



## City of Phoenix

PLANNING AND DEVELOPMENT DEPARTMENT

### **ADDENDUM A** **Staff Report: Z-45-18-2** September 19, 2018

<b>Deer Valley <a href="#">Village Planning Committee</a> Meeting Date</b>	September 20, 2018
<b><a href="#">Planning Commission</a> Hearing Date</b>	October 4, 2018
<b>Request From:</b>	<a href="#">CP/GCP</a> (Commerce Park/ General Commerce Park District) (16.61 acres)  <a href="#">CP/GCP SP</a> (Commerce Park/ General Commerce Park District, Special Permit) (0.68 acres)  <a href="#">S-1</a> (Approved <a href="#">CP/GCP</a> ) (Ranch or Farm Residence District, Approved Commerce Park/ General Commerce Park District) (2.45 acres)
<b>Request To:</b>	<a href="#">R-3</a> (Multifamily Residence District) (19.74 acres)
<b>Proposed Use</b>	Multifamily residential
<b>Location</b>	Approximately 3,300 feet north of the northeast corner of Black Canyon Highway and Jomax Road
<b>Owner</b>	BADO Park, LLC and Clay Investments, LLC
<b>Applicant/Representative</b>	Brennan Ray, Burch & Cracchiolo, PA
<b>Staff Recommendation</b>	Approval, subject to stipulations

The purpose of this addendum is to revise Stipulation Nos. 2 and 3. At the time the initial staff report was written, elevation plans had not been submitted. At the time that this addendum was written, staff has received elevation plans that met the intent of Stipulation No. 2. Therefore, staff is recommending Stipulation No. 2 be removed and, instead, replaced with a general conformance stipulation.

Additionally, after continued conversations and coordination between the applicant, developer, and staff, staff is recommending Stipulation No. 3 be modified as well. Stipulation No. 3 required a pedestrian circulation plan to be submitted and approved by

the Planning Hearing Officer and include a minimum of two pedestrian access points to community amenities. Because staff is not stipulating general conformance to a site plan, staff is recommending that the requirement for a circulation plan to be approved by the Planning Hearing Officer be removed.

In addition, the applicant has provided plans depicting that the multifamily use being developed on the parcel south of the subject site will be constructing a 6-foot CMU wall along the shared property line, possibly where the 120-foot required wrapping would be located. With this information, staff recommends adding language to Stipulation No. 4 to allow flexibility and not require wrapping where an existing shared wall exists.

### **Revised Stipulations**

2. ~~Elevation plans shall include a minimum of three (3) colors, a minimum of three (3) building materials, and a minimum of three (3) roof materials. Additionally, elevations shall include architectural embellishments and detailing such as textural changes, offsets, recessed entries or covered porches, and variations in the roof line, as approved by the Planning and Development Department.~~

THE DEVELOPMENT SHALL BE IN GENERAL CONFORMANCE WITH THE ELEVATIONS DATE STAMPED SEPTEMBER 17, 2018, WITH SPECIFIC REGARD TO THE FOLLOWING AND AS APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT.

- A. A MINIMUM OF TWO COLORS;
  - B. A MINIMUM OF TWO BUILDING MATERIALS;
  - C. ARCHITECTURAL DETAILS SUCH AS DECORATIVE IRON OR DECORATIVE SHUTTERS.
3. ~~The developer shall provide a pedestrian circulation plan to be approved administratively by Planning Hearing Officer with specific regard to connections between the units and to community/ open space amenities.~~  
The developer shall provide a minimum of two pedestrian access points that connect the units to the community amenities, as approved by the Planning and Development Department.
  4. Noise mitigation walls shall be provided along the western boundary of the development. The wall height shall be determined through a noise analysis prepared by a registered professional engineer, with the minimum height of the wall being 8 feet. The walls shall be constructed of 8-inch minimum thick concrete masonry units (CMU), or of cast-in-place concrete and contain no openings unless they are above the minimum height required for adequate noise mitigation or for drainage. WHERE NOT ADJACENT TO EXISTING WALLS, the NOISE walls shall wrap around to the north and south property lines and shall continue for at least 120 feet, as approved by the Planning and Development Department.

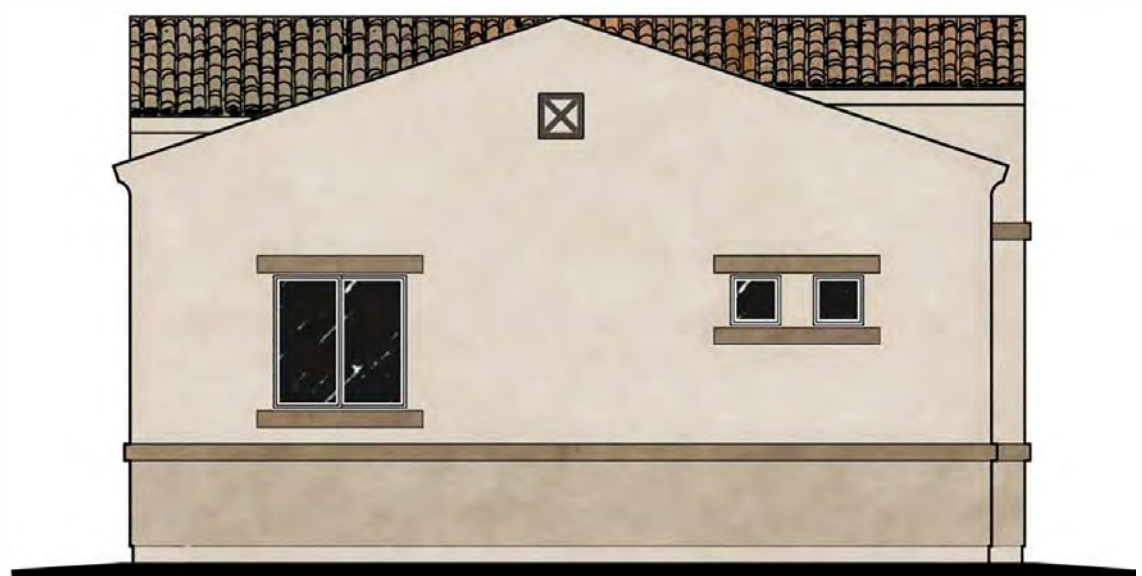
Addendum A to the Staff Report Z-45-18-2  
September 19, 2018  
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**Additional Exhibits**

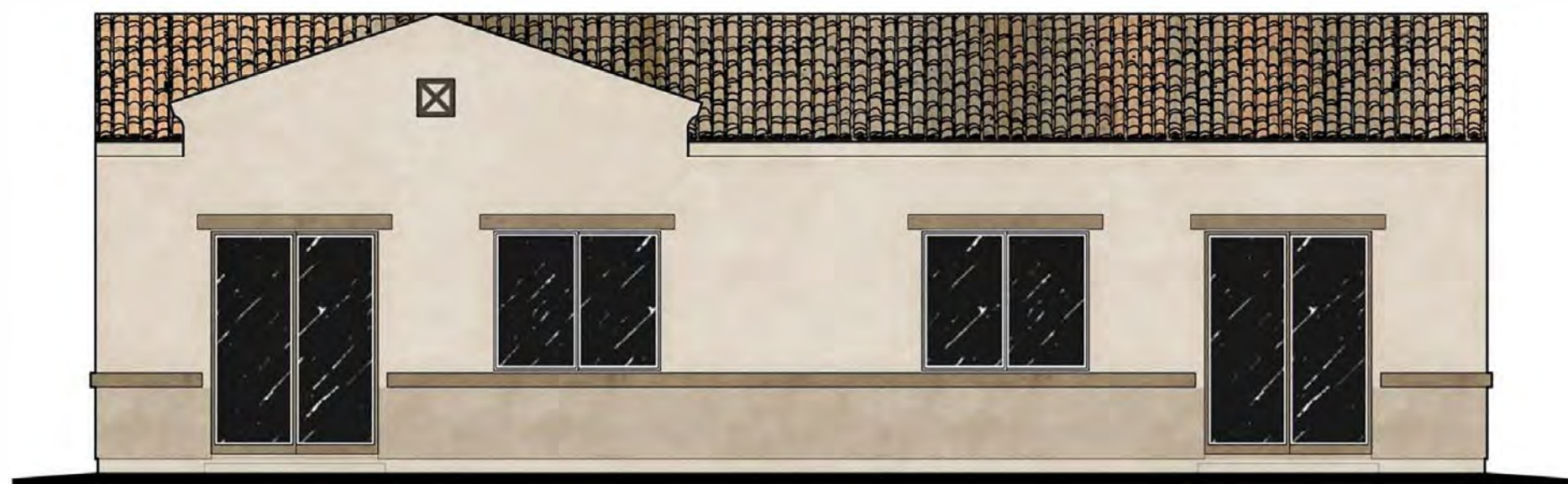
Elevations date stamped September 17, 2018 (11 pages)



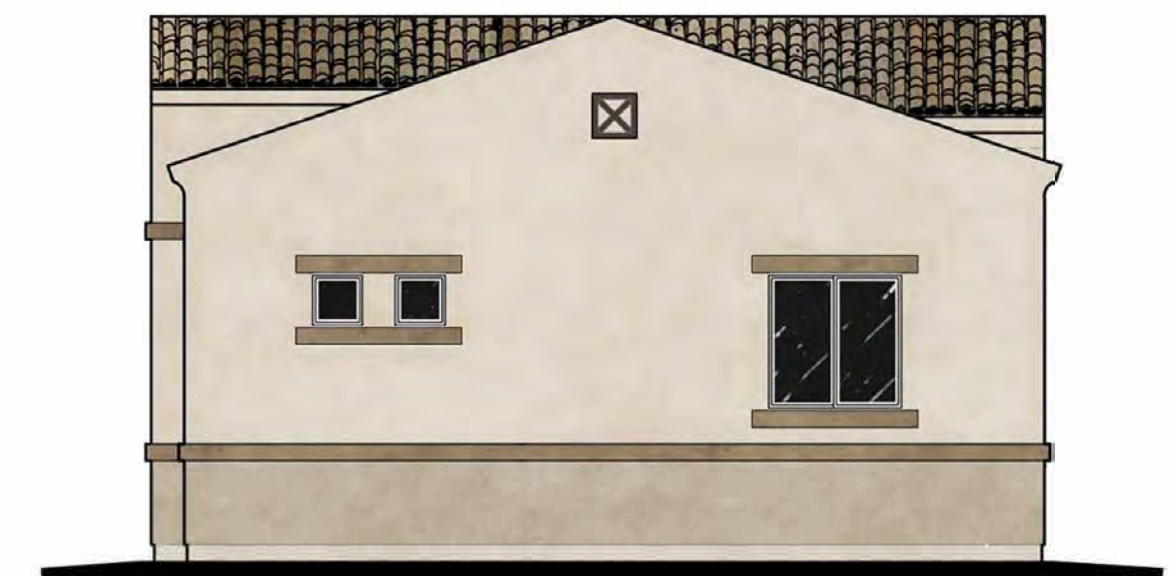
Front Elevation



Left Elevation



Rear Elevation



Right Elevation

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**SEP 17 2018**

**Planning & Development  
Department**

Plan 1 One Bedroom - Scheme 1 | Avilla | Arizona

2-28-2018

**NEXmetro**  
Communities

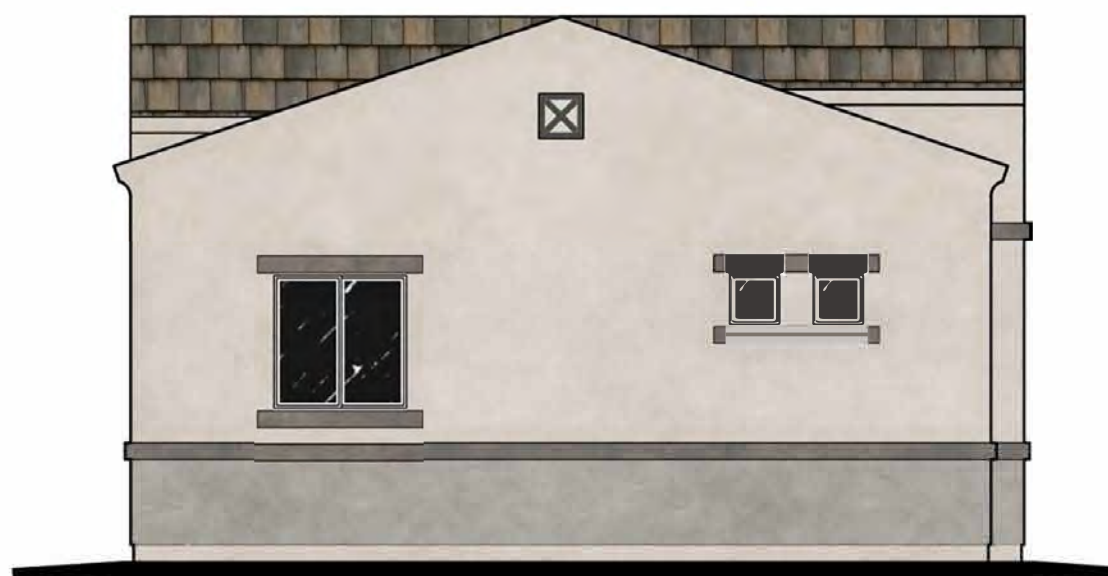
2355 EAST CAMELBACK ROAD | SUITE 805  
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Front Elevation



Left Elevation



Rear Elevation



Right Elevation

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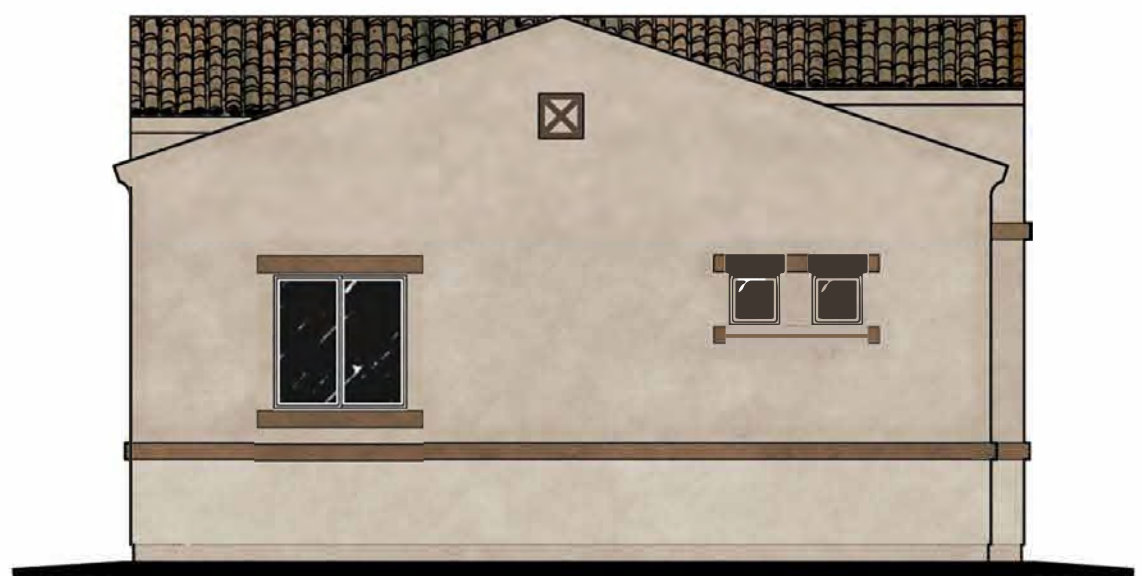
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Plan 1 One Bedroom - Scheme 2 | Avilla | Arizona

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Front Elevation



Left Elevation



Rear Elevation



Right Elevation

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Plan 1 One Bedroom - Scheme 3 | Avilla | Arizona

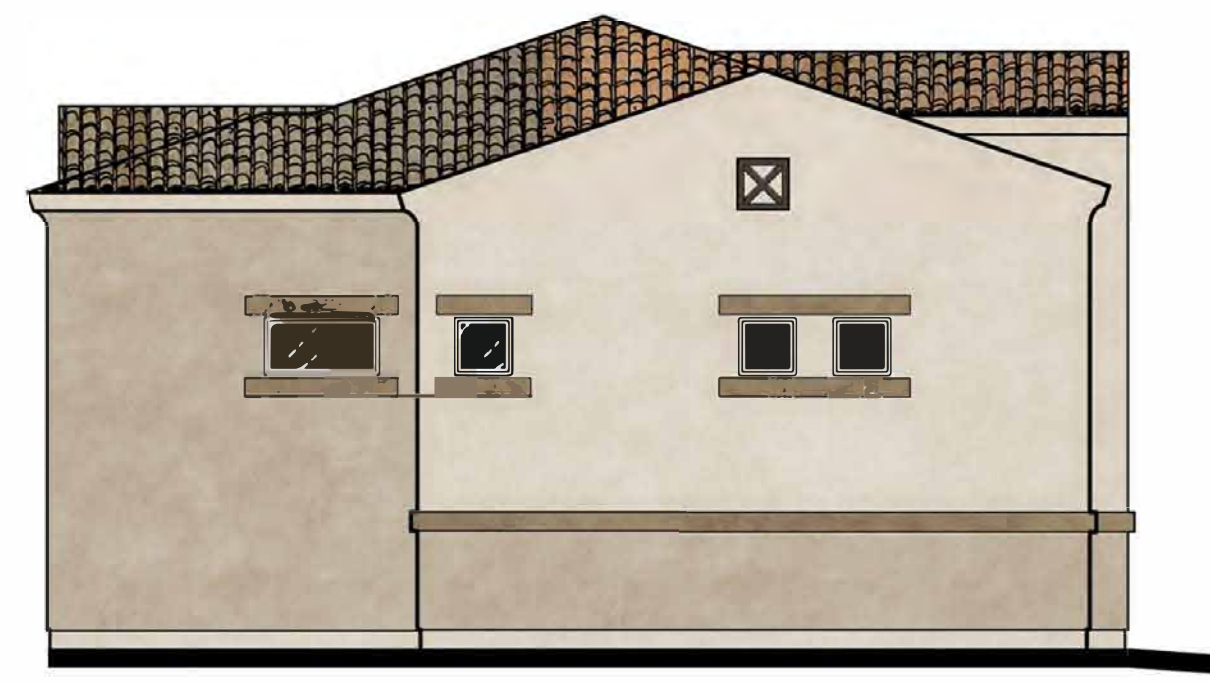
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Front Elevation



Front Elevation



Left Elevation



Rear Elevation



Right Elevation

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Plan 2 Two Bedroom - Scheme 1 | Avilla | Arizona

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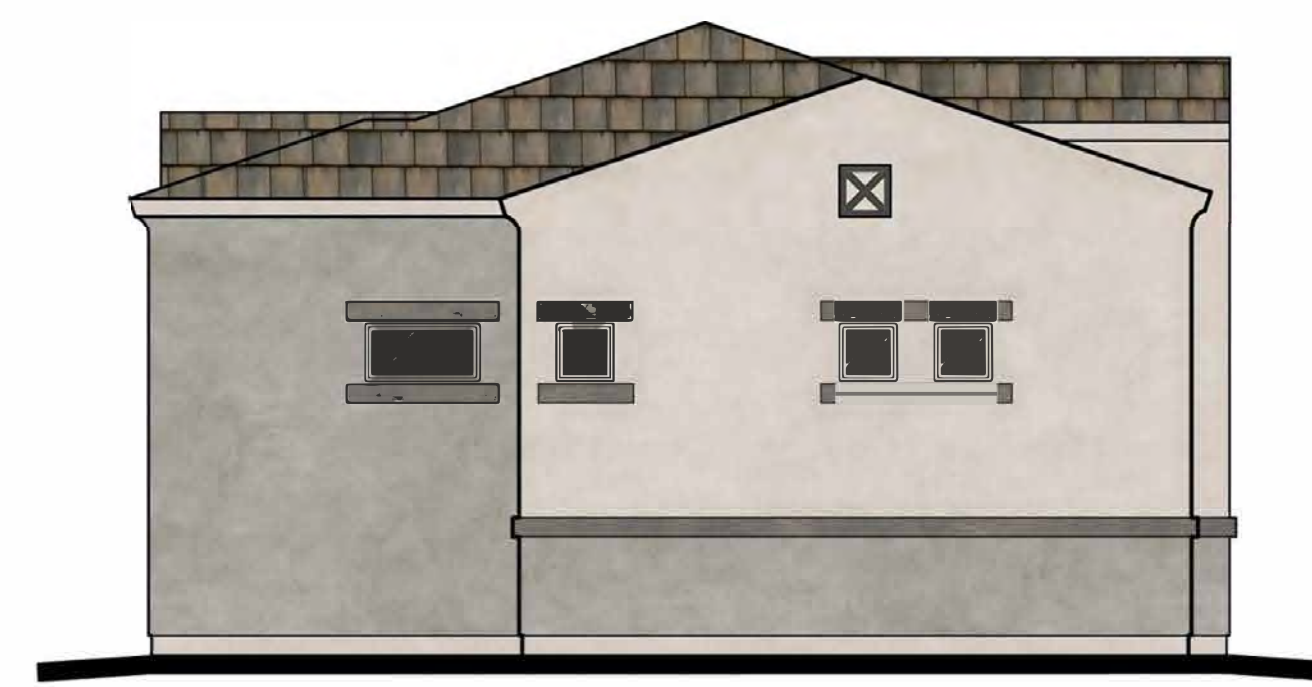
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Front Elevation



Front Elevation



Left Elevation



Rear Elevation



Right Elevation

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Front Elevation



Left Elevation



Rear Elevation



Right Elevation

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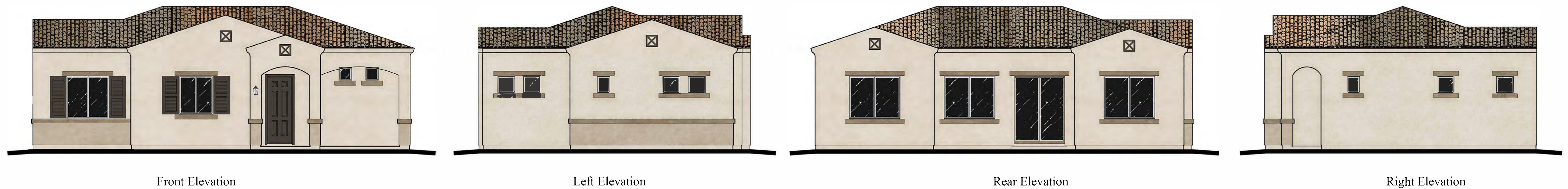
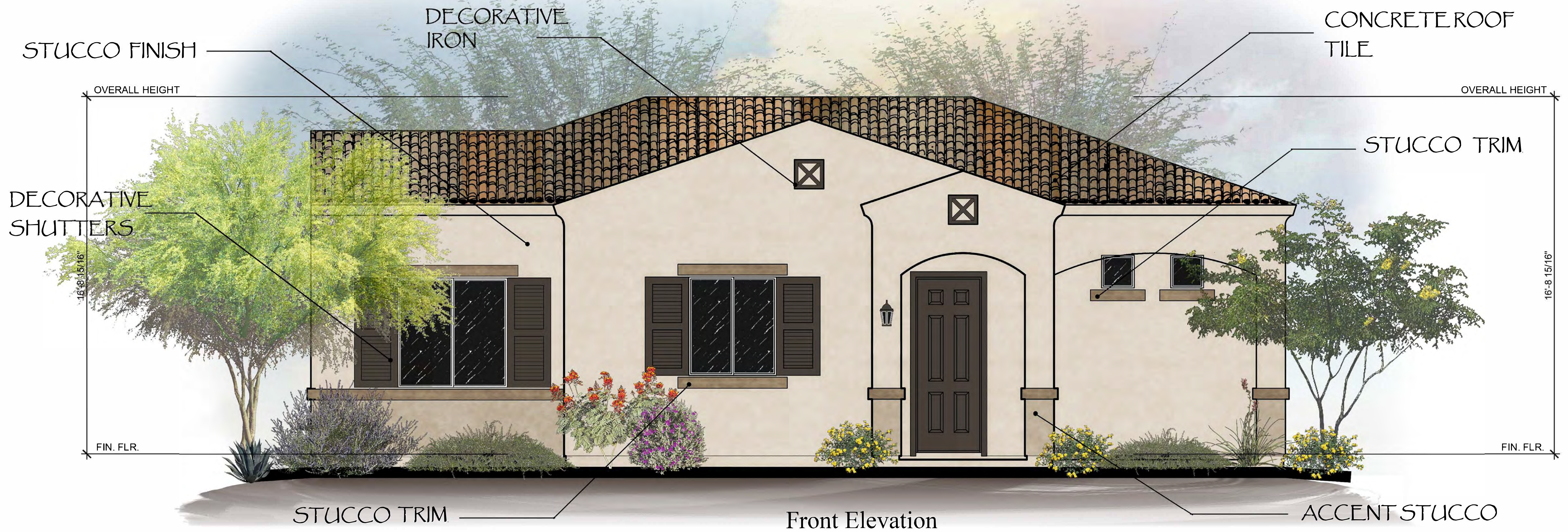
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Plan 3 Three Bedroom - Scheme 1 | Avilla | Arizona

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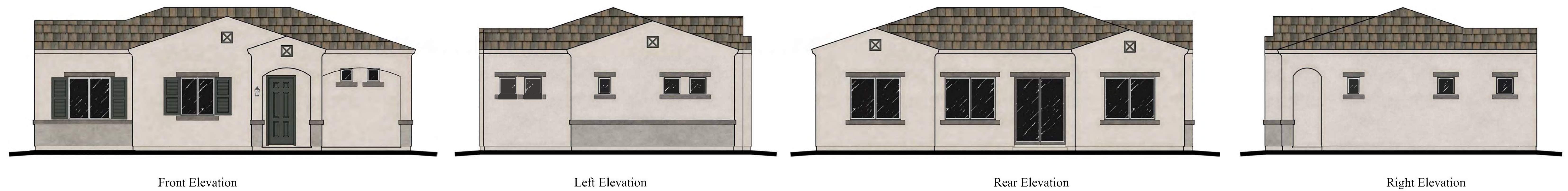
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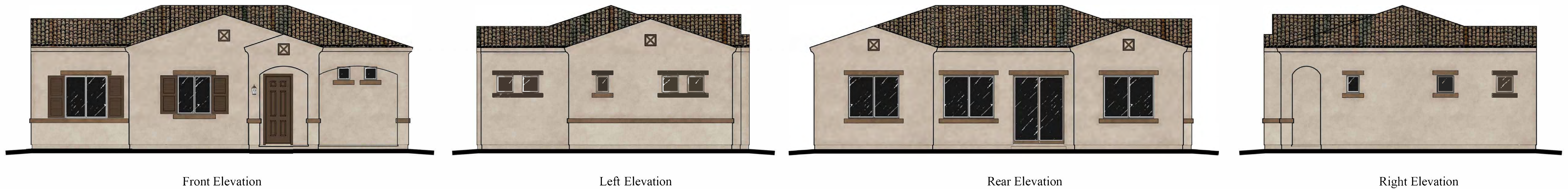
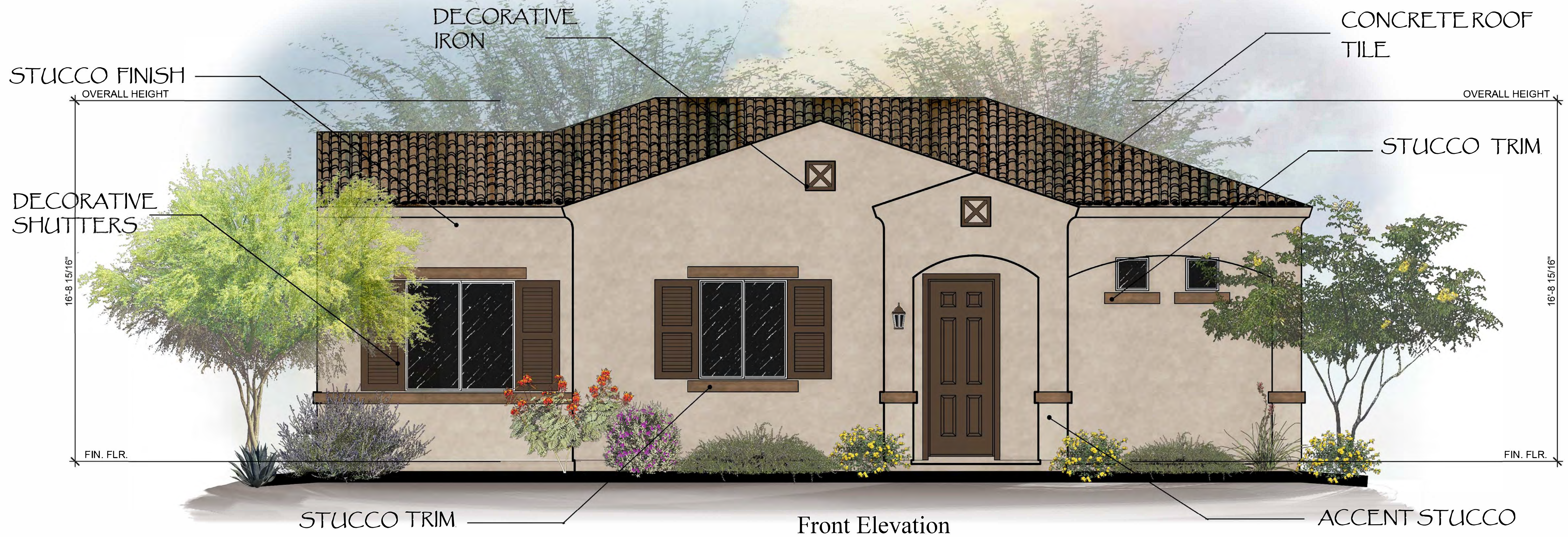
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Leasing Office - Scheme 3 | Avilla | Arizona

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CONCRETE ROOF  
TILE

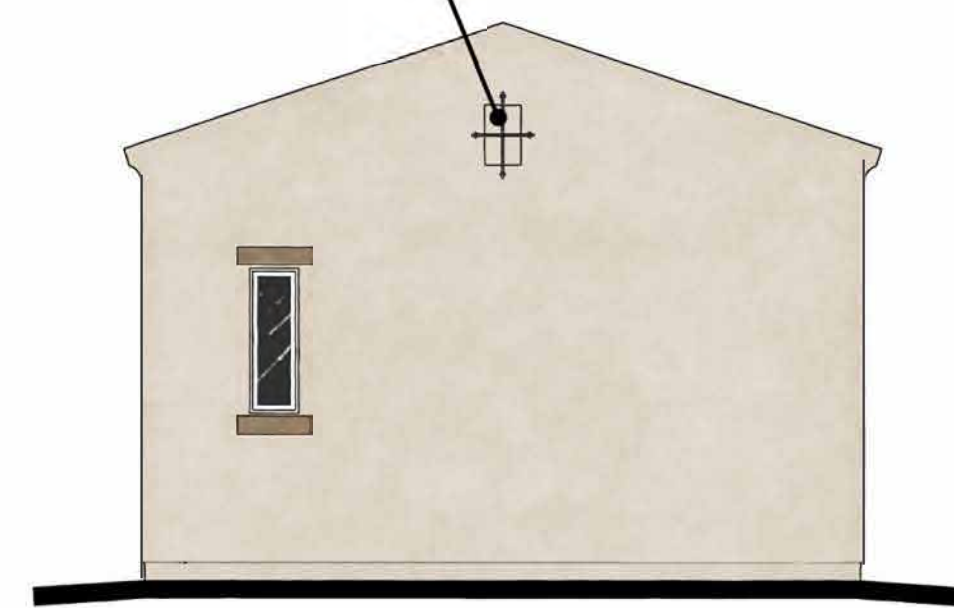


Front Elevation

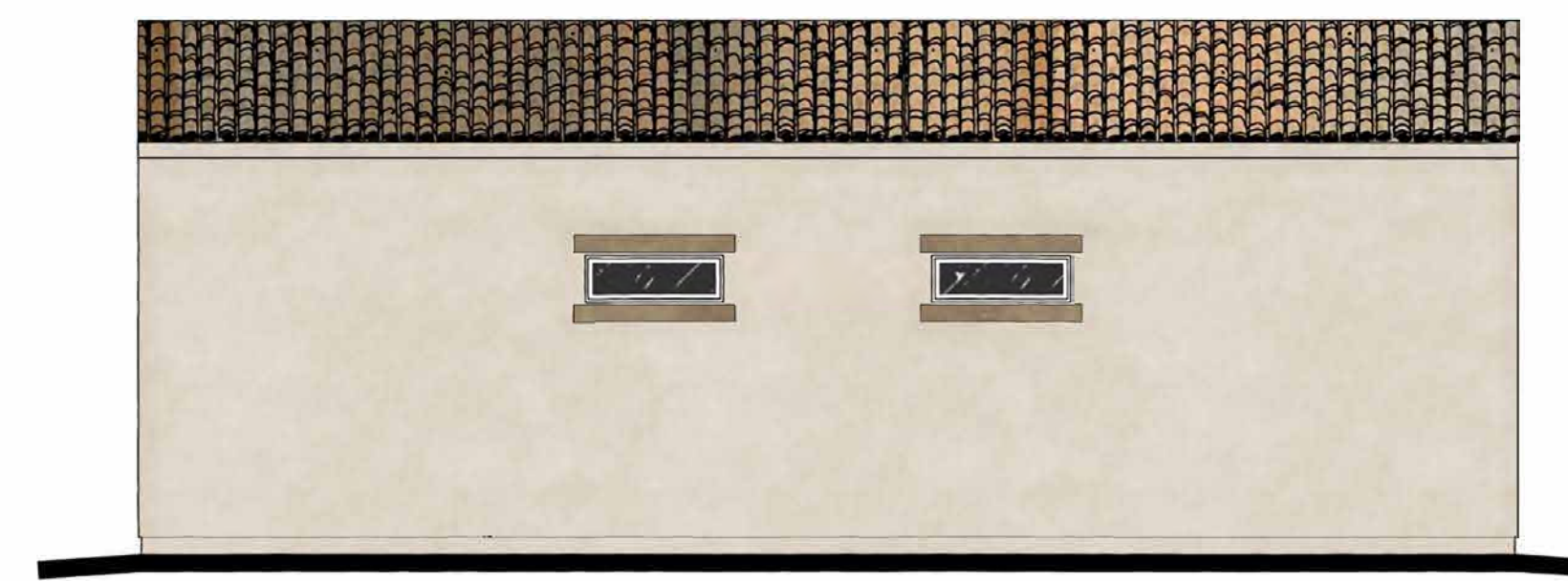
DECORATIVE  
IRON



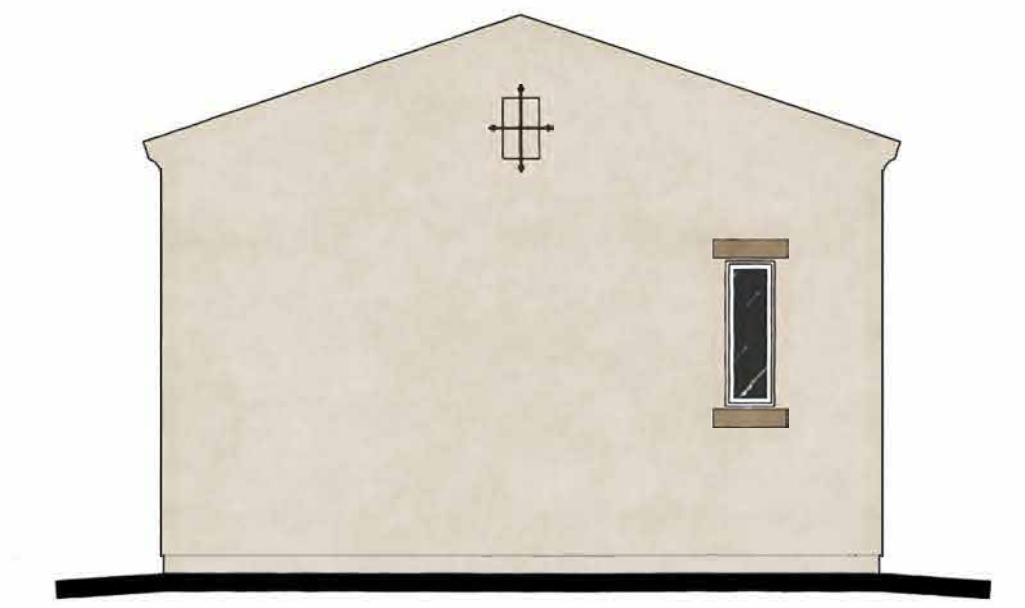
Front Elevation



Left Elevation



Rear Elevation



Right Elevation

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Garage - Scheme 1 | Avilla | Arizona

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