



**City of Phoenix**  
PLANNING AND DEVELOPMENT DEPARTMENT

**Staff Report: Z-45-15-6**  
October 26, 2015

<b>Camelback East Village Planning Committee Hearing Date</b>	November 3, 2015
<b>Planning Commission Hearing Date</b>	November 10, 2015
<b>Request From:</b>	R-4 (0.19 acres), R1-6 (0.36 acres)
<b>Request To:</b>	R-O (0.55 acres)
<b>Proposed Use</b>	Office
<b>Location</b>	Southeast corner of 49th Street and Indian School Road
<b>Owner</b>	Briggs B LLC
<b>Applicant's Representative</b>	Rodney Jarvis, Gallagher and Kennedy
<b>Staff Recommendation</b>	Approval subject to stipulations

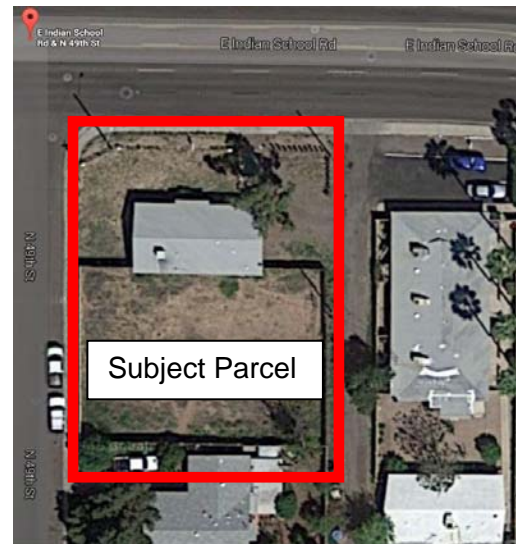
General Plan Conformity			
<b>General Plan Land Use Designation</b>		Residential (3.5-5 du/acre)	
<b>Street Map Classification</b>	49th Street	Local	30-foot east half street
	Indian School Road	Major Arterial	46.5-foot south half street
<p><b>NEIGHBORHOOD ELEMENT: GOAL 2 COMPATIBLE NEIGHBORHOOD DEVELOPMENT: NEW DEVELOPMENT AND EXPANSION OR REDEVELOPMENT OF EXISTING DEVELOPMENT IN OR NEAR RESIDENTIAL AREAS SHOULD BE COMPATIBLE WITH EXISTING USES AND CONSISTENT WITH ADOPTED PLANS.</b></p> <p>The proposed office use is consistent in scale and character with surrounding residential and commercial properties fronting Indian School Road.</p>			
<p><b>NEIGHBORHOOD ELEMENT: RESIDENTIAL CONVERSION POLICY - PARKING, TRAFFIC, AND OTHER IMPACTS OF THE PROPOSED DEVELOPMENT WILL NOT ADVERSELY IMPACT ADJACENT AND NEARBY RESIDENTIAL USES.</b></p> <p>As stipulated, the proposed office use will have minimal impacts to the adjacent residential areas.</p>			
<p><b>NEIGHBORHOOD ELEMENT: RESIDENTIAL CONVERSION POLICY - THE AREA IS NOT VIABLE FOR CONTINUED RESIDENTIAL USE BECAUSE OF A COMBINATION OF FACTORS SUCH AS DETERIORATION, LAND USE OR TRAFFIC CONFLICT.</b></p> <p>The proposed office development will provide a transition between the R1-6 zoning to the south and the C-2 zoning along Indian School Road.</p>			

Surrounding Land Uses/Zoning		
	<u>Land Use</u>	<u>Zoning</u>
<b>On Site</b>	Single Family Residence, Vacant	R-4, R1-6
<b>North</b>	Restaurants, Dry Cleaner	C-2
<b>South</b>	Single Family Residence	R1-6
<b>East</b>	Multi-Family Residential	R-3
<b>West</b>	Office, Single Family Residence	R-4. R1-6

Residential Office R-O District – Restricted Commercial		
Standards	Requirements	Met or Not Met
<b>Building Setbacks</b> Street Side Rear	20 feet 10 feet 25 feet	<b>Met – 20' 8 ½"</b> <b>Met – 10' (west), 10' 11 ½" (east)</b> <b>Met – 25 feet</b>
<b>Landscaped Setbacks</b>	Minimum 3 foot wide landscape strip around principal structure  200SF additional landscaping and solid fence or wall around rear yard	<b>Information not provided by applicant</b>  <b>Met</b>
<b>Lot Coverage</b>	30%	<b>Met – 24.53%</b>
<b>Building Height</b>	15 feet, plus 1 foot in height per 1 foot additional setback to a maximum height of 25 feet	<b>Information not provided by applicant</b>
<b>Parking</b>	1 per 250 SF net floor area	<b>Met – 8 spaces provided</b>

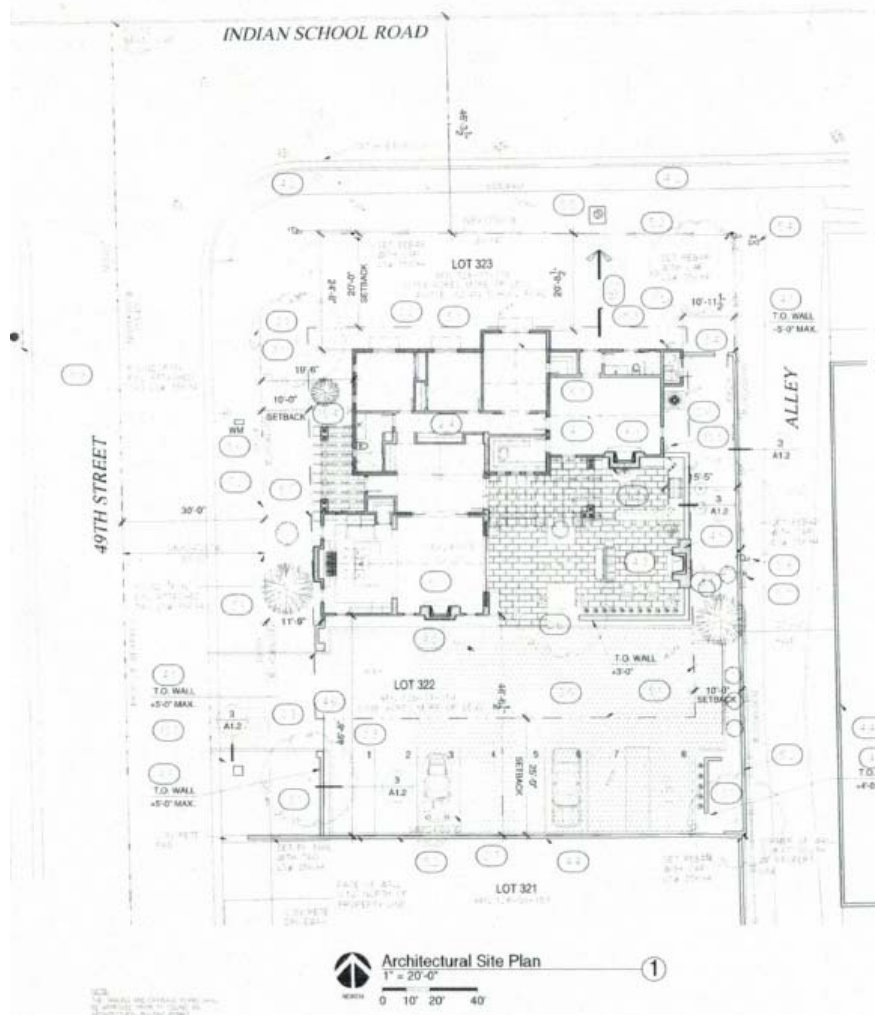
**Background/Issues/Analysis**

1. This request is to rezone a .55 acre parcel located at the southeast corner of 49th Street and Indian School Road from multifamily residential (R-4) and single family residential (R1-6) to Residential Office (R-O). The parcel currently has a new single family ranch style home that the applicant intends to entitle for an office building.
2. The General Plan Designation for the parcel is Residential 3.5 – 5 du / acre. Although the proposal is not consistent with the General Plan designation, an amendment is not required as the subject parcel is less than 10 acres in size.



3. The Residential Office zoning district is intended to control developments on the edges of residential areas which, because of their location on arterial streets or other environmental conditions, are susceptible to pressures for nonresidential uses. The district permits new development at a residential scale or conversion of residential structures for use as professional offices or other limited service uses.
4. The site plan consists of a new/existing 3,114 square foot, single story office building with a main entrance oriented towards 49th Street. The architectural style of the building is residential and complements existing single-family homes in the adjacent neighborhood.
5. The submitted site plan indicates vehicular ingress and egress to the site via 49th Street. 49th Street is a local street and the proposed location of the driveway is across from an existing single-family home on the west side of 49th Street. Per Zoning Ordinance Section 620.C.8, access to a Residential Office site should be from an arterial or collector street as defined on the street classification map. Variance approval would be required to allow vehicular access from 49th Street.
6. Eight parking spaces are shown along the south property line. On the submitted site plan, these spaces are set back zero feet from the property line and are adjacent to a single family home. There is an existing six-foot high block wall along a portion of this property line which is proposed to be extended.

To mitigate the parking area from the adjacent single family home, staff recommends a stipulation requiring a 5 foot landscape setback along the south property line. This stipulation also requires a 20 foot landscape setback along the north property line and 10 foot landscape setbacks along the west property lines. These landscaped areas are shown on the submitted site plan.



7. The landscaping requirements of the R-O district do not specify plant sizes. Staff recommends a stipulation requiring that landscape setbacks be planted with a minimum 50% 2-inch caliper trees and a minimum 50% 3-inch caliper trees planted 20-feet on center with a minimum of five (5) 5-gallon shrubs per tree. This landscaping is intended to provide shade along Indian School Road, improve the streetscape along 49th Street, and act as a buffer for the single family home on the south property line.
8. Development and use of the site is subject to all applicable codes and ordinances. Zoning approval does not negate other ordinance requirements. Other formal actions such as, but not limited to, zoning adjustments and abandonment may be required.

### **Findings**

1. The request is not consistent with the General Plan land use designation of Residential 3.5-5 du/acre, but a General Plan amendment is not required.
2. The proposal is compatible with the land use pattern in the area.
3. The proposal provides a buffer between the established single family neighborhood to the south and commercial and office uses along Indian School Road.

### **Stipulations**

1. Minimum landscape setbacks shall be provided as follows: 5 feet along the south property line, 10 feet along the west property line, and 20 feet along the north property line, as approved by the Planning and Development Department.
2. All landscape setbacks shall be planted with a minimum 50% 2-inch caliper trees and a minimum 50% 3-inch caliper trees planted 20-feet on center with a minimum of five (5) 5-gallon shrubs per tree, as approved by the Planning and Development Department.
3. The developer shall dedicate a 10 feet sidewalk easement for the south half of Indian School Road, as approved by Street Transportation Department.
4. The developer shall construct all streets adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, landscaping and other incidentals as approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.

### **Writer**

Adam Stranieri

10/16/2015

### **Team Leader**

Marc Thornton

Staff Report: Z-45-15-6

October 26, 2015

Page 5 of 5

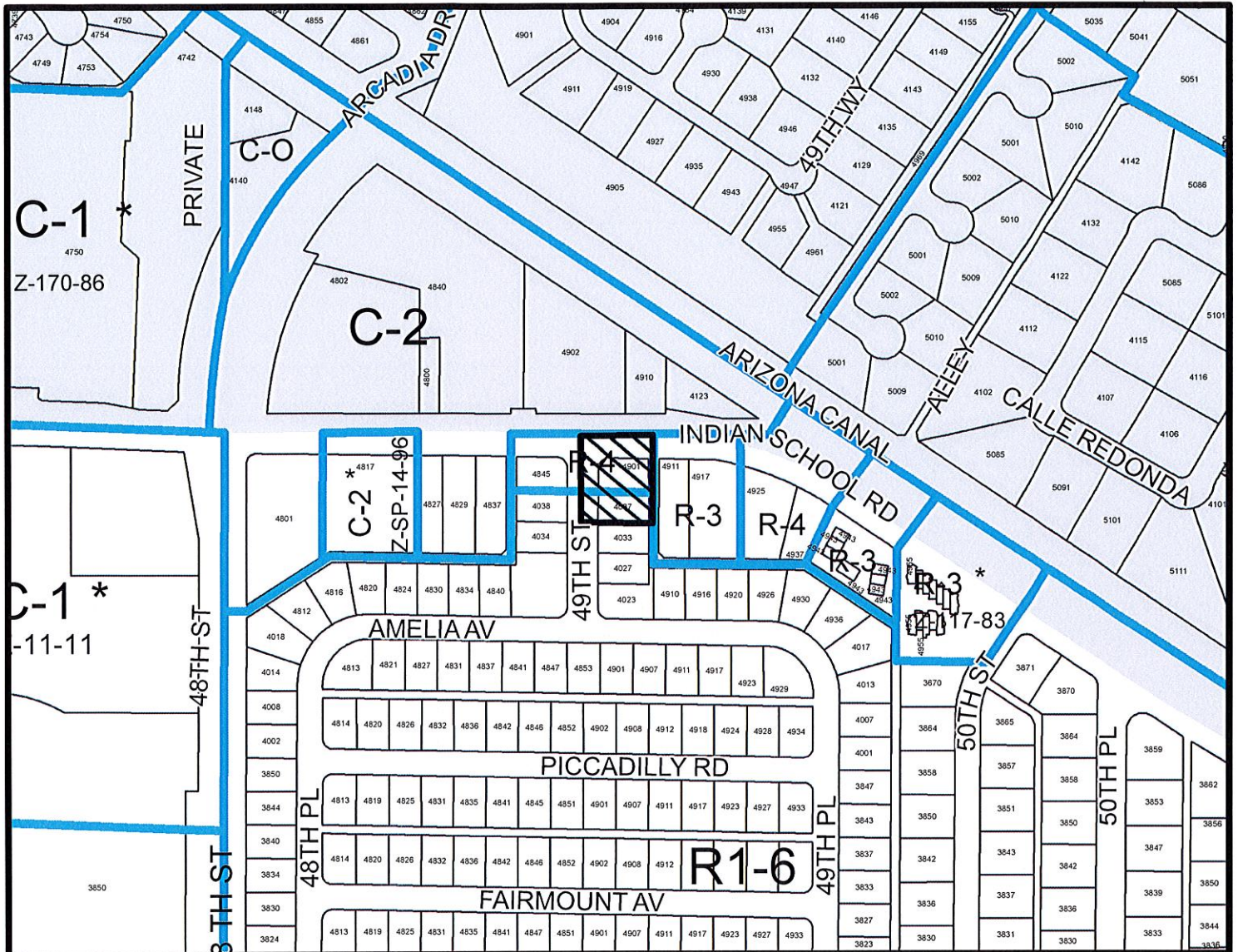
**Attachments**

Sketch Map

Aerial

Site Plan (date stamped 8/21/15)

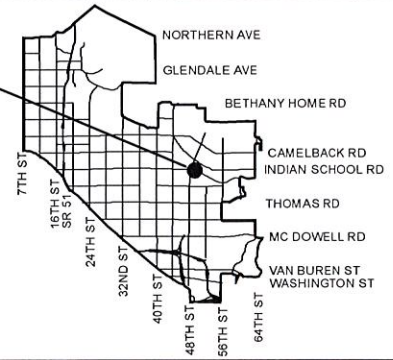
Elevations (date stamped 8/21/15) (2 pages)



300 150 0 300 Feet

CITY OF PHOENIX PLANNING DEPARTMENT  
**CAMELBACK EAST VILLAGE**  
 CITY COUNCIL DISTRICT: 6

Z-45-15



APPLICANT'S NAME: Rodney Jarvis, Kelly Kvetko K Squared

REQUESTED CHANGE:

FROM: R-4 (0.19 a.c.)  
 R1-6 (0.36 a.c.)

APPLICATION NO. Z-45-15

DATE: 9/4/15  
 REVISION DATES:

GROSS AREA INCLUDING 1/2 STREET  
 AND ALLEY DEDICATION IS APPROX.

0.55 Acres

AERIAL PHOTO &  
 QUARTER SEC. NO.  
 QS 16-38

ZONING MAP  
 H-11

TO: R-O (0.55 a.c.)

MULTIPLES PERMITTED

R-4, R1-6  
 R-O

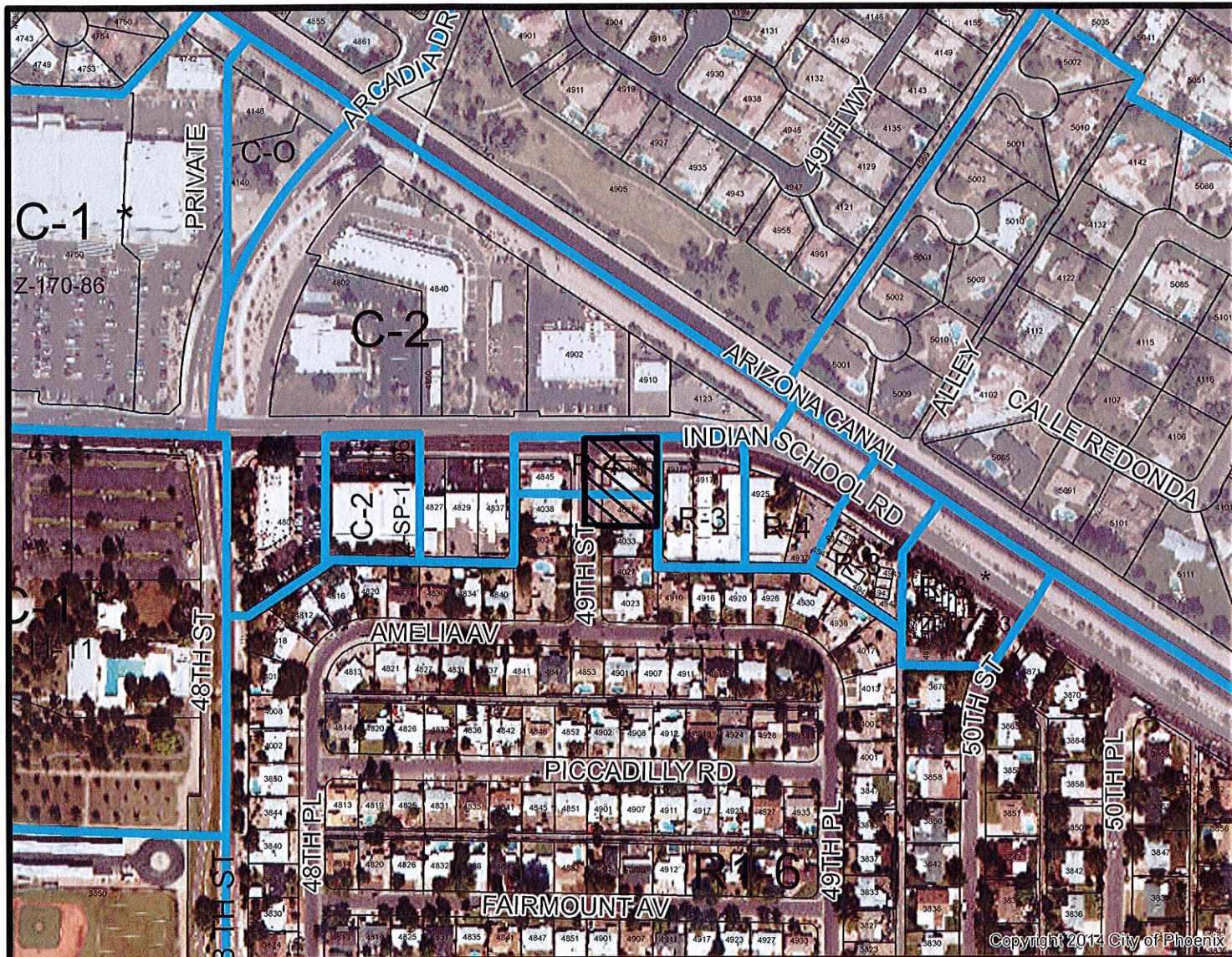
CONVENTIONAL OPTION

5, 1  
 1

\* UNITS P.R.D. OPTION

6, 2  
 1

\* Maximum Units Allowed with P.R.D. Bonus



Copyright 2014 City of Phoenix

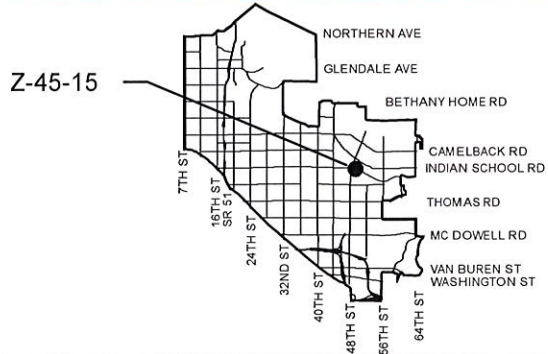


300 150 0 300 Feet

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CITY OF PHOENIX GOVERNING BOARD RESOLUTION NO. 2015-001  
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PROPERTY ADDRESS  
LOT ADDRESS  
TAX ACCOUNT NUMBER  
CONTAINING AND ADJACENT TO HOLD PROPERTY AS ONE PARCEL  
MODIFICATION NO. PER 1988L B.M. 2015 2015  
SUBDIVISION  
LARGESE / LONGITUDE  
LOT NUMBER  
W.C. #  
LEGAL DESCRIPTION  
BASIS OF BEGINNING  
REMARKS  
QUARTER SECTION NO.  
PROPERTY SURFACE NO.  
P.L.S. NUMBER  
CONVEYANCE AGREEMENT  
EXISTING ZONING  
ADJACENT ZONING  
ZONING DISTRICT PROPOSED  
MARKET AREA / NEIGHBORHOOD  
LOT COVERAGE ALLOWED  
SECTION, TOWNSHIP RANGE  
NET SITE AREA  
GROSS SITE AREA  
SETBACKS  
FRONT  
REAR  
SIDE  
CORNER  
OCCUPANCY  
TYPE OF CONSTRUCTION  
UTILITIES  
ELECTRIC  
TELEPHONE  
CABLE  
WATER  
SEWER  
GAS  
MAX HEIGHT LIMIT  
LOCAL JURISDICTION  
HIGH SCHOOL DISTRICT  
ELEMENTARY SCHOOL DISTRICT  
PARKING AREA RATIO  
PARKING SPACES REQUIRED  
PARKING SPACES PROVIDED

BUILDING AREAS

FIRST FLOOR	2,734 s.f.
CONDITIONED SPACE	
Covered patios	241 s.f.
Front Entry	139 s.f.
Side Entry Patio	
TOTAL CONDITIONED SPACE	2,734 s.f.
TOTAL COVERED PATIOS	380 s.f.
AREAL UNDER ROOF	3,114 s.f.
Area of lot =	12,094 s.f.
lot coverage allowed = 25% =	3,023 s.f.
lot coverage =	24.53%
lot coverage remaining =	59.65 s.f.

Table with 2 columns: Description and Value. Includes items like 'Front Entry', 'Side Entry Patio', 'TOTAL COVERED PATIOS', etc.



FOR CITY USE:

KIVA #  
SDEV #  
OS #

CITY OF PHOENIX

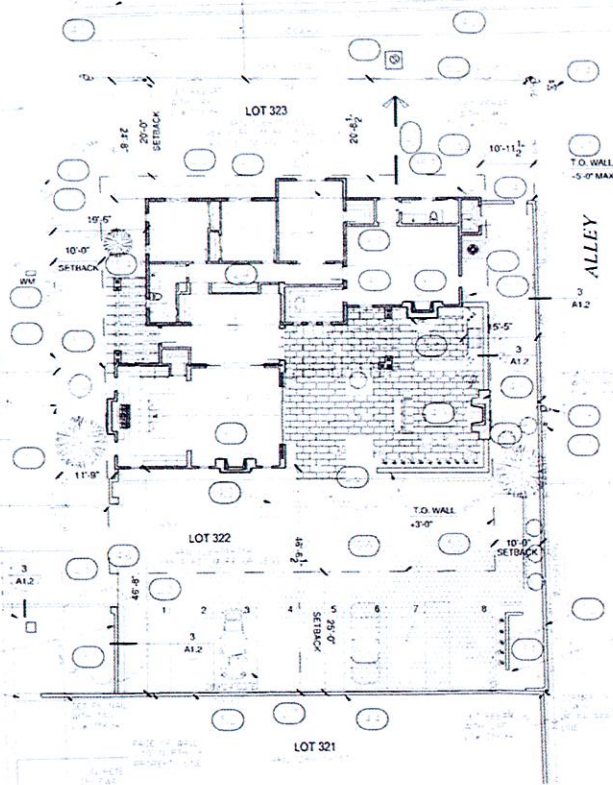
AUG 21 2015

Planning & Development  
Department

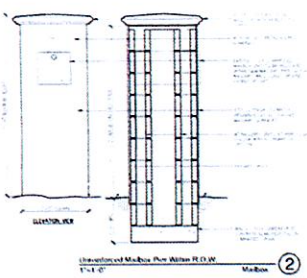
INDIAN SCHOOL ROAD

49TH STREET

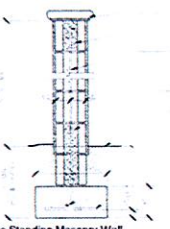
ALLEY



Architectural Site Plan  
1" = 20'-0"  
0 10' 20' 40'



Unfinished Masonry Pier Within R.O.W.  
1" = 1'-0"



Free Standing Masonry Wall  
1" = 1'-0"  
KDI\_1608

APPLICANT'S NAME AND TITLE  
REGISTERED PROFESSIONAL ARCHITECT  
PLANS PREPARED BY OR UNDER THE DIRECT SUPERVISION OF, OR  
DESIGNED BY THE REGISTERED PROFESSIONAL ARCHITECT  
PLANS NOT COMPLETE  
THE NUMBER, DATE OF SUBMISSION, IN ACCORDANCE WITH  
THE REQUIREMENTS OF THE PHOENIX BUILDING DEPARTMENT CODE AND  
ALL OTHER APPLICABLE LAWS

NOTED: I CERTIFY THAT THESE DRAWINGS AND PREPARED BY ME, UNDER THE  
SUPERVISION, CONTROL AND TO THE BEST OF MY KNOWLEDGE AND BELIEF,  
CONFORM TO THE PHOENIX BUILDING DEPARTMENT CODE.

VOID DATE

Table with 2 columns: Description and Value. Includes items like 'Front Entry', 'Side Entry Patio', etc.

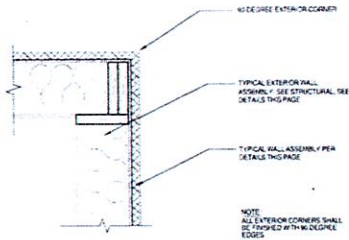
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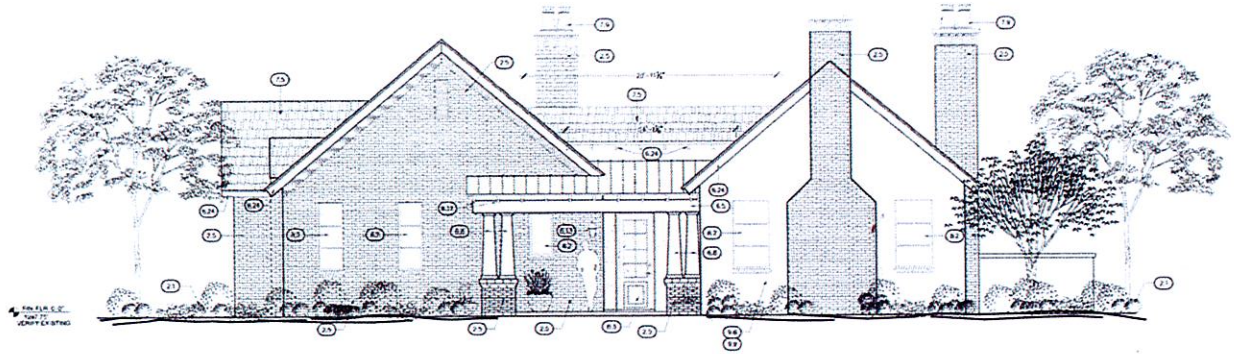
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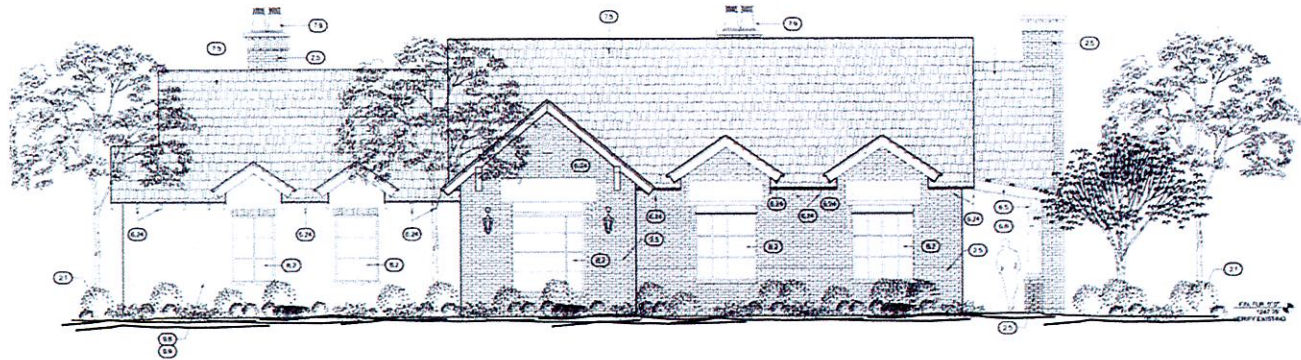




EXTERIOR 90° SYNTHETIC STUCCO CORNER  
SCALE: 1/4"=1'-0"  
6612-06 6



49TH STREET BUILDING ELEVATION  
1/4"=1'-0" 1



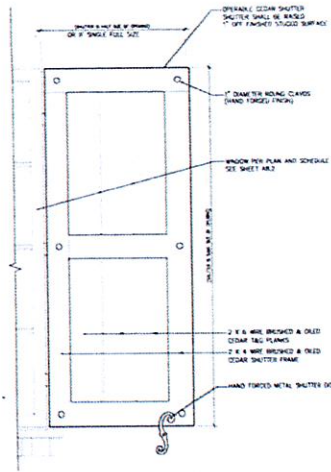
INDIAN SCHOOL BUILDING ELEVATION  
1/4"=1'-0" 2

CITY OF PHOENIX

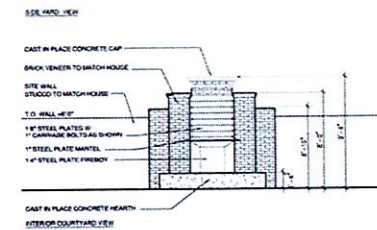
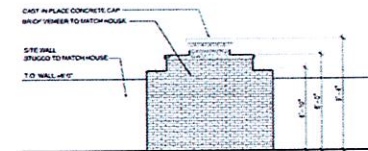
AUG 21 2015

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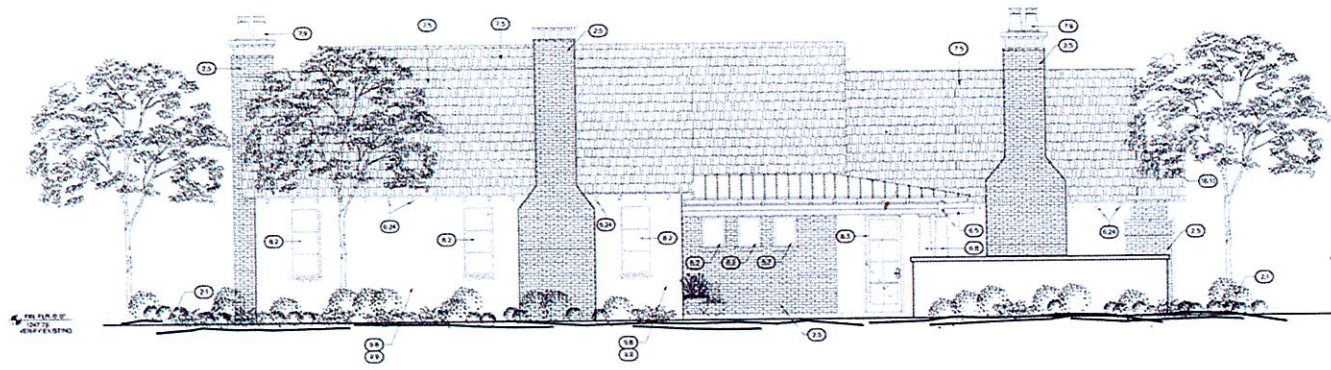
DRAWING KEYNOTES		
1. UNLESS OTHERWISE NOTED, ALL DIMENSIONS SHALL BE IN FEET AND INCHES.	21. FINISH ALL EXTERIOR CORNERS WITH 45 DEGREE EDGES.	31. ALL EXTERIOR WALLS SHALL BE FINISHED WITH 1/2" THICK STUCCO.
2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.	22. ALL EXTERIOR WALLS SHALL BE FINISHED WITH 1/2" THICK STUCCO.	32. ALL EXTERIOR WALLS SHALL BE FINISHED WITH 1/2" THICK STUCCO.
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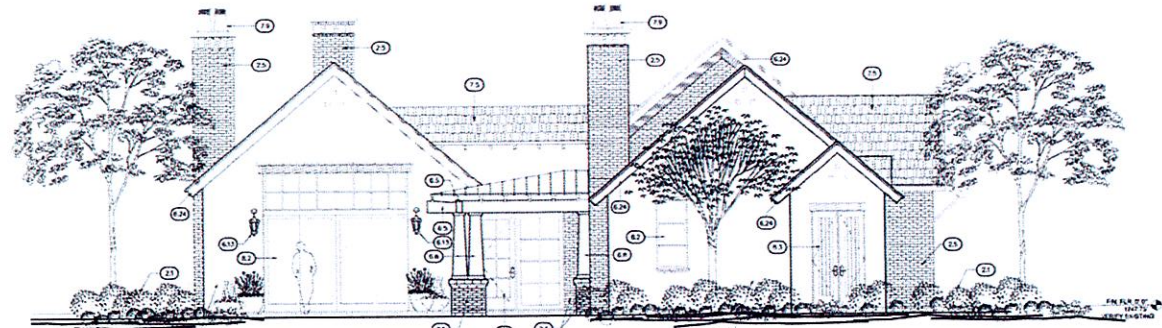
WINDOW SHUTTER  
SCALE 1/4" = 1'-0"



COURTYARD FIREPLACE  
1/4" = 1'-0"



SIDE BUILDING ELEVATION  
1/4" = 1'-0"



ALLEY BUILDING ELEVATION  
1/4" = 1'-0"

DRAWING KEYNOTES			
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**CITY OF PHOENIX**  
AUG 21 2015  
Planning & Development  
Department

**ASPECT DESIGN STUDIO**  
CONSTRUCTION SET  
The Brimley Residence  
4901 EAST INDIAN SCHOOL ROAD  
PHOENIX, ARIZONA 85018

DATE ISSUED  
07-20-2015  
JOB NUMBER  
7715

Checked By: A.G.  
Drawn By: A.G.  
Scale: 1/4" = 1'-0"  
Elevations

**A6.2**  
SOP  
1/2" Graph