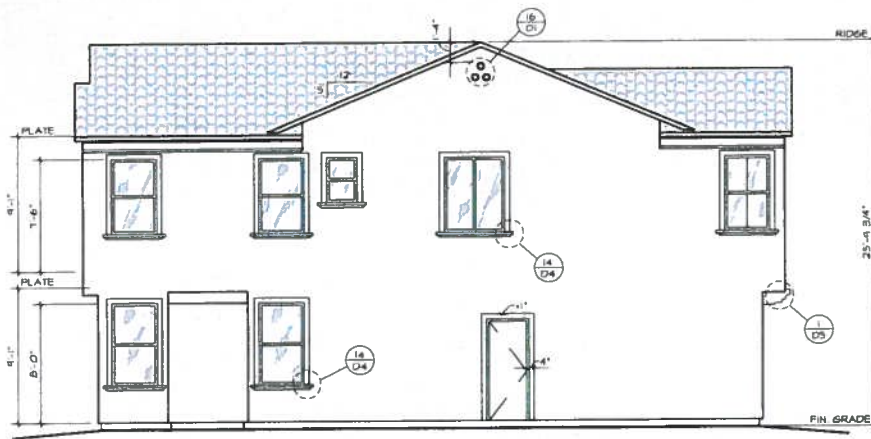
**PLAN 3**  
**AMBER @ BLACKSTONE**  
**(PA-3B TONNER HILLS)**

**CITY OF PHOENIX**  
 MAY 12 2014  
 Planning & Development  
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SCALE 1/2" = 1'-0"    1" = 1'-0" 1/4" = 1'-0"    3/4" = 3'-0"
ORIGINAL ISSUE DATE 05/25/10
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**RIGHT ELEVATION "B"**



**LEFT ELEVATION "B"**

**GENERAL NOTES**

EXTERIOR FINISHES TO BE APPLIED STUCCO SYSTEM, TYP.  
 ROOF FINISHES TO BE CLASS "A" EAGLE INTERLOCKING CONCRETE ROOF TILES ECG® ESM-HOOD WITH FIRESTOP TO PREVENT INTRUSION OF PLAINS AND DRESS.  
 EXTERIOR PAINT COLORS TO MATCH DESIGN REVIEW OR PLANNING DEPARTMENT APPROVAL.  
 FASCIAS TO BE HOOD IF APPLICABLE.  
 HHOOD FINISHES TO BE VINYL.  
 GARAGE DOORS TO BE SECTIONAL GARAGE DOORS.  
 FOAM POPOUTS, FOAM ACCEPTS, PRESSURE URCH APPLICATIONS, RECESSES AND DECORATIVE CANALES TO MATCH APPROVED DESIGN REVIEW OR PLANNING DEPARTMENT APPROVAL.  
 A PREMISES ADDRESS IS REQUIRED AND SHALL BE PLAINLY VISIBLE & LEGIBLE FROM THE STREET FRONTING THE PROPERTY.

SEE ARCHITECTURAL DETAIL SHEETS FOR MORE INFORMATION.  
 SEE DETAIL U01 FOR HHOOD SCREEN DETAIL.  
 SEE DETAILS 2U01 & 5U01 FOR STUCCO POPOUT DETAILS.  
 SEE DETAIL 4U01 FOR STUCCO POT-HOLD DETAIL.  
 SEE DETAIL 6U01 FOR HALL PENETRATION DETAIL.  
 SEE DETAIL 7U01 FOR HHOOD FLASHING DETAIL.  
 SEE DETAIL 8U01 FOR FLASHING G.I. VENT DETAIL.  
 SEE DETAIL 12U01 FOR 12" VENT FLASHING DETAIL.  
 SEE DETAIL 13U01 FOR ROOF PENETRATION DETAIL.  
 SEE DETAILS 14U01 & 15U01 FOR THRESHOLD DETAILS.  
 SEE DETAILS 1, 2, 3, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16 FOR OVERSHANG DETAILS.  
 SEE DETAILS 3, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16 FOR ROOF FLASHING DETAIL.  
 SEE DETAILS F1, 1A, 2, 3 FOR EXT. SORPLY DETAIL.  
 SEE DETAILS U03 THRU U05 FOR HHOOD AND DOOR DETAILS.

REVISIONS	
▲	1/08/10-2001 CODES
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▲	12/14/10-2001 CODES
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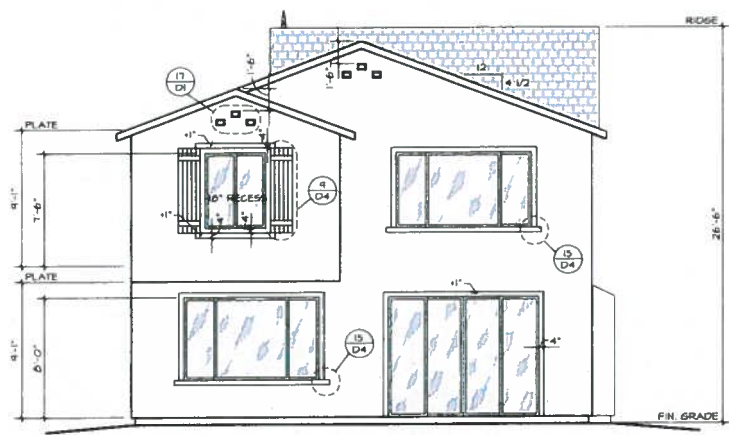
**PLAN 3**  
**AMBER @ BLACKSTONE**  
**(PA-3B TONNER HILLS)**

**CITY OF PHOENIX**  
 MAY 13 2014  
 Planning & Development  
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SCALE: 1/8" = 1'-0"    1/4" = 1'-0"    3/8" = 1'-0"
ORIGINAL ISSUE DATE: 03/23/10
DRAWN BY: ARCH DEPT.
<b>A5.1</b>
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**FRONT ELEVATION "C"**



**REAR ELEVATION "C"**

**GENERAL NOTES**

EXTERIOR FINISHES TO BE APPLIED STUCCO SYSTEM, TYP.  
 ROOF FINISHES TO BE GLASS 'A' BAUBLE INTERLOCKING CONCRETE  
 ROOF TILES ECG EDWARDS WITH FIRESTOP TO PREVENT INTRUSION  
 OF FLAMES AND SMOKE.  
 EXTERIOR PAINT COLORS TO MATCH DESIGN REVIEW OR PLANNING  
 DEPARTMENT APPROVAL.  
 PARAPETS TO BE MOOD IF APPLICABLE.  
 WINDOW FRAMES TO BE VINYL.  
 GARAGE DOORS TO BE SECTIONAL GARAGE DOORS.  
 FOAM POPPETS, FOAM ACCENTS, RESIDENT IRON APPLICATIONS,  
 RECESSES AND DECORATIVE CANALES TO MATCH APPROVED  
 DESIGN REVIEW OR PLANNING DEPARTMENT APPROVAL.  
 A PERMITS ADDRESS IS REQUIRED AND SHALL BE PLAINLY  
 VISIBLE & LEGIBLE FROM THE STREET FRONTING THE PROPERTY.

SEE ARCHITECTURAL DETAIL SHEETS FOR MORE SPECIFICATION  
 SEE DETAIL V01 FOR HEEP SCREED DETAIL  
 SEE DETAILS 201 & 501 FOR STUCCO POPPET DETAILS  
 SEE DETAILS 401 FOR STUCCO POTTSHELP DETAILS  
 SEE DETAIL 601 FOR HALL PENETRATION DETAILS  
 SEE DETAIL 101 FOR WINDOW FLASHING DETAILS  
 SEE DETAIL 801 FOR FLASHING 6:1 VENT DETAILS  
 SEE DETAIL 1201 FOR 12 VENT FLASHING DETAILS  
 SEE DETAIL 1301 FOR ROOF PENETRATION DETAILS  
 SEE DETAILS 1401 & 1501 FOR THRESHOLD DETAILS  
 SEE DETAILS 1, 2, 502 FOR OVERHANG DETAILS  
 SEE DETAILS 3, 6, 7 & 403 FOR ROOF FLASHING DETAILS  
 SEE DETAILS 11, 1602 FOR EXT. SIPPIT DETAILS  
 SEE DETAILS 103 THRU 105 FOR WINDOW AND DOOR DETAILS

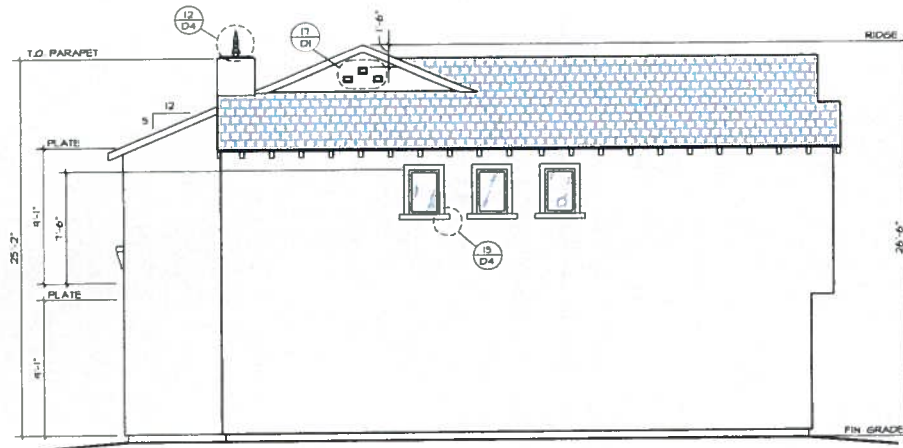
REVISIONS	
▲	1008/NO-2001 CODES
▲	7/20/NO-2001 CODES
▲	12/4/NO-2001 CODES
▲	03/MAY-2010 CODES
▲	
LATEST REVISION	

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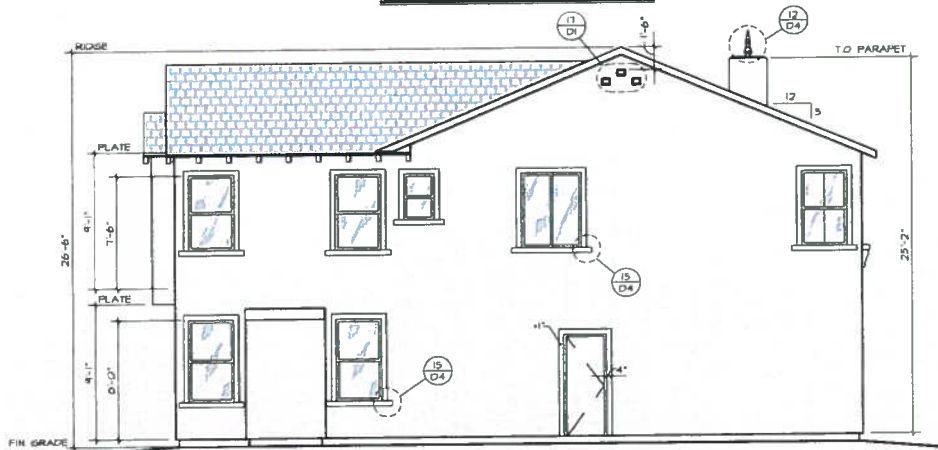
**PLAN 3**  
**AMBER @ BLACKSTONE**  
**(PA-3B TONNER HILLS)**

**CITY OF PHOENIX**  
 MAY 13 2014  
 Planning & Development  
 Department

SCALE: 1/2" = 1'-0" = 11" x 17" 1/4" = 1'-0" = 24" x 36"
ORIGINAL ISSUE DATE: 03/23/10
DRAWN BY: ARCH. DEPT.
<b>A6</b>
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**RIGHT ELEVATION "C"**



**LEFT ELEVATION "C"**

**GENERAL NOTES**

EXTERIOR FINISHES TO BE APPLIED STUCCO SYSTEM, TYP.  
 ROOF FINISHES TO BE GLASS 'A' EMBLE INTERLOCKING CONCRETE ROOF TILES ACC' ESR-11003 WITH PRESLOPE TO PREVENT INTRUSION OF PLANTS AND DRIBBLES.  
 EXTERIOR PAINT COLORS TO MATCH DESIGN REVIEW OR PLANNING DEPARTMENT APPROVAL.  
 FASCIAS TO BE HOOD IF APPLICABLE.  
 WINDOW FRAMES TO BE VINYL.  
 GARAGE DOORS TO BE SECTIONAL GARAGE DOORS.  
 POAH PROFILES, POAH ACCENTS, HIGHLIGHT RICH APPLICATIONS, RECESSES AND DECORATIVE CARILES TO MATCH APPROVED DESIGN REVIEW OR PLANNING DEPARTMENT APPROVAL.  
 A PERMITS ADDRESS IS REQUIRED AND SHALL BE PLAINLY VISIBLE & LEGIBLE FROM THE STREET FRONTING THE PROPERTY.

SEE ARCHITECTURAL DETAIL SHEETS FOR MORE INFORMATION.  
 SEE DETAIL 101 FOR KEEP SCABS DETAIL.  
 SEE DETAILS 2401 & 301 FOR STUCCO POPOUT DETAILS.  
 SEE DETAILS 401 FOR STUCCO POSTHELP DETAIL.  
 SEE DETAIL 601 FOR HALL PENETRATION DETAILS.  
 SEE DETAIL 701 FOR HATCH FLASHING DETAILS.  
 SEE DETAIL 801 FOR FLASHING @ 1 VENT DETAIL.  
 SEE DETAIL 1201 FOR 1" VENT FLASHING DETAIL.  
 SEE DETAIL 1301 FOR ROOF PENETRATION DETAIL.  
 SEE DETAILS 1401 & 1501 FOR THRESHOLD DETAILS.  
 SEE DETAILS 1, 2, & 302 FOR OVERHAND DETAILS.  
 SEE DETAILS 5, & 7, & 1002 FOR ROOF FLASHING DETAILS.  
 SEE DETAILS 11, 1003 FOR EXT. SIPPITY DETAILS.  
 SEE DETAILS 109 THRU 1003 FOR HATCH AND DOOR DETAILS.

REVISIONS
▲ 110810-2001 CODES
▲ 121010-2001 CODES
▲ 121410-2001 CODES
▲ 031911-2010 CODES
▲
LATEST REVISION

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SCALE 1/8" = 1'-0" = 11" x 17" 1/4" = 1'-0" = 24" x 36"
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