



City of Phoenix
PLANNING AND DEVELOPMENT DEPARTMENT

Staff Report: Z-79-15-6
February 18, 2016

Camelback East Village Planning Committee Hearing Date	March 1, 2016
Planning Commission Hearing Date	April 7, 2016
Request From:	R1-10 (0.41 acres)
Request To:	R-O (0.41 acres)
Proposed Use	Office
Location	Approximately 95 feet south of the southeast corner of 44th Street and Calle Feliz
Owner	Michael and Michelle Cross
Applicant’s Representative	Susan Biegner, Biegner-Murff Architects
Staff Recommendation	Approval, subject to stipulations

General Plan Conformity			
General Plan Land Use Designation		Residential 2 to 3.5 du/acre	
Street Map Classification	44th Street	Major Arterial	40-foot east half street
<p><i>CELEBRATE OUR DIVERSE COMMUNITIES AND NEIGHBORHOODS CORE VALUE; CERTAINTY AND CHARACTER; LAND USE PRINCIPLE: New development and expansion or redevelopment of existing development in or near residential areas should be compatible with existing uses and consistent with adopted plans.</i></p> <p>The proposed site improvements ensure compatibility with adjacent residential uses and are consistent with the adopted plans for the area.</p>			
<p><i>STRENGTHEN OUR LOCAL ECONOMY CORE VALUE; ENTREPRENEURS AND EMERGING ENTERPRISES; LAND USE PRINCIPLE: Encourage land uses that promote the growth of entrepreneurs or new businesses in Phoenix in appropriate locations.</i></p> <p>The conversion of the property to an office use encourages the growth of a local business that is appropriately located along a major arterial.</p>			

Area Plan
Arcadia Camelback Specific Planning District – See Item 11 in the Background/Issues/Analysis Section.
44th Street Corridor Specific Plan - See Items 12 and 13 in the Background/Issues/Analysis Section.

44th Street Corridor Residential Office Study – See Items 14 through 16 in the Background/Issues/Analysis Section.

Surrounding Land Uses/Zoning		
	<u>Land Use</u>	<u>Zoning</u>
On Site	Single-family residence	R1-10
North	Single-family residential	R1-10
South	Single-family residential	R1-10
East	Single-family residential	R1-10
West	Office	R-O

R-O (Residential Office District)		
<u>Standards</u>	<u>Requirements</u>	<u>Proposed</u>
<i>Building Setbacks</i>		
Front	20 feet	Met – 28 feet
Side	10 feet	Met – 10 feet
Rear	25 feet	Met – 25 feet
Lot Coverage	Maximum 30%	Met – 15.4%
Building Height	Maximum 15 feet	Met – 14 feet
Parking	Minimum 6 required	Met – 6 provided

Background/Issues/Analysis

1. This is a request to rezone a 0.41 acre parcel from R1-10 (Single-Family Residence District) to R-O (Residential Office District) to allow for an office.
2. The General Plan Land Use Map designation for this property is Residential 2 to 3.5 dwelling units per acre. Although the proposal is not consistent with this designation, an amendment is not required as the subject parcel is less than 10 acres.
3. The site is currently developed with a single-family residence. Existing single-family residential development, zoned R1-10 (Single-Family Residence District), is located to the north, south and east. Professional offices, zoned R-O (Residential Office District) are located to the west, across 44th Street.



- The Residential Office zoning district is intended to control developments on the edges of residential areas which, because of their location on arterial streets or other environmental conditions, are susceptible to pressures for nonresidential uses. The district permits new development at a residential scale or conversion of residential structures for use as professional offices or other limited service uses.

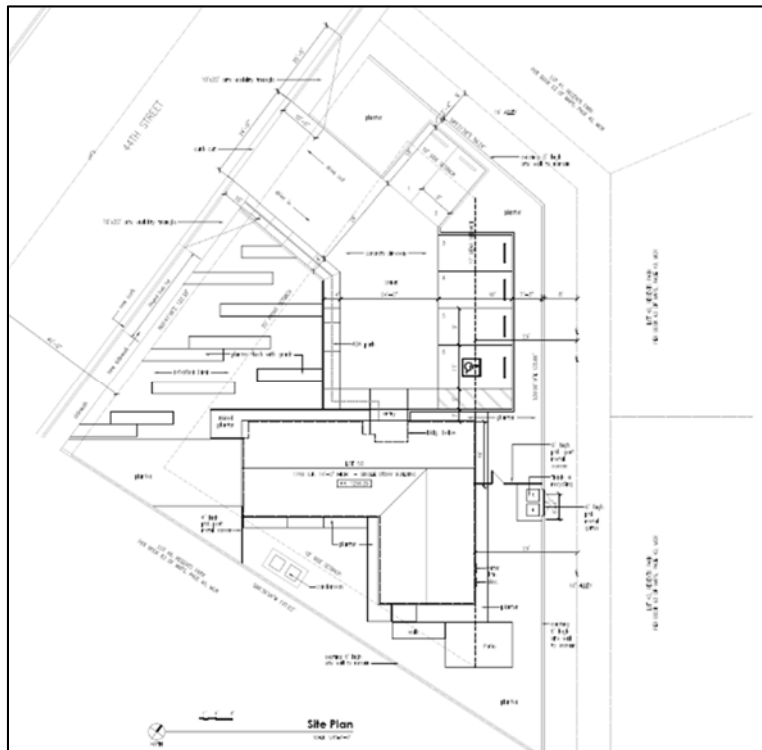
SITE DESIGN / LAYOUT

- The proposed site plan depicts removal of the existing carport and northern portion of the existing residence along with a proposed addition at the southern end of the property providing a total of



approximately 1,800 square feet of office space while maintaining a maximum building height of 14 feet. The building will maintain a 28-foot setback from the property line. Six parking spaces will be provided along the northern and eastern property lines and will be located behind a generously landscaped 20-foot setback from the street.

- Access to the site is currently provided by a singular driveway off 44th Street. The existing driveway will be closed and moved to the north in order to accommodate the needed parking for the office use. No vehicular access is proposed from the adjacent alley to the east. In order to ensure proper access to accommodate the proposed parking, a stipulation requiring general conformance to the site plan is included.



7. The proposed elevations for the project maintain the residential scale while also enhancing the building's street presence. A stipulation regarding general conformance to the elevations is included in order to provide compatibility with the adjacent single-family residences.



8. Although no signage is currently proposed, a stipulation prohibiting internally lit signs is included to help maintain the residential character of the area. Non-internally illuminated signage is also a recommended design feature of the 44th Street Corridor Residential Office Study, which is further discussed in items 14 through 16.
9. In addition to the site improvements, significant landscape improvements are proposed. Except for the building, associated parking area and a small patio at the rear of the building, the remainder of the site will be provided with new landscaping. Minimum 2-inch caliper trees will be provided along the eastern and southern property lines and will serve as a buffer to the existing residences. In order to provide this buffer and the other landscape improvements proposed, staff is recommending a stipulation of general conformance to the landscape plan.

10. The subject site is located in close proximity to a bus shelter and the Arizona Canal. A stipulation requiring the addition of trees to shade the sidewalk along 44th Street to increase pedestrian comfort is also included.

ARCADIA CAMELBACK SPECIAL PLANNING DISTRICT PLAN

11. Conceived from a desire to preserve and enhance the Arcadia Camelback residential character, the Arcadia Camelback Special Planning District Plan, adopted in 1999, provides recommendations for interior neighborhoods, Camelback Road land uses and resort uses within the planning district boundaries. In addition to recommending a maximum building height of 15 feet and restricting vehicular access to 44th Street, the plan recommends that policies established in both the 44th Street Corridor Specific Plan and the 44th Street Corridor Residential Office Study be followed for Residential Office zoning requests. The proposed project conforms with the Arcadia Camelback Special Planning District Plan by maintaining a one-story height and limiting access to 44th Street.

44TH STREET CORRIDOR SPECIFIC PLAN

12. Completed in 1991, the 44th Street Corridor Specific Plan established a framework to provide compatibility of new development along 44th Street from McDonald Drive to Sky Harbor International Airport. The plan acknowledges that existing conditions are not favorable for single-family residential land use along 44th Street due to increasing traffic. Similarly, these properties are candidates for change of use in order to create a physical buffer between the established residential neighborhood and the street.
13. Design guidelines contained in the plan recommend providing a 10-foot minimum landscape setback along 44th Street between Camelback and Osborn Roads. In addition, implementation strategies encourage providing increased pedestrian connectivity along the corridor in addition to the canal edges. By including a minimum 20 foot street side landscape setback in addition to providing trees to shade the existing sidewalk, the project conforms with the recommendations of the plan.

44TH STREET CORRIDOR RESIDENTIAL OFFICE STUDY

14. The 44th Street Corridor Residential Office Study was completed in 1997 to determine the applicability of the Residential Office Zoning District for properties within the 44th Street Corridor. The plan details that a combination of high traffic volumes, closeness of houses to the street and difficulty of driveway access are poor livability factors for the continuation of residential uses adjacent to the 44th Street.
15. A property inventory and analysis was completed as part of the study. The 111 residential properties along 44th Street were assigned a score level of 1 through 3. A level 1 score indicated that the site was suitable for standalone office. Level 2 specified that a consolidation of two or more properties would be

necessary for R-O development, whereas a score of level 3 indicated that a site was not suitable for conversion to office development. The subject site was assigned a level 3 score due to the lack of room to provide parking. However, the current development proposal includes removal and reconstruction of the existing residential structure in order to provide adequate parking for the

44th Street Potential Locations for R-O Development*			
Street Section	Site #	Site Design Level to Accommodate R-O**	Rationale
Camelback to Campbell	1	3	Doesn't work due to lot configuration.
	2	3	Location of structure would impact neighborhood.
	3-5	2	Will work if one parcel used for parking.
	6	3	Lot too small, structure in center of site, no room for parking.
	7	3	Park poor access to 44th Street and parcel setback in neighborhood.
	8-9	2	Possible variance for three parking spaces but overall can work with both properties.
	10	R-O developed	
	11	3	Poor access from 44th Street and no room for parking area.
	12	3	Difficult to fit the number of parking spaces.
	13-14	3	Difficult to fit the number of parking spaces.

proposed office use.

- Design guidelines include maintaining the residential scale, character, building size and height of traditional residential structures in addition to providing site access from 44th Street, screened parking and limiting signage. The proposed plan for the property implements many of these guidelines, therefore meeting the overall intent of the plan.

DEPARTMENT COMMENTS

- The Street Transportation Department is requesting that all off-site street improvements, including sidewalks, curb ramps and driveways, adjacent to the project be updated to current ADA guidelines. A stipulation addressing this request has been included.
- The Water Services Department has noted that there are no water or sewer infrastructure concerns with the proposed zoning.
- The City of Phoenix Floodplain Management division of the Street Transportation Department has determined that this parcel is not in a Special Flood Hazard Area (SFHA), but is located in a Shaded Zone X, on panel 1730 L of the Flood Insurance Rate Maps (FIRM) dated October 16, 2013.

20. Development and use of the site is subject to all applicable codes and ordinances. Zoning approval does not negate other ordinance requirements. Other formal actions such as, but not limited to, zoning adjustments and abandonment may be required.

Findings

1. The proposed rezoning will allow for conversion of a residential property impacted by a major arterial to a viable office use.
2. The site and building improvements are compatible with surrounding development.
3. The proposal is consistent with recommendations of the Arcadia Camelback Special Planning District, the 44th Street Corridor Specific Plan and the 44th Street Corridor Residential Office Study.

Stipulations

1. The development shall be in general conformance with the site plan, elevations and landscape plan date stamped December 18, 2015, except as modified by the following stipulations and as approved by the Planning and Development Department.
2. Minimum 2-inch caliper trees, placed 20-feet on center shall be planted along 44th Street, adjacent to the sidewalk in order to provide shade for pedestrians, as approved by the Planning and Development Department.
3. There shall be no internally lit signs on the site. Signage shall be approved by the Planning and Development Department.
4. The property owner shall update all existing off-site street improvements, including sidewalks, curb ramps and driveways, adjacent to the project to current ADA guidelines, as approved by the Planning and Development Department.

Writer

Samantha Keating
2/12/2016

Team Leader

Joshua Bednarek

Attachments

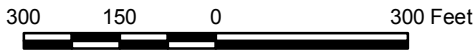
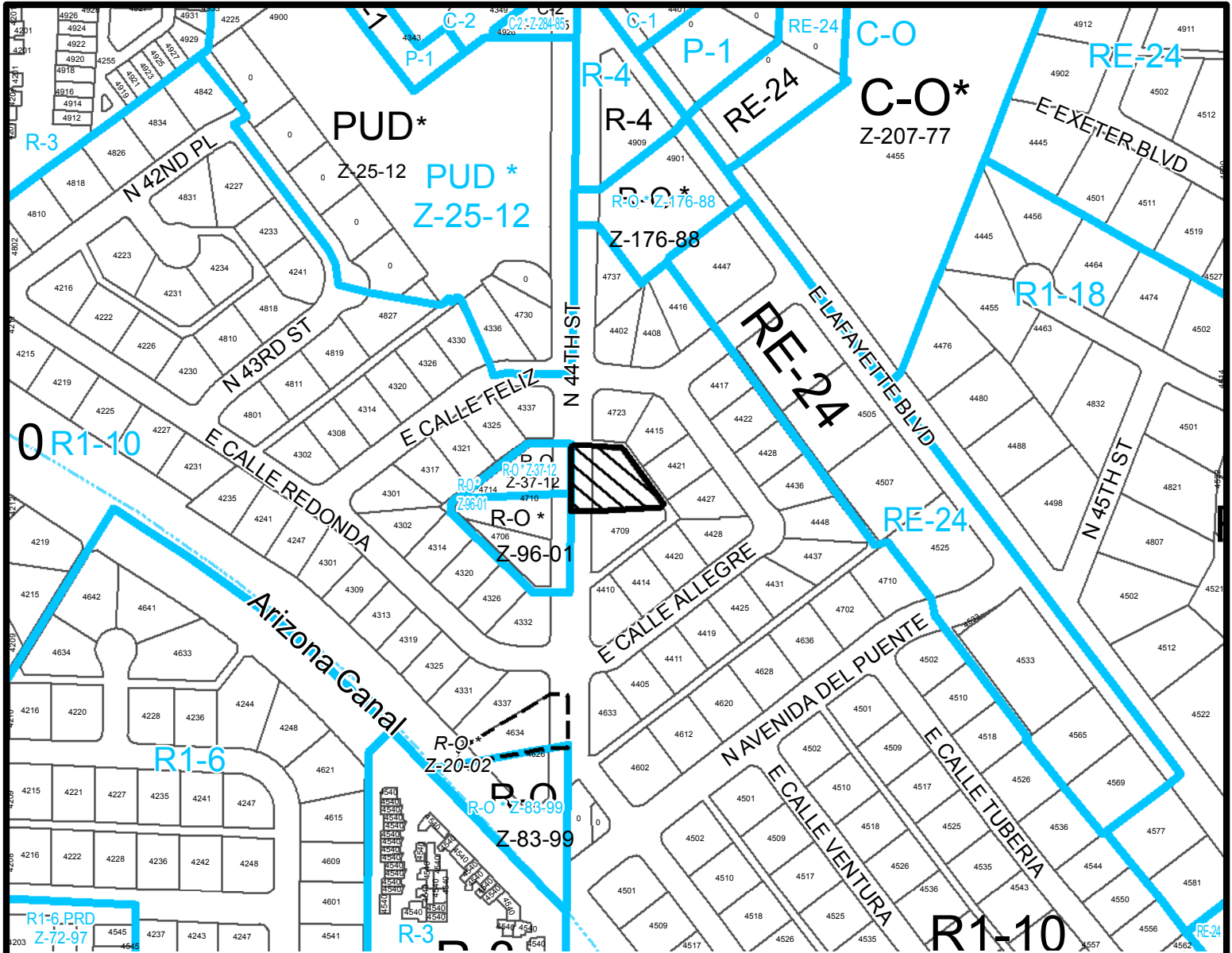
Sketch Map

Aerial

Site Plan date stamped 12/18/2015 (1 page)

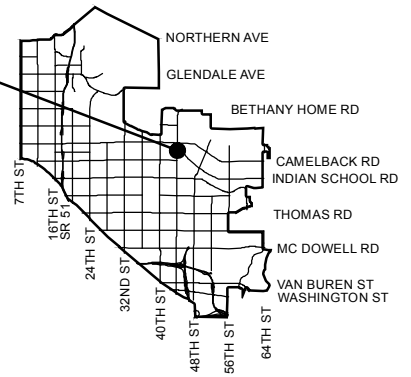
Landscape Plan date stamped 12/18/2015 (1 page)

Elevations date stamped 12/18/2015 (2 pages)



CITY OF PHOENIX PLANNING DEPARTMENT
CAMELBACK EAST VILLAGE
 CITY COUNCIL DISTRICT: 6

Z-79-15



APPLICANT'S NAME: Michael and Michelle Cross

APPLICATION NO. Z-79-15

DATE: 1/11/16
 REVISION DATES:

GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX.

0.41 Acres

AERIAL PHOTO & QUARTER SEC. NO.
 QS 18-38

ZONING MAP
 H-11

TO: R-O (0.41 a.c.)

REQUESTED CHANGE:

FROM: R-10 (0.41 a.c.)

MULTIPLES PERMITTED

R1-10

R-O

CONVENTIONAL OPTION

1

1

* UNITS P.R.D. OPTION

1

1

* Maximum Units Allowed with P.R.D. Bonus



Planning and Development

The information provided on this map is based on record drawings submitted by others. Users of this information are cautioned that independent verification of actual conditions may be necessary.

GENERAL NOTES:

- A. Show openings, loadings, and delivery bays from building.
 - B. See general notes on sheet C5 for notes (1) through (11) on access, work areas, and materials.
 - C. All work, including but not limited to, shall be in accordance with the City of Phoenix Engineering and Construction Department's Standard Specifications for Public Works, with sections 11.01 through 11.05, and with sections 11.01 through 11.05, and with sections 11.01 through 11.05.
 - D. All work shall be in accordance with the City of Phoenix Engineering and Construction Department's Standard Specifications for Public Works, with sections 11.01 through 11.05, and with sections 11.01 through 11.05.
- REMARKS:**
1. 1/2" O.D. pipe.
 2. 1/2" x 1/2" x 1/2" steel.
 3. 1/2" x 1/2" x 1/2" steel.
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 16. 1/2" x 1/2" x 1/2" steel.
 17. 1/2" x 1/2" x 1/2" steel.

BIEGNER-MUREFF ARCHITECTS
 1000 North Central Avenue
 Phoenix, Arizona 85008
 480.252.6972 or 480.380.7314 call
 info@bmgarchitect.com

PROJECT: 4713 North 44th Street
 Phoenix, AZ 85018

DATE: December 1, 2015

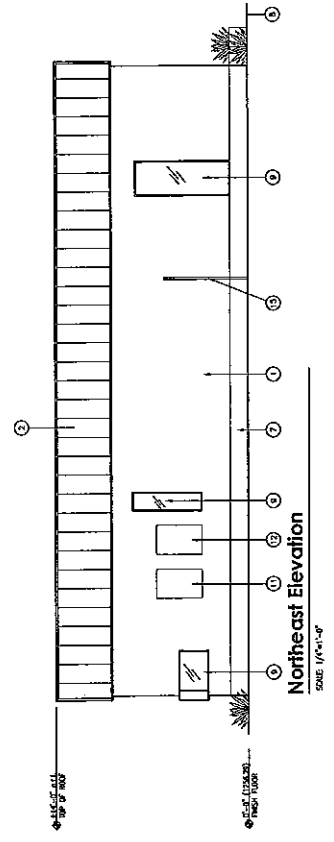
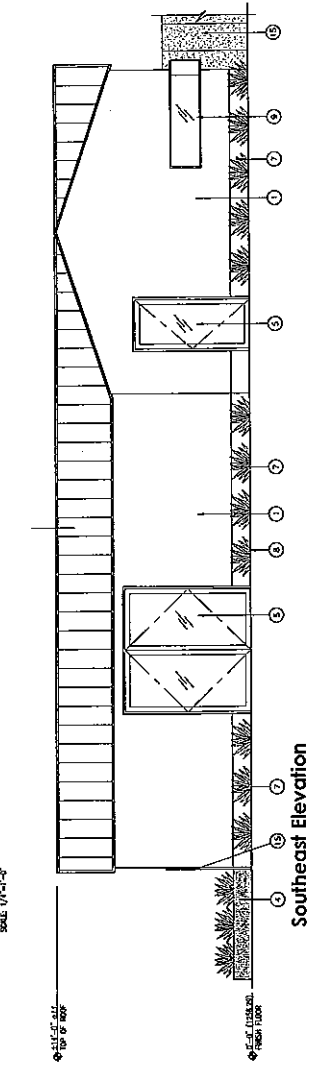
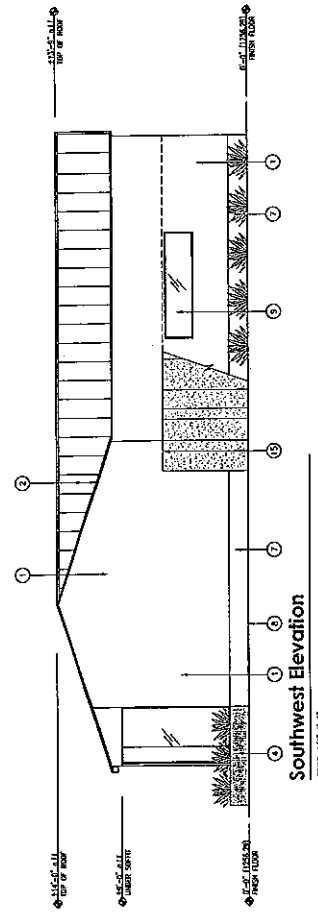
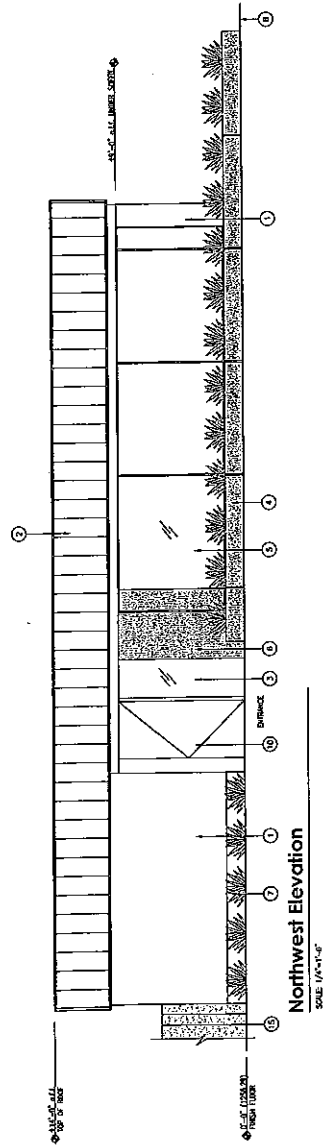
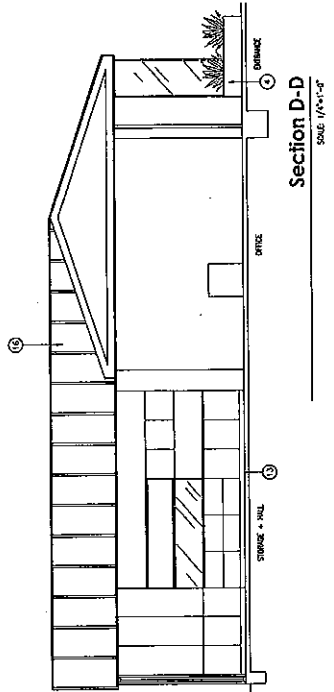
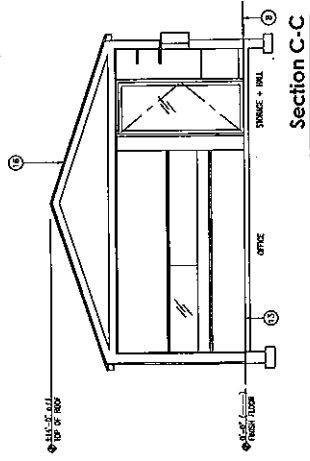
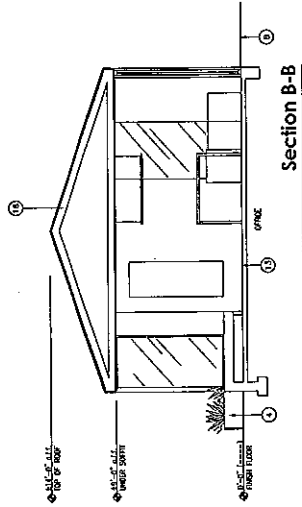
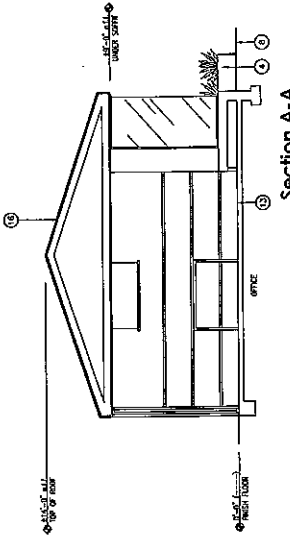
JOB NO.: 4713 NORTH 44TH ST, 2015

SCALE: 1/8"=1'-0"

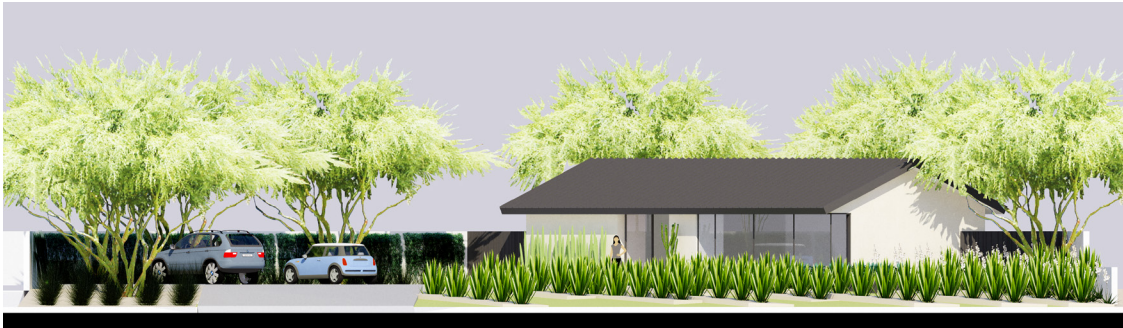
REVISIONS:

CITY OF PHOENIX
 DEC 1 8 2015
 Planning & Development
 Department

SHEET NO.: A104



COLOR ELEVATIONS



WEST (FRONT) ELEVATION - PARALLEL TO 44TH STREET



NORTH ELEVATION

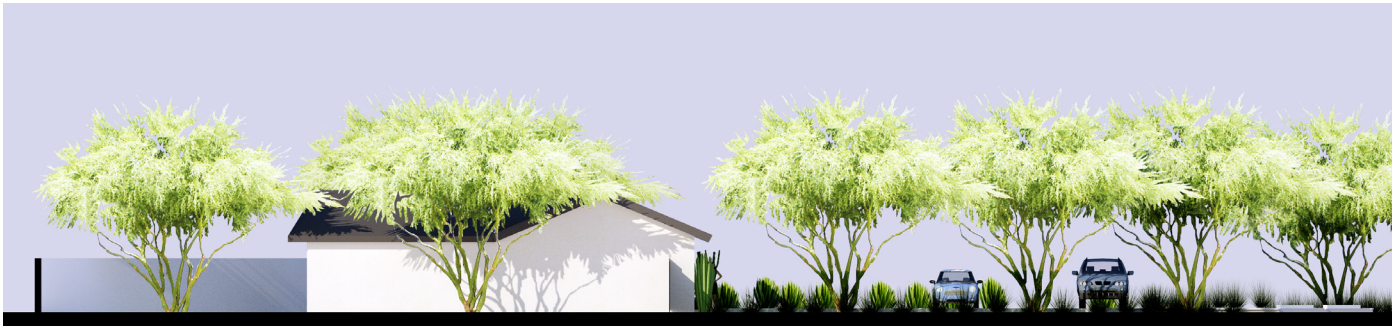


SOUTH ELEVATION

CITY OF PHOENIX

DEC 18 2015

Planning & Development
Department



EAST (REAR) ELEVATION - FACING ALLEY