



City of Phoenix
 PLANNING AND DEVELOPMENT DEPARTMENT

**Staff Report Z-79-17-8 and Z-SP-13-17-8
 December 19, 2017**

Camelback East Village Planning Committee Meeting Date: January 9, 2018
Planning Commission Hearing Date: February 1, 2018
Z-79-17-8 Request From: C-1 (0.80 acres)
 C-2 (1.06 acres)
Z-79-17-8 Request To: C-2 HGT/WVR (1.86 acres)
Z-SP-13-17-8 Request From: C-1 (Pending C-2 HGT/WVR) (0.80 acres)
 C-2 (Pending C-2 HGT/WVR) (1.06 acres)
Z-SP-13-17-8 Request To: C-2 HGT/WVR SP (1.86 acres)
Z-79-17-8 Proposed Use: Commercial uses with a height waiver for up to 3 stories and 30 feet
Z-SP-13-17-8 Proposed Use: Self-storage and all underlying C-2 uses with a height waiver for up to 3 stories and 30 feet
Location: Southeast corner of North 28th Place and East Thomas Road
Owner: EJM INVESTMENTS LLC
Applicant: Rincon Partners, LLC
Representative: Manjula M. Vaz, Gammage & Burnham
Staff Recommendation: Approval, subject to stipulations

General Plan Conformity			
General Plan Land Use Designation		Commercial	
Street Map Classification	28th Place	Local	30-foot east half street
	Thomas Road	Arterial	40-foot south half street
	29th Street	Local	30-foot west half street

CONNECT PEOPLE AND PLACES CORE VALUE; OPPORTUNITY SITES; LAND USE PRINCIPLE: Support reasonable levels of increased intensity, respectful of local conditions and surrounding neighborhoods.

The proposed development is sensitive to surrounding residential development thereby warranting the reasonable levels of increased intensity required for the project.

CELEBRATE OUR DIVERSE COMMUNITIES AND NEIGHBORHOODS CORE VALUE; CERTAINTY AND CHARACTER; LAND USE PRINCIPLE: New development and expansion or redevelopment of existing development in or near residential areas should be compatible with existing uses and consistent with adopted plans.

The site is located adjacent to a residential area and is designed to be compatible with the surrounding residential and the existing commercial uses along Thomas Road.

STRENGTHEN OUR LOCAL ECONOMY CORE VALUE; ENTREPRENEURS AND EMERGING ENTERPRISES; LAND USE PRINCIPLE: Encourage land uses that promote the growth of entrepreneurs or new businesses in Phoenix in appropriate locations.

The request proposes to redevelop currently underutilized commercial properties. The change of use to self-service storage will utilize the commercial properties with a use consistent with those existing along Thomas Road.

Applicable Plan and Principles

Tree and Shade Master Plan – see #11 and #12 below.

Complete Streets Guiding Principles – see #12 below.

Comprehensive Bicycle Master Plan – see #13 below.

Surrounding Land Uses/Zoning

	<u>Land Use</u>	<u>Zoning</u>
On Site	Vacant commercial office building	C-1 and C-2
North (across Thomas Road)	Eastside Baptist Church	C-2
South	Single-Family Residential	R1-6
East (across	Adult live entertainment establishment	C-2 and P-1

29th Street)		
West (across 28th Place)	Automotive stereo retail and Single-Family Residential	C-2 and R1-6

C-2 (Intermediate Commercial)		
<u>Standards</u>	<u>Requirements</u>	<u>Met or Not Met</u>
<i>Building Setbacks</i>		
Adjacent to Street – Thomas Road	For structures exceeding two stories or 30 feet, average 30 feet;	Met – 25 feet
Adjacent to Street – 28th Place	Minimum 20 feet permitted for up to 50% of structure, including projections	*Not Met – 25 feet
Adjacent to Street – 29th Street		*Not Met – 22-25 feet
Adjacent to Zoning - South	For two story or 30 feet adjacent to R1-6, minimum 50 feet	*Not Met – 20 feet
	For three story or 42 feet adjacent to R1-6, minimum 100 feet	*Not met – 50 feet
<i>Landscaped Setbacks</i>		
Street – Thomas Road	Average 30-foot; minimum 20-foot permitted for up to 50% of the frontage	*Not Met – 25 feet
Street – 28th Place	Average 30-foot; minimum 20-foot permitted for up to 50% of the frontage	*Not Met – 25 feet
Street – 29th Street	Average 30-foot; minimum 20-foot permitted for up to 50% of the frontage	*Not Met – 25 feet
Property line not adjacent to street – South	Minimum 10 feet adjacent to R1-6	Met – 25 feet
Lot Coverage	Not to exceed 50%	Met – 49.1%
Building Height (Height Waiver)	4 stories not to exceed 56 feet	Met – 3 story (30 feet)
Parking	630 units @ 1 per 35 units = 18 spaces required	*Not Met – 11 spaces plus 1 accessible spaces
		*VARIANCE REQUIRED

Background/Issues/Analysis

SUBJECT SITE (REQUEST)

1. Z-79-17-8 is a request to rezone 1.86 acres located at the southeast corner of North 28th Place and East Thomas Road from C-1 (Neighborhood Retail District) and C-2 (Intermediate Commercial) to C-2 HGT/WVR (Intermediate Commercial District with a Height Waiver) to allow Commercial uses with a height waiver for up to 3 stories and 30 feet. Companion Case Z-SP-13-17-8 is a request to rezone the subject property from C-1 AND C-1 (pending C-2 HGT/WVR) to C-2 HGT/WVR SP (Special Permit) to allow Self-storage and all underlying C-2 uses with a height waiver for up to 3 stories and 30 feet.



SURROUNDING ZONING AND LAND USE

2. The subject site is currently developed with an underutilized office building. A church exists to the north, zoned C-2, across Thomas Road. Single-family residences are to the south, zoned R1-6. An adult use is to the east across 29th Street, zoned C-2 and P-1. An automotive stereo retail and single-family residential uses are to the west zoned C-2 and R1-6.

GENERAL PLAN AND SPECIFIC PLAN

3. The General Plan Land Use Map designation for the subject site is Commercial. The proposal is consistent with the General Plan designation and land uses in the area.

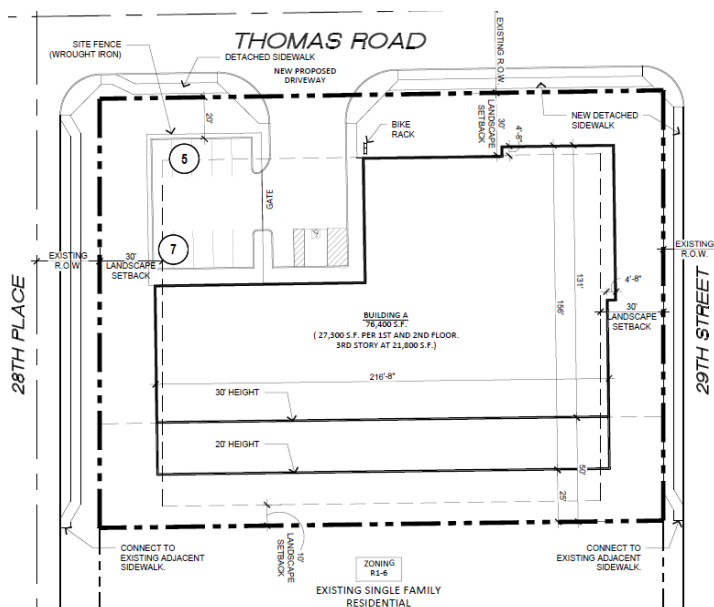
ANALYSIS OF PROPOSAL

4. The C-2 zoning district yard, height, and area requirements are established to provide an appropriate transition between commercial uses and adjoining neighborhoods. District regulations state that a request can be made to exceed the height requirements of two stories and 30 feet, but not to exceed the height requirements of four stories and 56 feet upon finding that such additional height is not detrimental to adjacent property or the public welfare in general (623.E.4.b.). The request for C-2 with a Height Waiver will accomplish two

things. It will place the entire site into one zoning district, and allow three stories within the 30-foot height limitation in the C-2 zoning district without any additional height being requested. Staff is recommending a stipulation that the maximum building height be limited to three stories and 30 feet. This is addressed in Stipulation #1 (Z-79-17-8).

5. The C-2 zoning district allows the development of self-storage warehouse uses with a Special Permit. The application of Special Permits to specific locations allows the location of certain uses while maintaining adequate protection to the surrounding area. These uses, which are necessary in urban development, do not usually conform with traditional use groupings. Self-service storage warehouse is an allowed use subject to a Special Permit under these conditions:
 - a. All storage to occur in a closed building and there are limits on outside storage.
 - The applicant proposes that all storage on site will be within the building.
 - b. No auctions, sales, service or repair facilities shall be conducted on the premises.
 - The site will be solely used for self-service storage.
 - c. No storage or use of hazardous or dangerous materials on the premises.
 - There will be no storage or use of hazardous or dangerous materials.
 - d. Direct access to a freeway or arterial street is required.
 - The access is to Thomas Road, an arterial street.
 - e. May not be combined with a household moving center.
 - The use will be self-service storage only.
6. The conceptual site plan shows a new building footprint with a height of two to three stories and approximately 37 feet to the top of parapet. The building covers approximately 49.1% of the net area with approximately 76,400 square feet of building area for a total of 630 self-storage units. The subject site has two previous zoning approvals, one for the southwest portion and another for the southeast portion. In 1986, the Phoenix City Council denied as filed, but approved a request Z-50-86 for C-1 zoning, for the parcel located on the west side of 29th Street approximately 102 feet south of Thomas Road. In 1996, the Phoenix City Council approved a request Z-84-96 for C-1 zoning, for the parcel located on the east side of 28th Place approximately 141 feet south of the Thomas Road centerline.

7. Several variances will be necessary to develop the site as designed. The site plan depicts 12 parking spaces being provided where 18 are required. A wrought iron fence is proposed to exceed the maximum of 40 inches in height within the required front yard setback. The building setback shown on the south property line is 25 feet for a two-story building where a 50-foot setback is required and 50 feet is shown for a three-story building where a 100-foot setback is required.



Lastly the site plan shows the streetscape landscape setback not being met where an average 30-foot landscape setback is required. To provide an additional buffer to the single-family residential to the south, staff is recommending a stipulation that the developer provide a minimum landscape setback of 25 feet along the south property line. This is addressed in Stipulation #2 (Z-SP-13-8).

8. The site plan shows no vehicular access to the subject property from the two local streets, 28th Place and 29th Street. Limiting access to the site to the Thomas Road arterial frontage will reduce the potential traffic impacts to the surrounding neighborhood and single-family residents to the south. Staff is recommending as a stipulation that vehicular access, ingress and egress, shall be limited to the Thomas Road frontage. This is addressed in Stipulation #3 (Z-79-17-8).
9. The site plan depicts the building with a maximum height of 20 feet at a distance between 25 feet and 50 feet from the south property line. Beginning at a 50-foot setback from the south property line, the building is 30-feet in height. The design guidelines in Section 507 TAB A.II.B.2. of the Zoning Ordinance state that buildings should respect the scale of buildings on adjacent properties and serve as an orderly transition to a different scale. The transition in scale is intended to reduce and mitigate potential impacts. The stair-stepping of building height assists in breaking up the mass of the building adjacent to the residential properties.

10. The elevations depict façade treatments such as smooth stucco and paint finishes, smooth vertical scored block, painted awnings and parapets, vertical and horizontal elements, proportion of building articulation, as well as the location of windows and signage. No windows are located where adjacent to residential uses.



Source: RKA Architects, Inc.

The design guidelines in Section 507 TAB A.II.B.5. of the Zoning Ordinance state that all sides of a structure should exhibit design continuity and contain multiple exterior accent materials that exhibit quality and durability. The south elevation, which is adjacent to residential properties, does not exhibit a continuity of design from the other sides of the building.

Staff is recommending a stipulation that the development be in general conformance to the elevations with specific regard to the proposed stucco, paint finishes, window locations, vertical and horizontal elements, and that these elements be demonstrated on all sides of the building. This is addressed in Stipulation #1 (Z-SP-13-17-4).

11. The Tree and Shade Master Plan has a goal of treating the urban forest as infrastructure to ensure that trees are an integral part of the city's planning and development process. Toward that end, future improvements of this site will contribute to the urban forest infrastructure through the provision of trees along the right-of-way. This is addressed in Stipulation #2 (Z-79-17-8).
12. The subject site is adjacent to the planned Thomas Road Bus Rapid Transit (BRT) route. The site plan depicts detached sidewalks along the perimeter where adjacent to public streets. To encourage walkability and shade, staff is recommending a stipulation that all sidewalks shall be detached with a minimum five-foot-wide landscaped strip located between the sidewalk and back of curb, and shall include minimum 2-inch caliper shade trees planted a minimum of 20 feet on center or equivalent groupings staggered along both sides of the sidewalk. This design is consistent with the City Council adopted Guiding Principles for Complete Streets, one tenet of which is to make Phoenix more walkable. This is addressed in Stipulation #2 (Z-79-17-8).

13. The Comprehensive Bicycle Master Plan supports options for bicycle parking as a means of promoting bicyclist traffic to a variety of destinations. The conceptual site plan shows a bicycle rack. It is recommended that bicycle parking be provided on the property for employees. The property is near the planned Thomas Road bus rapid transit route as well several major bus routes. Providing bicycle parking for employees is supportive of multimodal travel options. The applicant will work with Planning and Development Department staff through the site plan review process to determine the location for bicycle parking. The bicycle racks should be an Inverted-U design where both ends of the "U" are affixed to the ground and installed per the requirements Section 1307 of the Walkable Urban Code. This is addressed in Stipulation #3 (Z-SP-13-17-4).



Inverted-U bicycle rack, where both ends of the "U" reach the ground.

STREETS

14. The Street Transportation Department has indicated that a sidewalk easement totaling 10 feet shall be dedicated for the south half of Thomas Road. This is addressed in Stipulation #4 (Z-79-17-8).
15. The Street Transportation Department has indicated that the developer shall update and construct all streets adjacent to the development with paving, curb, gutter, minimum 5-foot sidewalks, curb ramps and other incidentals and all improvement shall comply with all ADA accessibility standards. This is addressed in Stipulation #5 (Z-79-17-8).

FIRE

16. No fire code issues are anticipated with this case and the site and/or buildings shall comply with the Phoenix Fire Code.

FLOOD

17. The City of Phoenix Floodplain Management division of the Street Transportation Department has determined that this parcel is not in a Special Flood Hazard Area (SFHA), but is located in a Shaded Zone X, on panel 2210 L of the Flood Insurance Rate Maps (FIRM) dated October 16, 2013.

WATER

18. The City of Phoenix Water Services Department has noted the site has existing water and sewer mains that can potentially serve the proposed development however, there is potential need to up size existing water and sewer infrastructure mains so that any remodels or new buildings will be able to meet domestic and fire code requirements.

OTHER

19. As part of the Reimagine Phoenix initiative, the City of Phoenix is committed to increasing the waste diversion rate to 40 percent by 2020 and to better manage its solid waste resources. Section 716 of the Phoenix Zoning Ordinance establishes standards to encourage the provision of recycling containers for multifamily, commercial and mixed-use developments meeting certain criteria. The provision of recycling containers was not addressed in the applicant's submittals.
20. The site is located in an area identified as being archaeologically sensitive. If no previous archaeological projects have been conducted within this project area, it is recommended that archaeological Phase I data testing of this area be conducted. Phase II archaeological data recovery excavations may be necessary based upon the results of the testing. A qualified archaeologist must make this determination in consultation with the City of Phoenix Archaeologist. In the event archaeological materials are encountered during construction, all ground disturbing activities must cease within a 33-foot radius of the discovery and the City of Phoenix Archaeology Office must be notified immediately and allowed time to properly assess the materials. This is addressed in Stipulations #6, #7 and #8 (Z-79-17-8).
21. Development and use of the site is subject to all applicable codes and ordinances. Zoning approval does not negate other ordinance requirements. Other formal actions such as, but not limited to, zoning adjustments and abandonments, may be required.

Findings

1. The proposal will provide a specialized commercial service that caters to the diverse needs of the community.
2. The proposal is consistent with the surrounding zoning pattern in the area.
3. The proposed use, as designed and stipulated, is compatible with the surrounding residential development.

Stipulations (Z-79-17-8) – C-2 with Height Waiver

1. The maximum building height shall be limited to 3 stories and 30 feet.
2. All sidewalks shall be detached with a minimum five-foot-wide landscaped strip located between the sidewalk and back of curb, and shall include minimum 2-inch caliper shade trees planted a minimum of 20 feet on center or equivalent groupings staggered along both sides of the sidewalk, as approved by the Planning and Development Department.
3. Vehicular access, ingress and egress, shall be limited to the Thomas Road frontage only, as approved by the Planning and Development Department.

STREET

4. A sidewalk easement totaling 10 feet shall be dedicated for the south half of Thomas Road, as approved by the Planning and Development Department.
5. The developer shall update and construct all streets adjacent to the development with paving, curb, gutter, minimum 5-foot sidewalk, curb ramps, streetlights, landscaping and other incidentals as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.

ARCHAEOLOGY

6. The applicant shall conduct Phase I data testing and submit an archaeological survey report of the development area for review and approval by the City Archaeologist prior to clearing and grubbing, landscape salvage, and/or grading approval.
7. The applicant shall conduct Phase II archaeological data recovery excavations if, upon review of the results from the Phase I data testing, the City Archaeologist, in consultation with a qualified archaeologist, determines such data recovery excavations are necessary.
8. In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground-disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.

Stipulations (Z-SP-13-17-8) – Self-service Storage

1. The building shall be in general conformance with the elevations date stamped December 19, 2017 with specific regard to the proposed stucco, paint finishes, and window locations, proportion of building articulation, and vertical and horizontal elements, as approved by the Planning and Development Department.
2. A minimum landscape setback of 25 feet shall be required along the south property line, as approved by the Planning and Development Department.
3. A minimum of one inverted-U bicycle rack for employees or visitors shall be provided on site, located near a publicly accessible entrance to the building, and installed per the requirements of Section 1307.H.4 of the Zoning Ordinance, as approved by the Planning and Development Department.

Writer

Joél Carrasco
December 19, 2017

Team Leader

Joshua Bednarek

Exhibits

Z-79-17-8 Zoning sketch

Z-79-17-8 Aerial

Z-SP-13-17-8 Zoning sketch

Z-SP-13-17-8 Aerial

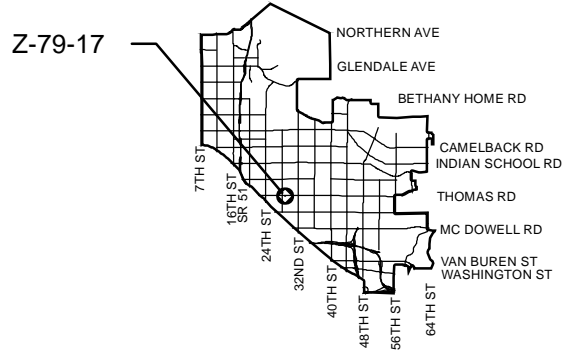
Conceptual Site plan date stamped December 19, 2017

Conceptual Elevations (color) date stamped December 19, 2017

Conceptual Elevations (black and white) date stamped December 19, 2017

Conceptual Rendering View 1 date stamped December 19, 2017

Conceptual Landscape Plan date stamped November 6, 2017



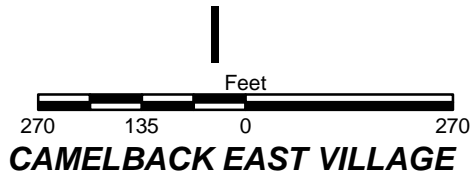
CAMELBACK EAST VILLAGE

CITY COUNCIL DISTRICT: 8



APPLICANT'S NAME: Rincon Partners, LLC		REQUESTED CHANGE: FROM: C-1 (0.80 a.c.) C-2 (1.06 a.c.) TO: C-2 HGT/WVR (1.86 a.c.)	
APPLICATION NO. Z-79-17	DATE: 11/20/2017 REVISION DATES:		
GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX. 1.86 Acres	AERIAL PHOTO & QUARTER SEC. NO. QS 14-34	ZONING MAP G-10	
MULTIPLES PERMITTED C-1, C-2 C-2 HGT/WVR	CONVENTIONAL OPTION 11, 15 81		* UNITS P.R.D. OPTION 14, 18 97

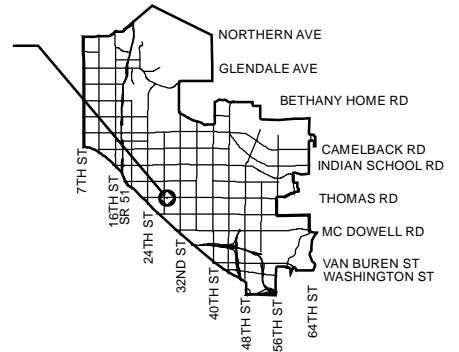
* Maximum Units Allowed with P.R.D. Bonus



CITY COUNCIL DISTRICT: 8



Z-79-17



APPLICANT'S NAME: Rincon Partners, LLC

APPLICATION NO. Z-79-17

DATE: 11/20/2017
REVISION DATES:

GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX.

1.86 Acres

AERIAL PHOTO & QUARTER SEC. NO.
QS 14-34

ZONING MAP
G-10

REQUESTED CHANGE:

FROM:

C-1 (0.80 a.c.)
C-2 (1.06 a.c.)

TO: C-2 HGT/WVR (1.86 a.c.)

MULTIPLES PERMITTED

C-1, C-2
C-2 HGT/WVR

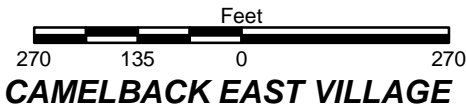
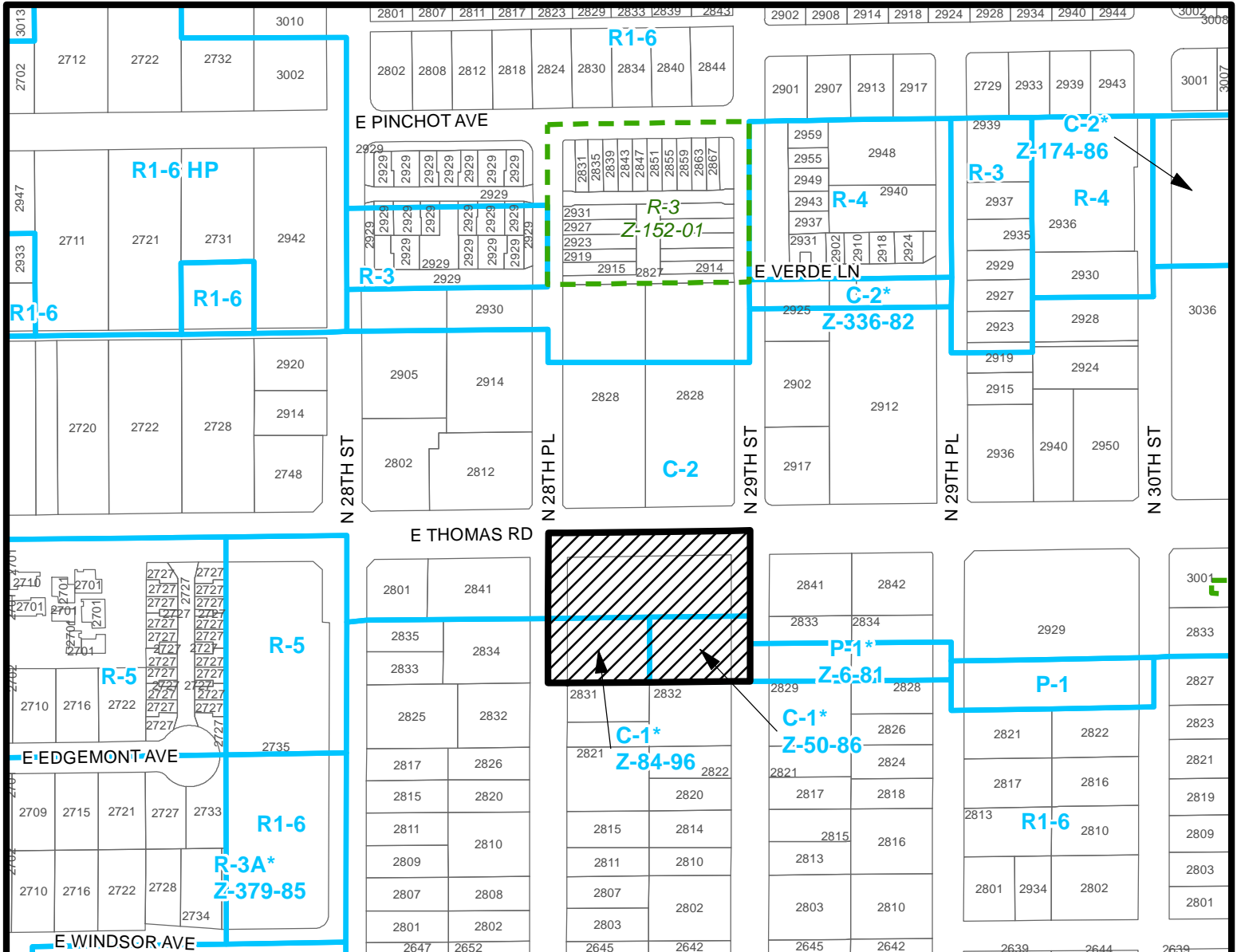
CONVENTIONAL OPTION

11, 15
81

* UNITS P.R.D. OPTION

14, 18
97

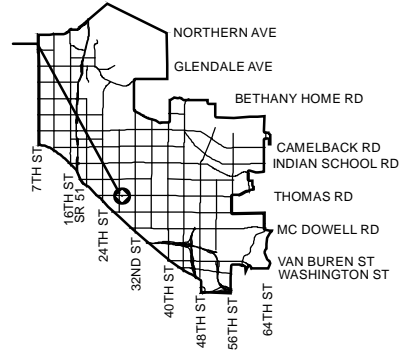
* Maximum Units Allowed with P.R.D. Bonus



CITY COUNCIL DISTRICT: 8

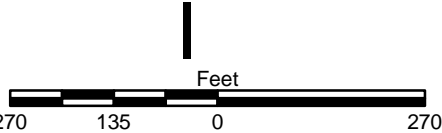
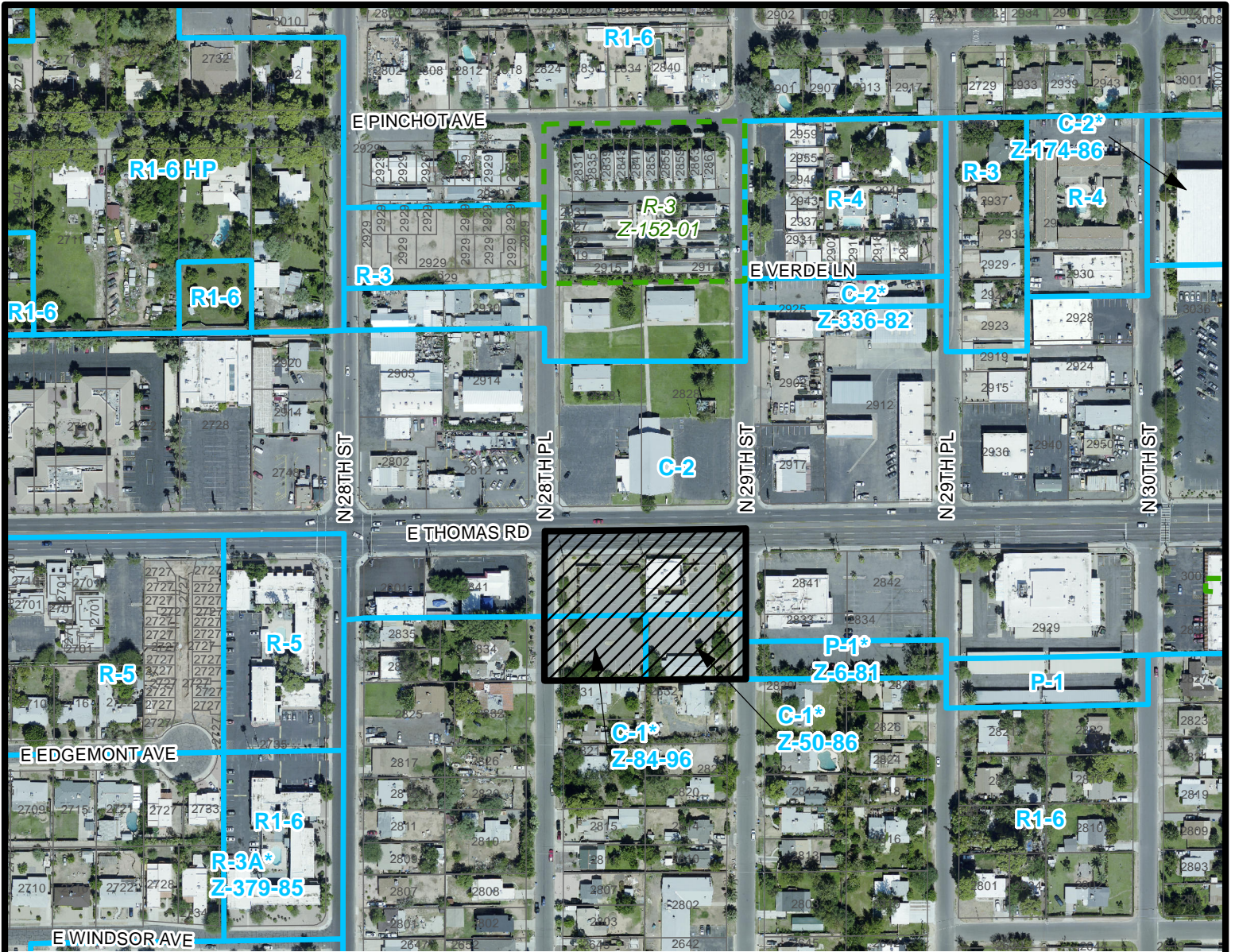


Z-SP-13-17



APPLICANT'S NAME: Rincon Partners, LLC		REQUESTED CHANGE: FROM: C-1 (Pending C-2 HGT/WVR) (0.80 a.c.) C-2 (Pending C-2 HGT/WVR) (1.06 a.c.)	
APPLICATION NO. Z-SP-13-17	DATE: 11/20/2017 REVISION DATES:	TO: C-2 SP HGT/WVR (1.86 a.c.)	
GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX. 1.86 Acres	AERIAL PHOTO & QUARTER SEC. NO. QS 14-34	ZONING MAP G-10	
MULTIPLES PERMITTED C-1 (Pending C-2 HGT/WVR), C-2 (Pending C-2 HGT/WVR) C-2 SP HGT/WVR	CONVENTIONAL OPTION 11, 15 81		* UNITS P.R.D. OPTION 14, 18 97

* Maximum Units Allowed with P.R.D. Bonus

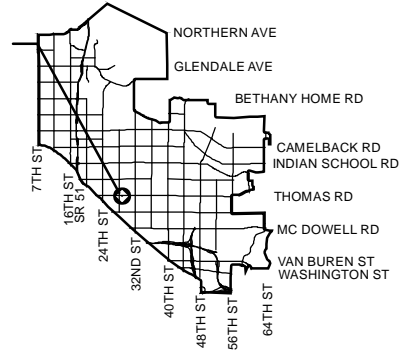


CAMELBACK EAST VILLAGE

CITY COUNCIL DISTRICT: 8



Z-SP-13-17



APPLICANT'S NAME: Rincon Partners, LLC

APPLICATION NO. Z-SP-13-17

DATE: 11/20/2017
REVISION DATES:

GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX.

1.86 Acres

AERIAL PHOTO & QUARTER SEC. NO. QS 14-34

ZONING MAP G-10

REQUESTED CHANGE:

FROM:

C-1 (Pending C-2 HGT/WVR) (0.80 a.c.)
C-2 (Pending C-2 HGT/WVR) (1.06 a.c.)

TO: C-2 SP HGT/WVR (1.86 a.c.)

MULTIPLES PERMITTED

C-1 (Pending C-2 HGT/WVR), C-2 (Pending C-2 HGT/WVR)

C-2 SP HGT/WVR

CONVENTIONAL OPTION

11, 15

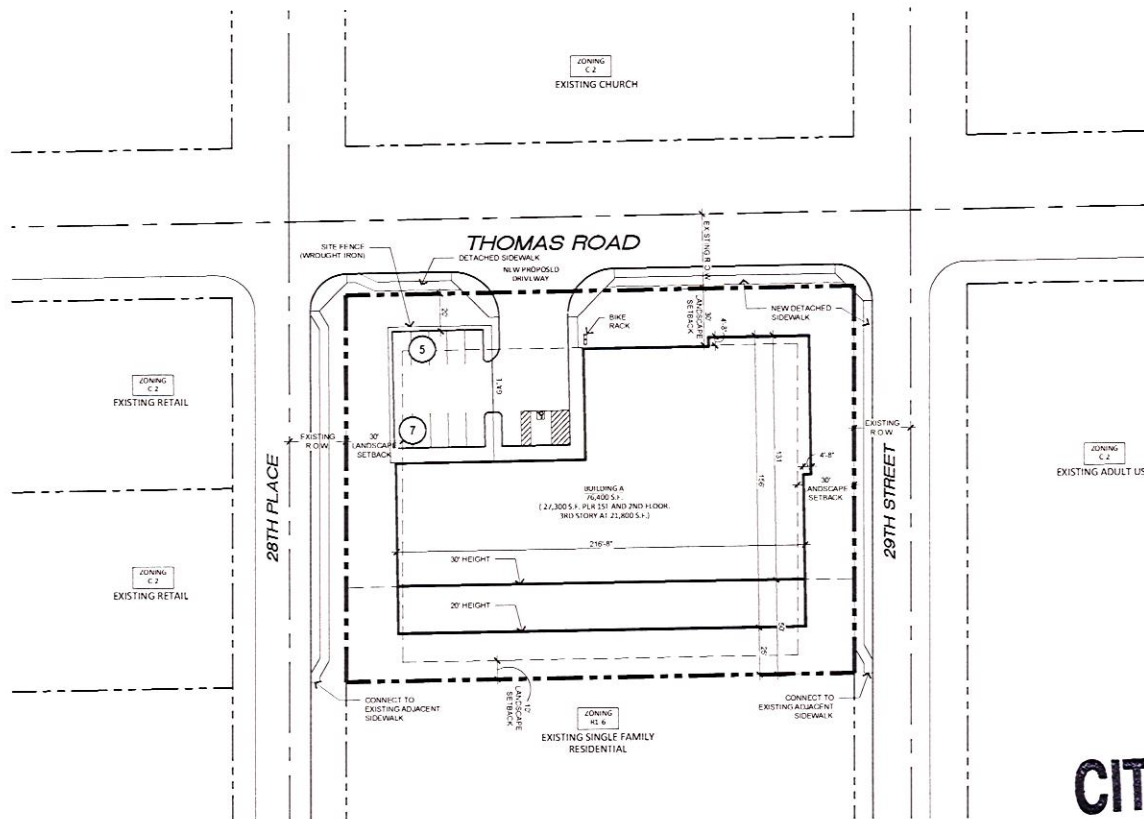
81

*** UNITS P.R.D. OPTION**

14, 18

97

* Maximum Units Allowed with P.R.D. Bonus



PRELIMINARY SITE PLAN

SCALE: 1" = 30'-0"



PROJECT DIRECTORY

ARCHITECT:
 ROBERT KUBICEK ARCHITECTS & ASSOCIATES
 2233 EAST THOMAS ROAD
 PHOENIX, ARIZONA 85016
 CONTACT: EDGAR FELIX
 PHONE: (602) 955-3900
 FAX: (602) 955-0496
 E-MAIL: efelix@rkaa.com

SITE DATA

EXISTING ZONING:	C-2/C-1
NET SITE AREA:	1.28 ACRES (55,631 S.F.)
PROPOSED USE:	SELF-STORAGE
BUILDING AREA PER 3 FLOORS ABOVE GROUND:	76,400 S.F.
TOTAL BUILDING AREA:	76,400 S.F.
SITE COVERAGE:	49.1%
TOTAL PARKING REQUIRED:	19 SPACES
BUILDING A (76,400 S.F.) SELF STORAGE 630 UNITS @ 72 FS UNIT = 19 SPACES	
TOTAL PARKING PROVIDED:	12 SPACES*
ACCESSIBLE SPACES REQUIRED:	1 SPACES
ACCESSIBLE SPACES PROVIDED:	1 SPACES

*= PARKING VARIANCE REQUIRED

PROJECT DESCRIPTION

WE ARE PROPOSING A NEW 3 STORY SELF STORAGE FACILITY ON AN EXISTING COMMERCIAL ZONED PROPERTY. THE FACILITY WILL BE A SINGLE BUILDING THAT WILL HAVE AIR CONDITIONED STORAGE UNITS.

CITY OF PHOENIX

DEC 19 2017

**Planning & Development
 Department**

THIS SITE PLAN HAS BEEN PREPARED WITHOUT THE AID OF A SURVEY. ALL PROPERTY BOUNDARIES ARE INDICATED APPROXIMATELY. THIS DRAWING IS TO BE USED FOR CONSULTATIONAL PURPOSES ONLY AND IS NOT TO BE THE BASIS FOR ANY LEGALLY BINDING DOCUMENTATION.

NEW PROPOSED SELF STORAGE

SWC 29TH STREET AND THOMAS ROAD
 PHOENIX, ARIZONA

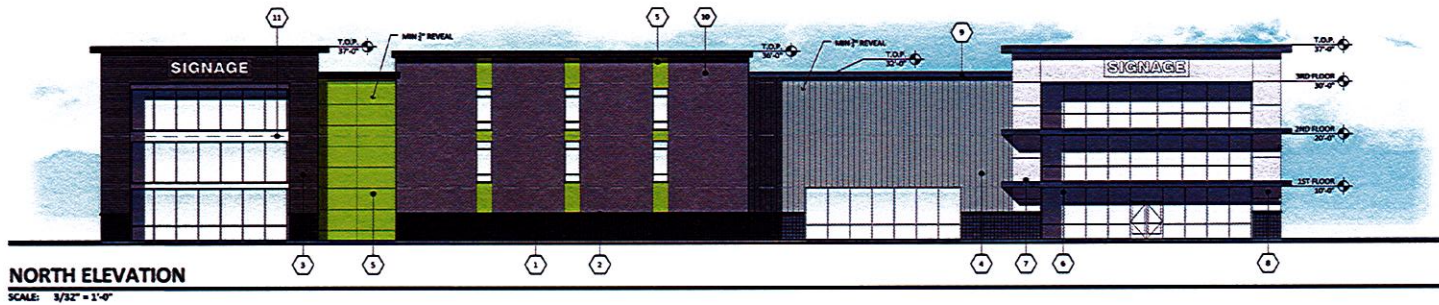
DATE: 12-18-2017 (PRELIMINARY)

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SP-1

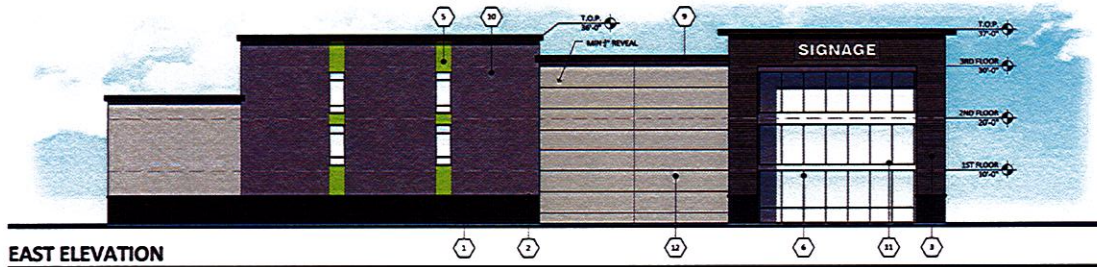
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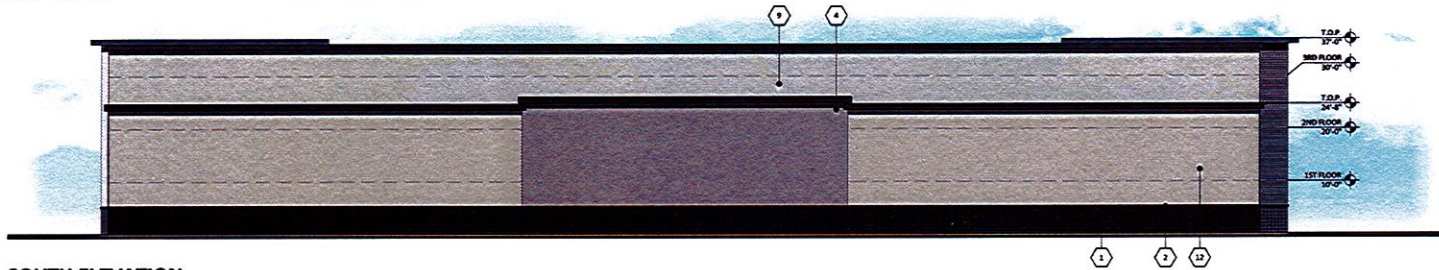
NORTH ELEVATION

SCALE: 3/32" = 1'-0"



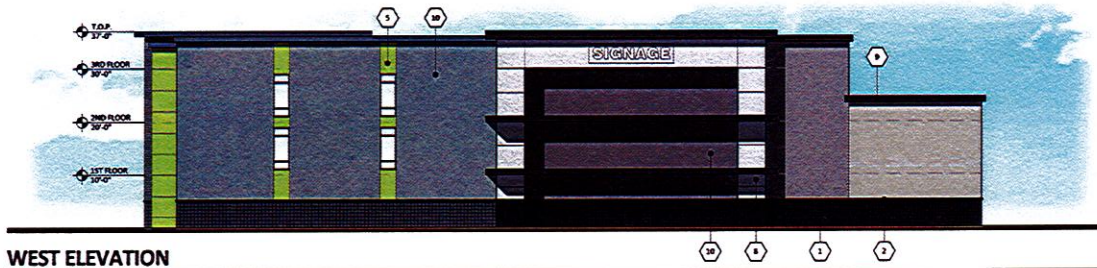
EAST ELEVATION

SCALE: 3/32" = 1'-0"



SOUTH ELEVATION

SCALE: 3/32" = 1'-0"



WEST ELEVATION

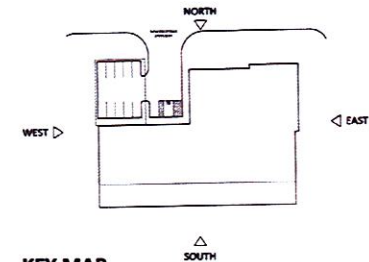
SCALE: 3/32" = 1'-0"

①	MATERIALS
1	SUPERLITE BLOCK SMOOTH FACE VERTICAL SCORED BLOCK BLACK
2	TRIM SHERWIN WILLIAMS SW7059 IRON ORE
3	AEP SPAN CORRUGATED METAL ZINC GRAY
4	SMOOTH STUCCO PAINTED DUNN EDWARDS DESIGER WALRUS
5	SMOOTH STUCCO PAINTED SHERWIN WILLIAMS CUSTOM COLOR EXR WASABI
6	STOREFRONT ALUMINUM KAWNEER ANODIZED CLEAR
7	AWNINGS PAINTED SHERWIN WILLIAMS SW7059 IRON ORE
8	AEP SPAN METAL PANELS METALLIC SILVER
9	PARAPET SHERWIN WILLIAMS SW7059 IRON ORE
10	SMOOTH STUCCO PAINTED SHERWIN WILLIAMS SW7057 CITYSCAPE
11	SMOOTH STUCCO PAINTED SHERWIN WILLIAMS SW7053 NEBULOUS WHITE
12	SMOOTH STUCCO PAINTED SHERWIN WILLIAMS SW7055 ARGOS

CITY OF PHOENIX

DEC 19 2017

**Planning & Development
Department**



KEY MAP

SCALE: N.T.S.

NEW PROPOSED SELF-STORAGE

SWC 29TH STREET AND THOMAS ROAD
PHOENIX, ARIZONA

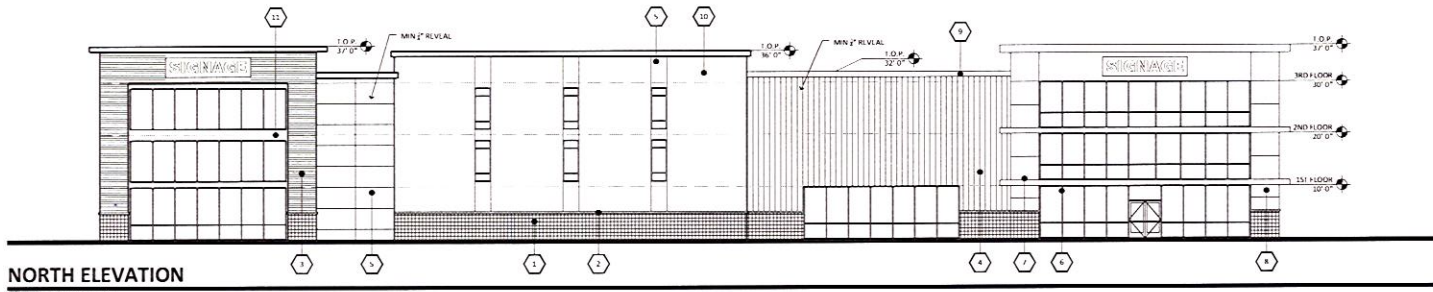
DATE: 12-18-2017 (PRELIMINARY)

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EL-1

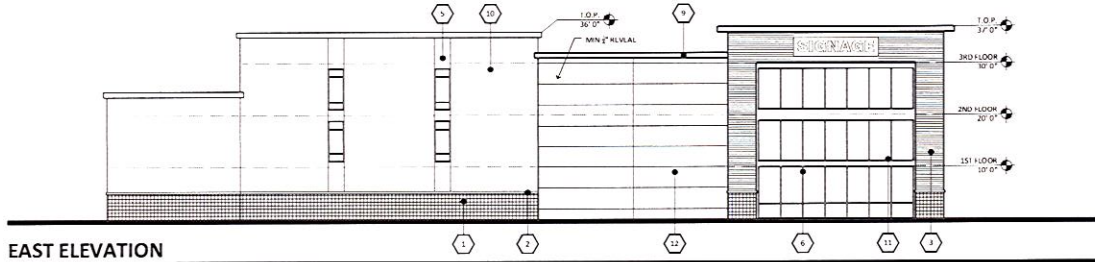
#17127.50

RKAA ARCHITECTS, INC.



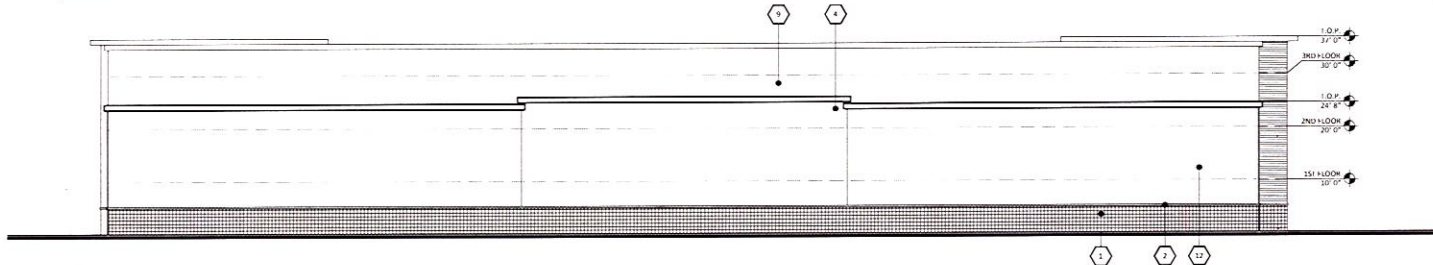
NORTH ELEVATION

SCALE: 3/32" = 1'-0"



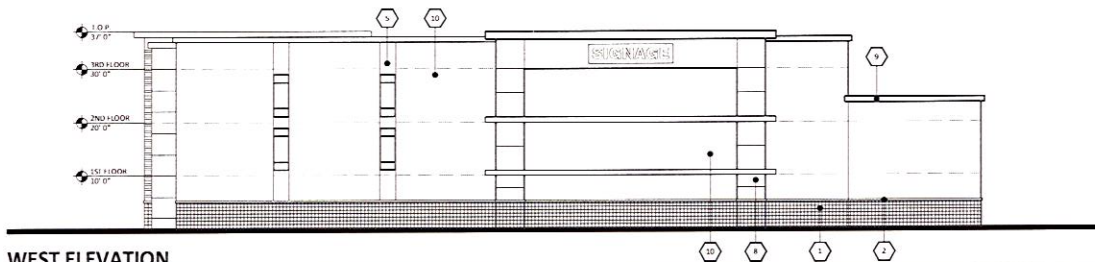
EAST ELEVATION

SCALE: 3/32" = 1'-0"



SOUTH ELEVATION

SCALE: 3/32" = 1'-0"



WEST ELEVATION

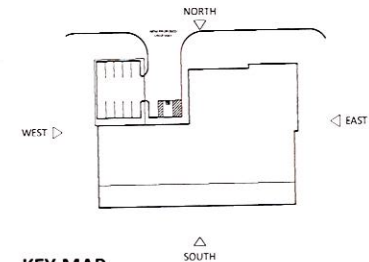
SCALE: 3/32" = 1'-0"

MATERIALS	
1	SUPPERLITE BLOCK SMOOTH FACE VERTICAL SCORED BLOCK BLACK
2	TRIM SHERWIN WILLIAMS SW7069 IRON ORE
3	AFP SPAN CORRUGATED METAL ZINC GRAY
4	SMOOTH STUCCO PAINTED DUNN EDWARDS DF6368 WALRUS
5	SMOOTH STUCCO PAINTED SHERWIN WILLIAMS CUSTOM COLOR FIR WALSLEY
6	STOREFRONT ALUMINUM KAWNEER ANODIZED CLFAR
7	AWNINGS PAINTED SHERWIN WILLIAMS SW7069 IRON ORE
8	AFP SPAN METAL PANELS METALLIC SILVER
9	PARAPEET SHERWIN WILLIAMS SW7069 IRON ORE
10	SMOOTH STUCCO PAINTED SHERWIN WILLIAMS SW7067 CITYSCAPE
11	SMOOTH STUCCO PAINTED SHERWIN WILLIAMS SW7063 NEBULOUS WHITE
12	SMOOTH STUCCO PAINTED SHERWIN WILLIAMS SW7065 ARGOS

CITY OF PHOENIX

DEC 19 2017

**Planning & Development
Department**



KEY MAP

SCALE: N.T.S.

NEW PROPOSED SELF-STORAGE

SWC 29TH STREET AND THOMAS ROAD
PHOENIX, ARIZONA

DATE: 12-18-2017 (PRELIMINARY)

EL-1
#17127.50



CITY OF PHOENIX

DEC 19 2017

Planning & Development
Department



VIEW 1

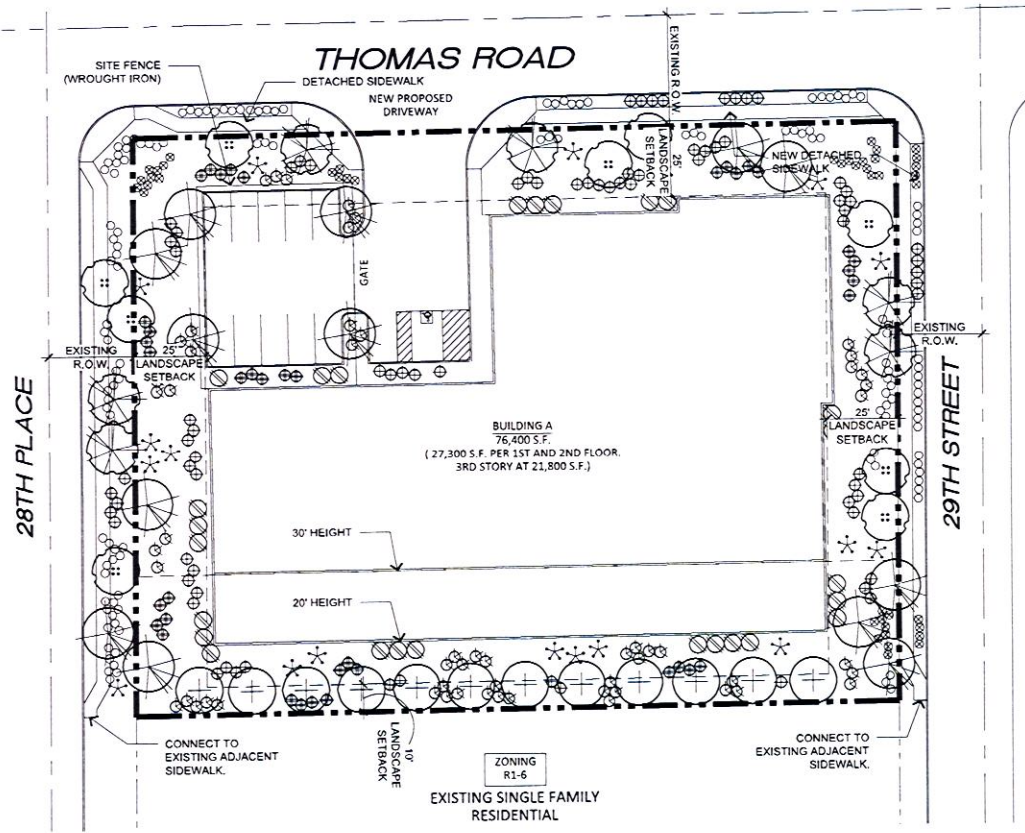
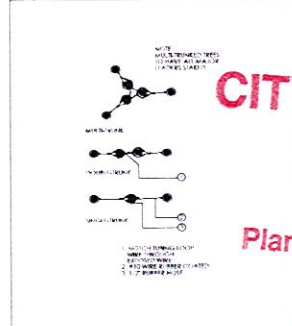
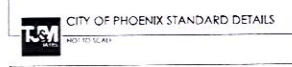
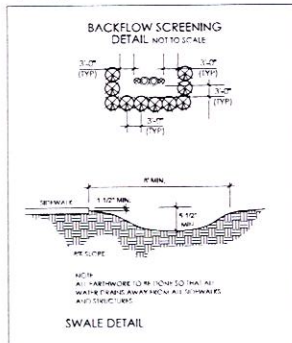
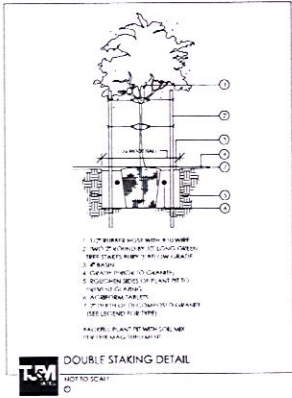
NEW PROPOSED SELF-STORAGE
SWC 29TH STREET AND THOMAS ROAD
PHOENIX, ARIZONA
DATE: 12-18-17 (PRELIMINARY)

REGISTERED ARCHITECT
STATE OF ARIZONA
NO. 12345
R. K. A. A.
ARCHITECTS, INC.

VIEW 1

RKAA
ARCHITECTS, INC.

RKAA# 17127.50



LANDSCAPE LEGEND

	CERCIDIUM PRAECOX SONORAN PALM O VERDE 4" CALIPER		CAESALPINIA MEXICANA MEXICAN BRD OF PARADISE 5 GALLON		ERICAMERIA MACULATA VALENTINE BUSH 5 GALLON
	ACACIA SALICINA WILLOW ACACIA 2" CALIPER		TECOMA 'ORANGE JUBILEE' ORANGE JUBILEE 5 GALLON		LANTANA MONTEVIDENSIS GOLD MOUND 1 GALLON
	CERCIDIUM HYBRID DESERT MUSEUM 3" CALIPER		HESPERALOE PARVIFLORA RED YUCCA 5 GALLON		LANTANA MONTEVIDENSIS TRAILING PURPLE 1 GALLON
	CHITALPA TASHKENTIS CHITALPA 2" CALIPER		DASYLIRION WHEELERI DESERT SPOON 5 GALLON		EUPHORBIA RIGIDA GOPHER PLANT 1 GALLON

1/2" MINUS MADISON GOLD
DECOMPOSED GRANITE
2" DEPTH IN ALL LANDSCAPE AREAS

CITY OF PHOENIX GENERAL LANDSCAPE NOTES:

THE CITY OF PHOENIX GENERAL NOTES ARE THE ONLY NOTES APPROVED ON THE PLAN. ADDITIONAL GENERAL NOTES GENERATED BY THE SEALANT AND PLACED ON THE PLANS ARE NOT APPROVED AS PART OF THE PLAN AND ARE NOTED AS SUCH ON THE PLANS.

THE DESIGN ON THESE PLANS IS ONLY APPROVED BY THE CITY IN SCOPE AND NOT IN DETAIL. CONSTRUCTION QUANTITIES ON THESE PLANS ARE NOT VERIFIED BY THE CITY. APPROVAL OF THESE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT THE CITY FROM REQUIRING CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH SAFETY, OR OTHER DESIGN ISSUES.

CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE LATEST APPLICABLE MARIICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND DETAILS AND THE LATEST CITY OF PHOENIX SUPPLEMENT TO THE MAG UNIFORM STANDARD SPECIFICATIONS AND DETAILS.

FINAL BUILDING PERMIT CANNOT BE OBTAINED UNTIL BONDING AND APPROVED ASSURANCES ARE PROVIDED FOR THE LANDSCAPING WITHIN THE RIGHT-OF-WAY.

NO PLANT SUBSTITUTIONS, TYPE, SIZE, OR QUANTITY, OR DEVIATIONS FROM THE APPROVED LANDSCAPE OR IRRIGATION PLANS ARE ALLOWED WITHOUT PRIOR APPROVAL FROM THE CITY OF PHOENIX LANDSCAPE SECTION AT (602) 262-7811.

ALL PLANT MATERIAL AND SPECIFICATIONS SHALL CONFORM TO THE ARIZONA NURSERYMAN ASSOCIATION STANDARDS.

ALL RIGHT-OF-WAY AND CITY-REQUIRED (PERIMETER, RETENTION, AND PARKING) PLANT MATERIAL SHALL BE IN COMPLIANCE WITH THE DEPARTMENT OF WATER RESOURCES LOW WATER USE PLANT LIST.

CONTACT THE PARKS AND RECREATION DEPARTMENT FORESTRY SUPERVISOR AT 602-262-4848 TO VERIFY OWNERSHIP OF ANY PLANT MATERIAL IN THE PUBLIC R.O.W. PRIOR TO ANY PLANT RELOCATIONS OR REMOVALS. OBTAIN WRITTEN PERMISSION FROM THE PARKS AND RECREATION DEPARTMENT PRIOR TO THE RELOCATION OR REMOVAL OF ANY CITY PLANT MATERIAL OR EQUIPMENT.

CONTACT THE STREET TRANSPORTATION DEPARTMENT HORTICULTURES AT 602-262-4584 PRIOR TO THE RELOCATION OR REMOVAL OF EXISTING PLANT MATERIAL IN THE A 20' R.O.W. THAT IS ON THE CITY'S SIDE OF THE SOUNDING WALL. OBTAIN WRITTEN PERMISSION FROM THE STREET TRANSPORTATION DEPARTMENT PRIOR TO THE RELOCATION OR REMOVAL OF ANY PLANT MATERIAL OR EQUIPMENT.

ALL EXISTING TREES AND SHRUBS IN RIGHT-OF-WAY DESIGNATED TO REMAIN BUT ARE DAMAGED OR DESTROYED WILL BE REPLACED IN LIKE SIZE AND KIND BY THE CONTRACTOR.

THE PROPOSED IRRIGATION SYSTEM SHALL INCLUDE ANY MODIFICATIONS REQUIRED TO BE INTO THE EXISTING CITY OF PHOENIX IRRIGATION SYSTEM IN RIGHT-OF-WAY TO THE PROPOSED SYSTEM. ALL THROUGH-IRRIGATION SYSTEMS IN THE RIGHT-OF-WAY SHALL BE MAINTAINED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CAPPING AND/OR RECONSTRUCTING EXISTING IRRIGATION TO PLANT MATERIALS AND PROVIDING NEW IRRIGATION TO THE EXISTING PLANT MATERIAL IN THE RIGHT-OF-WAY PER THE APPROVED PLAN.

WALLS ARE NOT APPROVED AS PART OF THE LANDSCAPE PLAN BUT ARE SHOWN FOR REFERENCE ONLY.

TREES ADJACENT TO PEDESTRIAN WALKWAYS SHOULD HAVE A MINIMUM CANOPY CLEARANCE OF SEVEN FEET INCHES (6.95 FEET) SECTION 105.4 A & B 3.1 (D) OF THE CITY OF PHOENIX ZONING ORDINANCE.

PVC PIPE LATERALS ARE REQUIRED A MAXIMUM OF FIVE FEET (5') OF POLY TUBING OFF OF THE PVC PIPE LATERALS ALLOWED. NO POLY TUBING LATERALS ARE ALLOWED.

PLANT QUANTITIES AND CALIPER SIZES FOR THE ZONING REQUIREMENTS FOR THE SITE PROVIDED IN THE LEGEND ON THE APPROVED PLANS ARE REQUIRED TO BE INSTALLED IN THE FIELD. ANY DEVIATIONS FROM THE PLAN WILL REQUIRE A REVISION TO THE APPROVED PLAN.

NOTE: MINIMUM CALIPER SIZE IS A ZONING REQUIREMENT. IF THE MINIMUM CALIPER CANNOT BE MET AT BOX SIZE THAT IS SPECIFIED, THEN THE BOX SIZE MUST BE INCREASED TO MEET CALIPER REQUIREMENTS.

PLAN APPROVAL IS VALID FOR 180 DAYS. PRIOR TO PLAN APPROVAL EXPIRATION ALL ASSOCIATED PERMITS SHALL BE PURCHASED OR THE PLANS SHALL BE RESUBMITTED FOR EXTENSION OF PLAN APPROVAL. THE EXPIRATION, EXTENSION, AND RESUBMITTAL OF LANDSCAPE PLANS AND PERMITS SHALL FOLLOW THE SAME GUIDELINES AS THOSE INDICATED IN THE PHOENIX BUILDING CONSTRUCTION CODE ADMINISTRATIVE PROVISIONS SECTION 105.3 FOR BUILDING PERMITS.

MISC. LANDSCAPE NOTES THESE NOTES ARE NOT REVIEWED OR APPROVED BY THE CITY OF PHOENIX.

- THE ENTIRE SITE WILL BE MAINTAINED IN ACCORDANCE WITH PHOENIX STANDARDS.
- TREES ADJACENT TO PEDESTRIAN WALKWAYS SHOULD HAVE A MIN. CANOPY OF 6'-6"
- USE PVC LATERALS WITH A MAXIMUM 5' OF POLY TUBING OFF OF PVC. NO POLY LATERALS WILL BE ACCEPTED.
- PLANT QUANTITIES AND CALIPER SIZES PROVIDED ON THE APPROVED PLAN AND IN THE LEGEND ARE REQUIRED TO BE INSTALLED IN THE FIELD.
- ALL NEW AND DISTURBED LANDSCAPE AREAS WILL RECEIVE A 7" TOP DRESS OF MATCHING DECOMPOSED GRANITE (MIN. 1/2" MINUS).
- PLANT MATERIAL WITHIN THE CITY OF PHOENIX RIGHT-OF-WAY TRIANGLES IF EXISTING WILL BE MAINTAINED AT A MAXIMUM 2' IN HEIGHT. TREES WILL BE MAINTAINED WITH A 7' MINIMUM CLEAR CANOPY.
- NO PLANT SUBSTITUTIONS, TYPE, SIZE OR QUANTITY DEVIATIONS FROM THE APPROVED LANDSCAPE OR IRRIGATION PLANS WITHOUT PRIOR APPROVAL FROM THE CITY OF PHOENIX LANDSCAPE SECTION AT (602) 262-7811.
- ALL SLOPES ARE GREATER THAN 4:1
- THERE IS NO OVERHEAD POWER LINES ON SITE.
- NO SALVAGED PLANT MATERIAL.

CITY OF PHOENIX
NOV 06 2017
Planning & Development
Department

T.J. McQUEEN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING
10450 N. 74th Street, Suite 120
Scottsdale, Arizona 85258
P. (480) 266-0300
EMAIL: tjmcmqueen@tjma.net



LANDSCAPE PLAN
SCALE: 1" = 20'-0"
NORTH

NEW PROPOSED SELF STORAGE
SWC 29TH STREET AND THOMAS ROAD
PHOENIX, ARIZONA
DATE: 10-19-2017 (PRELIMINARY)

LANDSCAPE ARCHITECT	CITY OF PHOENIX	DATE
ESTIMATED RIGHT-OF-WAY COST \$	ESTIMATED S.F. OF LANDSCAPE IN RIGHT-OF-WAY	
MAINTENANCE BY: () CITY (X) OWNER	TOTAL ACRES (OR PORTIONS) LANDSCAPED AREAS	
SQUARE FOOTAGE OF TURF	DATE OF PRELIMINARY SITE PLAN APPROVAL	

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