



**City of Phoenix**  
 PLANNING AND DEVELOPMENT DEPARTMENT

**Staff Report Z-79-18-7**  
**February 1, 2019**

**Laveen [Village Planning Committee](#) Meeting Date:** February 11, 2019

**[Planning Commission](#) Hearing Date:** March 7, 2019

**Request From:** [S-1](#) (Ranch or Farm Residence) (11.10 acres)

**Request To:** [R1-6](#) (Single-Family Residence District) (11.10 acres)

**Proposed Use:** Single-family residential subdivision

**Location:** Northeast Corner of 39th Avenue and Vineyard Road

**Owner:** W6, LLC

**Applicant/Representative:** John Fox and the William Seymour Co., Inc.

**Staff Recommendation:** Approval, subject to stipulations

<u><a href="#">General Plan Conformity</a></u>			
<u><a href="#">General Plan Land Use Map Designation</a></u>		Residential 3.5 to 5 dwelling units per acre	
<u><a href="#">Street Map Classification</a></u>	39th Avenue	Minor Collector	0-foot east half street
	Vineyard Road	Local	Approximately 8-foot north half street
<p><b><i>CELEBRATE OUR DIVERSE COMMUNITIES AND NEIGHBORHOODS CORE VALUE; CERTAINTY AND CHARACTER; DESIGN PRINCIPLE: Protect and enhance the character of each neighborhood and its various housing lifestyles through new development that is compatible in scale, design, and appearance.</i></b></p> <p>The proposal promotes the expansion of single-family residential land uses in the area. Further, the proposed development is consistent with the scale, design, and density which has been approved in the surrounding area.</p>			

***CELEBRATE OUR DIVERSE COMMUNITIES AND NEIGHBORHOODS; HEALTHY NEIGHBORHOODS; DESIGN PRINCIPLE: Establish design standards and guidelines for parking lots and structures, setbacks and build-to lines, blank wall space, and other elements affecting pedestrians, to encourage pedestrian activity and identify options for providing pedestrian-oriented design in different types of development.***

The proposal, as stipulated, will provide detached sidewalks and shade trees throughout the development to encourage pedestrian activity in the area.

***BUILD THE SUSTAINABLE DESERT CITY; TREE & SHADE; DESIGN PRINCIPLE: Integrate trees and shade into the design of new development and redevelopment projects throughout phoenix.***

The proposal, as stipulated, will provide tree-shaded sidewalks which will help to increase pedestrian activity and reduce the urban heat island effect.

#### **Applicable Plans, Overlays, and Initiatives**

**[Tree and Shade Master Plan](#)**

See Background Item No. 6 below.

**[Southwest Growth Study](#)**

See Background Item No. 7 below.

**[Reimagine Phoenix](#)**

See Background Item No. 8 below.

**[Complete Streets Guidelines](#)**

See Background Item No. 9 below.

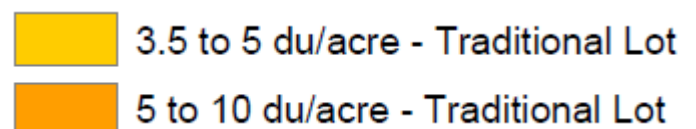
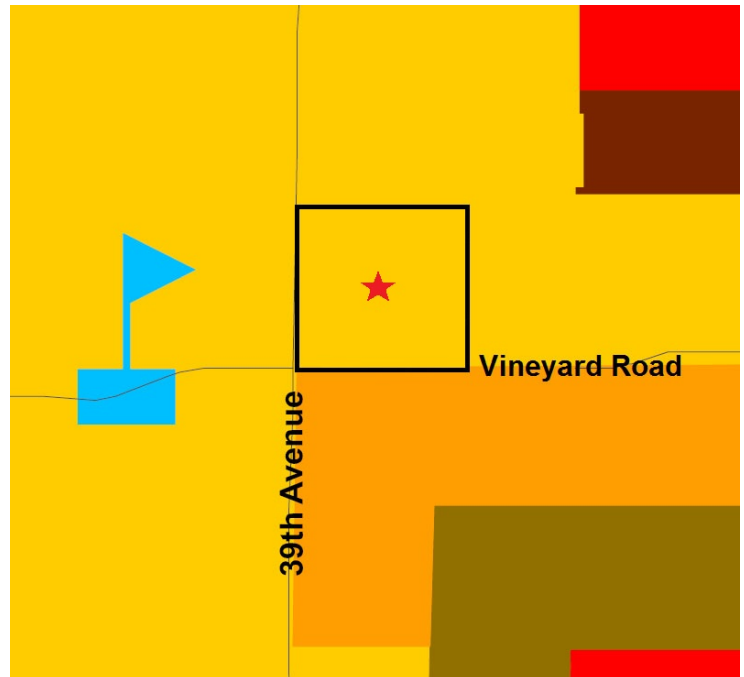
<b>Surrounding Land Uses/Zoning</b>		
	<b><u>Land Use</u></b>	<b><u>Zoning</u></b>
<b>On Site</b>	Single-family Residential, Vacant Land	S-1
<b>North</b>	Single-family residential	R1-8, S-1
<b>South</b>	Single-family residential	R-2
<b>East</b>	Single-family residential	R1-6
<b>West</b>	Vacant Land, Single-family residential	S-1, R1-8

<b>R1-6 Single-family (Planned Residential Development Option)</b>		
		<i>*if variance required</i>
<b><u>Standards</u></b>	<b><u>Requirements</u></b>	<b><u>Provisions on the Proposed Site Plan</u></b>
Gross Acreage	-	11.10
Total Number of Units	61-72 maximum	60
Density (Units/Gross Acre)	5.5; 6.5 with bonus maximum	5.40
Minimum Lot Width	45 Feet minimum	45 feet
Perimeter Building Setback	Street (front, rear or side): 15 feet (in addition to landscape setback);  Property line (rear): 15 feet (1-story), 20 feet (2-story);  Property line (side): 10 feet (1-story), 15 feet (2-story)	Determined at time of final plans
Perimeter Landscape Setback	15 feet average, 10 feet minimum	Determined at time of final plans
Subject to Single Family Design Review	Yes	Yes
Common Areas	5% of gross minimum	9.05% gross

## **Background/Issues/Analysis**

### SUBJECT SITE

1. This request is to rezone approximately 11.10 acres located at the northeast corner of 39th Avenue and Vineyard Road from S-1 (Ranch or Farm Residence) to R1-6 (Single-Family Residence District).
2. The subject site is designated Residential 3.5 to 5 dwelling units per acre on the General Plan Land Use Map. The proposal is consistent with this designation. Properties to the north, east and west share this designation. The land to the south of the subject site is designated 5 to 10 dwelling units per acre on the General Plan Land Use Map.



General Plan Land Use Map – Source: City of Phoenix Planning and Development Department

### SURROUNDING USES AND ZONING

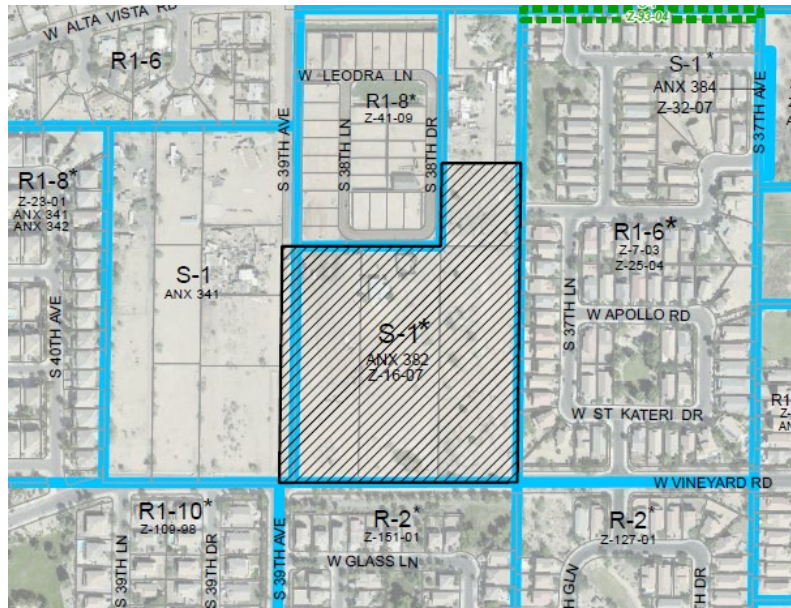
3. The subject site is vacant land and currently zoned S-1 (Ranch or Farm Residence).

North of the subject site existing single-family residential subdivision zoned R1-8 (Single-Family Residence District) and rural residential lots zoned (Ranch or Farm Residence).

South of the subject is an existing single-family residential subdivision zoned R-2 (Multifamily Residence District).

East of the subject site existing single-family residential subdivision zoned R1-6 (Single-Family Residence District).

West of the subject site is vacant, undeveloped land and an existing single-family residence, zoned S-1 (Ranch or Farm Residence), and a single-family residential subdivision zoned R1-8 (Single-Family Residence District).



Surrounding Land Uses – Source: City of Phoenix Planning and Development Department

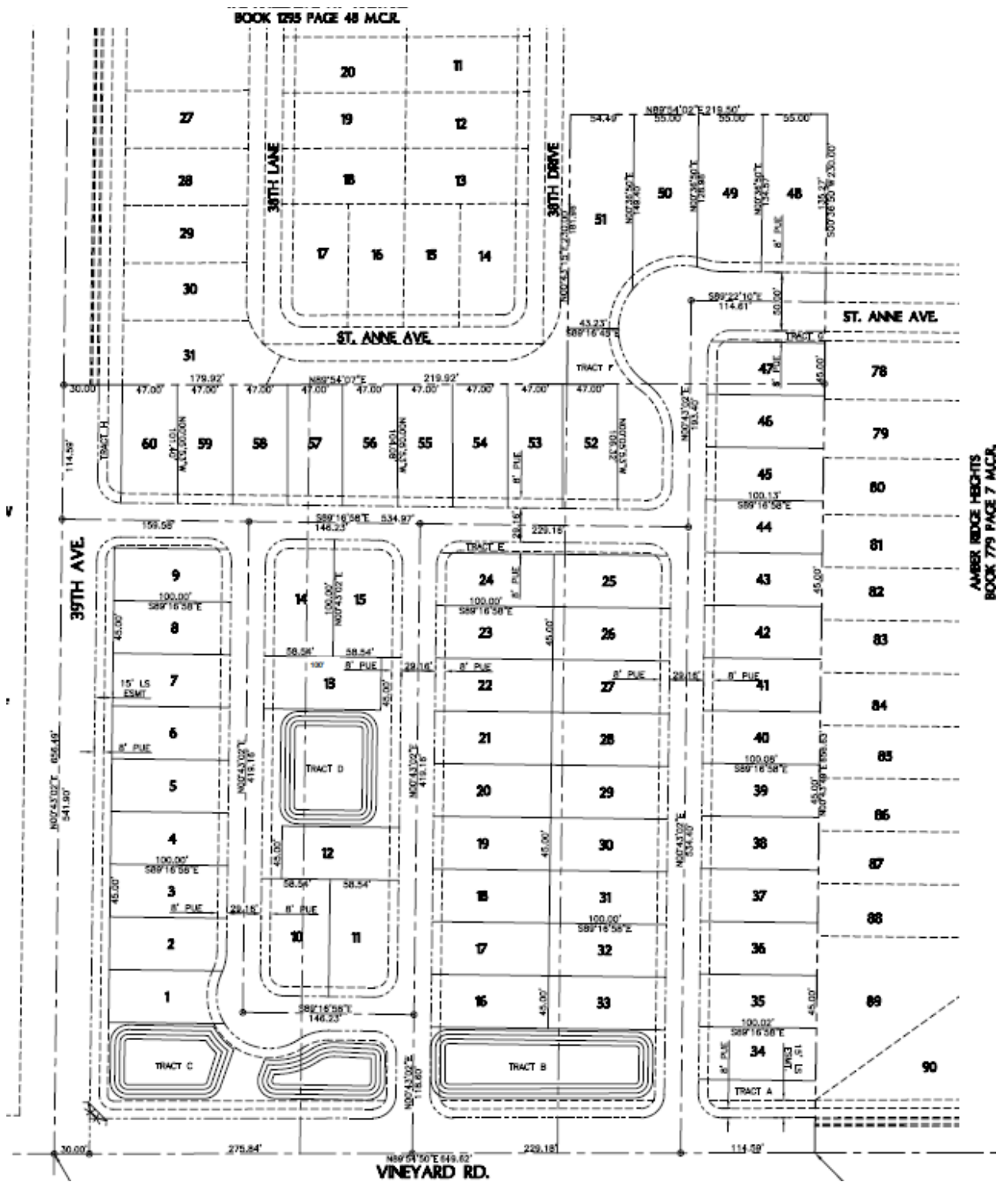
### PROPOSAL

#### 4. Conceptual Site Plan

The subject site consists of five parcels and the conceptual site plan proposes 60 single-family residential lots for a density of 5.40 dwelling units per gross acre. There are entrances to the development from 39th Avenue and from Vineyard Road.

The proposed subdivision consists of 45-foot wide lots, 101 feet in depth. The proposed lot sizes are consistent in scale and character with the approved single-family residential developments in the surrounding area.

The conceptual site plan depicts open space areas provided along the southern portion of the site, adjacent to Vineyard Road. Staff has requested an increase in open space provided to 10%. This item is addressed in Stipulation No. 4.



Proposed Site Plan – Source: The William Seymour Company

5. **Elevations**

Elevations were submitted as part of this rezoning request. In keeping with the design guidelines contained within the Southwest Growth Study, Staff is requesting that all roof materials be clay or concrete tile, and that all exterior walls shall utilize stucco, stone or masonry. This item is addressed in Stipulation No. 1.

STUDIES AND POLICIES

6. **Tree and Shade Master Plan**

The Tree and Shade Master Plan encourages treating the urban forest as infrastructure to ensure the trees are an integral part of the City's planning and development process. Sidewalks on the street frontages should be detached from the curbs to allow trees to be planted on both sides of the sidewalk to provide thermal comfort for pedestrians and to reduce the urban heat island effect. In accordance with this, staff has stipulated that landscaping along 39th Avenue be consistent with landscaping in adjacent subdivisions and include minimum 3-inch caliper trees.. Additionally, staff has stipulated that all sidewalks within the development be detached, with a minimum five foot wide landscape strip located between the sidewalk and back of curb and minimum two-inch caliper shade trees planted a minimum of 20-feet on center, or equivalent groupings. This is addressed in Stipulation Nos. 2 and 3.

7. **Southwest Growth Study**

The Southwest Growth Study was created as a tool to guide development in Laveen after the area was annexed into the City of Phoenix in 1995. Laveen is known throughout the region for its rural heritage and character. Through the Southwest Growth Study, policies were created that would preserve and build upon the unique character of the area. The document provides a number of design policies and standards regarding the look and feel of development in the area, with particular regard to building materials and elevations. Notably, the Southwest Growth Study calls for native materials and colors, and discourages the use of vinyl siding, high contrast colors and monolithic building mass. These items are addressed in Stipulation No. 1, which requires that building materials consist of stucco, masonry or stone and that roof tiles made of clay or concrete are utilized.

8. **Reimagine Phoenix**

As part of the Reimagine Phoenix Initiative, the City of Phoenix is committed to increasing the waste diversion rate to 40 percent by 2020 and to better manage its solid waste resources. The provision of recycling containers was not addressed in the applicant's submittals; however, per City Code, the City provides recycling containers and services to all single-family residences.

9. **Complete Streets Guidelines**

In 2014, the City of Phoenix City Council adopted the Complete Streets Guiding Principles. The principles are intended to promote improvements that provide an accessible, safe, connected transportation system to include all modes, such as bicycles, pedestrians, transit, and vehicles. To support these principles, staff has stipulated that all sidewalks be detached with a minimum five-foot wide landscaped strip located between the sidewalk and back of curb, and shall include a minimum two inch caliper shade trees planted a minimum of 20 feet on center or equivalent groupings. This is addressed in Stipulation No. 3.

COMMUNITY INPUT SUMMARY

10. As of the writing of this report, staff has not received any correspondence regarding this proposed rezoning application.

INTERDEPARTMENTAL COMMENTS

11. The Street Transportation Department recommends stipulations requiring the developer to dedicate 30-feet of right-of-way for the north side of Vineyard Road, 40-feet of right-of-way for the east half of 39th Avenue, and a 15-foot by 15-foot right of way triangle at the northeast corner of 39th Avenue and Vineyard Road. Additionally, the developer shall comply with all ADA accessibility standards. These items are addressed in Stipulation Nos. 5, 6, 7 and 8.
12. The Water Services Department indicated that the site has existing water and sewer mains within 39th Avenue and Vineyard Road that can potentially serve the development.
13. The Fire Prevention Department does not anticipate any problems associated with this rezone case, but shall require the site and/or buildings to comply with the Phoenix Fire Code. The water supply (GPM and PSI) is not known at this location, and additional water supply may be required to meet the required fire flow per the Phoenix Fire Code.
14. The Floodplain Management division of the Public Works Department has determined that this parcel is not in a Special Flood Hazard Area (SFHA), but is located in a Shaded Zone X, on panel 2195 L of the Flood Insurance Rate Maps (FIRM) dated February 10, 2017.



15. The Parks and Recreation Department has reviewed the proposed site plan and rezoning request, and does not have any comments or stipulations at this time.
16. The Aviation Department has reviewed the rezoning application and has requested a stipulation requiring the developer to record a Notice to Prospective Purchasers of Proximity to Airport in order to disclose the existence and operational characteristics of Phoenix Sky Harbor International Airport (PHX) to future owners and tenants of the property. This is addressed in Stipulation No. 6.
17. The site is located in a larger area identified as being archaeologically sensitive. If further review by the City of Phoenix Archaeology Office determines the site and immediate area to be archaeologically sensitive, and if no previous archaeological projects have been conducted within this project area, it is recommended that archaeological Phase I data testing of this area be conducted. Phase II archaeological data recovery excavations may be necessary based upon the results of the testing. A qualified archaeologist must make this determination in consultation with the City of Phoenix Archaeologist. In the event archaeological materials are encountered during construction, all ground disturbing activities must cease within a 33-foot radius of the discovery and the City of Phoenix Archaeology Office must be notified immediately and allowed time to properly assess the materials. This is addressed in Stipulation Nos. 7, 8 and 9.

#### OTHER

18. The site is located within the Laveen West Impact Fee Area and development is subject to impact fees. Impact fee calculations are set so that each type of land use pays a fair share of the infrastructure required to support development in the city's growth areas. In addition, different areas have unique infrastructure requirements, so the cost of providing the same level of service in each area may vary. This results in different fees for different uses, as well as different fees for different impact fee areas.
19. Development and use of the site is subject to all applicable codes and ordinances. Zoning approval does not negate other ordinance requirements. Other formal actions such as, but not limited to, zoning adjustments and abandonments may be required.

## **Findings**

1. The request is consistent with the General Plan Land Use Map designation of Residential 3.5 to 5 dwelling units per acre.
2. The proposed development is appropriate at this location and is consistent with the scale and existing zoning in the surrounding area.
3. As stipulated, the proposal is consistent with the character of existing development in the surrounding area.

## **Stipulations**

1. Building elevations shall meet the following design criteria, as approved by the Planning and Development Department:
  - A. All roof materials shall be flat clay or concrete tile or other similar materials. No asphalt shingles, shakes or metal shingles are allowed.
  - B. All exterior walls of the dwelling units shall utilize stucco, stone and/or masonry. No wood or aluminum sidings are allowed. At least 10% of the total surface area of the street elevation shall consist of stone veneer. Stone shall be natural and the color must mimic a natural desert motif. Synthetic stone can be used as long as the color and textures reflect organic material.
2. Trees along the perimeter of the subdivision shall be consistent with existing trees adjacent to subdivisions at the southeast and southwest corners of 39th Avenue and Vineyard Road.
3. All sidewalks shall be detached with a minimum 5-foot-wide landscaped strip located between the sidewalk and back of curb and shall include a minimum 2-inch caliper shade trees planted a minimum of 20 feet on center or equivalent groupings along both sides of the sidewalk, as approved by the Planning and Development Department.
4. The developer shall provide a minimum of 10% open space, as approved by the Planning and Development Department.
5. Right-of-way totaling 30-feet shall be dedicated for the north half of Vineyard Road for the entire length of the property, as approved by the Planning and Development Department.

6. Right-of-way totaling 40-feet shall be dedicated for the east half of 39th Avenue for the entire length of the property, as approved by the Planning and Development Department.
7. A 15-foot by 15-foot right-of-way triangle shall be dedicated at the northeast corner of 39th Avenue and Vineyard Road, as approved by the Planning and Development Department.
8. The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals, as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.
9. The property owner shall record documents that disclose the existence, and operational characteristics of Phoenix Sky Harbor International Airport (PHX) to future owners or tenants of the property. The form and content of such documents shall be according to the templates and instructions provided which have been reviewed and approved by the City Attorney.
10. If determined necessary by the Phoenix Archaeology Office, the applicant shall conduct Phase I data testing and submit an archaeological survey report of the development area for review and approval by the City Archaeologist prior to clearing and grubbing, landscape salvage, and/or grading approval.
11. If Phase I data testing is required, and if, upon review of the results from the Phase I data testing, the City Archaeologist, in consultation with a qualified archaeologist, determines such data recovery excavations are necessary, the applicant shall conduct Phase II archaeological data recovery excavations.
12. In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground-disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.

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February 1, 2019

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**Writer**

Cody White

March 8, 2019

**Team Leader**

Samantha Keating

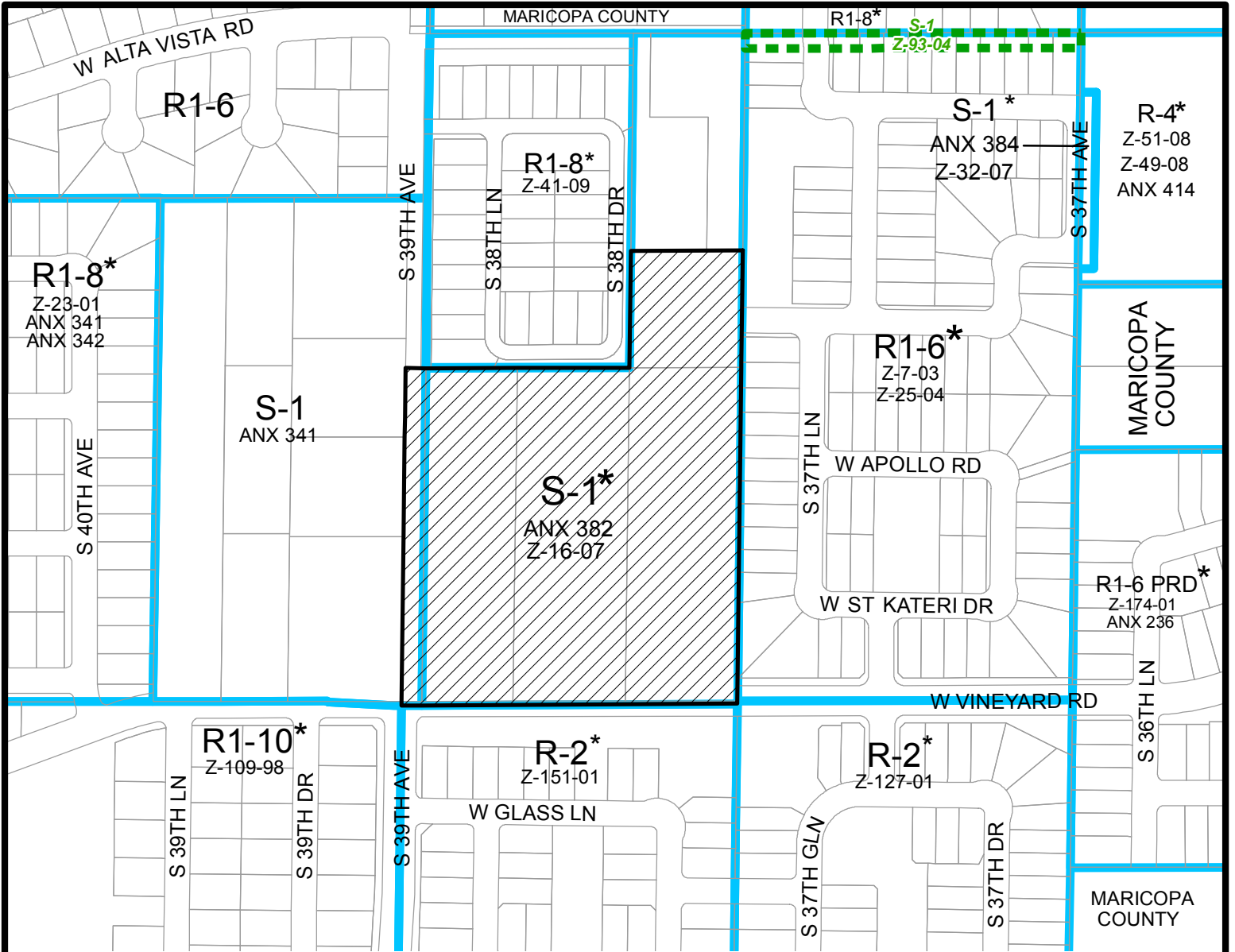
**Exhibits**

Zoning sketch

Aerial

Site plan date stamped February 14, 2019 (2 Pages)

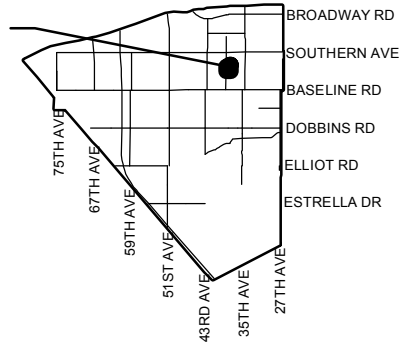
Building Elevations date stamped November 21, 2018 (53 pages)



**LAVEEN VILLAGE**  
CITY COUNCIL DISTRICT: 7



Z-79-18



APPLICANT'S NAME: John Fox and the William Seymour Co. Inc

REQUESTED CHANGE:

APPLICATION NO. Z-79-18

DATE: 12/31/2018  
REVISION DATES:

FROM: S-1 ( 11.20 a.c.)

GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX.

11.20 Acres

AERIAL PHOTO & QUARTER SEC. NO.

QS 2-20

ZONING MAP

D-6

TO: R1-6 ( 11.20 a.c.)

MULTIPLES PERMITTED

S-1

R1-6

CONVENTIONAL OPTION

11

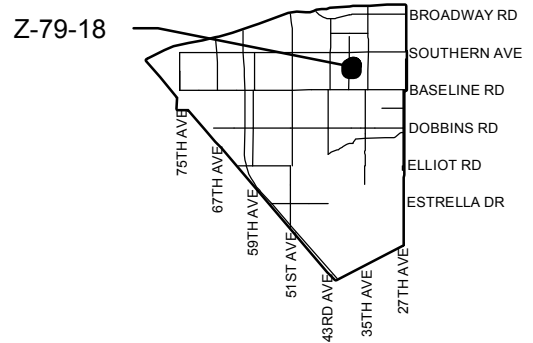
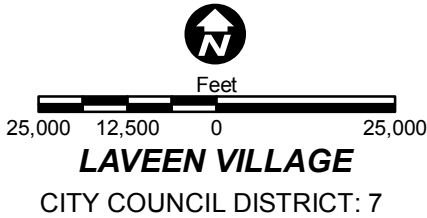
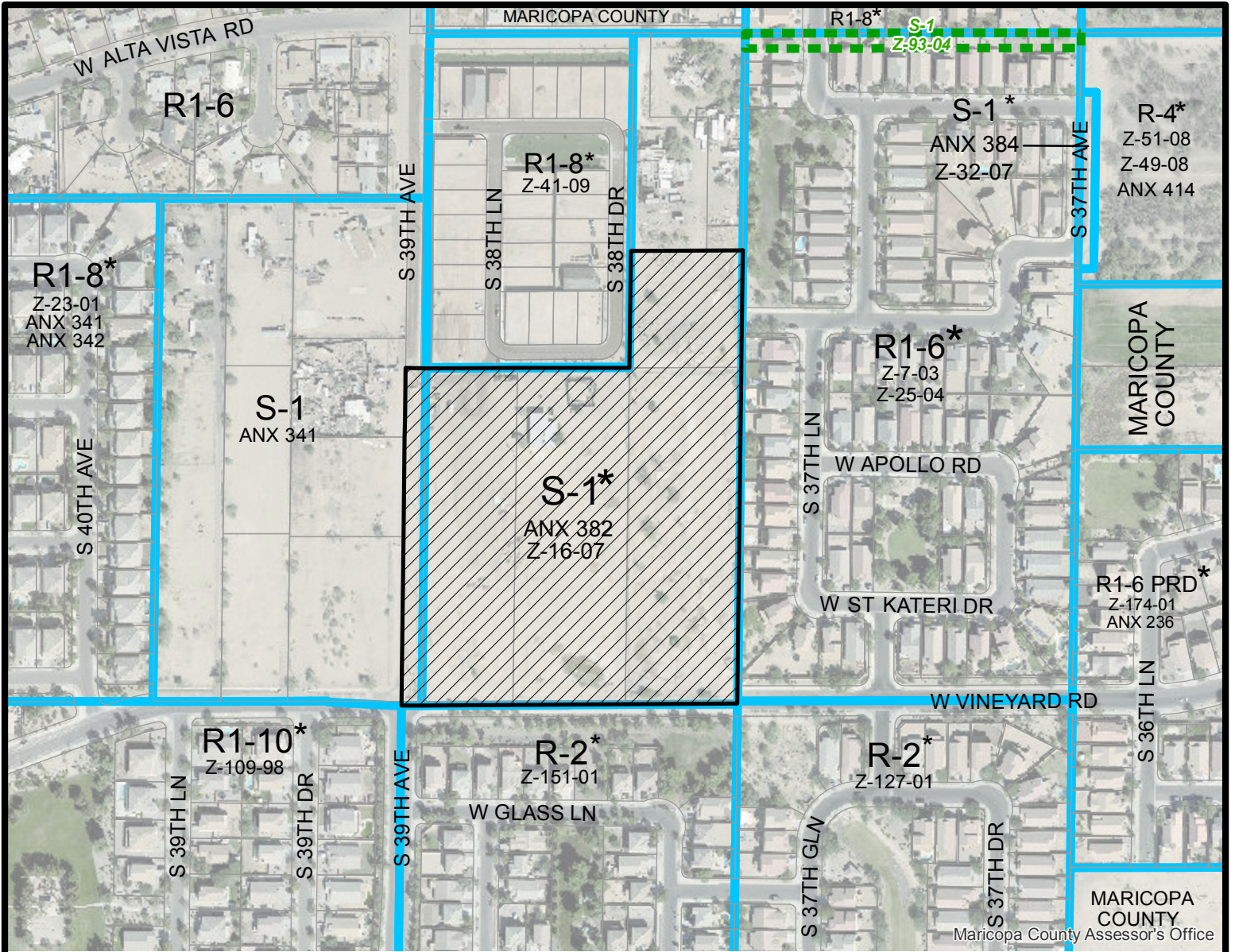
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\* UNITS P.R.D. OPTION

N/A

73

\* Maximum Units Allowed with P.R.D. Bonus



<b>APPLICANT'S NAME:</b> John Fox and the William Seymour Co. Inc		<b>REQUESTED CHANGE:</b>	
<b>APPLICATION NO.</b> Z-79-18		FROM: S-1 ( 11.20 a.c.)	
<b>DATE:</b> 12/31/2018 <b>REVISION DATES:</b>		TO: R1-6 ( 11.20 a.c.)	
GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX. <b>11.20 Acres</b>		<b>AERIAL PHOTO &amp; QUARTER SEC. NO.</b> QS 2-20	<b>ZONING MAP</b> D-6
<b>MULTIPLES PERMITTED</b>		<b>CONVENTIONAL OPTION</b>	
S-1		11	
R1-6		59	
		<b>* UNITS P.R.D. OPTION</b>	
		N/A	
		73	

\* Maximum Units Allowed with P.R.D. Bonus







COMPOSITE SHINGLES

DECORATIVE CORBELS



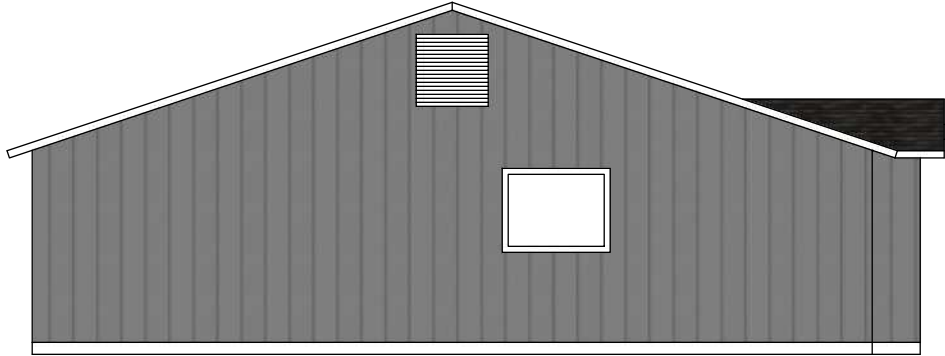
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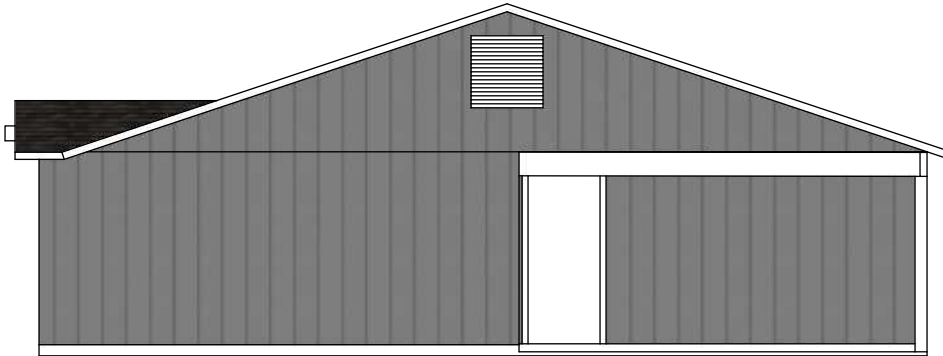
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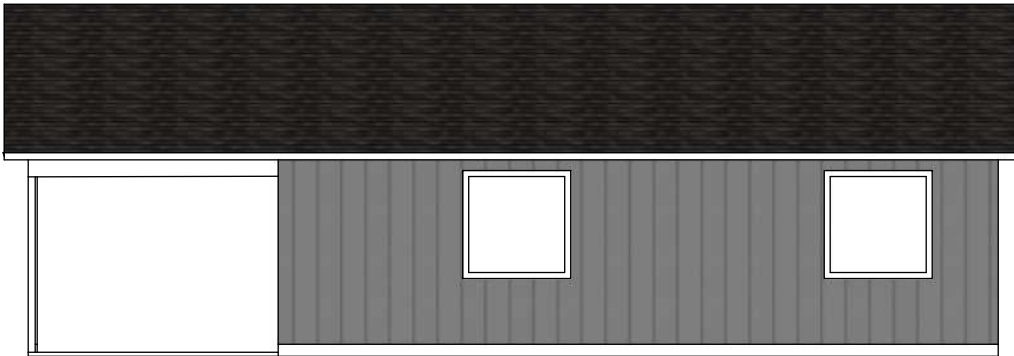
Planning & Development  
Department



LEFT



BACK



RIGHT

# ELEVATION A.1 FLOOR PLAN 6

SCALE:

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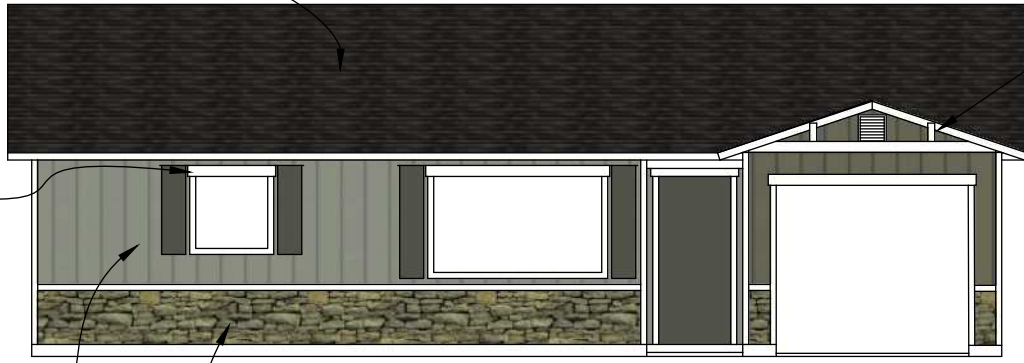
COMPOSITE SHINGLES

DECORATIVE CORBELS

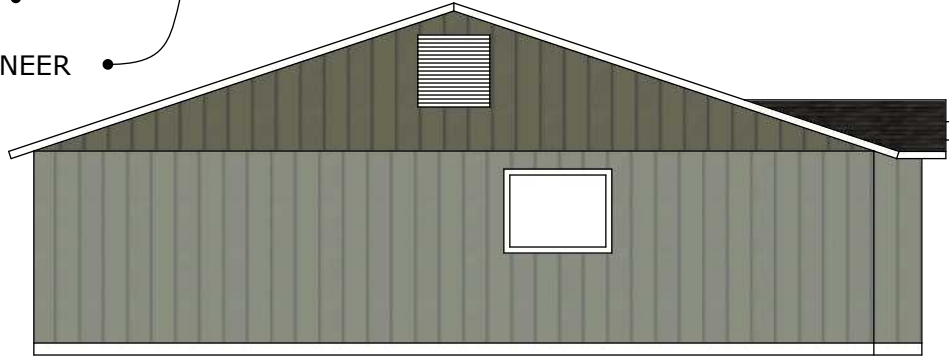
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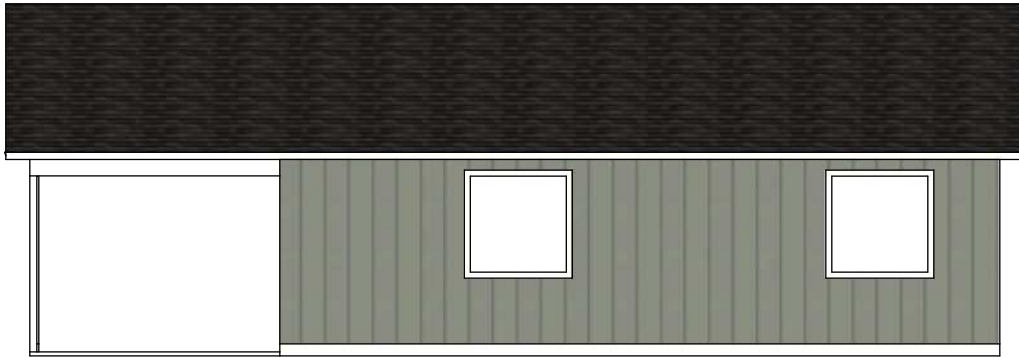
STONE VENEER



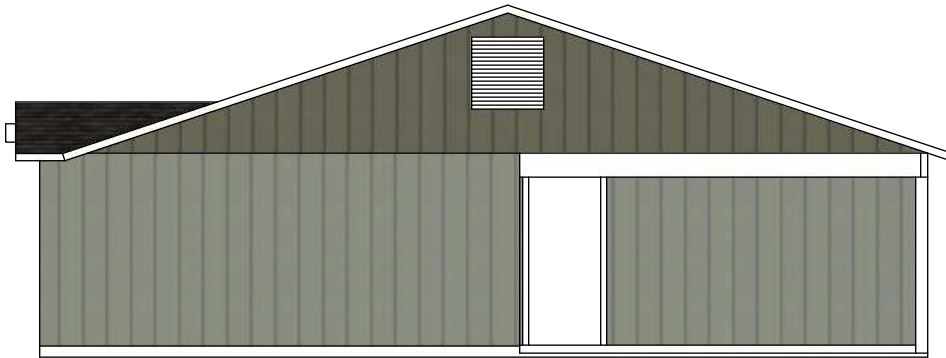
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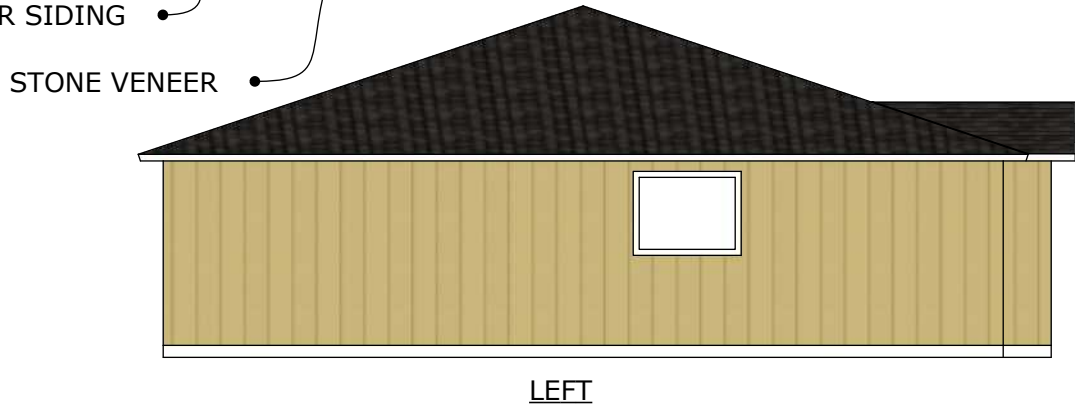


RIGHT

# ELEVATION A.2 FLOOR PLAN 6

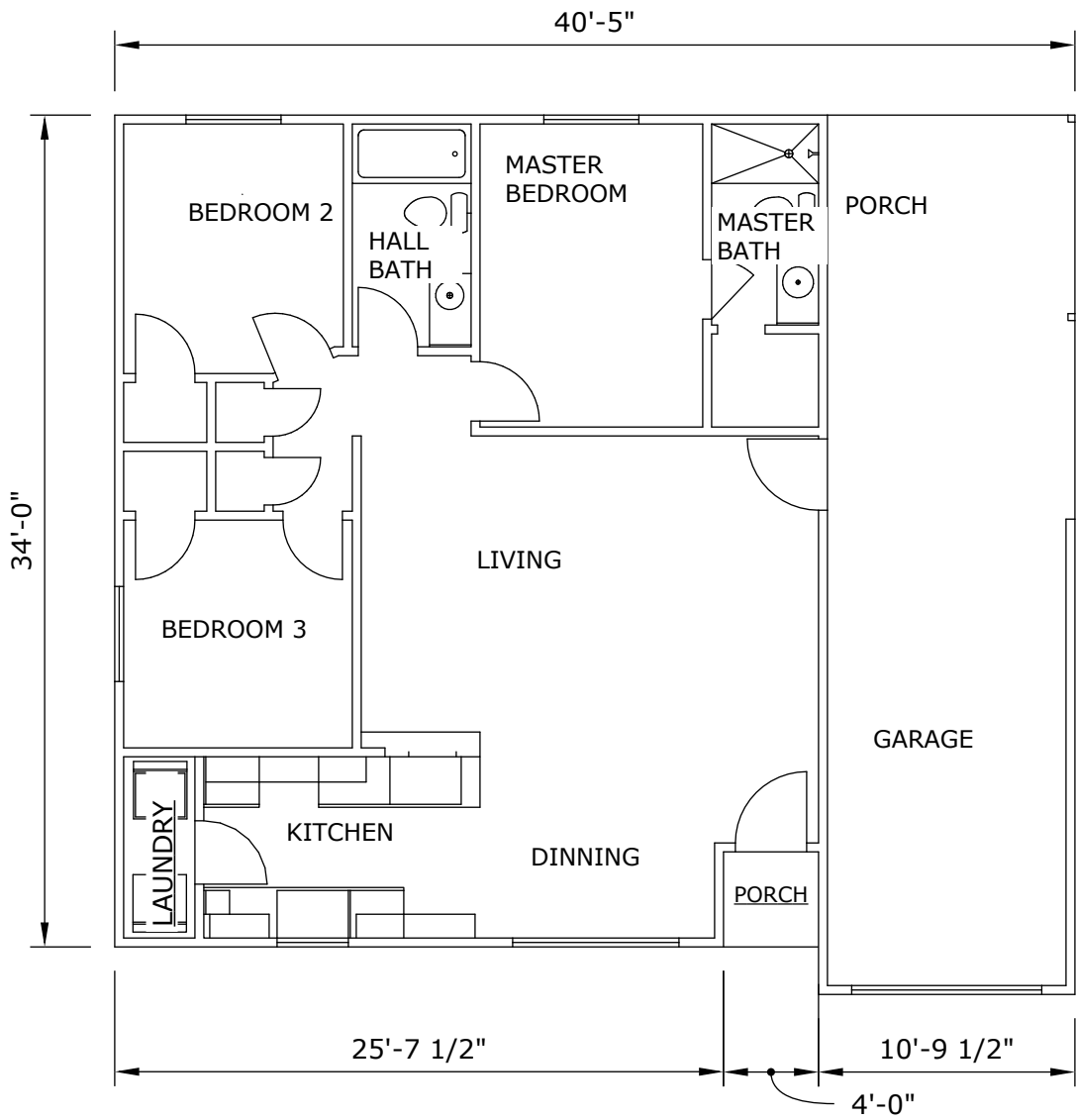
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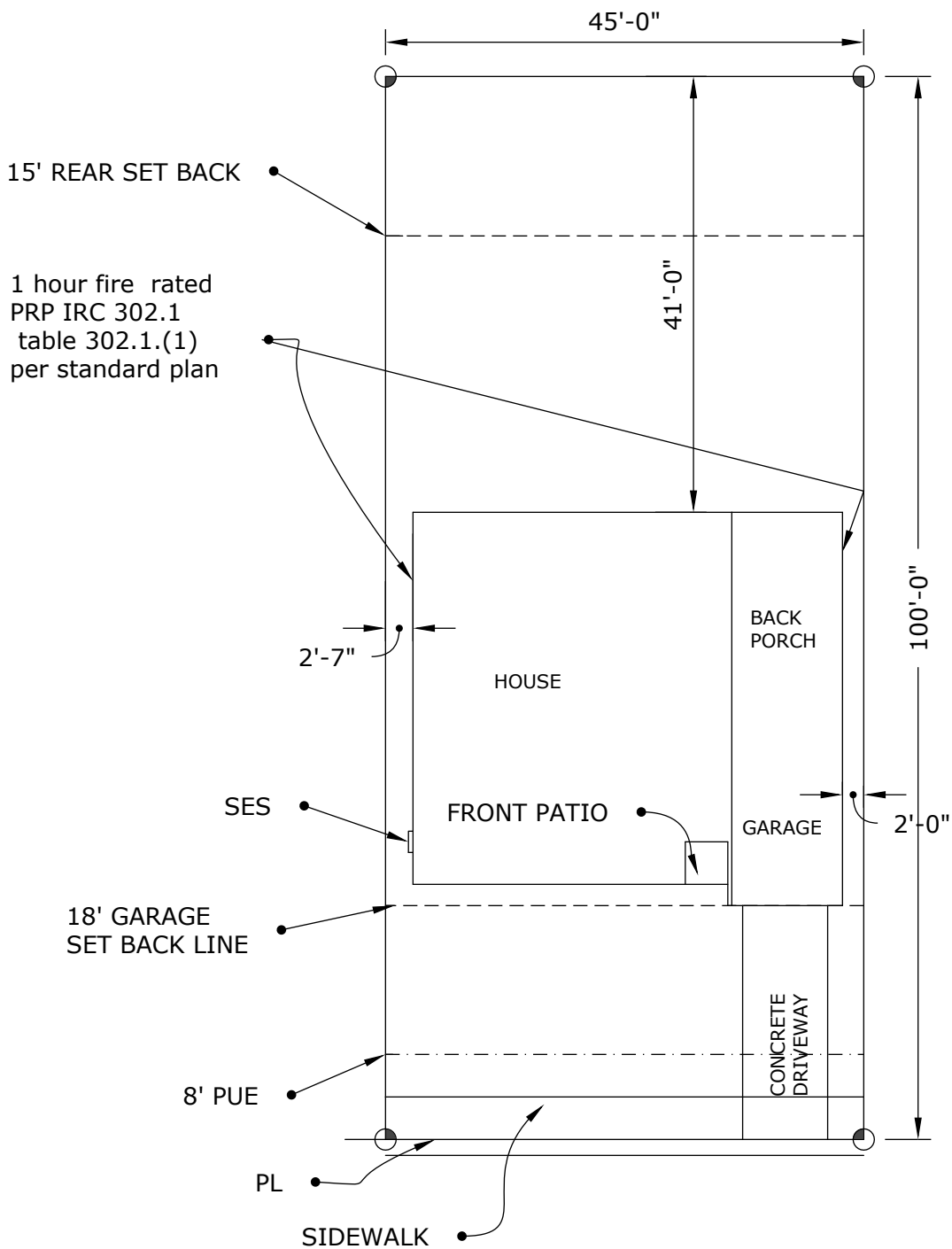


## ELEVATION B FLOOR PLAN 6

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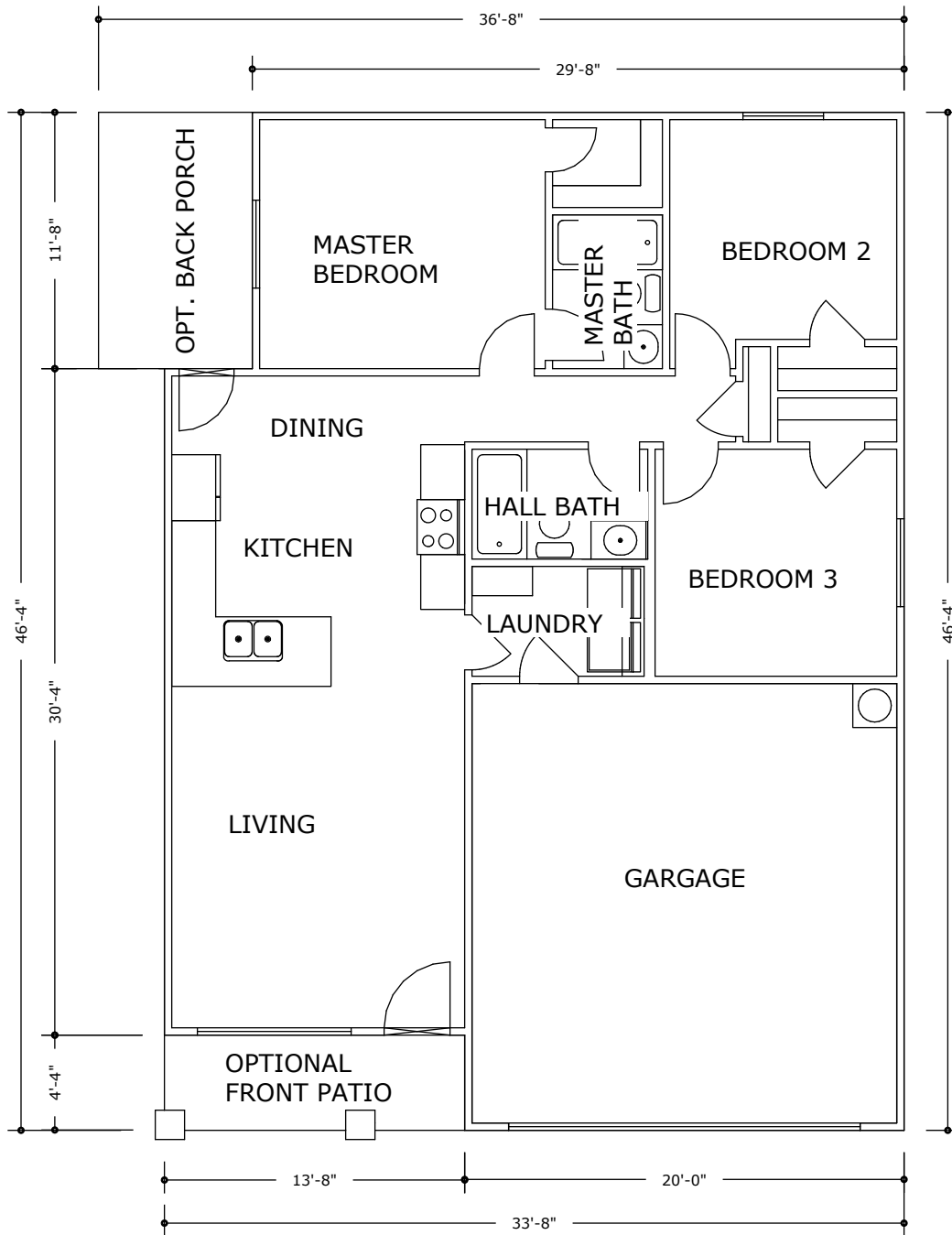


**FLOOR PLAN 6**  
**SCALE:**  
**1/8" = 1'**

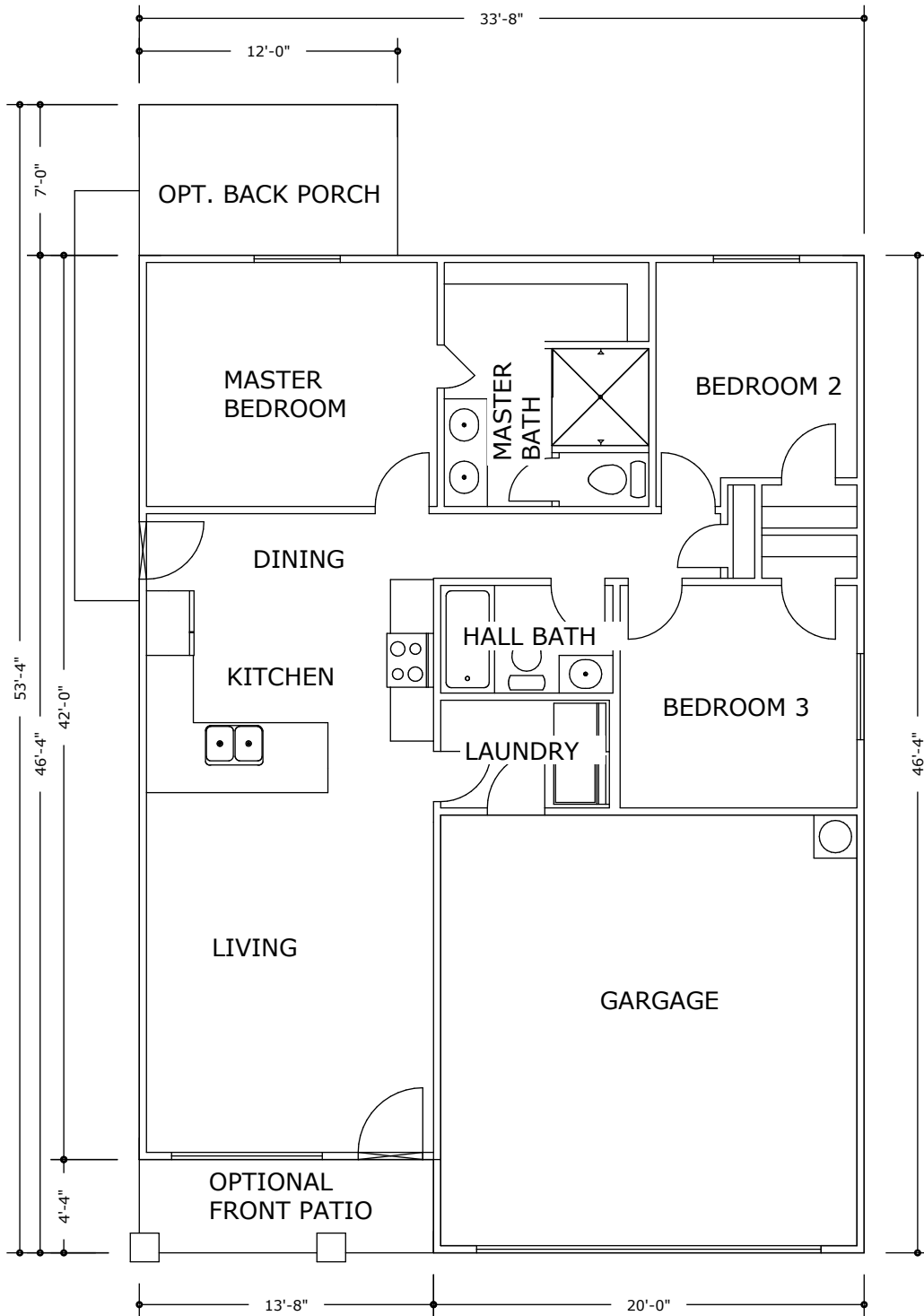


## TYPICAL PLOT PLAN FLOOR PLAN 6

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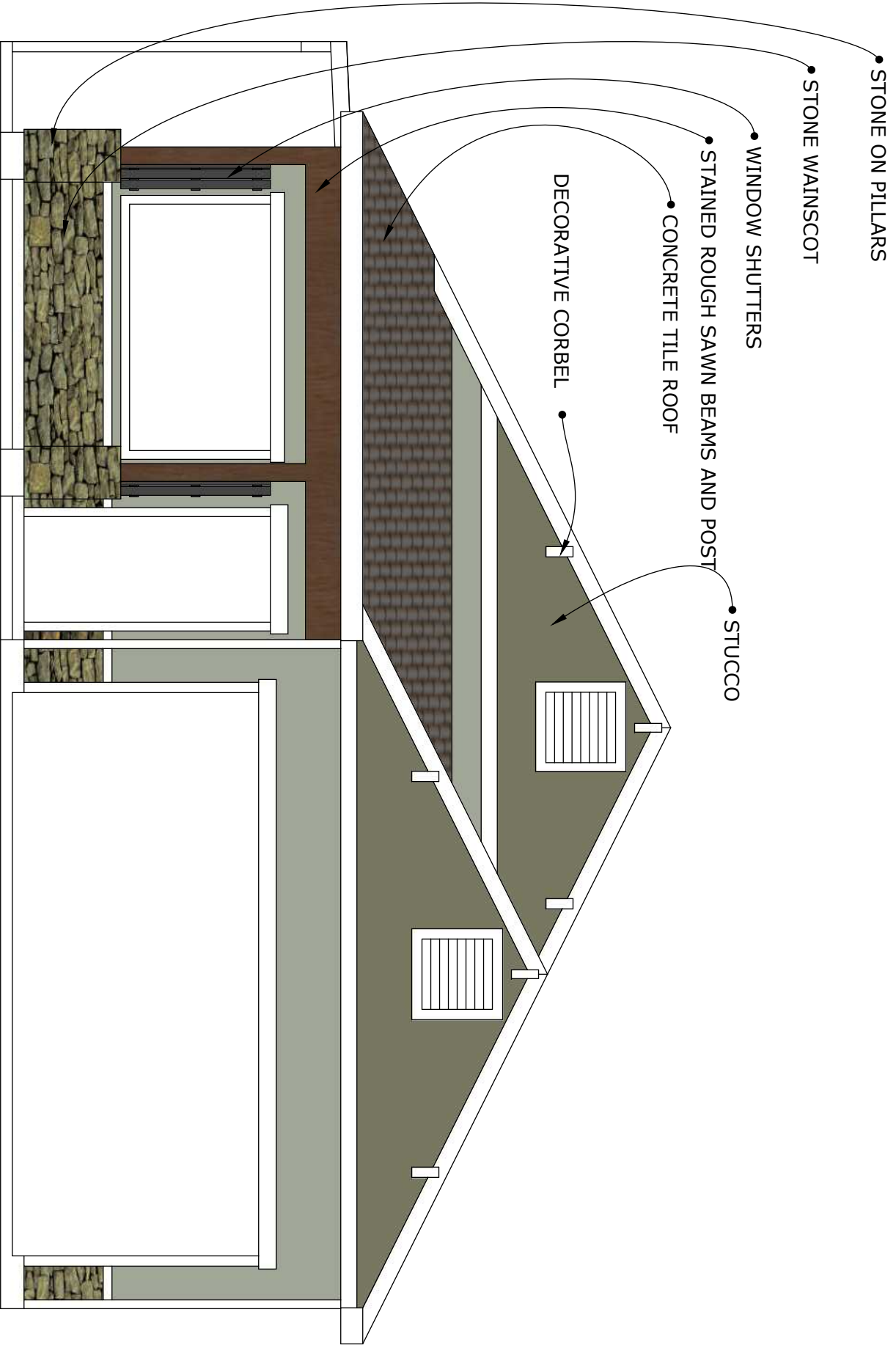
**FLOOR PLAN 2.1**  
**SCALE 1/8" = 1'**



**FLOOR PLAN 2.2**  
**SCALE 1/8" = 1'**

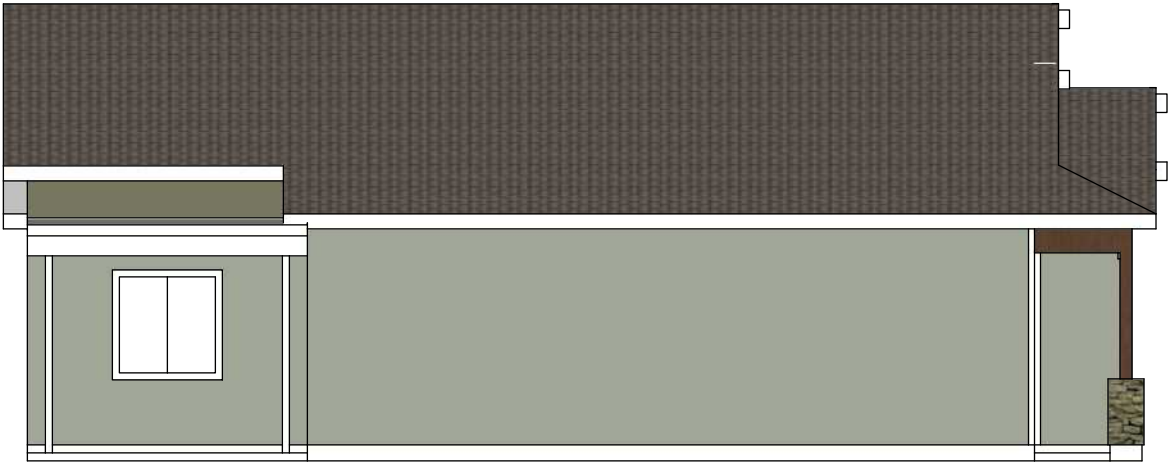




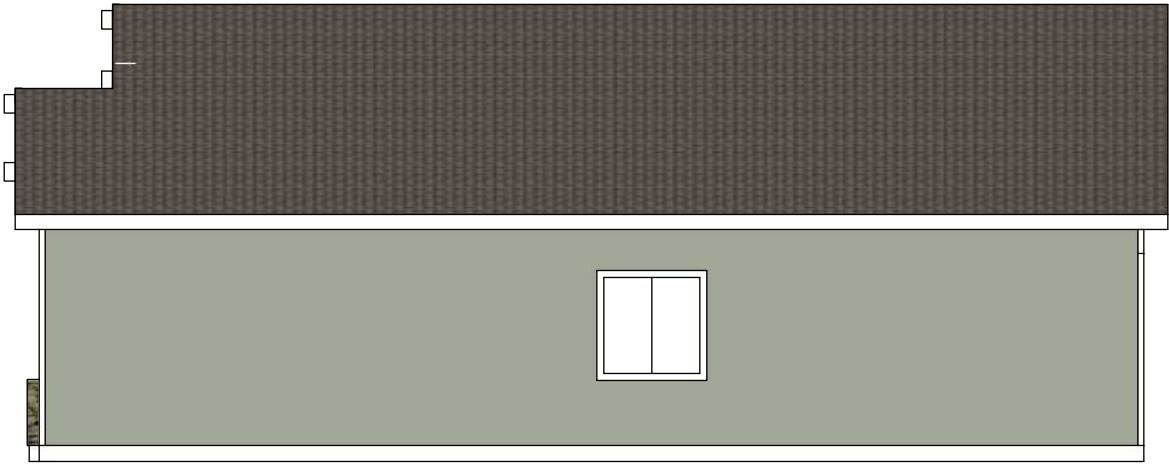


FLOOR PLAN 2.1 ELEVATION B 9' OPTION WITH STUCCO AND TILE ROOF

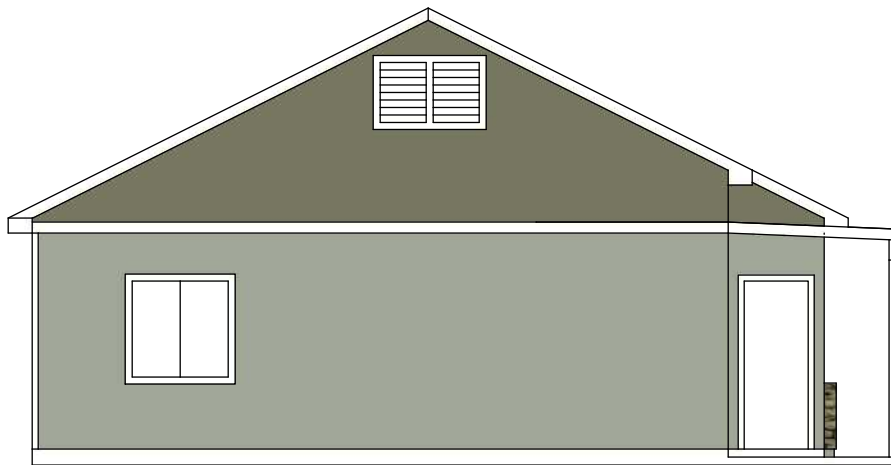
FLOOR PLAN 2.1 ELEVATION B 9' OPTION WITH STUCCO AND TILE ROOF



LEFT SIDE 1/8"=1'



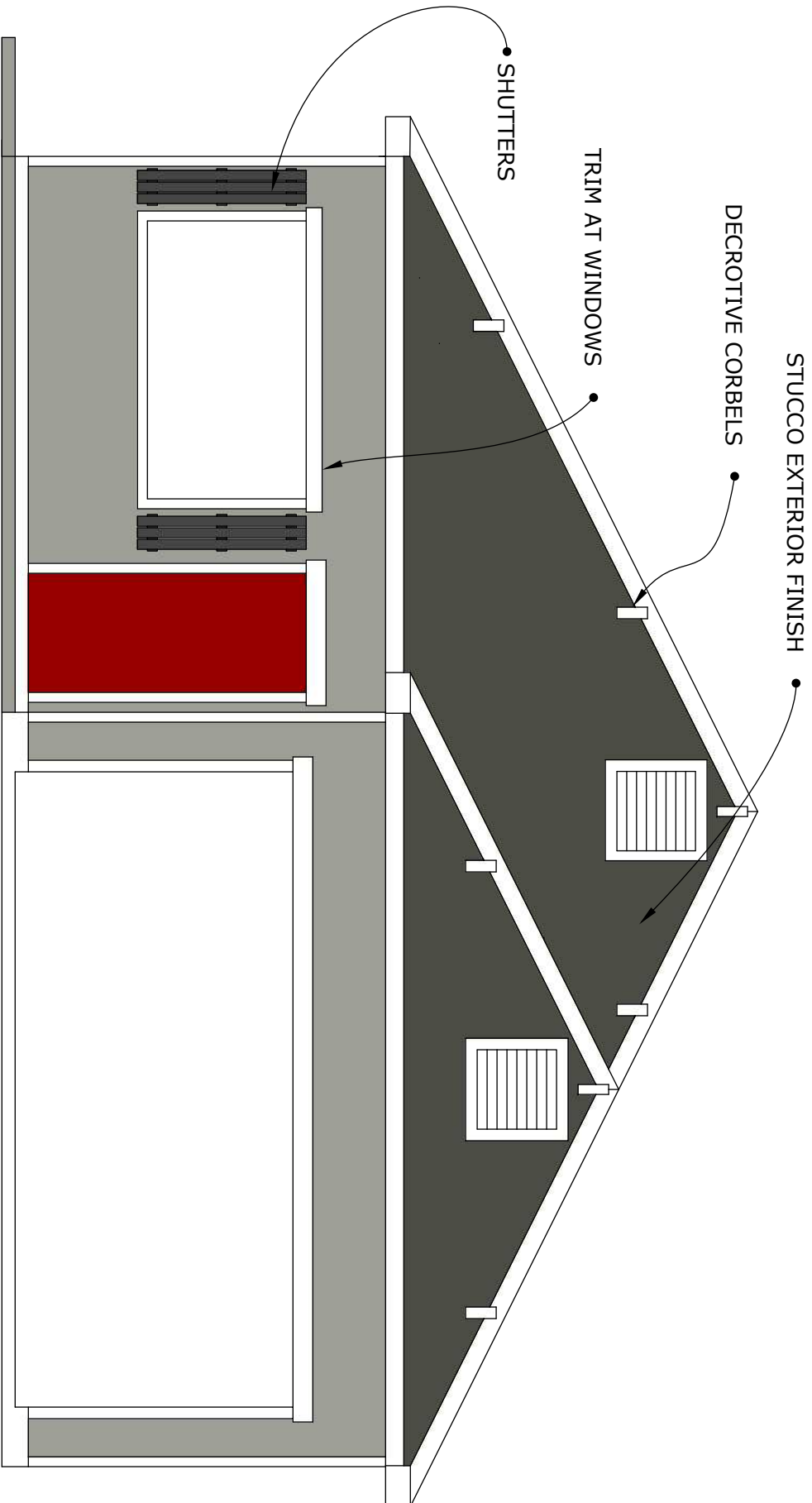
RIGHT SIDE 1/8"=1'



REAR 1/8" = 1'

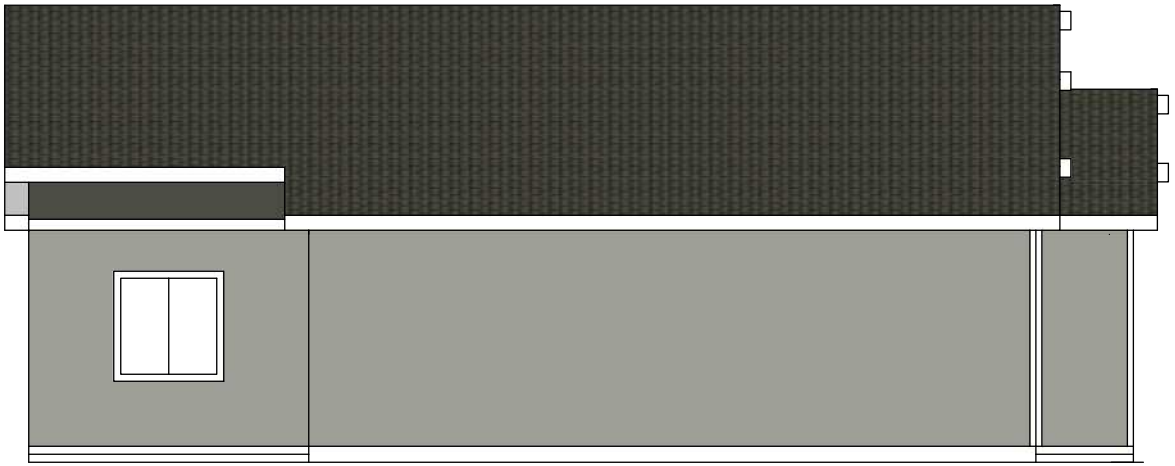


NTS

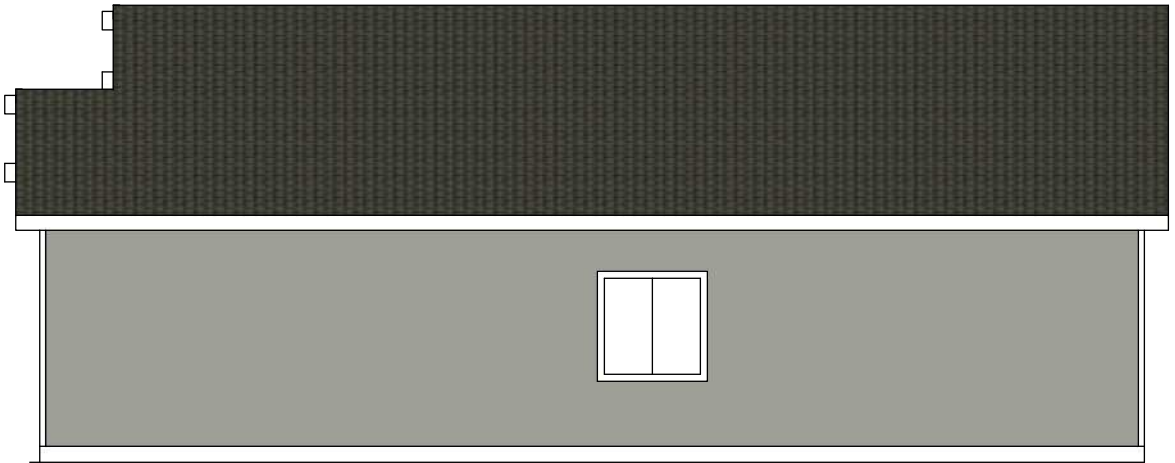


FLOOR PLAN 2.1 9' OPTION WITH STUCCO NO MASTER SHOWER NO PORCHES NO STONE

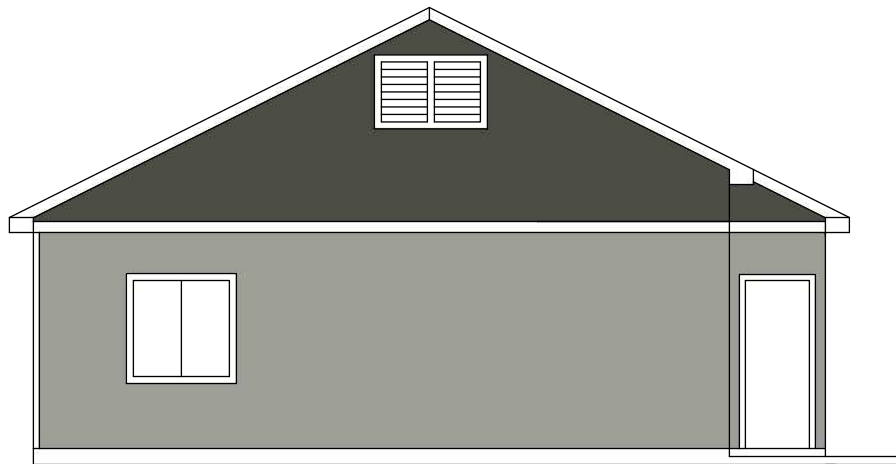
FLOOR PLAN 2.1 9' OPTION WITH STUCCO NO MASTER SHOWER NO PORCHES NO STONE



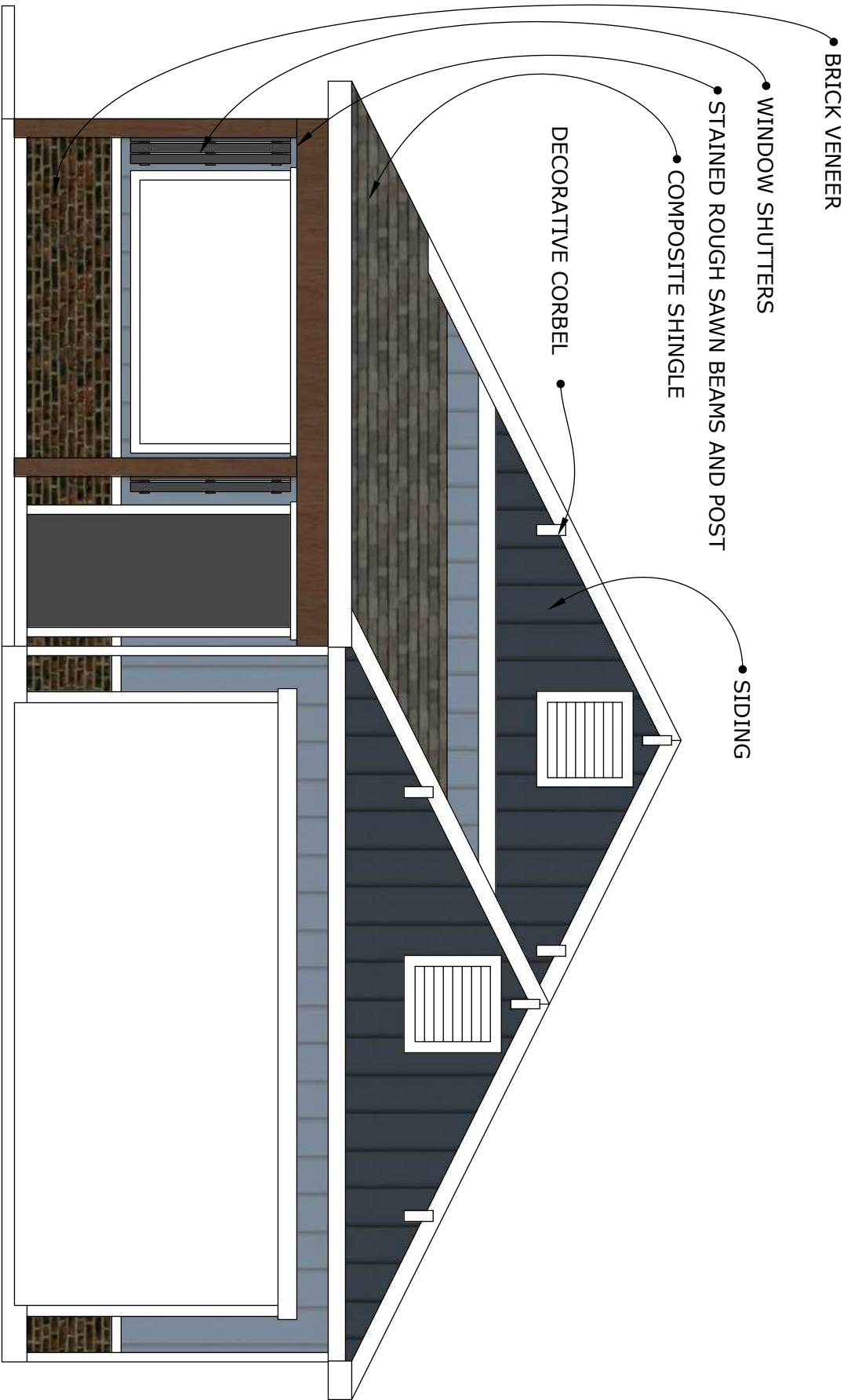
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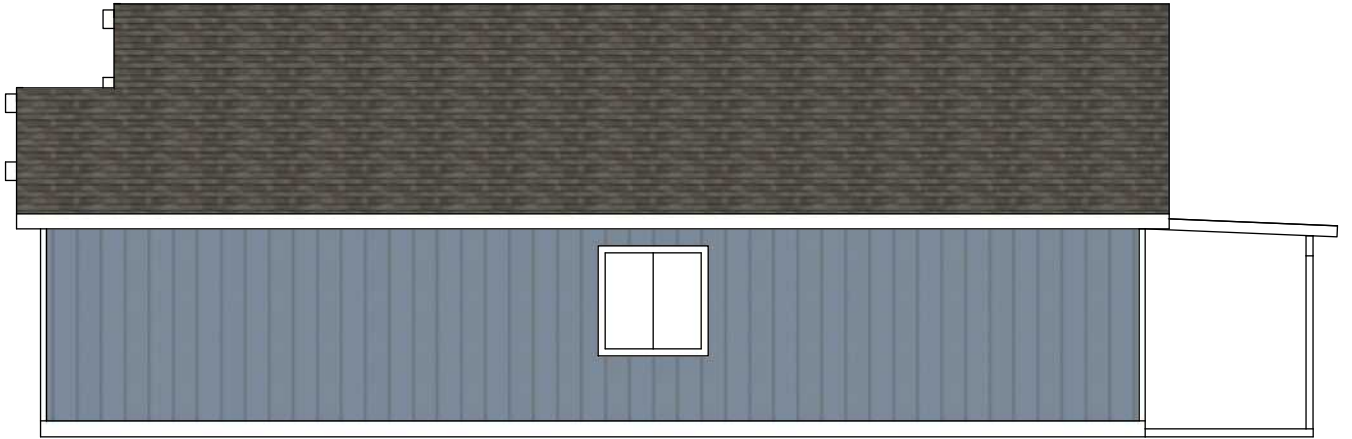


FLOOR PLAN 2.2 8' OPTION A WITH SIDING COMPOSITE SHINGLE AND MASTER SHOWER SUITE

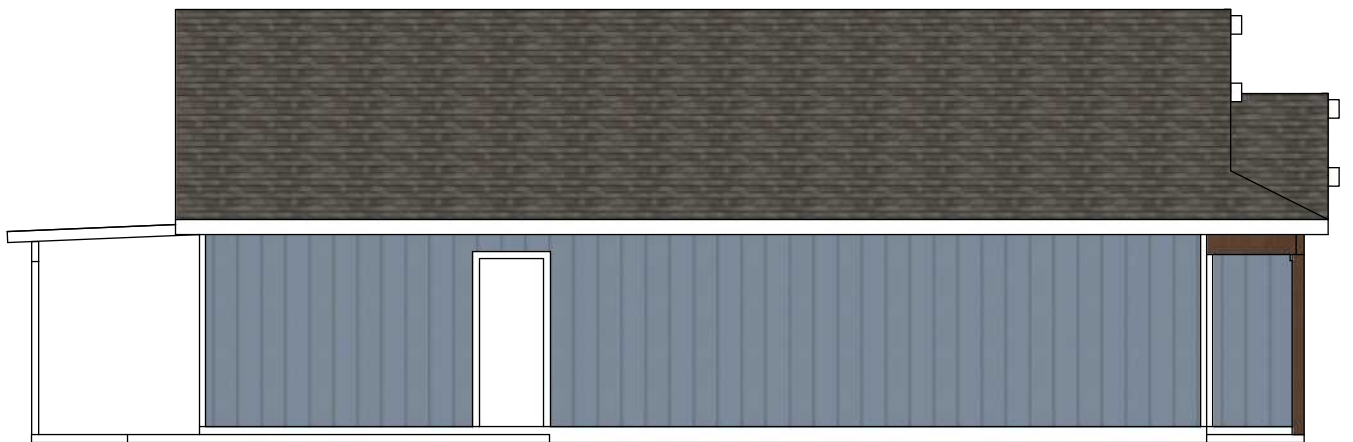
FLOOR PLAN 2.2 8' OPTION A WITH SIDING COMPOSITION SHINGLE AND MASTER SHOWER SUITE



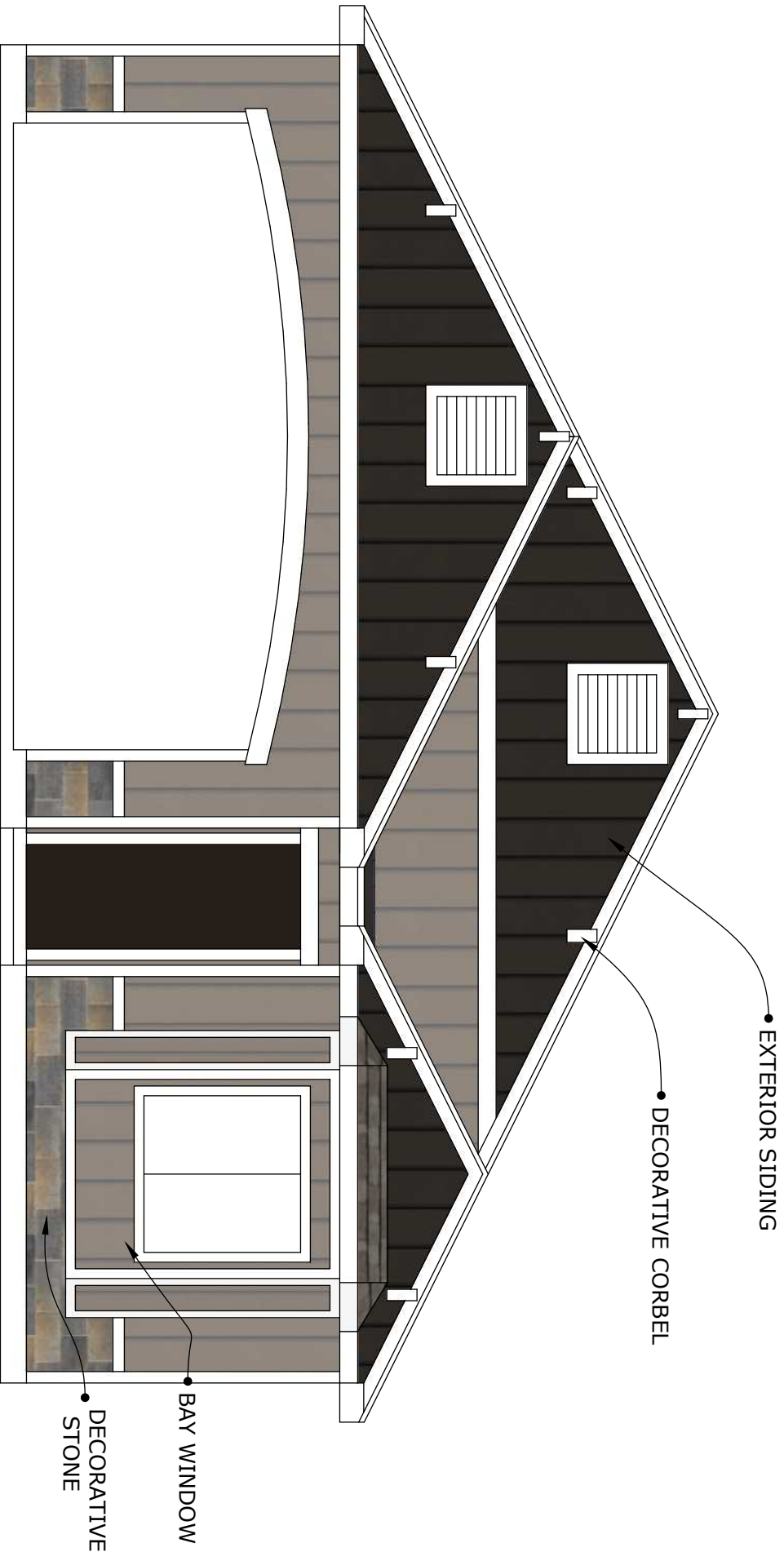
BACK



LEFT SIDE



RIGHT SIDE



• EXTERIOR SIDING

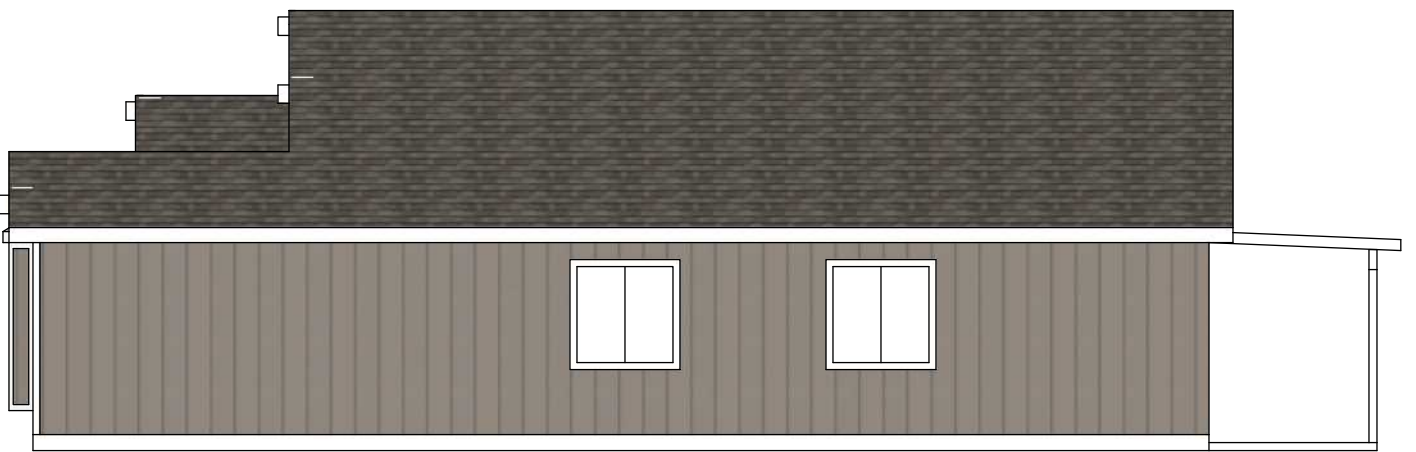
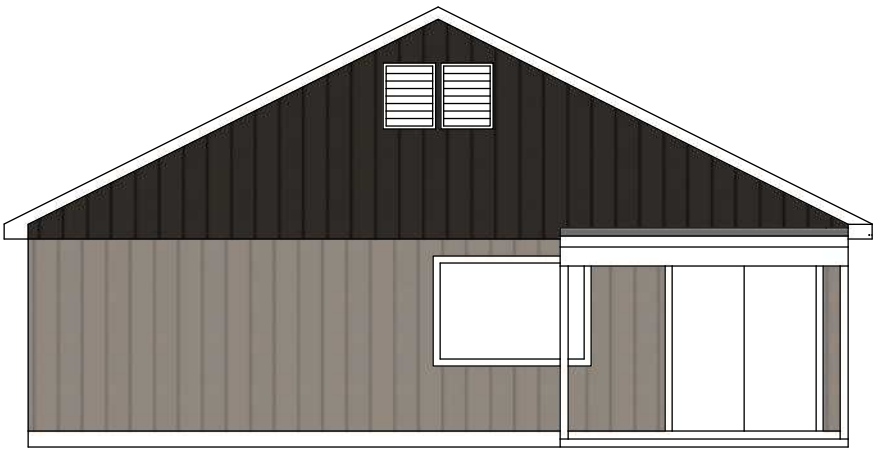
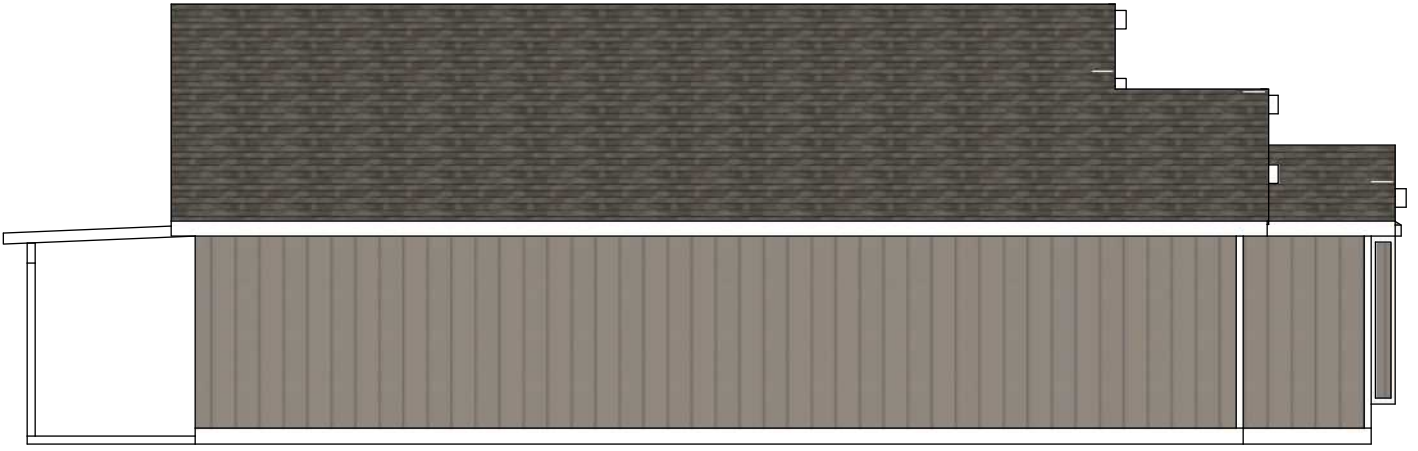
• DECORATIVE CORBEL

• BAY WINDOW

• DECORATIVE  
STONE

ELEVATION A FLOOR PLAN 3.1.1.1

SCALE: 1/8"=1'



ELEVATION A FLOOR PLAN 3.1.1

SCALE: 1/8"=1'



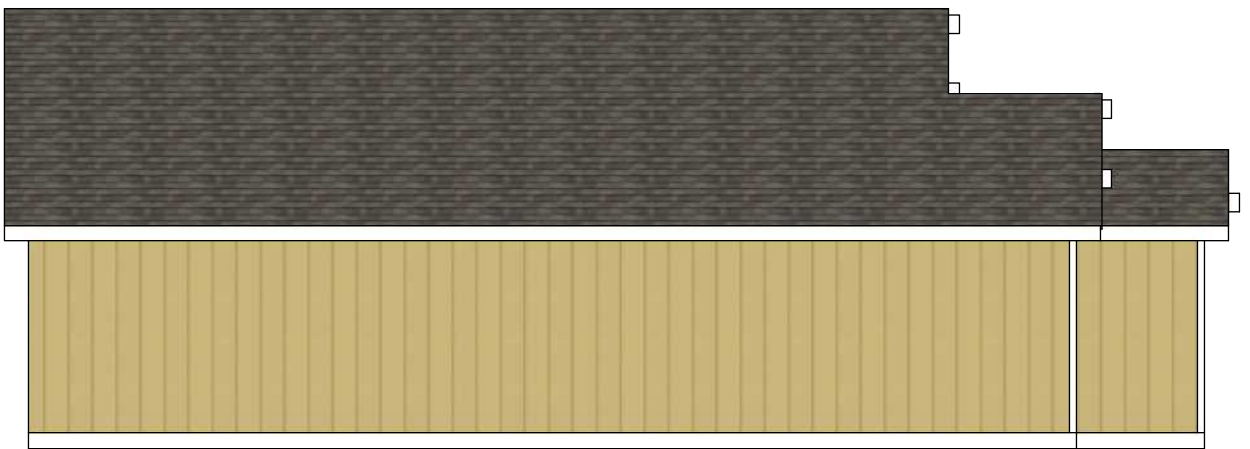




LEFT

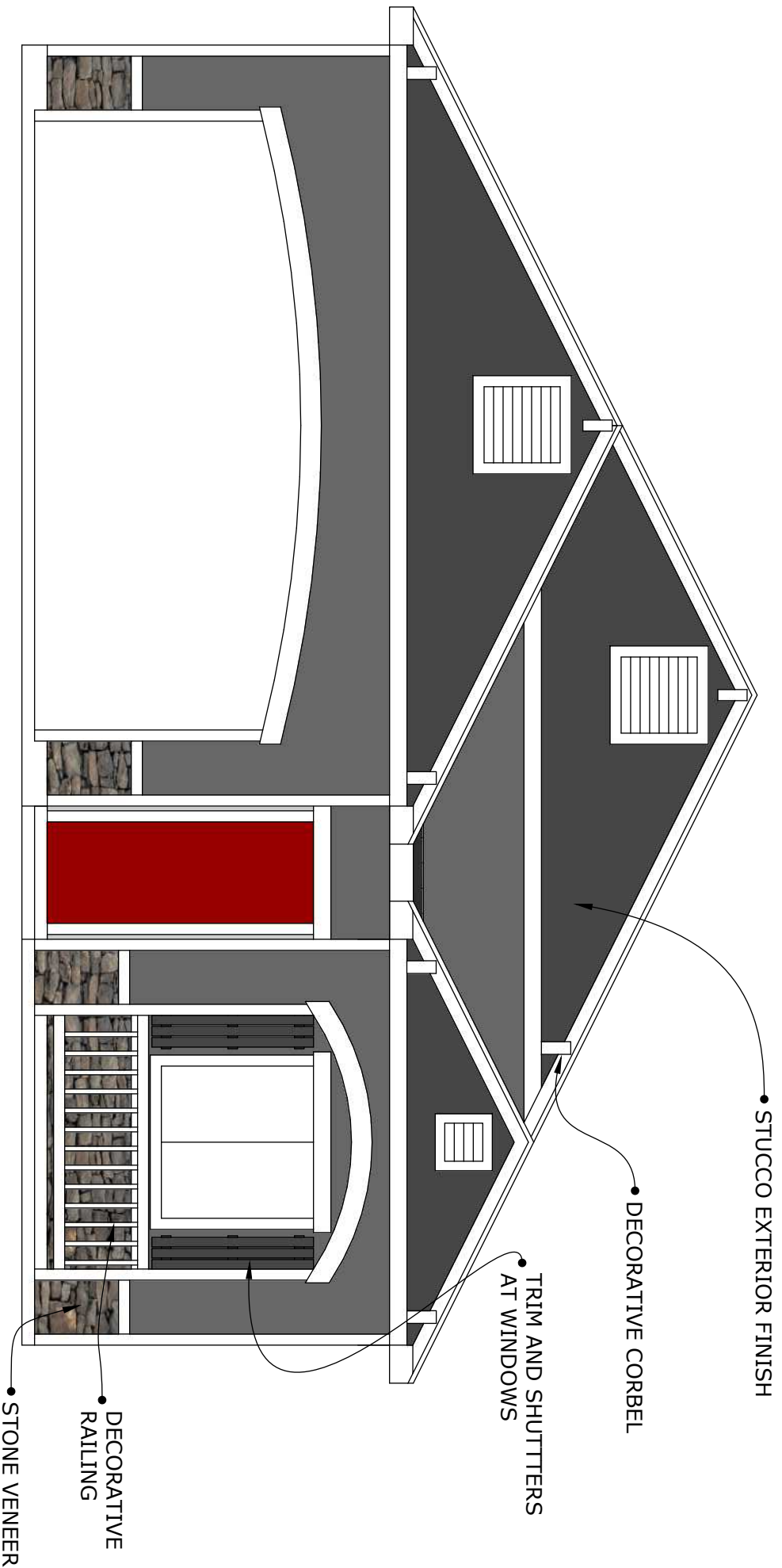


BACK



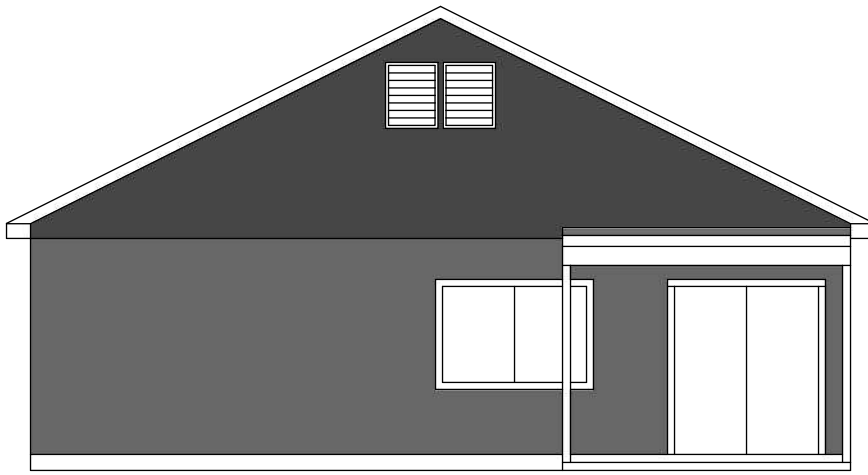
RIGHT

ELEVATION A FLOOR PLAN 3.1  
SCALE: 1/8"=1'

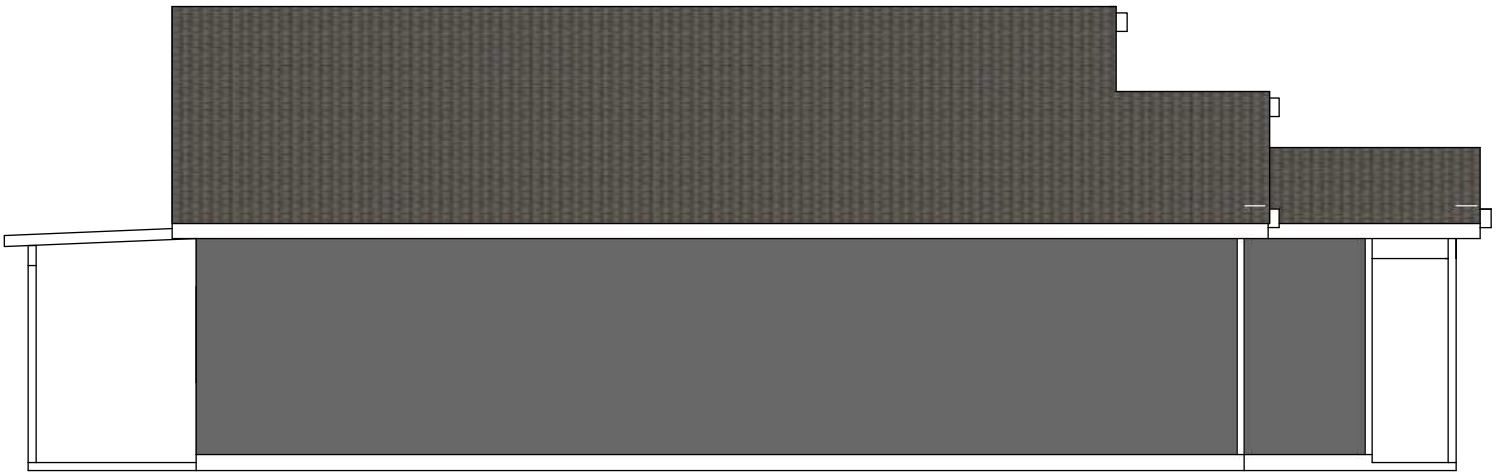


ELEVATION B FLOOR PLAN 3.2

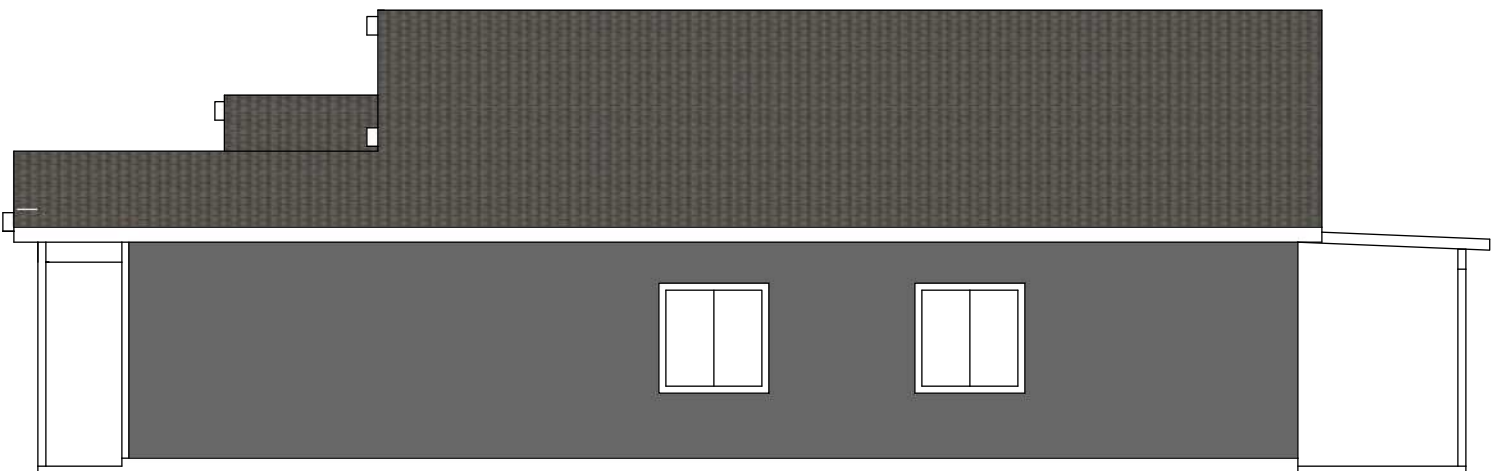
SCALE: 1/8"=1'



BACK



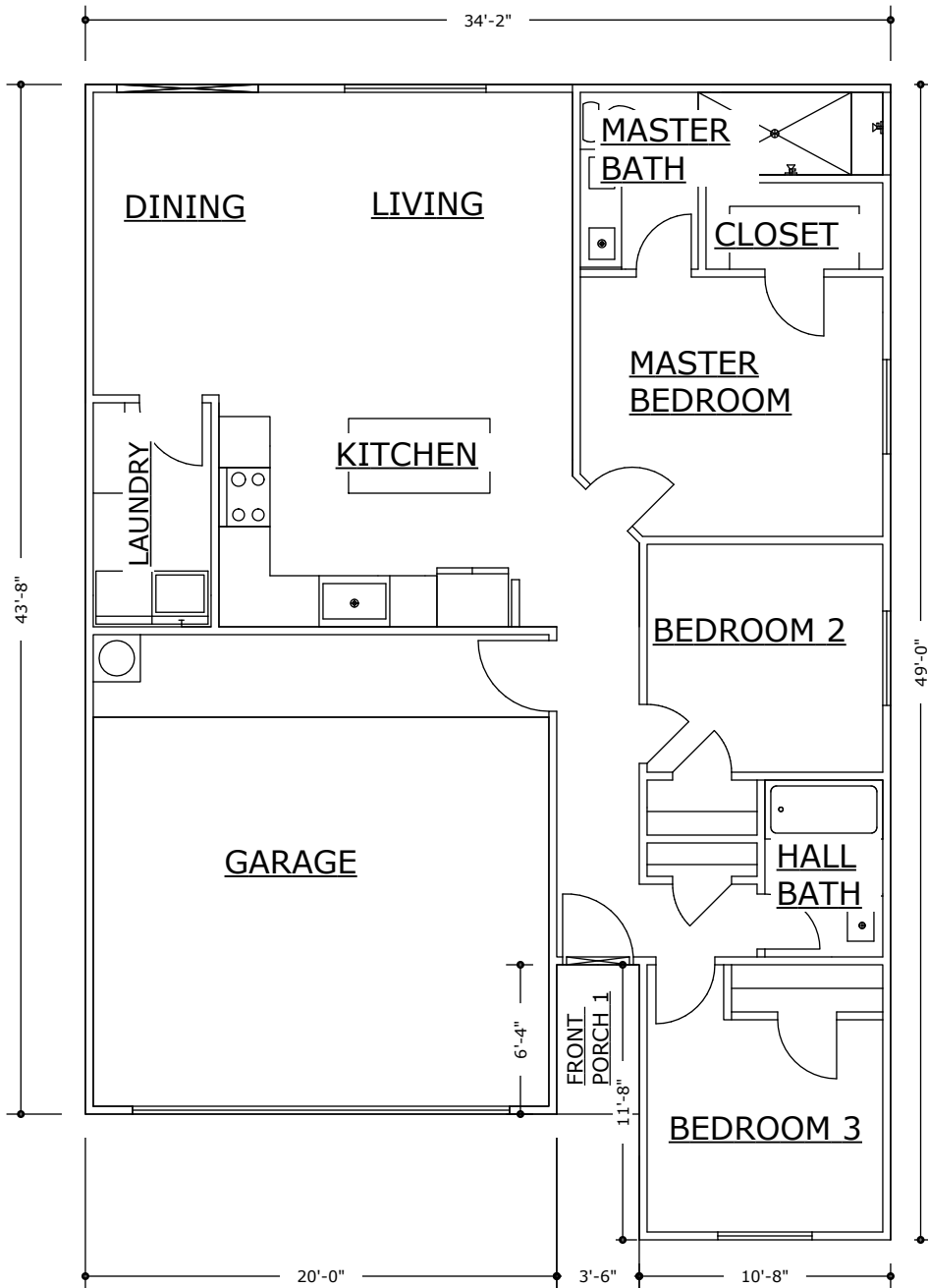
LEFT SIDE



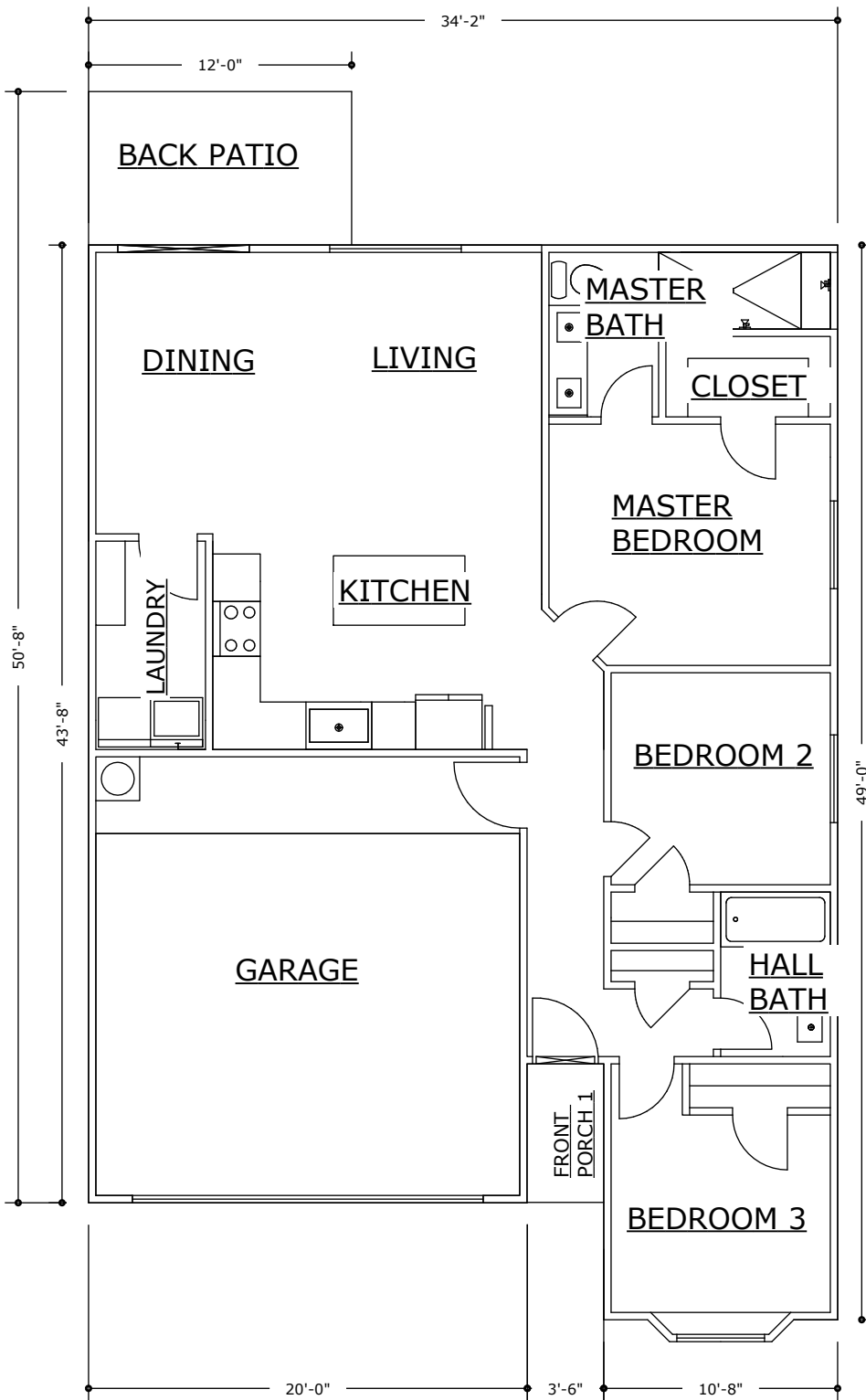
RIGHT SIDE

ELEVATION FLOOR PLAN 3.1

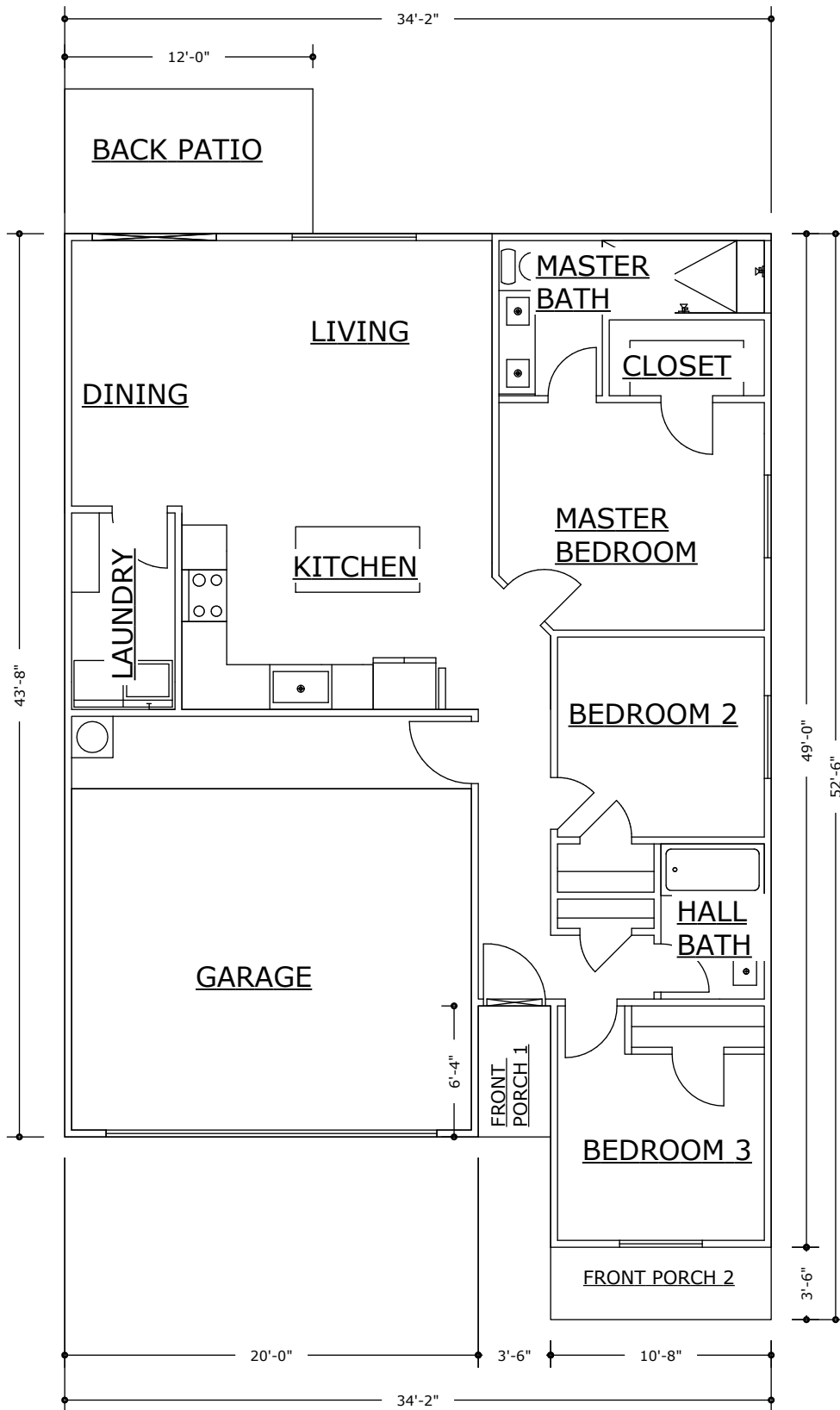
SCALE: 1/8"=1'



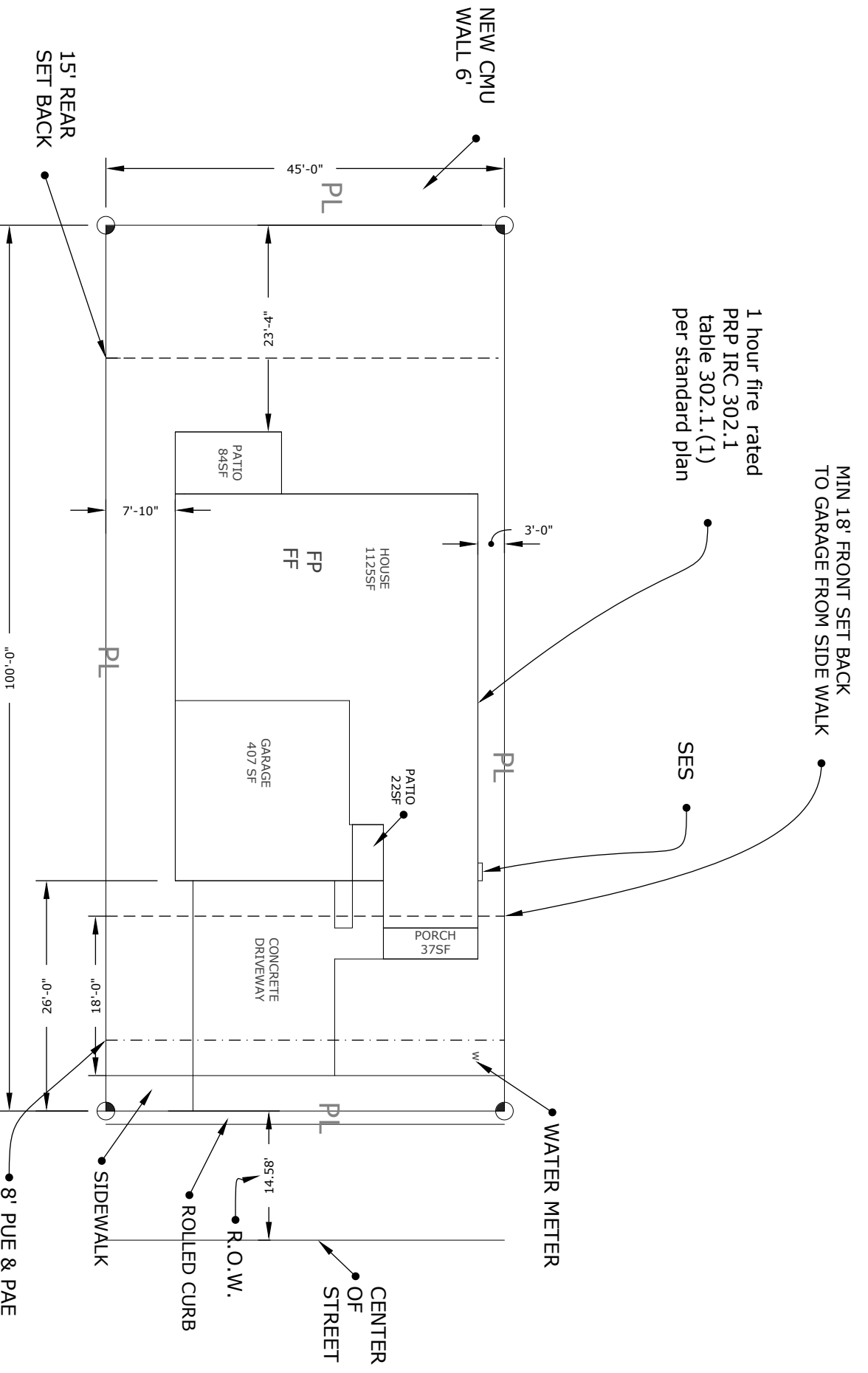
FLOOR PLAN 3.1  
 SCALE: 1/8"=1'



FLOOR PLAN 3.1.1 BAY WINDOW  
 SCALE: 1/8"=1'



**FLOOR PLAN 3.2**  
**SCALE: 1/8" = 1'**

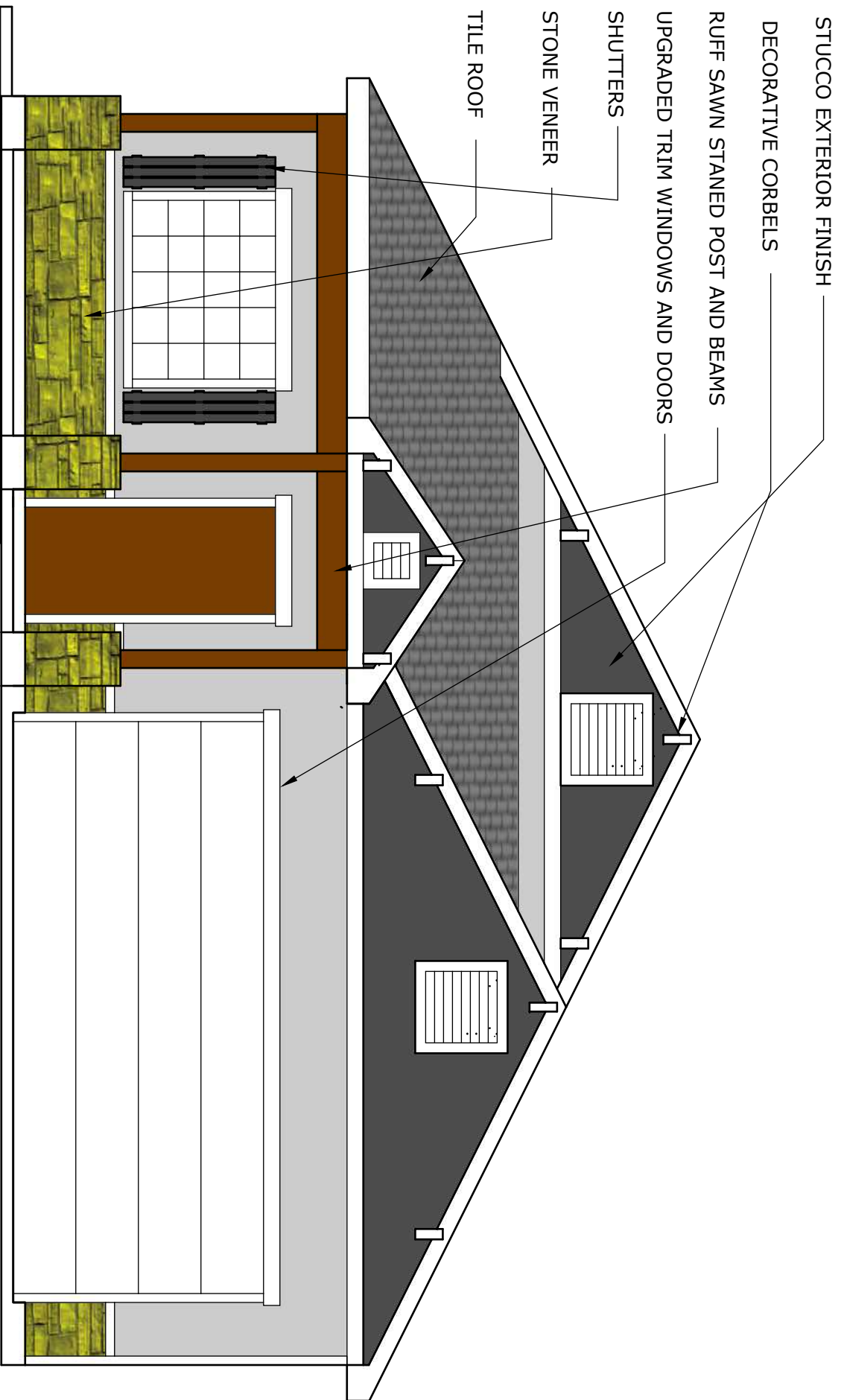


1 hour fire rated  
PRP IRC 302.1  
table 302.1.(1)  
per standard plan

MIN 18' FRONT SET BACK  
TO GARAGE FROM SIDE WALK

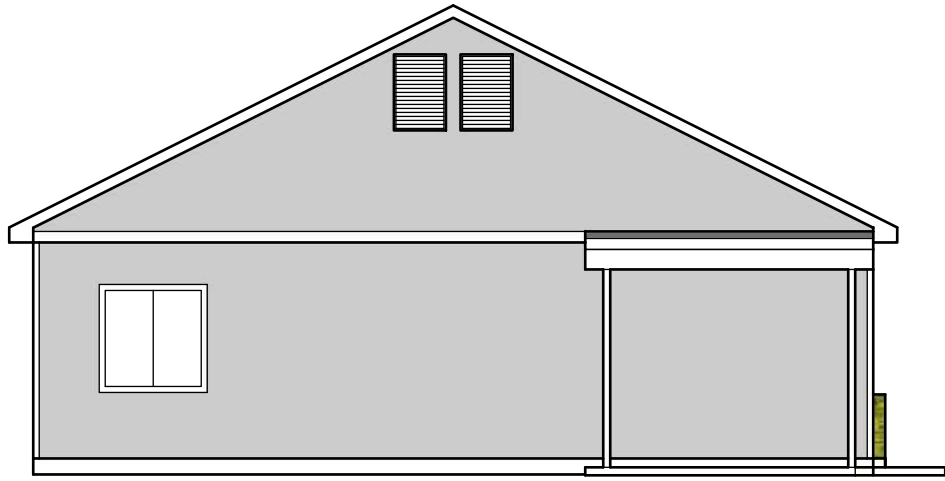
TYPICAL PLOT PLAN FLOOR PLAN 3  
SCALE 1/16"=1'



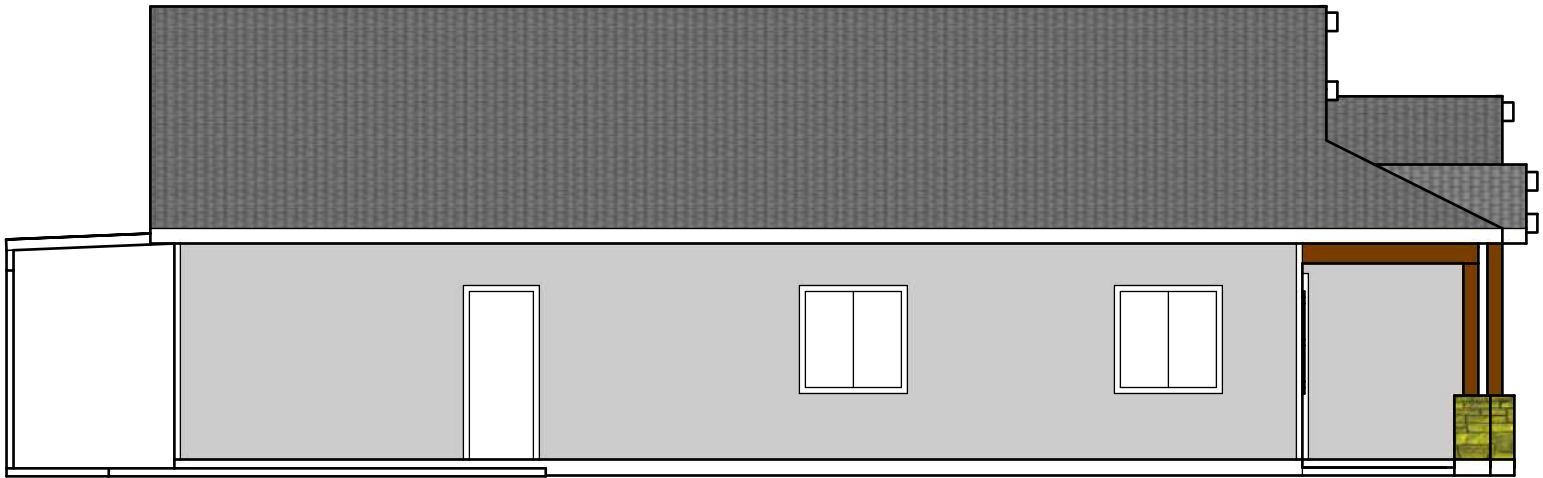


ELEVATION B 9' PLATE FLOOR PLAN 4.1

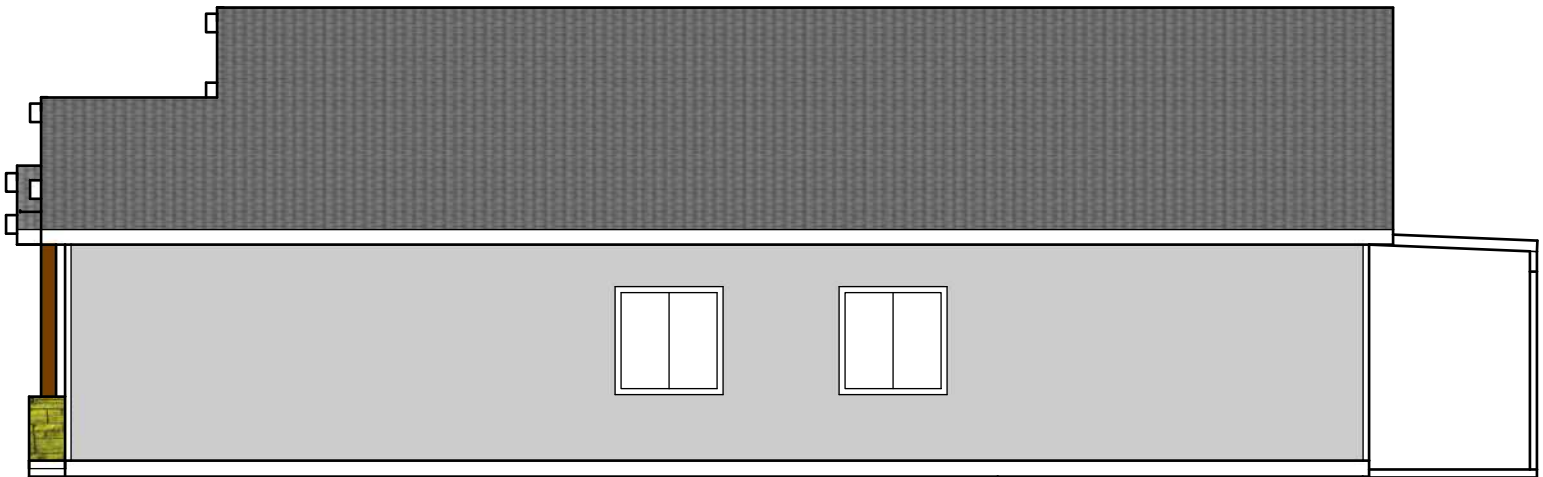
SCALE:  
1/8" = 1'



BACK



LEFT



RIGHT

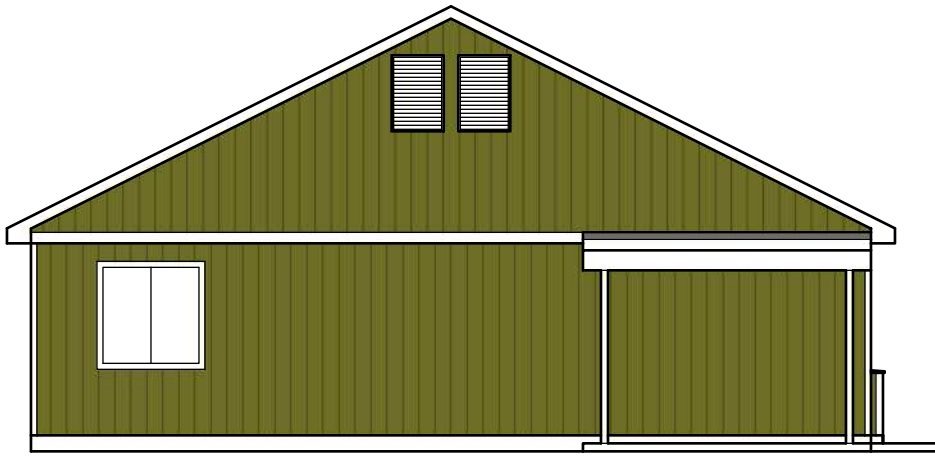
ELEVATION B 9' PLATE FLOOR PLAN 4.1

SCALE:  
 $\frac{1}{8}'' = 1'$

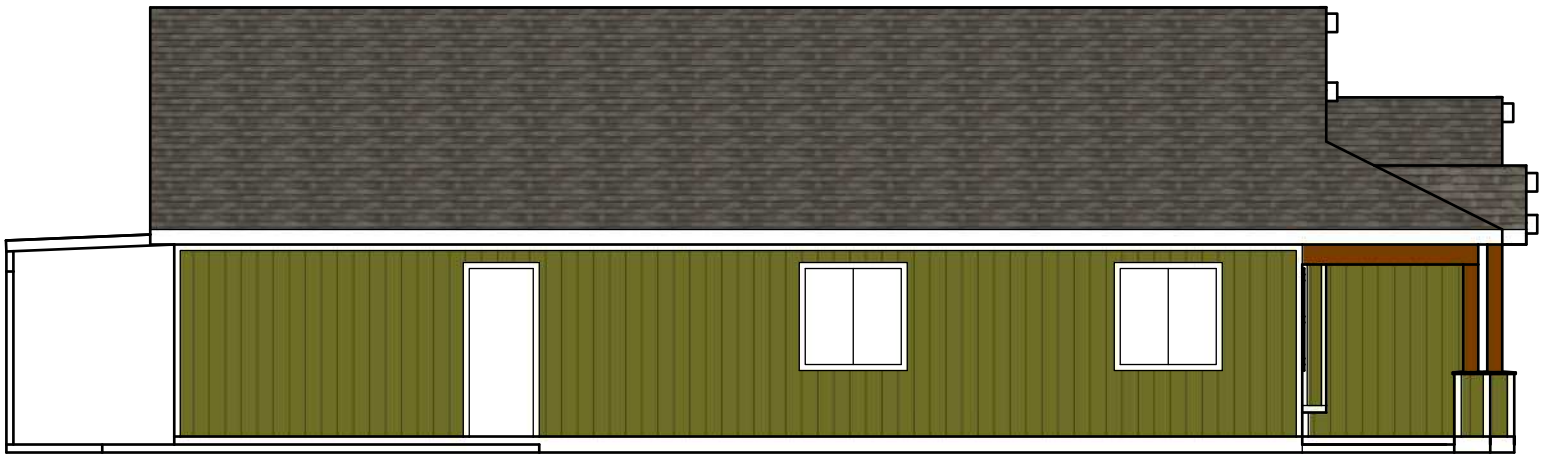


ELEVATION A 8' PLATE FLOOR PLAN 4.1.1

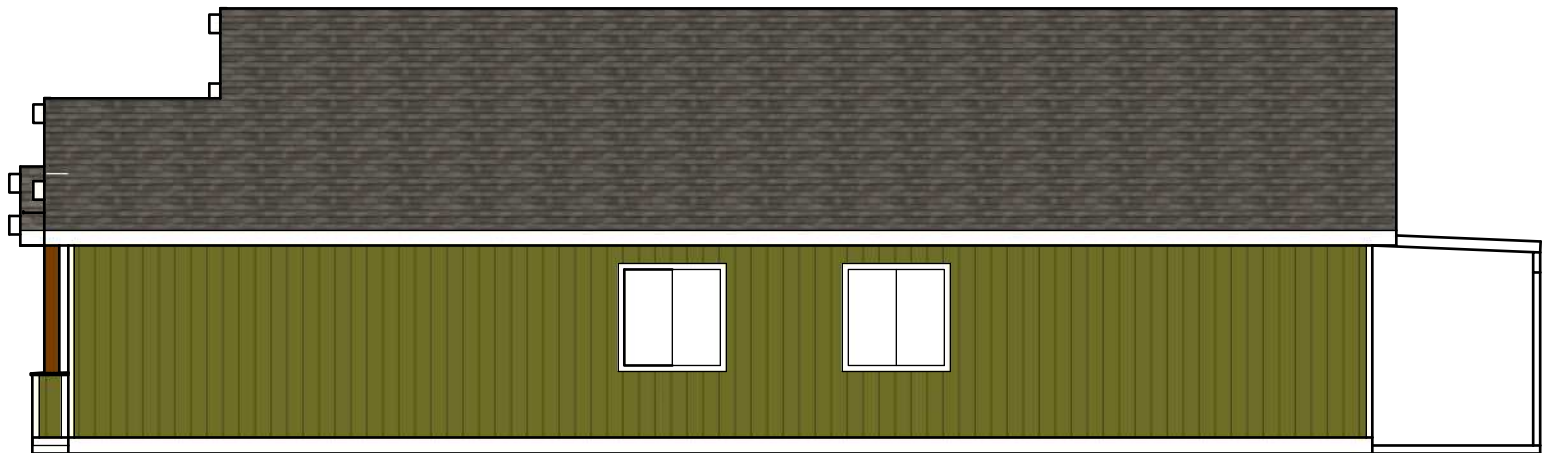
SCALE:  
1/4" = 1'



BACK



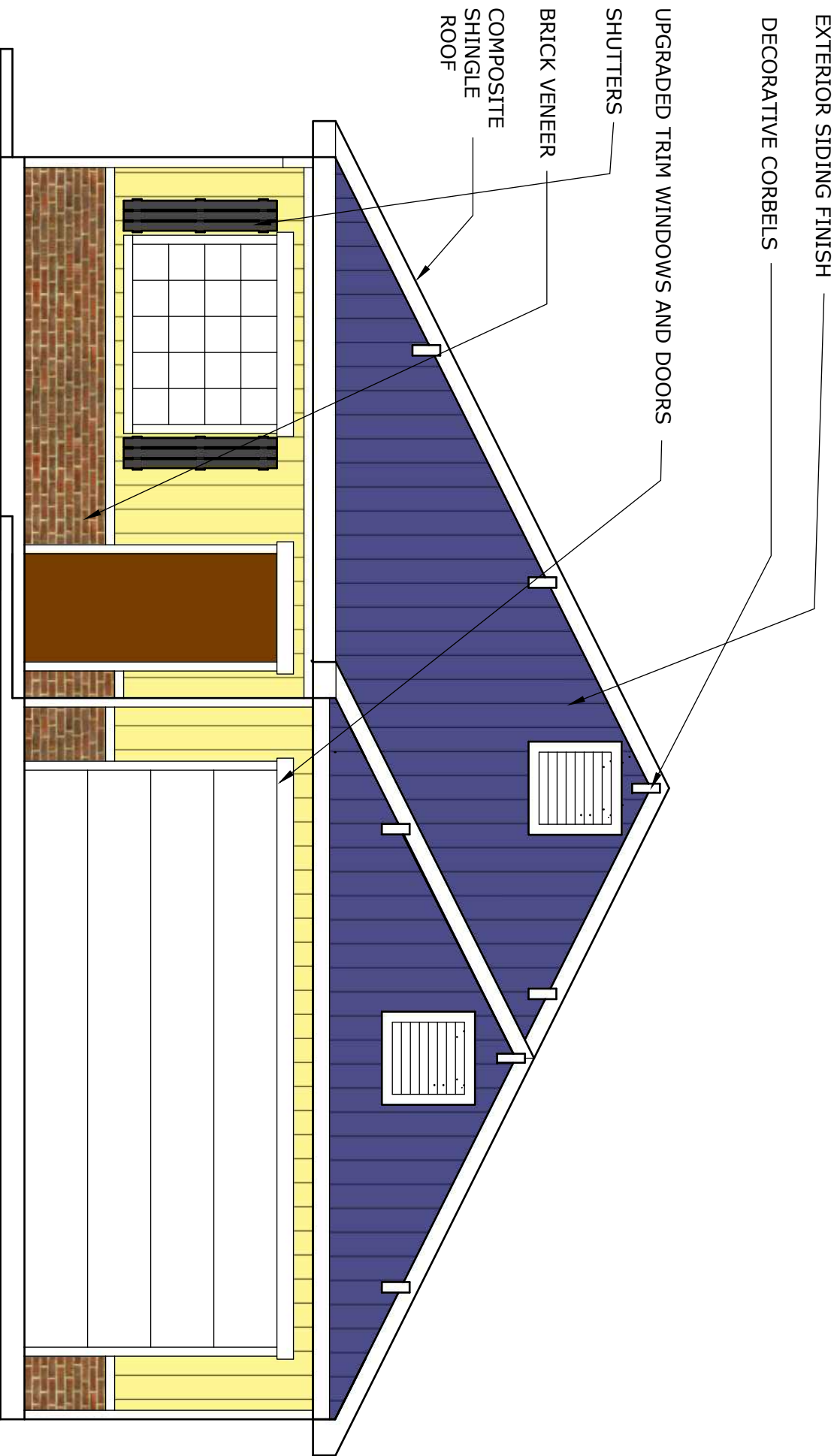
LEFT



RIGHT

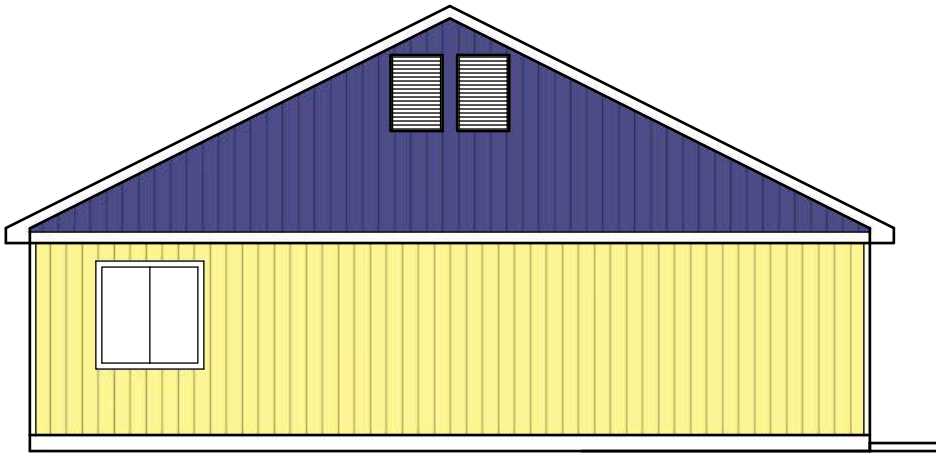
# ELEVATION FLOOR PLAN 4.1.1

SCALE:  
 $\frac{1}{8}'' = 1'$

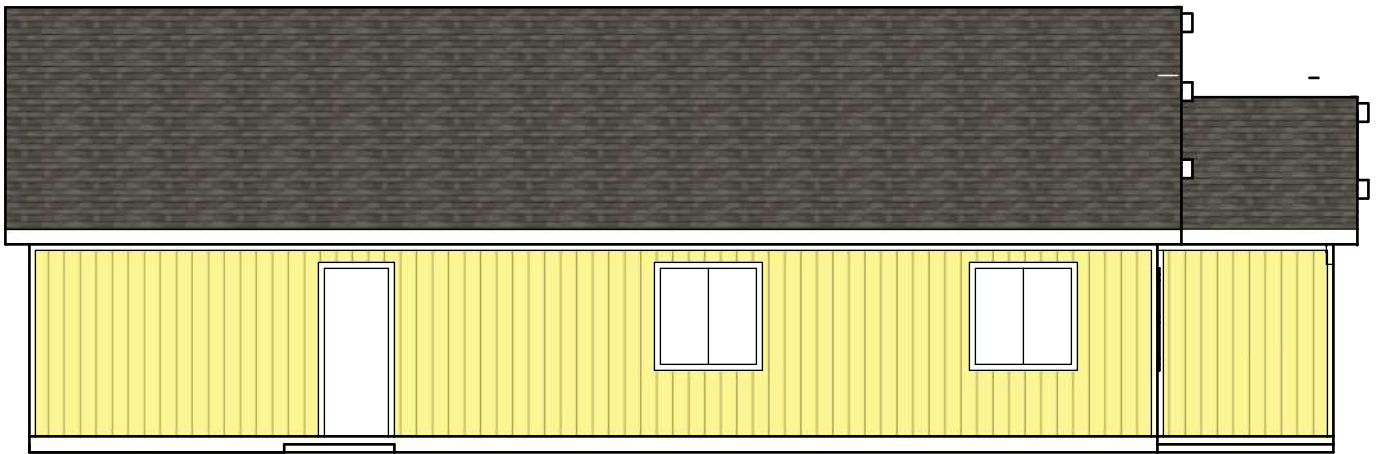


ELEVATION B 8' PLATE FLOOR PLAN 4.2

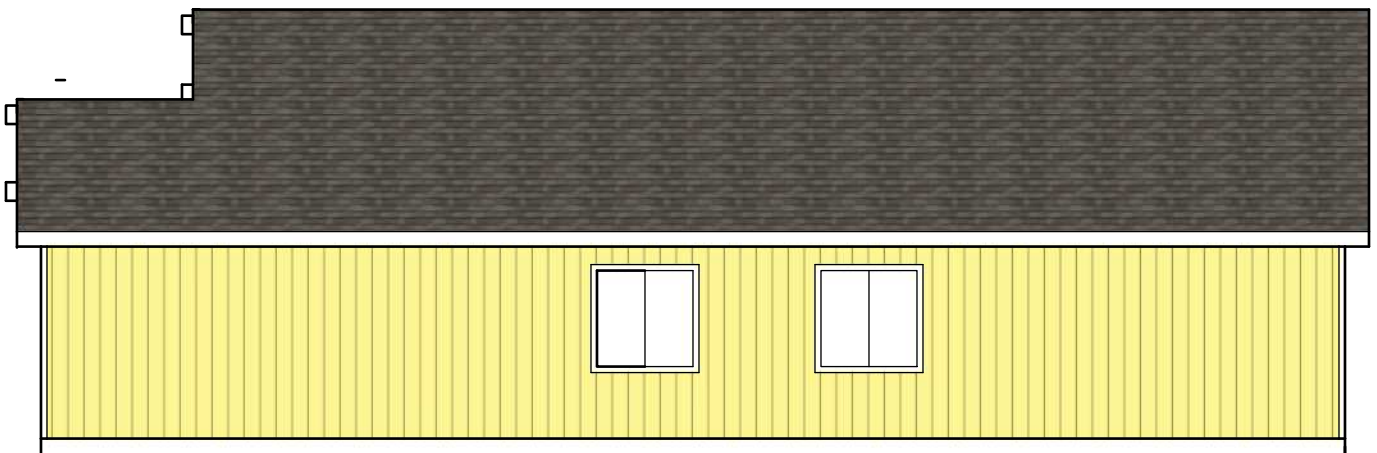
SCALE: 1/4" = 1'



BACK



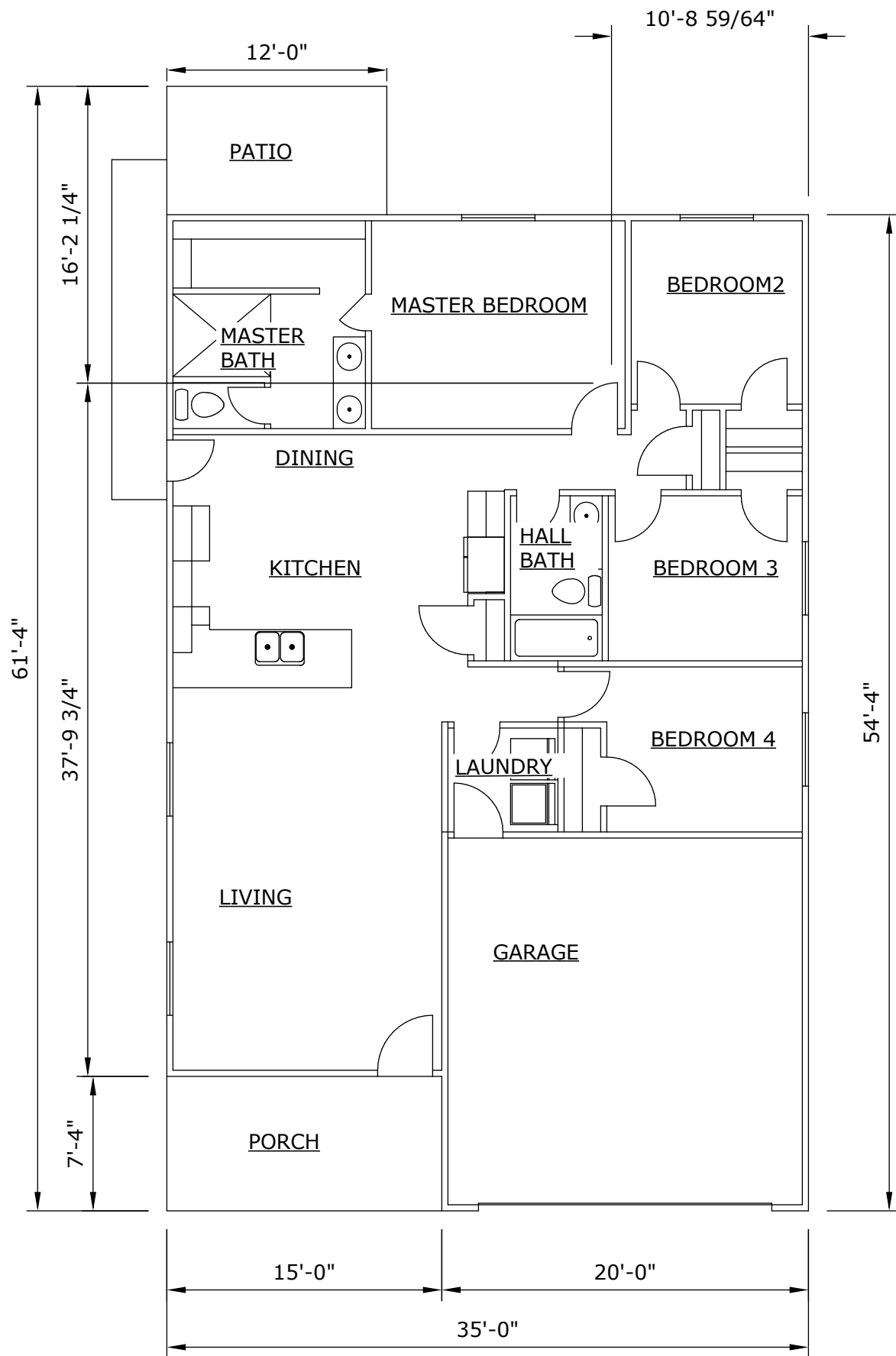
LEFT



RIGHT

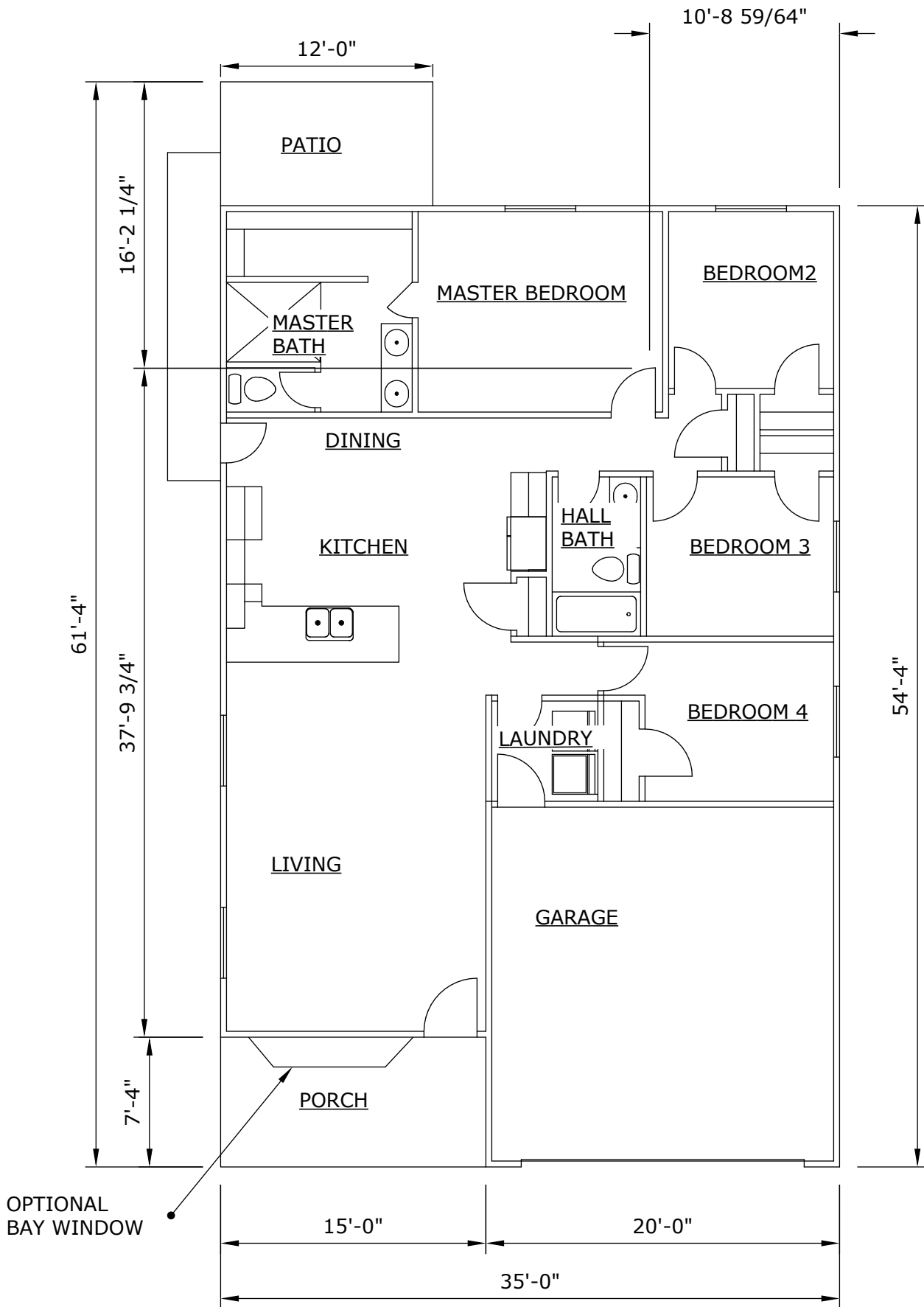
## ELEVATION FLOOR PLAN 4.2

SCALE:  
 $\frac{1}{8}'' = 1'$



# FLOOR PLAN 4.1

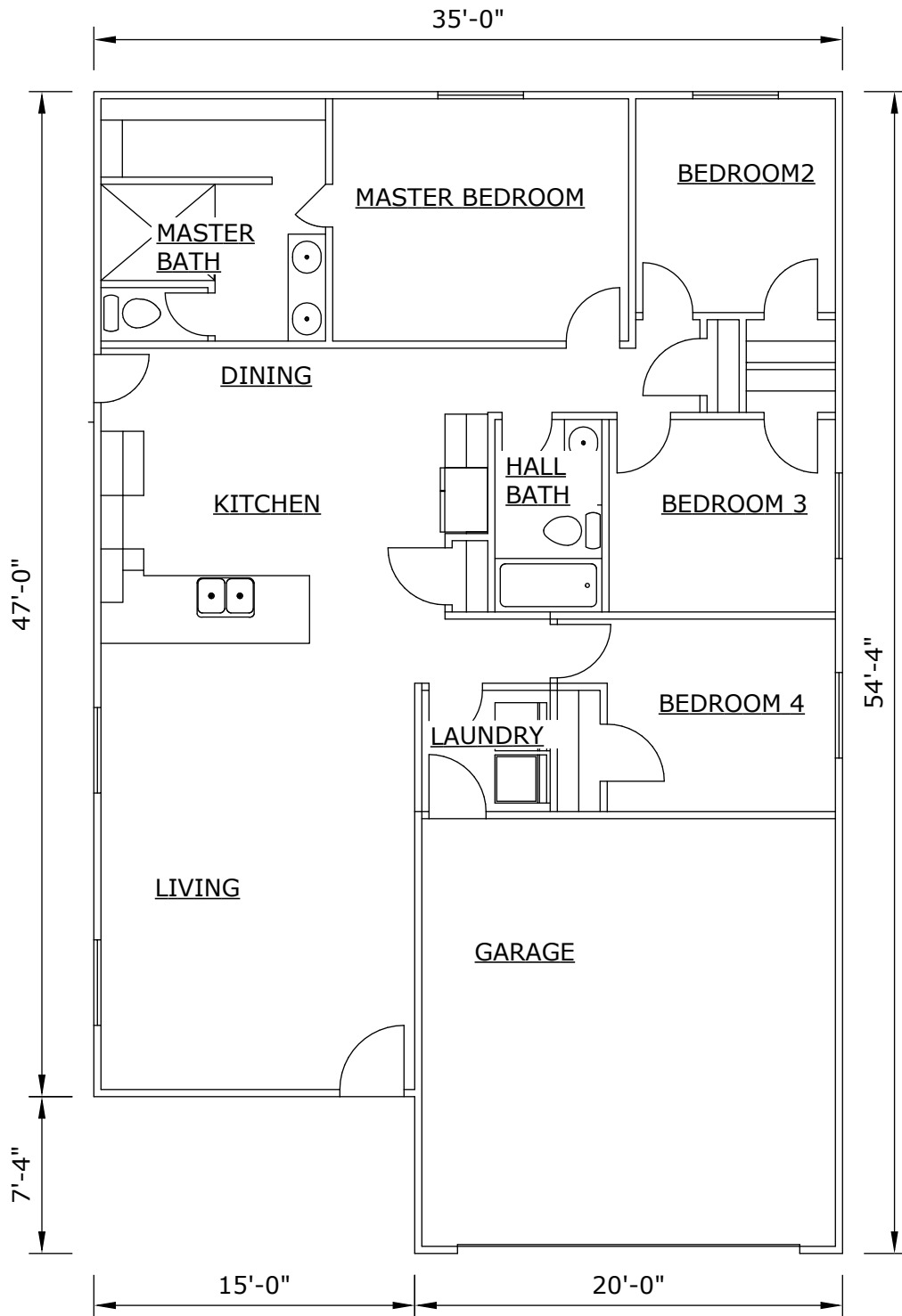
SCALE :  
 1/8" = 1"



# FLOOR PLAN 4.1.1

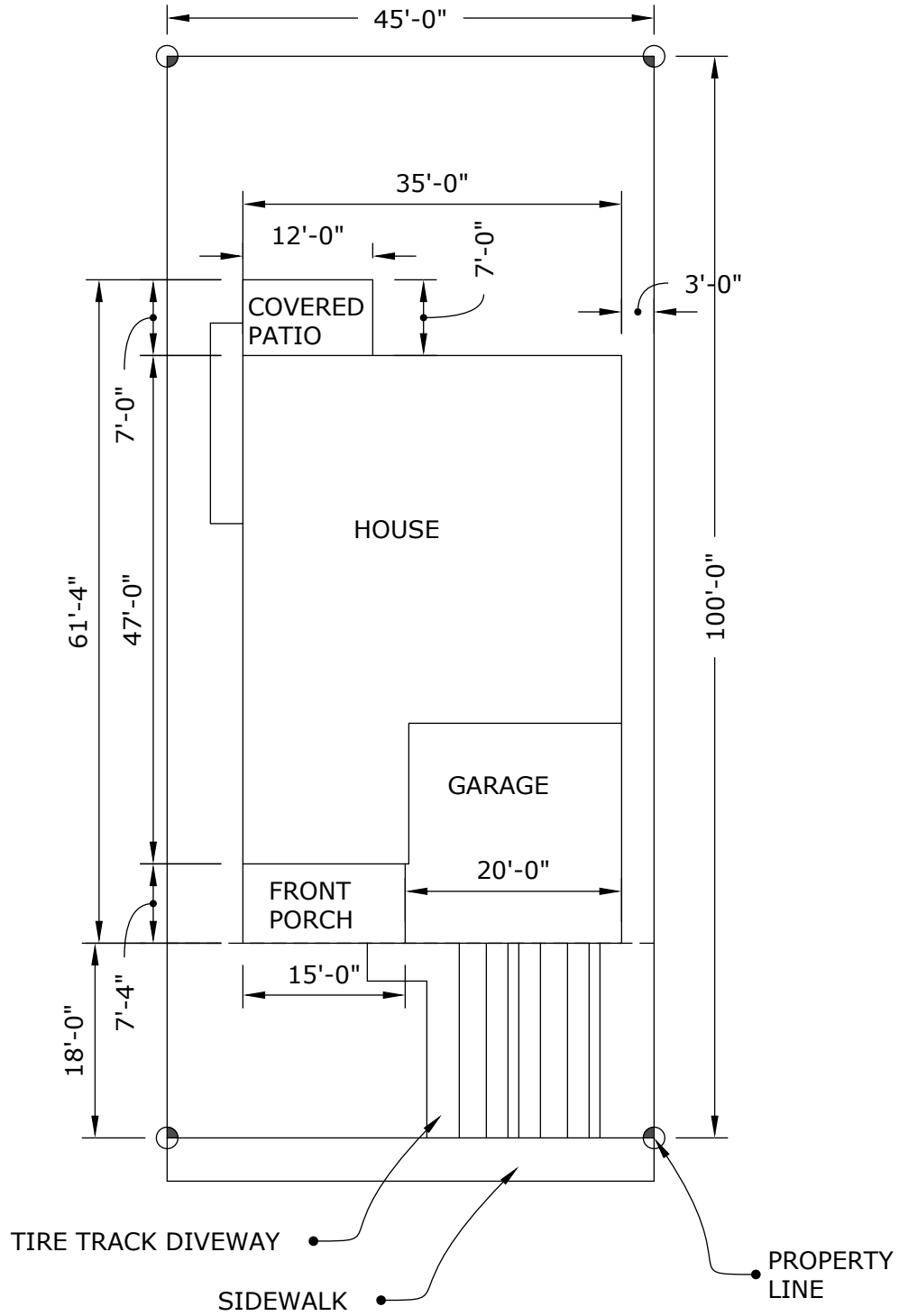
SCALE :  
 1/8" = 1"





# FLOOR PLAN 4.2

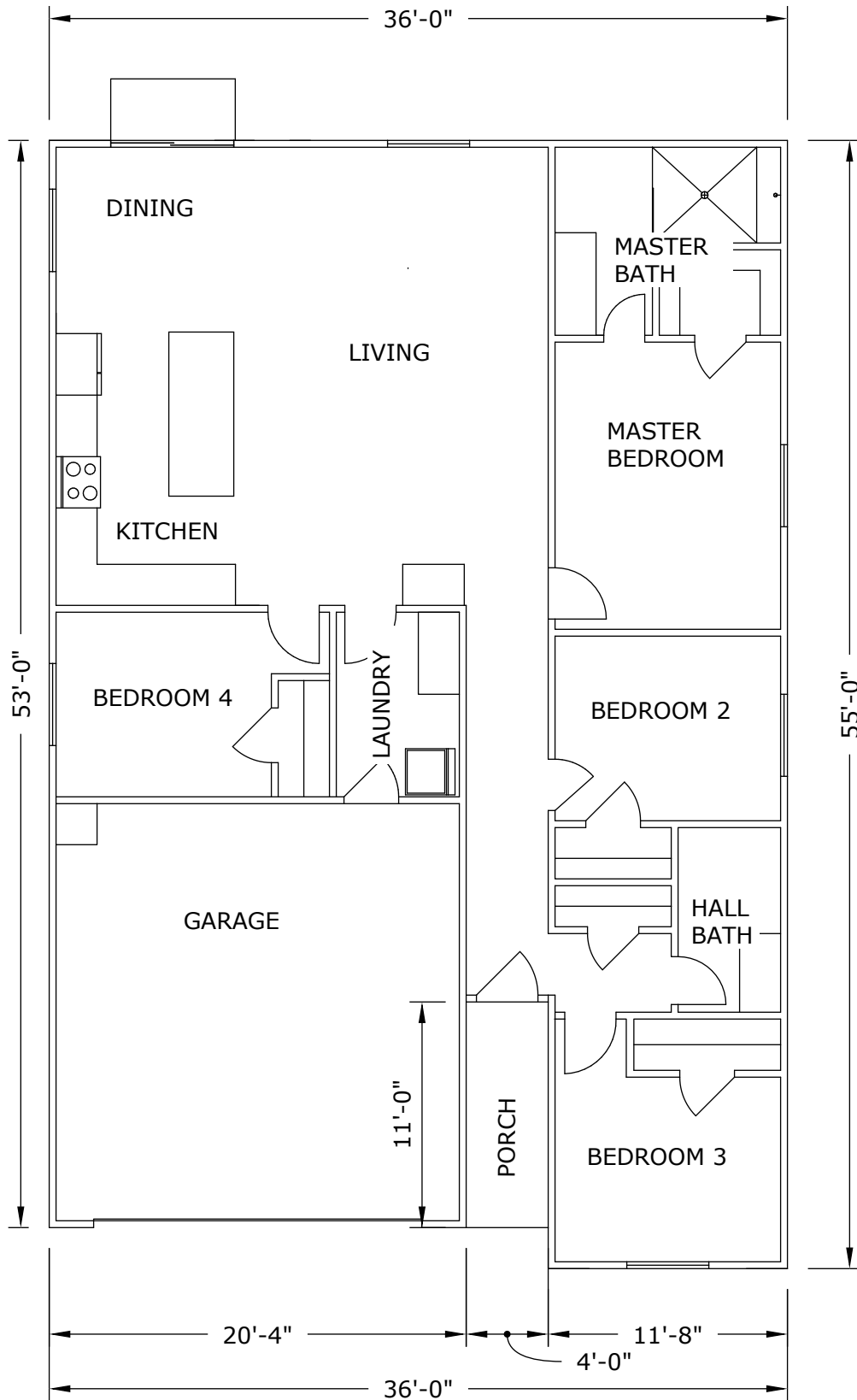
SCALE :  
1/8" = 1"



## TYPICAL PLOT PLAN FLOOR PLAN 4

**SCALE:**

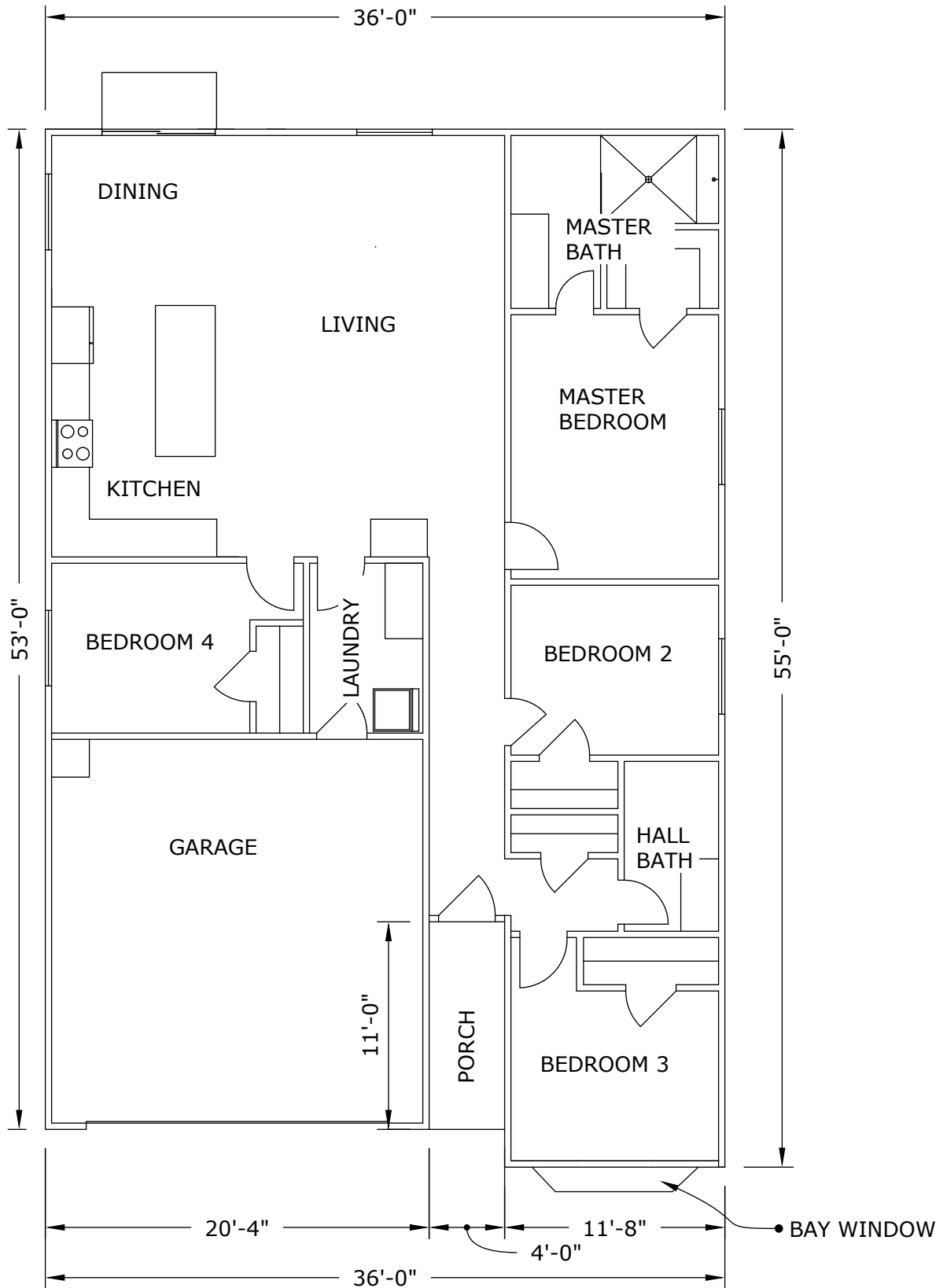
$1/16" = 1"$



# FLOOR PLAN 5.1

SCALE:

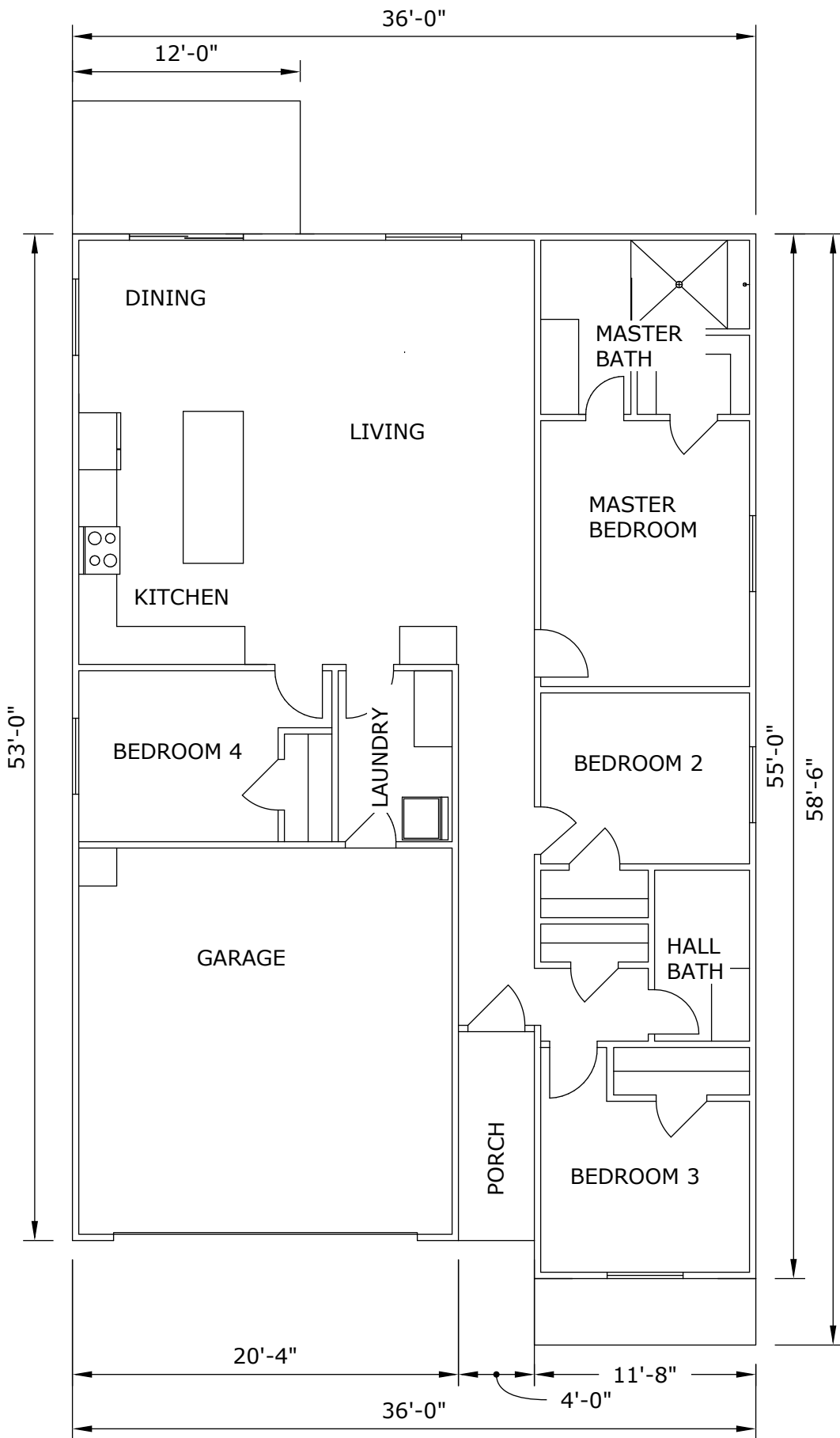
1/8"=1"



# FLOOR PLAN 5.1.1

SCALE:

1/8"=1"

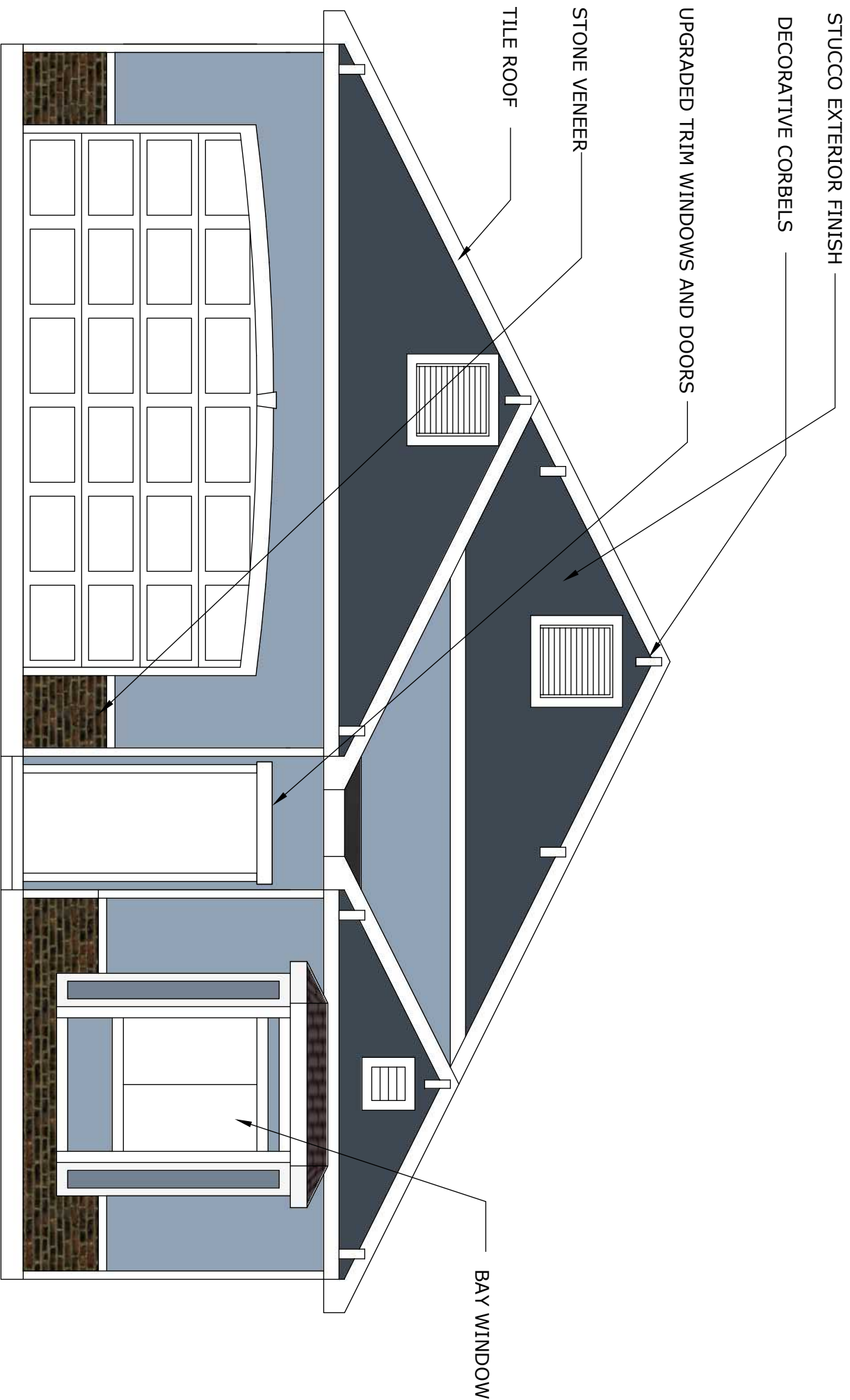


# FLOOR PLAN 5.2

SCALE:

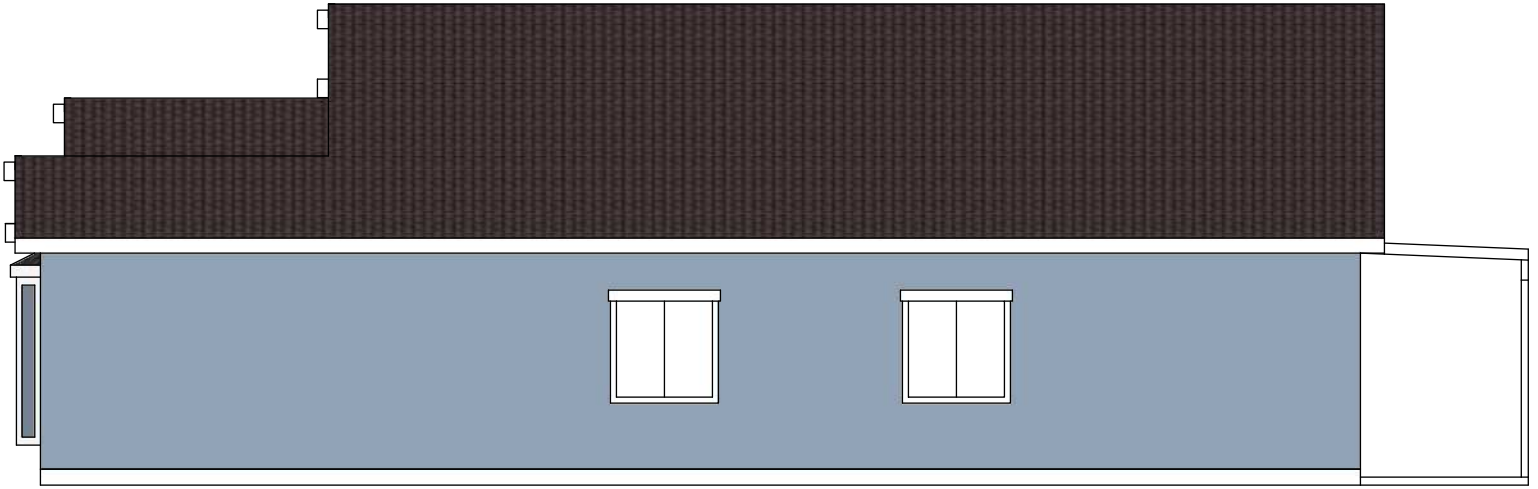
1/8"=1"





# ELEVATION B FLOOR PLAN 5.1.1.1

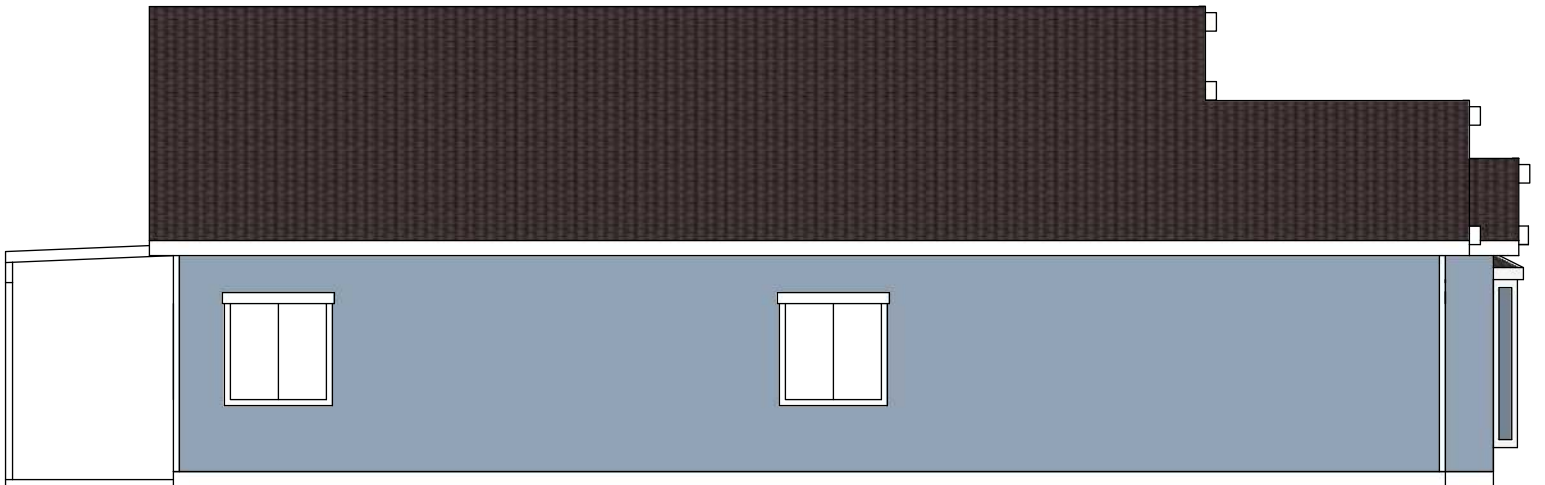
SCALE:  
1/4"=1"



LEFT



REAR

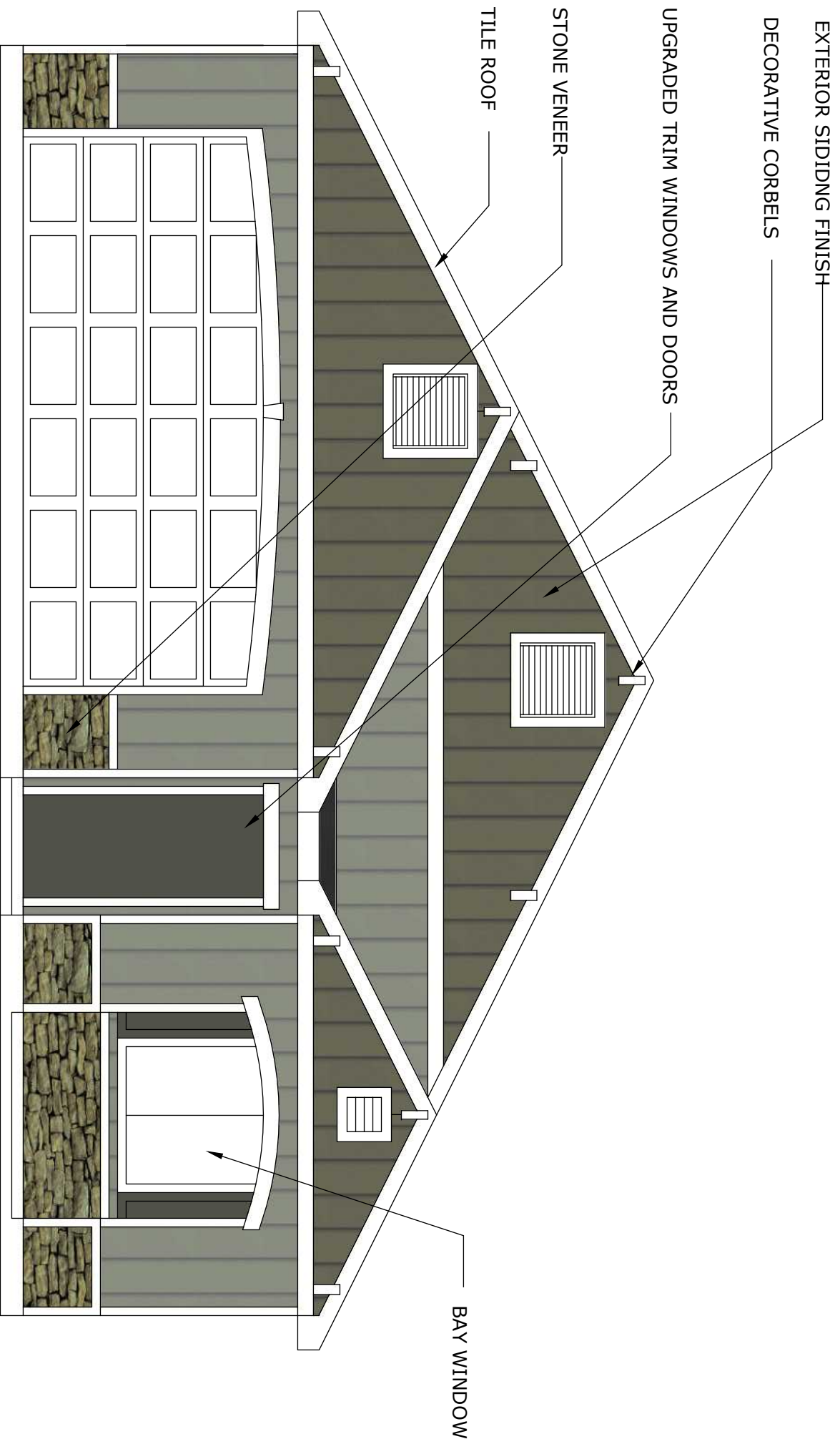


RIGHT

ELEVATION B FLOOR PLAN 5.1.1.1

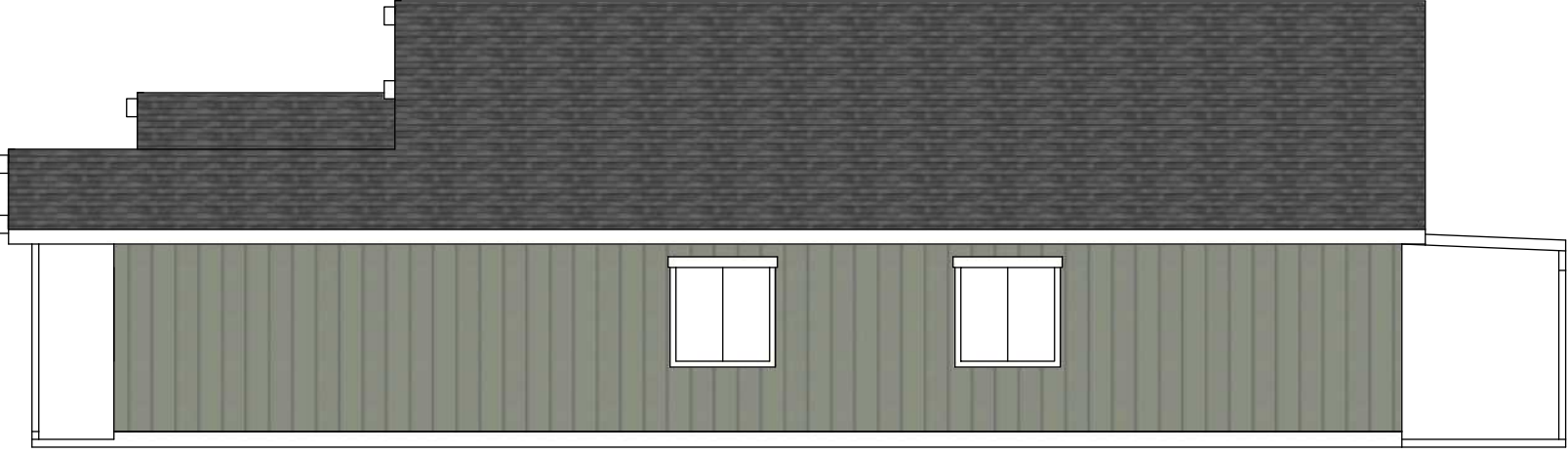
SCALE:  
1/4"=1"





# ELEVATION B FLOOR PLAN 5.2

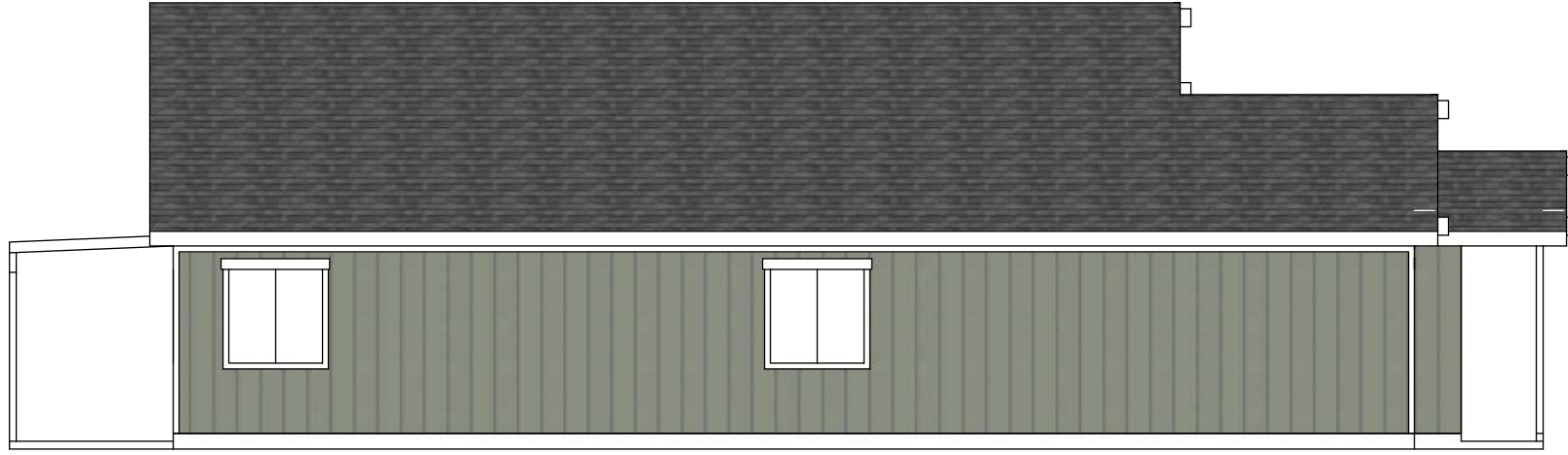
SCALE:  
 1/4" = 1"



LEFT



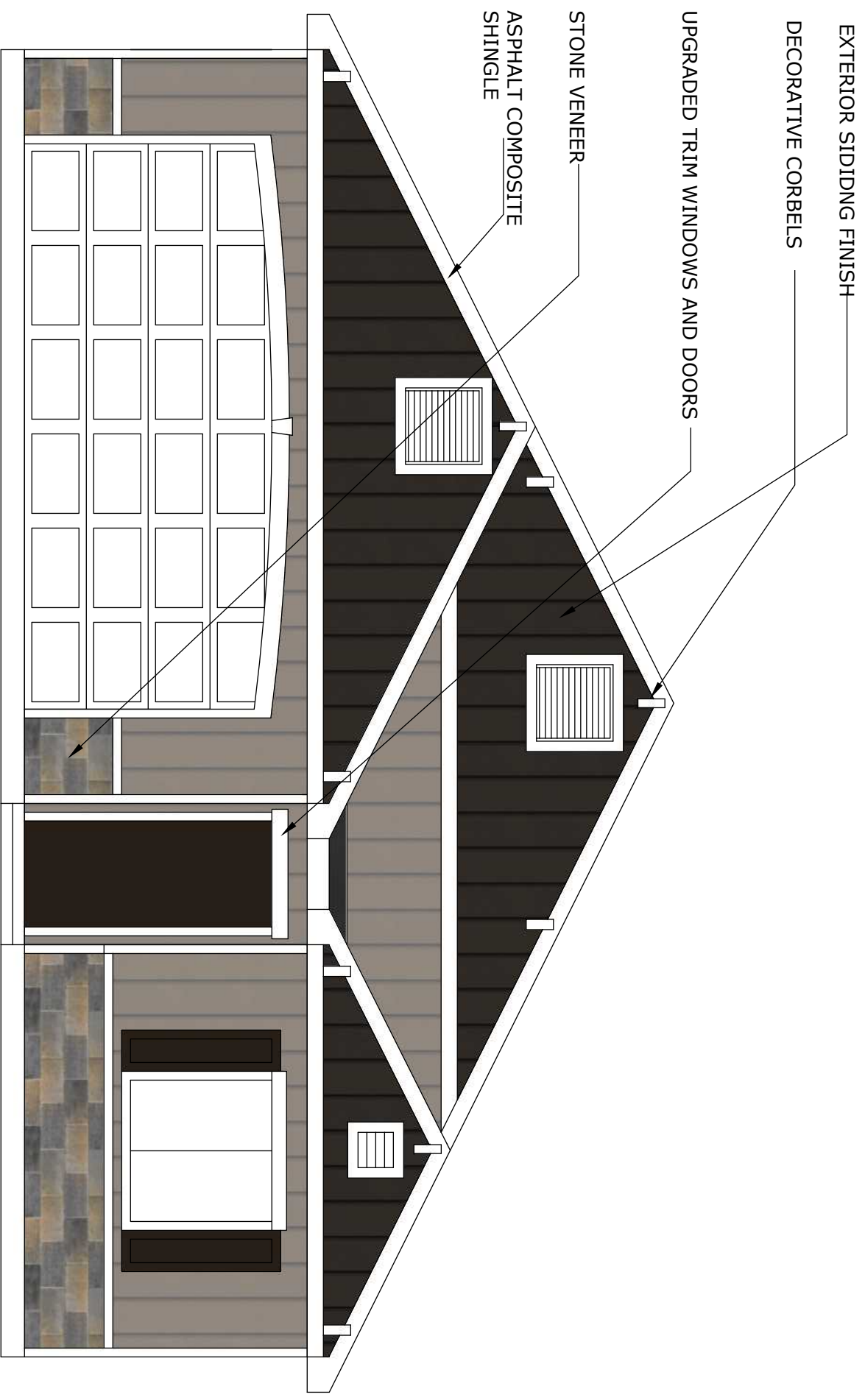
REAR



RIGHT

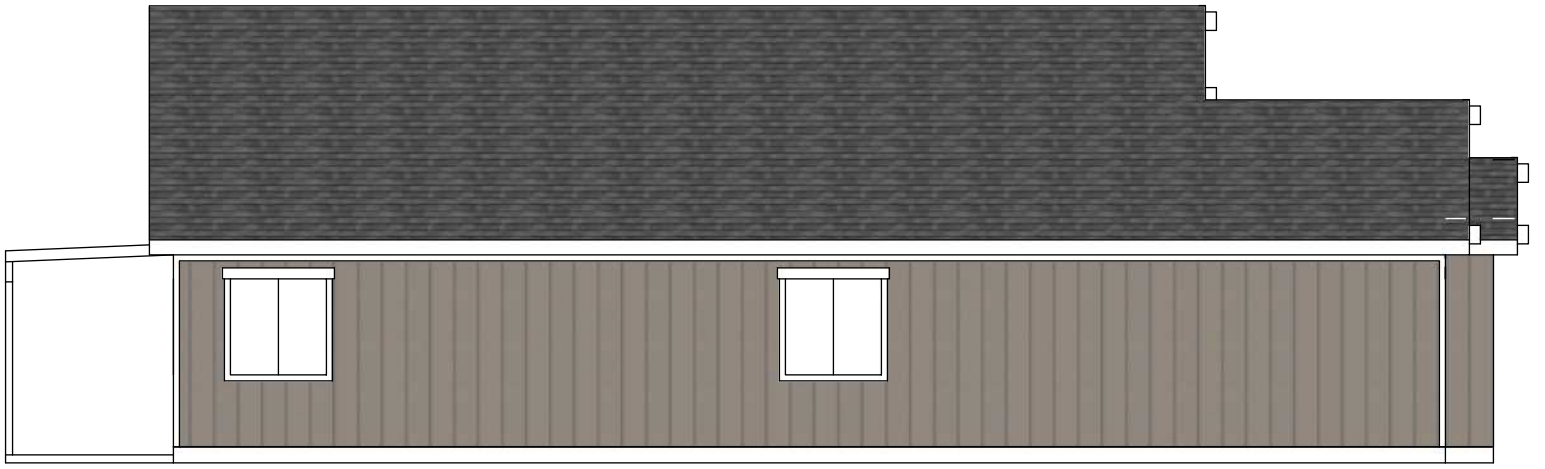
ELEVATION B FLOOR PLAN 5.2

SCALE:  
1/4"=1"



# ELEVATION B FLOOR PLAN 5.2

SCALE:  
 1/4" = 1"



LEFT



REAR

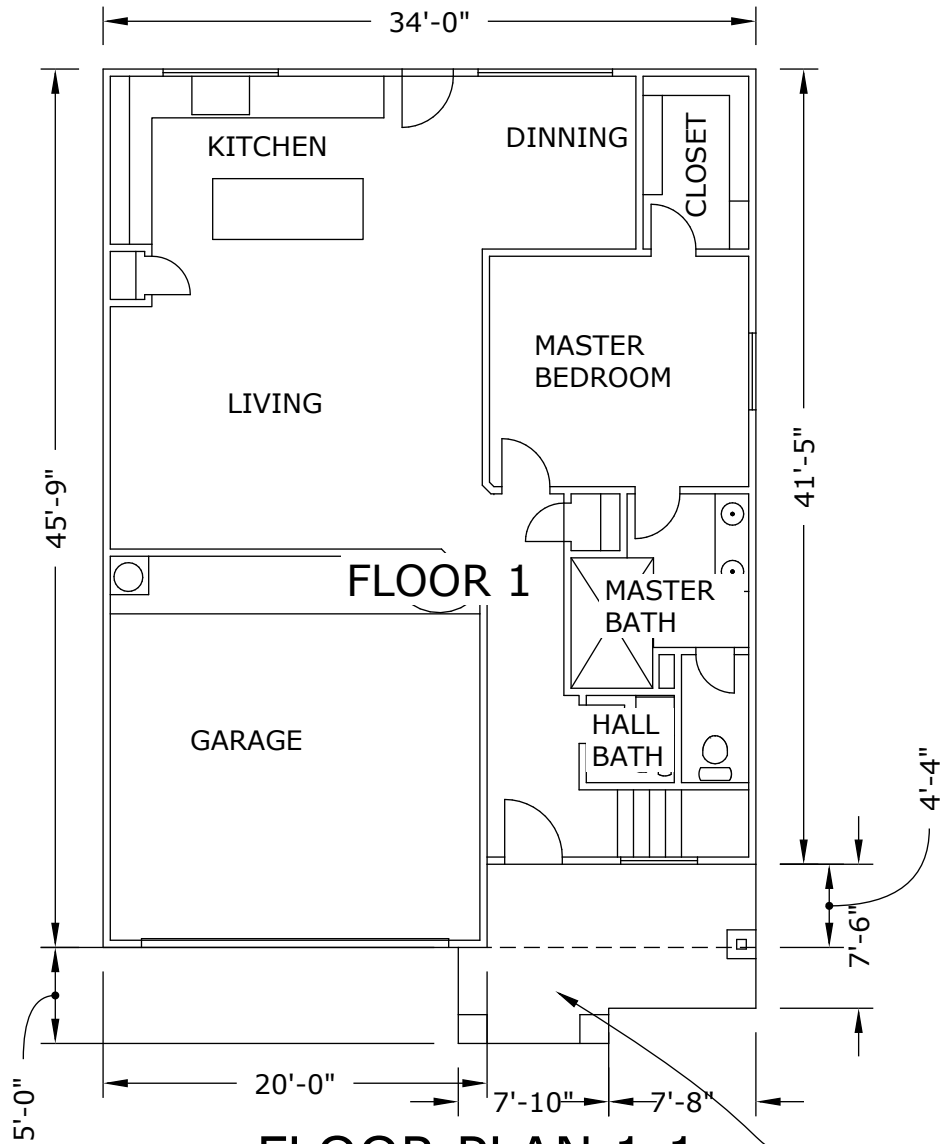
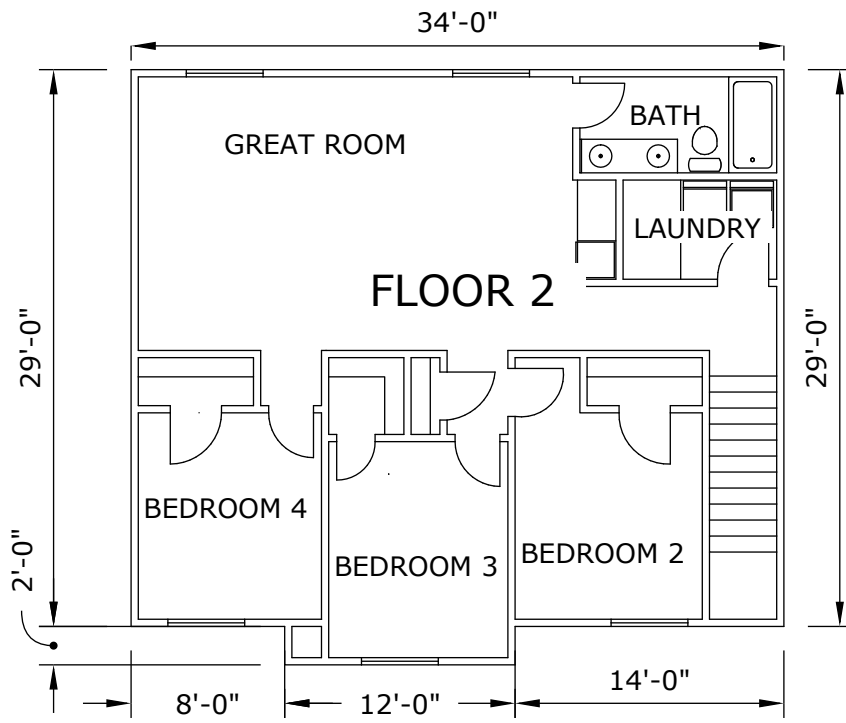


RIGHT

ELEVATION B FLOOR PLAN 5.2

SCALE:

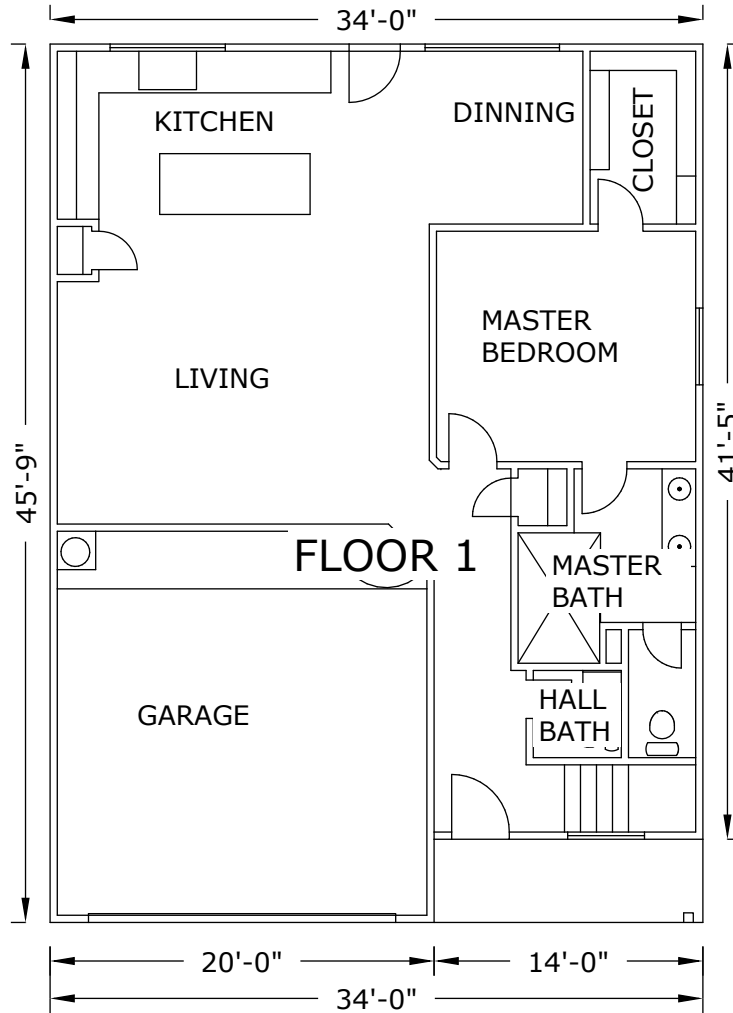
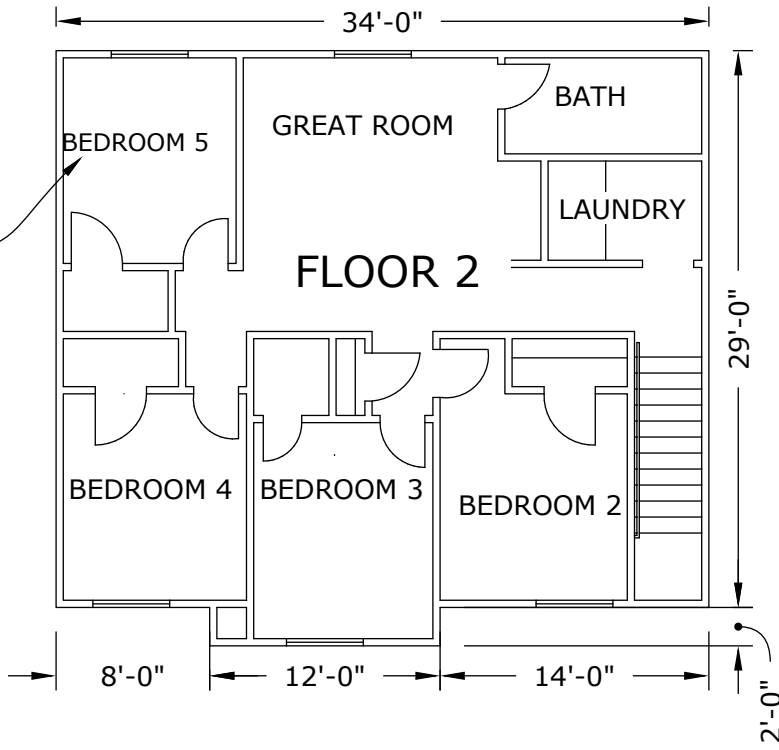
1/4"=1"



**FLOOR PLAN 1.1**

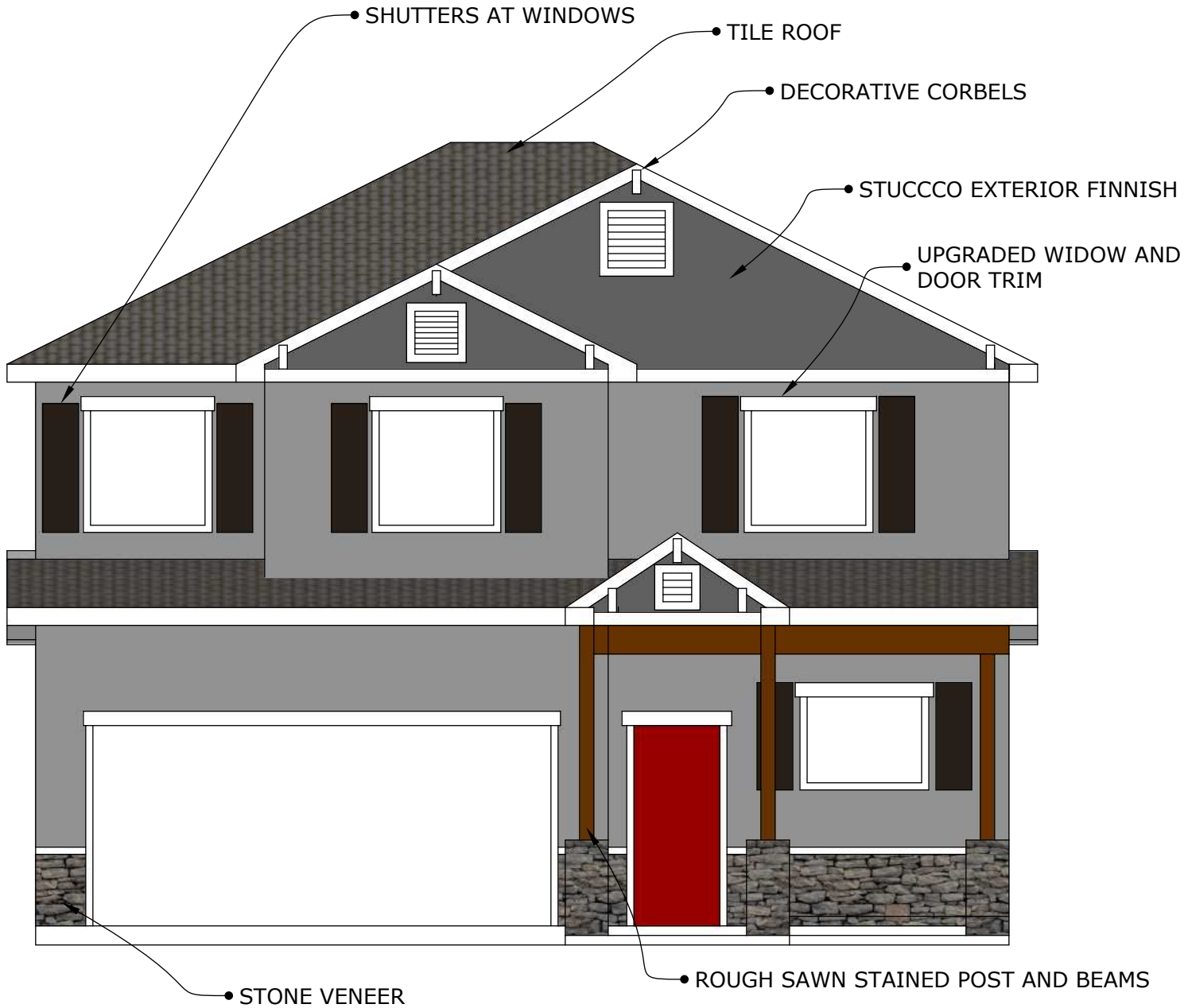
SCALE:  
1/10"=1'

OPTIONAL 5TH  
BEDROOM

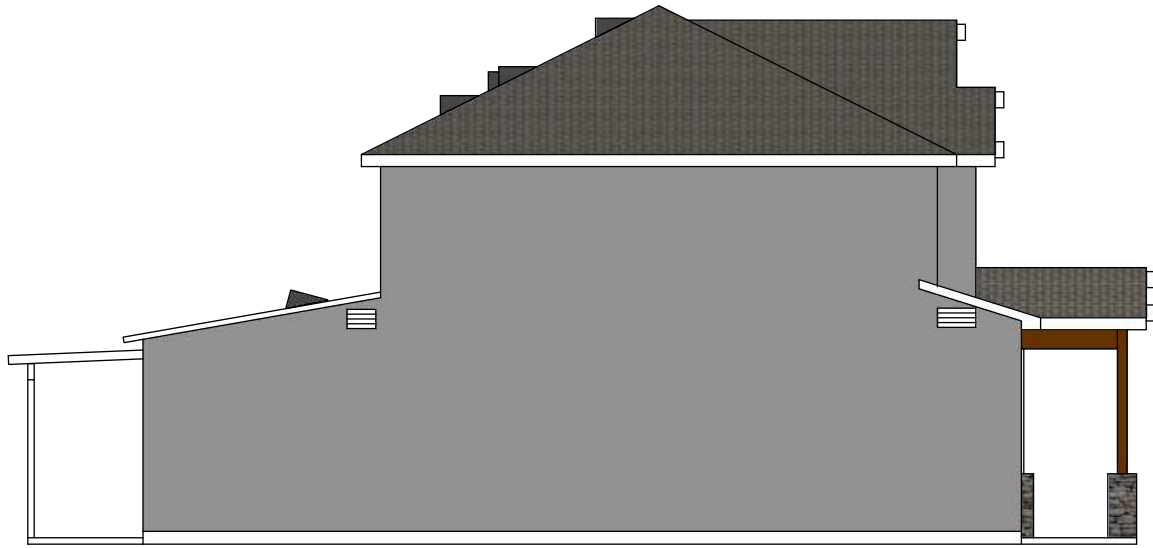


# FLOOR PLAN 1.2.1

SCALE:  
1/10"=1'



FRONT ELEVATION FLOOR PLAN 1.1  
SCALE 3/16" = 1'



LEFT



BACK

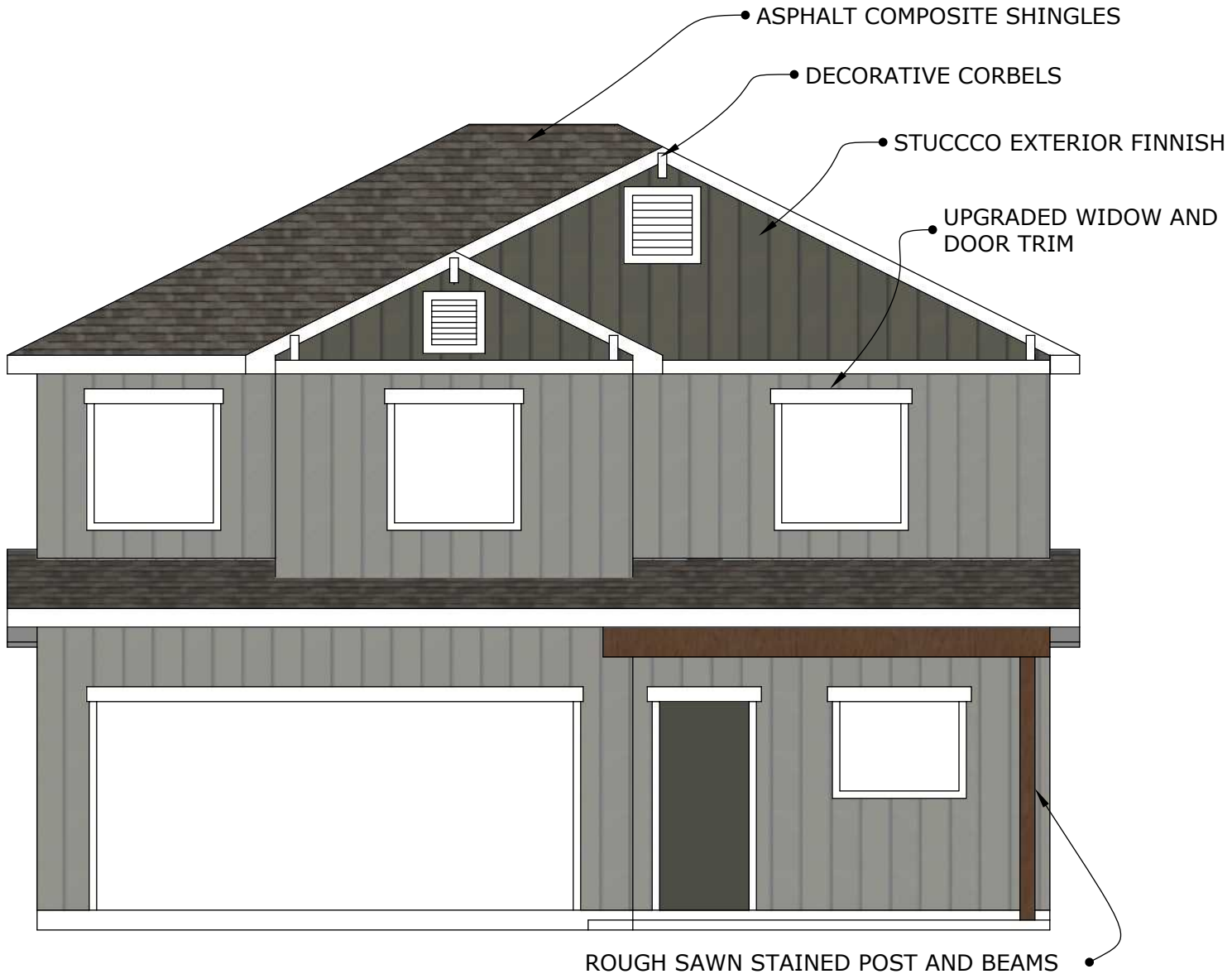


RIGHT

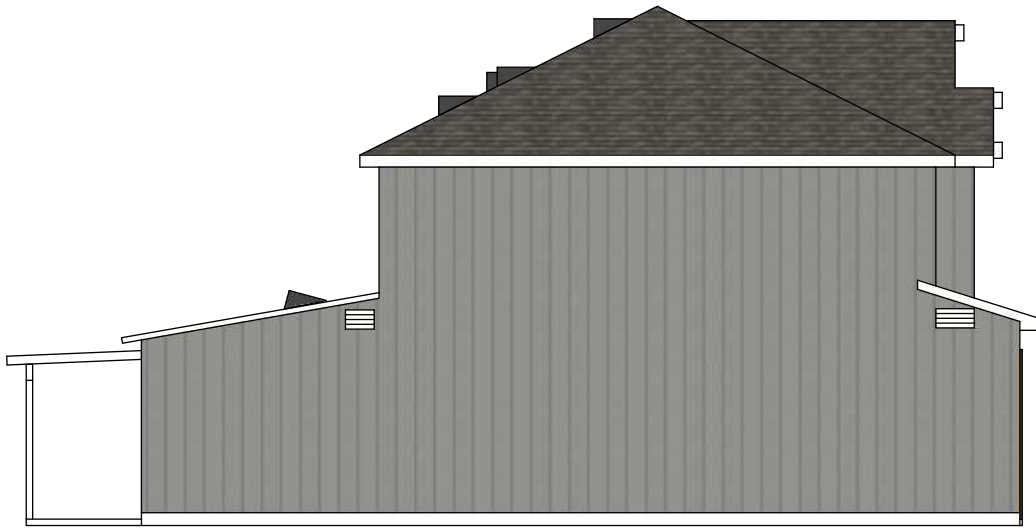
ELEVATION B 9' PLATE FLOOR PLAN 1.1

SCALE 1/10" = 1'





FRONT ELEVATION A 8' PLATE FLOOR PLAN 1.2  
SCALE 3/16" = 1'



LEFT

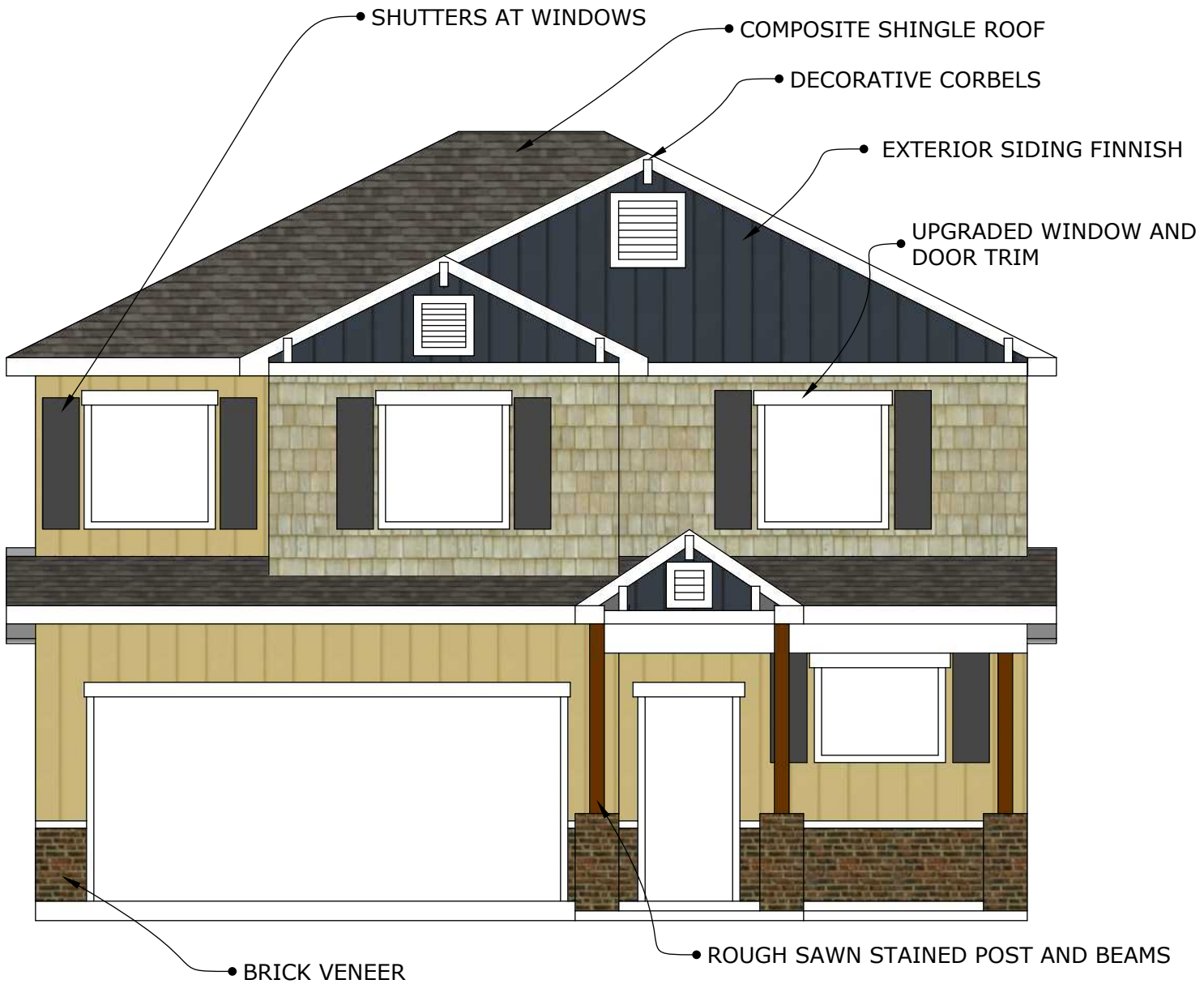


RIGHT



BACK

ELEVATION A 8' PLATE FLOOR PLAN 1.2  
SCALE 3/16" = 1'



**FRONT ELEVATION A 9' PLATE FLOOR PLAN 1.1**  
**SCALE 3/16" = 1'**



LEFT



RIGHT



BACK

ELEVATION A 9' PLATE FLOOR PLAN 1.1  
SCALE 3/16" = 1'

