



City of Phoenix
 PLANNING AND DEVELOPMENT DEPARTMENT

Staff Report Z-86-18-2
January 31, 2019

Deer Valley Village Planning Committee Meeting Date: February 21, 2019

Planning Commission Hearing Date: March 7, 2019

Request From: S-1 (Ranch or Farm Residence) (11.01 acres)

Request To: CP / GCP (Commerce Park / General Commerce Park) (11.01 acres)

Proposed Use: Recreational Vehicle and Boat Storage Facility

Location: Northeast and southeast corners of Black Canyon Highway and the Dynamite Boulevard alignment

Owner: The Prescott Valley Company

Applicant: Fortress RV Storage, LLC - Mark Temen

Representative: Lazarus, Silvyn, & Bangs, PC

Staff Recommendation: Approval, subject to stipulations

<u>General Plan Conformity</u>			
<u>General Plan Land Use Map Designation</u>		Mixed Use (Commerce Business Park or 15 + dwelling units per acre)	
<u>Street Map Classification</u>	Black Canyon Highway Frontage Road	Existing Freeway	Approximately 178 feet, including frontage roads
<p><i>CERTAINTY AND CHARACTER; LAND USE PRINCIPLE: New development and expansion or redevelopment of existing development in or near residential areas should be compatible with existing uses and consistent with adopted plans.</i></p> <p>As stipulated, the proposed development is compatible with existing nearby uses by employing compatibility measures such as increased perimeter setbacks adjacent to residential zoning districts and enhanced landscape standards.</p>			

CERTAINTY AND CHARACTER; DESIGN PRINCIPLE: Create new development or redevelopment that is sensitive to the scale and character of the surrounding neighborhoods and incorporates adequate development standards to prevent negative impact(s) on the residential properties.

As stipulated, the proposal is sensitive to the scale and character of the surrounding development. The proposal contains enhanced perimeter features to prevent negative impacts on the surrounding land uses. The proposed development will generate little traffic which is appropriate for this location due to the limited transportation access via the one-way frontage road.

CERTAINTY AND CHARACTER; DESIGN PRINCIPLE: Require appropriate transitions/buffers between neighborhoods and adjacent uses. The site is adjacent to properties zoned for residential use with multifamily to the north and northeast and rural residential uses to the east and south. As stipulated, the proposed site plan provides impact-mitigating features such as sufficient setbacks and buffering in order to protect any potential residential use from any negative impacts that may be imposed by the general commerce park use. The proposed development, as stipulated, is compatible with the general land use pattern in the area.

Applicable Plans, Overlays, and Initiatives

[Tree and Shade Master Plan](#) – see Background / Issues / Analysis No. 6

[Reimagine Phoenix Initiative](#) – see Background / Issues / Analysis No. 7

Surrounding Land Uses/Zoning

	<u>Land Use</u>	<u>Zoning</u>
On Site	Single-Family Residence	S-1 (Ranch or Farm Residence)
North and Northeast	Multifamily Residential	R-3A PCD (Multifamily Planned Community District)
South and Southeast	Single-Family Residence	S-1 (Ranch or Farm Residence)
West	Black Canyon Freeway and Single-Family Residences (across the Black Canyon Freeway)	East Half of Freeway: S-1 (Ranch or Farm Residence) West Half of Freeway: R1-6 (Single-Family Residence District)

Commerce Park / General Commerce Park		
<u>Standards</u>	<u>Requirements</u>	<u>Met or Not Met</u>
<i>Building Setbacks</i>		
Street (West)	30 feet	Met (37 feet)
Side (North)	20 feet	Met (20 feet)
Side (South)	20 feet	Met (20 feet)
Rear (East)	20 feet	Met (20 feet – 47 feet)
<i>Landscaped Setbacks</i>		
Street	30 feet	Met (30 feet)
Side (North)	5 feet	Met (20 feet)
Side (South)	5 feet	Met (20 feet)
Rear (East)	5 feet	Met (10 - 15 feet)
Lot Coverage	50%	Met (39%)
Building Height	18-foot maximum height is permitted within 30 feet of the perimeter lot line, then one-foot of additional height is allowed for every three feet of additional setback, up to 56 feet.	Not Met. 22 feet 9 inches at setback of 37 feet
Parking	1 per 300 square feet of office. Approximately 4	Met (7 spaces)

Background / Issues / Analysis

1. SUBJECT SITE

This is a request to rezone an 11.01 acre site from S-1 (Ranch or Farm Residence) to CP / GCP (Commerce Park, General Commerce Park Option). This request was initiated by the applicant seeking approval to use the site for recreational vehicle storage and boat storage.

Access to the site is limited with the only access from the Black Canyon Freeway frontage road. The frontage road is located west of the site and is north-bound only. To access the site, vehicles must exit from Black Canyon Freeway at Jomax Road and travel north along the frontage road approximately 9/10th of a mile.

2. ZONING AND LAND USE

Subject Site:

The subject site is zoned S-1 (Ranch or Farm Residence) and contains two single-family residences on 11.01 acres. The site is proposed to be rezoned to allow recreational vehicle and boat storage, and all underlying CP / GCP uses.

North and Northeast:

The parcel to the north and northeast of the subject site is included in the Dynamite Mountain Planned Community District (PCD) which rezoned the site from S-1 (Ranch or Farm Residence) to R-3A (Multifamily Residence District) PCD with a specified density up to 22 dwelling units per acre.

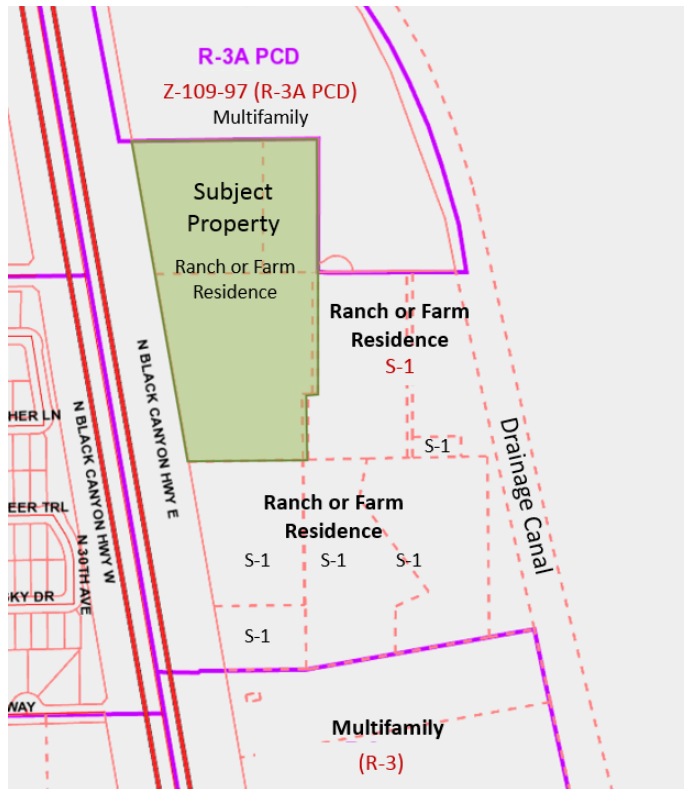
This property developed as multifamily in 2010 to a height of three stories.

South and Southeast:

The three parcels to the south and southeast of the subject site are zoned S-1 (Ranch or Farm Residence) and include single-family residential homes.

West:

Immediately west of the subject site is the Black Canyon Freeway and its frontage roads. Beyond the Black Canyon Freeway (approximately 350 feet), are single-family residential neighborhoods zoned R1-6.



Source: Phoenix Planning and Development

3. GENERAL PLAN

Subject Site:

The General Plan Land Use Map designation for the subject site is Mixed Use (Commerce Business Park or 15+ dwelling units per acre). The proposed use and zoning classification are consistent with the General Plan Land Use Map designation.

North and Northeast East:

The General Plan Land Use Map designation for the property to the north and northeast are Mixed Use (Commerce Business Park or 15 + dwelling units per acre), Residential 5 to 15 dwelling units per acre, and Floodplain.

South and Southeast

The General Plan Land Use Map designation for the properties to the south and southeast is Mixed Use (Commerce Business Park / 15 + dwelling units per acre).

West (Across Black Canyon Freeway).

The General Plan Land Use Map designation for the areas immediately west of the site across the Black Canyon Freeway is Residential 2 to 5 dwelling units per acre.



Source: Phoenix Planning and Development

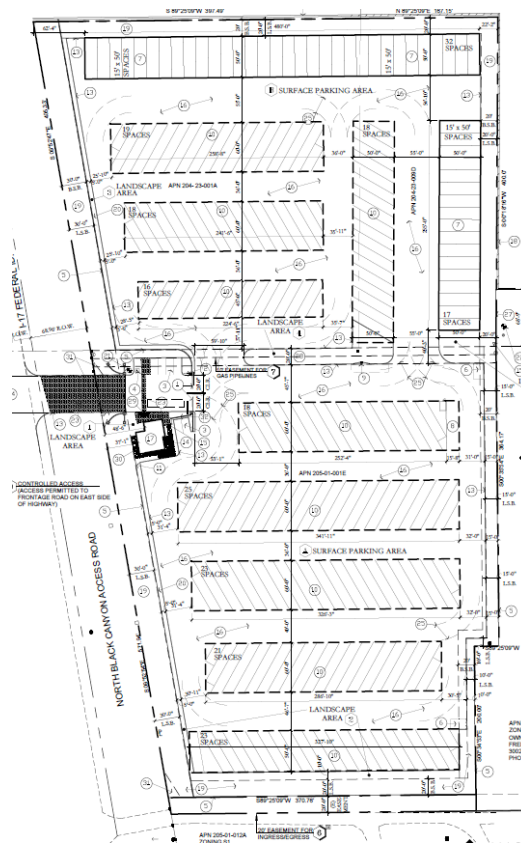
- The CP / GCP zoning district requires a use permit subject to Section 626.F.2.Z to allow outdoor storage uses such as those proposed in this request. The use permit application will require additional detail pertaining to perimeter treatments, screening, and height restrictions in the interior of the site; this process may result in additional stipulations or limitations on the proposed use.

5. SITE PLAN

The applicant is proposing a recreational vehicle and boat storage facility. The site plan indicates a single point of entrance from the frontage road near the Dynamite Boulevard alignment; this point of entrance will include the entry building, a gate, in addition to gateway signage and landscaping.

Due to its location immediately adjacent to a residential zoning district, staff has placed a series of stipulations to enhance the perimeter treatment of the site to mitigate any potential negative impact to adjacent residential.

- Staff has stipulated to general conformance with the site plan dated January 29, 2019. This is addressed in Stipulation No. 1.
 - The stipulation does not include general conformance to the elevations or preliminary landscape plan. The height of the building does not presently comply with height and step back requirements. In addition, the preliminary landscape plan depicts plantings in general conformance with the stipulation standards with the exception of a section along the south-half of the east property line which does not depict any tree plantings.
- For enhanced buffering between the adjacent residential uses, staff has stipulated to enhanced planting standards. This is addressed in Stipulation No. 2.
- For visual continuity with the multifamily project to the north, staff has stipulated to design standards for the perimeter wall. This is addressed in Stipulation No. 3.
- For enhanced separation between the subject site and adjacent residential and the frontage road, staff has stipulated enhanced landscaping setbacks. This is addressed in Stipulation Nos. 4 - 6.



Source: Site Plan. Applicant

6. [TREE AND SHADE MASTER PLAN](#)

Per the Tree and Shade Master Plan, staff has stipulated an increased landscape setback and increased planting standards along the western property line, adjacent to the Black Canyon Freeway Frontage Road in addition to all perimeter setbacks. An increased landscape setback with larger trees will be visually appealing and aid in noise mitigation. This is addressed in Stipulation Nos. 4 through 6.

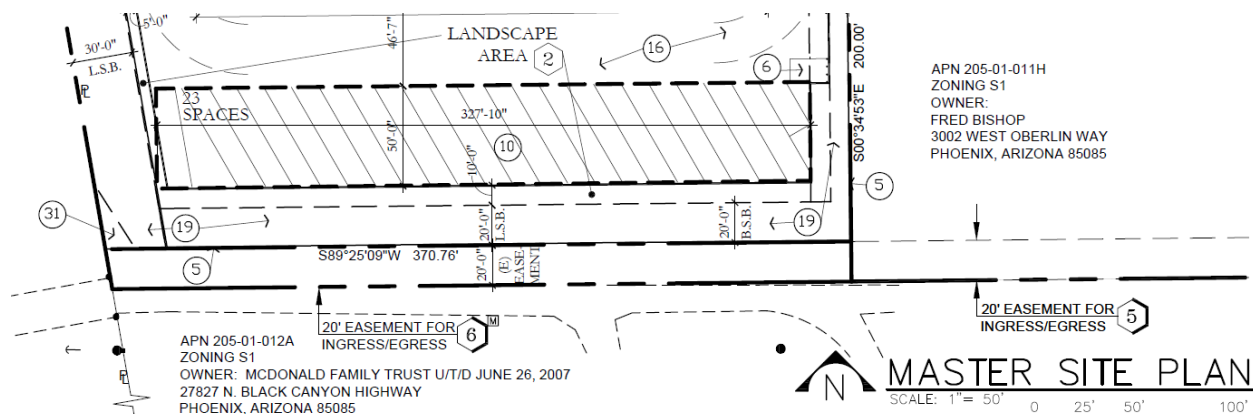
7. REIMAGINE PHOENIX

As part of the Reimagine Phoenix initiative, the City of Phoenix is committed to increasing the waste diversion rate to 40 percent by 2020 and to better manage its solid waste resources. Section 716 of the Phoenix Zoning Ordinances establishes standards to encourage the provision of recycling containers for multi-family, commercial and mixed-use developments meeting certain criteria. The provision of recycling containers was not addressed in the applicant's submittals.

8. COMMUNITY INPUT SUMMARY

From the time the case was filed to the time the staff report was written, one letter of inquiry and concern was received by staff. The letter pertained to maintaining the private access to the residential homes using the Oberlin Road alignment. The letter is attached as an exhibit to this report.

The below site plan excerpt illustrates a 20-foot easement along the south property line adjacent to a 30-foot landscape setback to preserve ingress/egress for nearby residences.



Source: Site Plan Excerpt (South portion to depict the Oberlin Road easement)

Interdepartmental Comments:

9. The Street Transportation Department commented that the developer shall coordinate access and frontage requirements with the Arizona Department of Transportation. This is addressed in Stipulation No. 7.
10. The Aviation Department commented the site is located within the Phoenix Deer Valley Airport (DVT) traffic pattern airspace. The Aviation Department is requesting a Notice to Prospective Purchasers of Proximity to disclose the existence and operational characteristics of the Phoenix Deer Valley Airport (DVT) to future owners or tenants of the property. This is addressed in

Stipulation No 8.

11. The site is located in a larger area identified as being archaeologically sensitive. If further review by the City of Phoenix Archaeology Office determines the site and immediate area to be archaeologically sensitive, and if no previous archaeological projects have been conducted within this project area, it is recommended that archaeological Phase I data testing of this area be conducted. Phase II archaeological data recovery excavations may be necessary based upon the results of the testing. A qualified archaeologist must make this determination in consultation with the City of Phoenix Archaeologist. In the event archaeological materials are encountered during construction, all ground disturbing activities must cease within a 33-foot radius of the discovery and the City of Phoenix Archaeology Office must be notified immediately and allowed time to properly assess the materials. This is addressed in Stipulation Nos. 9 through 11.
12. The Public Works Department commented that it has been determined that this parcel is not in a Special Flood Hazard Area (SFHA), but located in a Shaded Zone X, on panel 1260 L / 1280 L of the Flood Insurance Rate Maps (FIRM) dated July 20, 2018 / January 29, 2015.
13. The Fire Department does not anticipate any problems with this case. They noted that the site and/or buildings shall comply with the Phoenix Fire Code and requested additional detail be provided on future site plan submittals.
14. The Water Services Department commented that the property currently has water mains to serve the development, but that a sewer main extension will be required. The sewer should be extended to the point of need and that no permanent structures of any kind be allowed within the sewer easement.

Findings

1. The request is consistent with the General Plan Land Use Map designation of Mixed Use (Commerce Business Park / 15 + dwelling units per acre).
2. As stipulated, the proposed development is compatible with the existing zoning in the surrounding area.

Stipulations

1. The development shall be in general conformance with the site plan date stamped January 29, 2019, as modified by the following stipulations and as approved by the Planning and Development Department.

2. Drought tolerant, 3-inch caliper evergreen trees 20 feet on center or in equivalent groupings shall be provided in the landscape setback areas, as approved by the Planning and Development Department.
3. All perimeter walls shall incorporate stone veneer, stonework, integral color CMU block or faux stone, and be compatible with the existing wall on the northern most property lines, as approved by the Planning and Development Department.
4. A minimum landscape setback of 30 feet shall be required along the west property lines, as approved by the Planning and Development Department
5. A minimum landscape setback of 20 feet shall be required along the north and south property lines, as approved by the Planning and Development Department.
6. Minimum landscape setbacks shall be provided as follows along the eastern property line as depicted in the setback exhibit dated January 29, 2019 and as approved by the Planning and Development Department.
 - a. A minimum setback of 20 feet for the northern 420 feet.
 - b. A minimum setback of 15 feet for the middle 343 feet.
 - c. A minimum setback of 10 feet for the southern 160 feet, terminating at the 20-foot landscape setback along the southern property line.
7. The developer shall coordinate access and frontage requirements with the Arizona Department of Transportation.
8. The developer shall record a Notice to Prospective Purchasers of Proximity to Airport in order to disclose the existence and operational characteristics of Phoenix Deer Valley Airport (DVT) to future owners or tenants of the property.
9. If determined necessary by the Phoenix Archaeology Office, the applicant shall conduct Phase I data testing and submit an archaeological survey report of the development area for review and approval by the City Archaeologist prior to clearing and grubbing, landscape salvage, and/or grading approval.
10. If Phase I data testing is required, and if, upon review of the results from the Phase I data testing, the City Archaeologist, in consultation with a qualified archaeologist, determines such data recovery excavations are necessary, the applicant shall conduct Phase II archaeological data recovery excavations.
11. In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground-disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the

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Archaeology Office to properly assess the materials.

Writer

Nick Klimek

January 31st, 2019

Team Leader

Samantha Keating

Exhibits

Zoning sketch map

Aerial sketch map

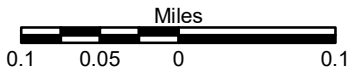
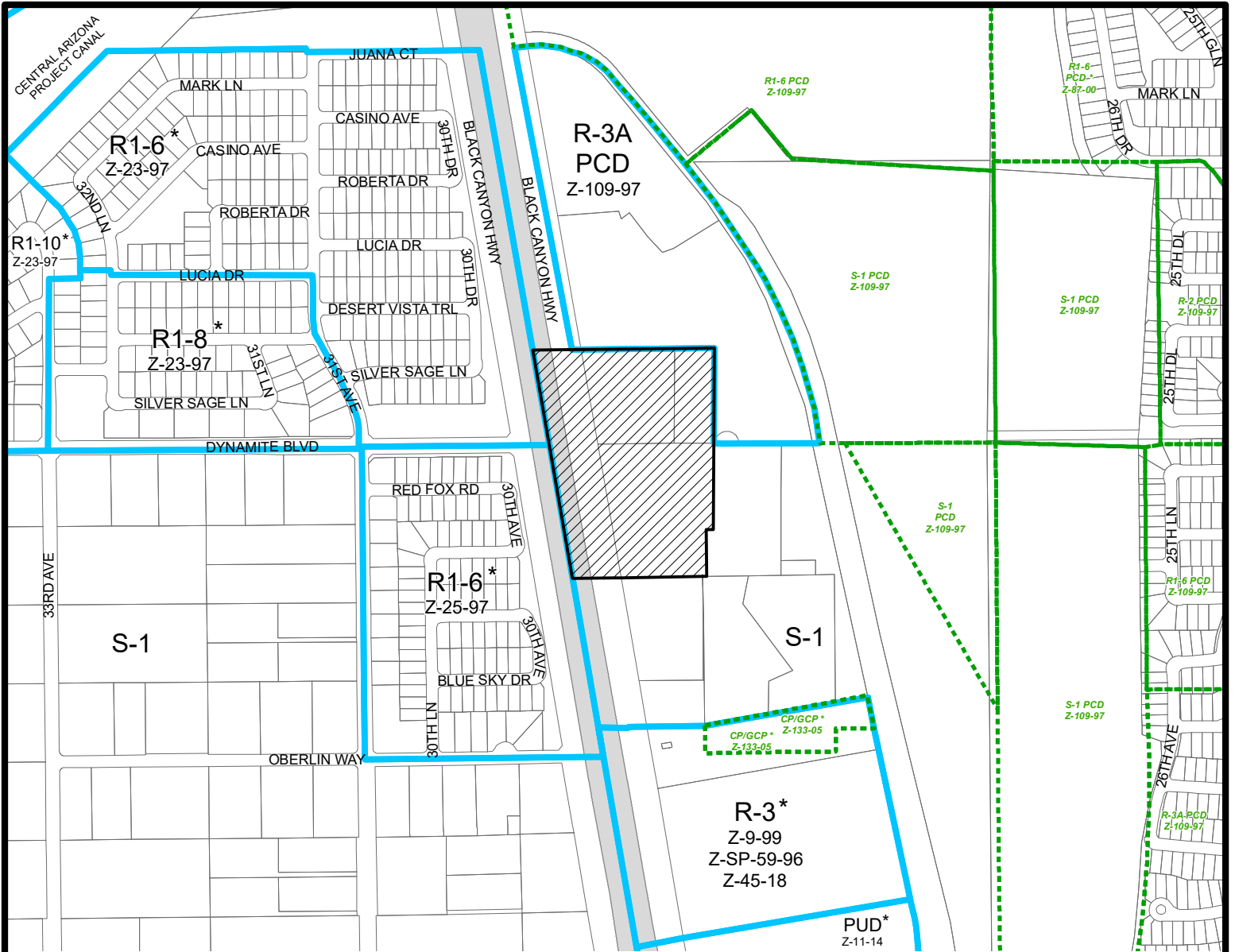
Site plan date stamped January 29, 2019

Setback exhibit date stamped January 29, 2019

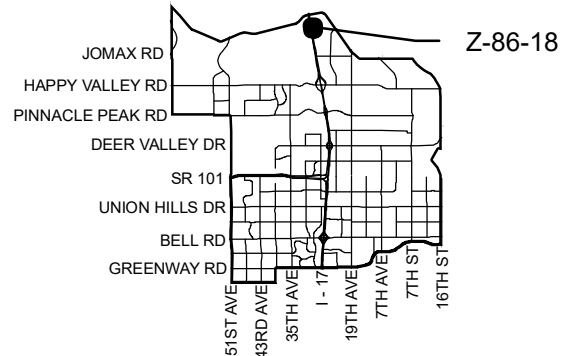
Preliminary landscape plan date stamped January 29, 2019

Elevations date stamped November 29, 2018 (3 pages)

Community input

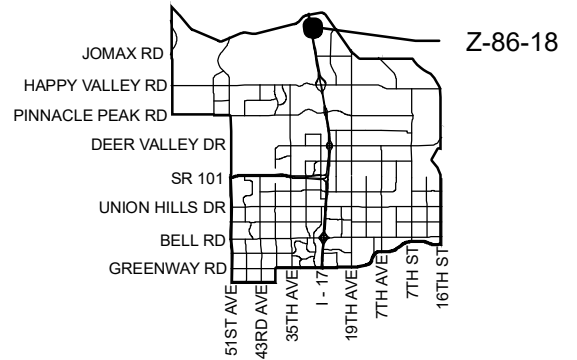
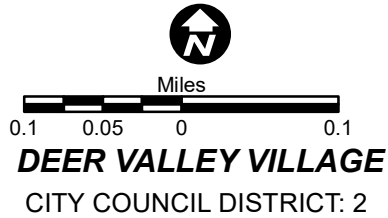
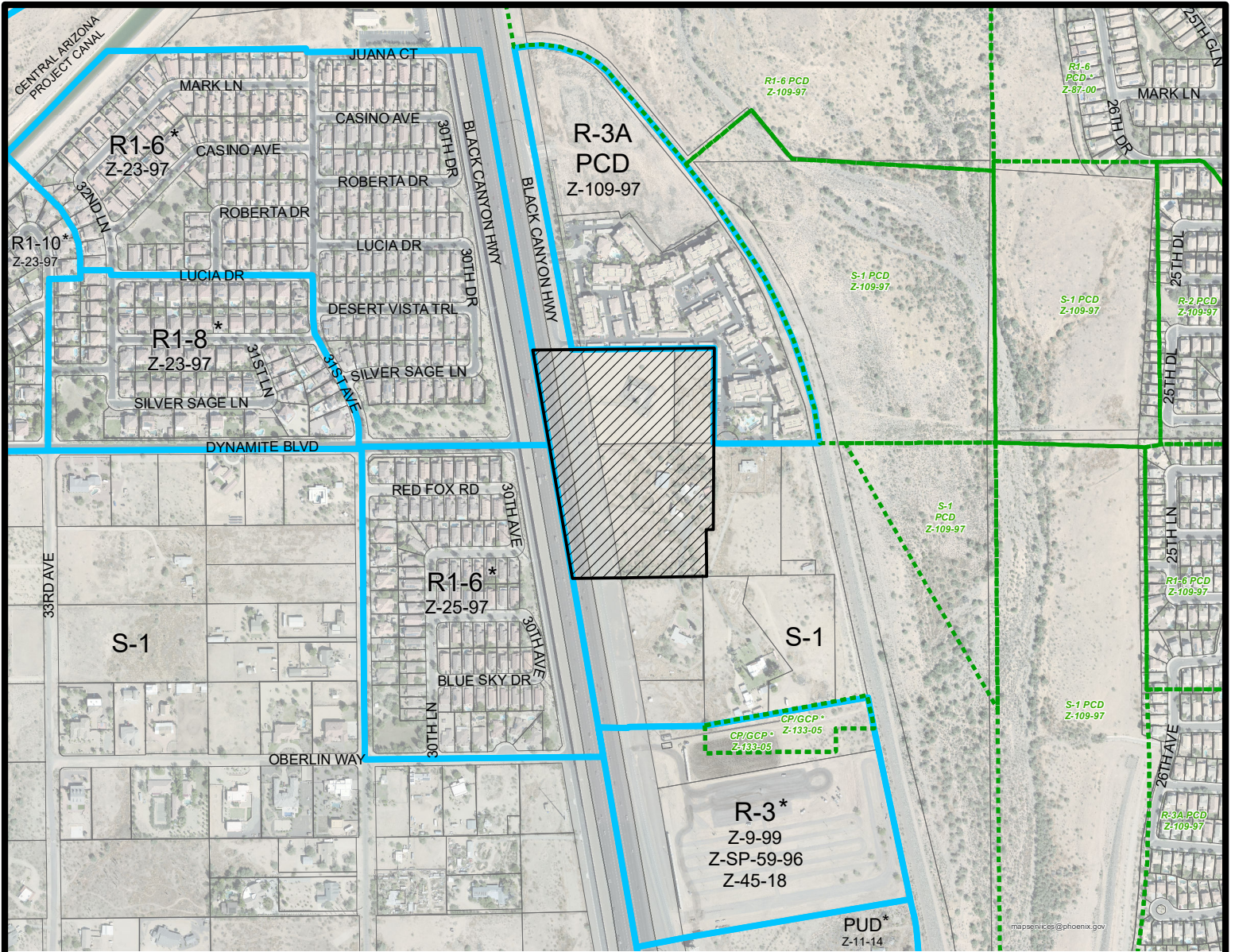


DEER VALLEY VILLAGE
CITY COUNCIL DISTRICT: 2



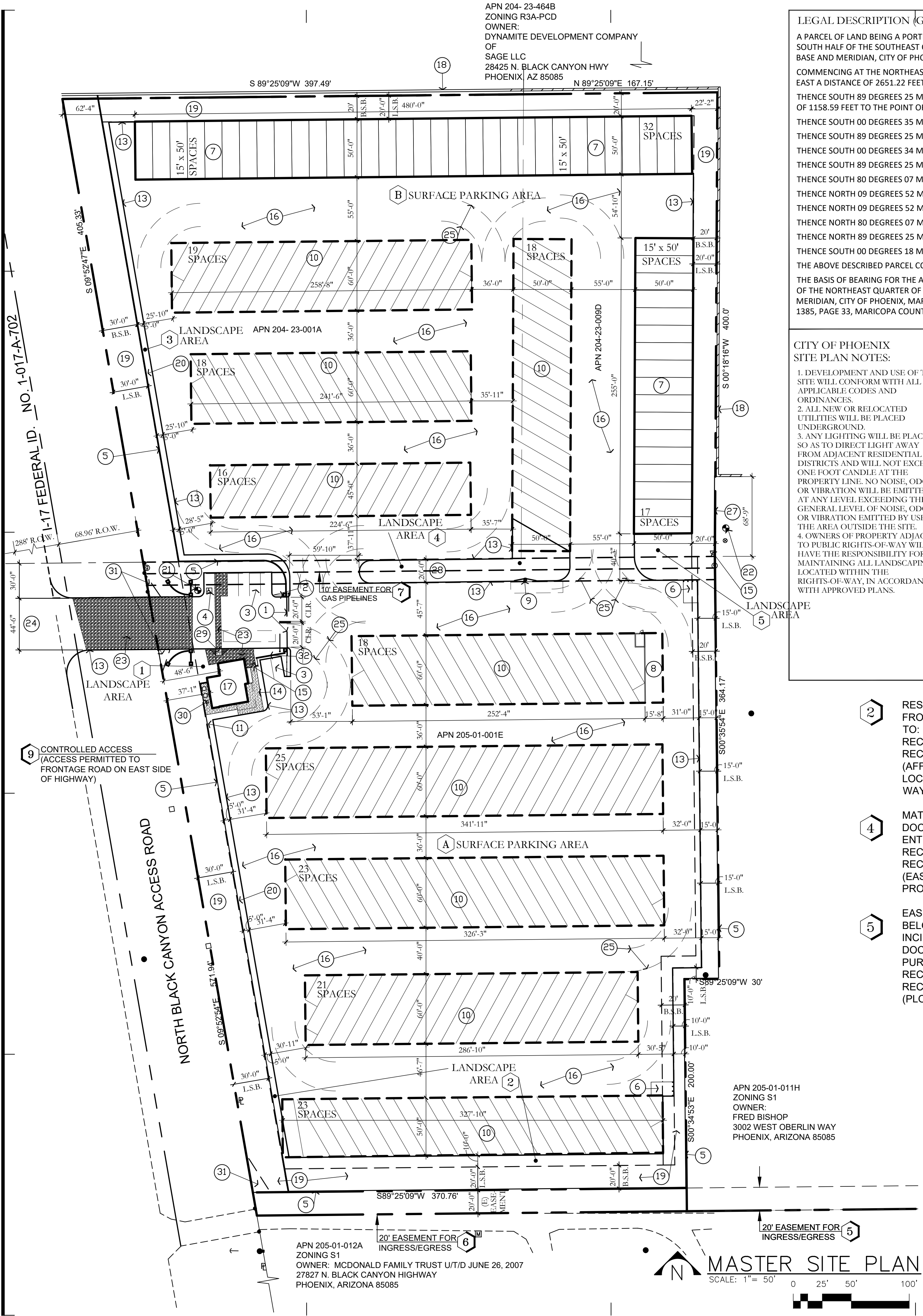
APPLICANT'S NAME: Fortress RV Storage LLC - Mark Temen		REQUESTED CHANGE:	
APPLICATION NO. Z-86-18		FROM: S-1 (11.01 a.c.)	
DATE: 12/21/2018 <small>REVISION DATES:</small>		TO: CP/GCP (11.01 a.c.)	
<small>GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX.</small> 11.01 Acres		<small>AERIAL PHOTO & QUARTER SEC. NO.</small> QS 51-22	<small>ZONING MAP</small> P-7
MULTIPLES PERMITTED		CONVENTIONAL OPTION	
S-1		11	
CP/GCP		N/A	
		* UNITS P.R.D. OPTION	
		N/A	
		N/A	

* Maximum Units Allowed with P.R.D. Bonus



APPLICANT'S NAME: Fortress RV Storage LLC - Mark Temen		REQUESTED CHANGE:	
APPLICATION NO. Z-86-18		FROM: S-1 (11.01 a.c.)	
DATE: 12/21/2018 REVISION DATES:		TO: CP/GCP (11.01 a.c.)	
GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX. 11.01 Acres		AERIAL PHOTO & QUARTER SEC. NO. QS 51-22 ZONING MAP P-7	
MULTIPLES PERMITTED S-1 CP/GCP		CONVENTIONAL OPTION 11 N/A	
		* UNITS P.R.D. OPTION N/A N/A	

* Maximum Units Allowed with P.R.D. Bonus



LEGAL DESCRIPTION (GROSS PROPERTY)
 A PARCEL OF LAND BEING A PORTION OF THE NORTH HALF OF THE NORTHEAST QUARTER OF SECTION 35 AND A PORTION OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 5 NORTH, RANGE 2 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, CITY OF PHOENIX, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:
 COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 35 WHICH BEARS NORTH 89 DEGREES 25 MINUTES 09 SECONDS EAST A DISTANCE OF 2651.22 FEET FROM THE NORTH QUARTER CORNER THEREOF;
 THENCE SOUTH 89 DEGREES 25 MINUTES 09 SECONDS WEST, ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER, A DISTANCE OF 1158.59 FEET TO THE POINT OF BEGINNING;
 THENCE SOUTH 00 DEGREES 35 MINUTES 54 SECONDS EAST A DISTANCE OF 364.17 FEET;
 THENCE SOUTH 89 DEGREES 25 MINUTES 09 SECONDS WEST A DISTANCE OF 30.00 FEET;
 THENCE SOUTH 00 DEGREES 34 MINUTES 53 SECONDS EAST A DISTANCE OF 200.00 FEET;
 THENCE SOUTH 89 DEGREES 25 MINUTES 09 SECONDS WEST A DISTANCE OF 370.76 FEET;
 THENCE SOUTH 80 DEGREES 07 MINUTES 06 SECONDS WEST A DISTANCE OF 25.00 FEET;
 THENCE NORTH 09 DEGREES 52 MINUTES 54 SECONDS WEST A DISTANCE OF 571.69 FEET;
 THENCE NORTH 09 DEGREES 52 MINUTES 07 SECONDS WEST A DISTANCE OF 405.32 FEET;
 THENCE NORTH 80 DEGREES 07 MINUTES 53 SECONDS EAST A DISTANCE OF 25.00 FEET;
 THENCE NORTH 89 DEGREES 25 MINUTES 09 SECONDS EAST A DISTANCE OF 564.64 FEET;
 THENCE SOUTH 00 DEGREES 18 MINUTES 16 SECONDS WEST A DISTANCE OF 400.05 FEET TO THE POINT OF BEGINNING.
 THE ABOVE DESCRIBED PARCEL CONTAINS 11.07 ACRES, MORE OR LESS, INCLUDING ANY EASEMENTS OF RECORD.
 THE BASIS OF BEARING FOR THE ABOVE DESCRIPTION IS NORTH 89 DEGREES 25 MINUTES 09 SECONDS EAST FOR THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 5 NORTH, RANGE 2 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, CITY OF PHOENIX, MARICOPA COUNTY, ARIZONA, AS CALCULATED FROM A RECORD OF SURVEY RECORDED IN BOOK 1385, PAGE 33, MARICOPA COUNTY RECORDS.

CITY OF PHOENIX SITE PLAN NOTES:
 1. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
 2. ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
 3. ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ONE FOOT CANDLE AT THE PROPERTY LINE. NO NOISE, ODOR, OR VIBRATION WILL BE EMITTED AT ANY LEVEL EXCEEDING THE GENERAL LEVEL OF NOISE, ODOR, OR VIBRATION EMITTED BY USES IN THE AREA OUTSIDE THE SITE.
 4. OWNERS OF PROPERTY ADJACENT TO PUBLIC RIGHTS-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING LOCATED WITHIN THE RIGHTS-OF-WAY, IN ACCORDANCE WITH APPROVED PLANS.

KEY NOTES
 1. ROLLING ENTRY GATE. (APP OPERATION)
 2. EMERGENCY OVERRIDE KEY PAD.
 3. TYPICAL 9'5" X 20' PARKING SPACE.
 4. 9'5" X 20' W/ 5 FOOT WIDE ACCESS: ACCESSIBLE PARKING SPACE.
 5. 6' MASONRY WALL.
 6. REFUSE BIN ON 6' X 10' WIDE X 20' DEEP CONC. PAD.
 7. ENCLOSED RV GARAGE STRUCTURE. 49- 15' X 50' SPACES
 8. RV WASH STATION.
 9. RV WASTE STATION.
 10. RV PARKING CANOPY. (178- 12' WIDE PARKING SPACES. 12' X 45' TO 12' X 60')
 11. PROPANE GAS TANK. (FINAL LOCATION PER SITE PLAN REVIEW)
 12. PROPERTY LINE
 13. CAST IN PLACE CONCRETE CURB.
 14. CONCRETE SIDEWALK.
 15. PEDESTRIAN GATE WITH KNOX BOX.
 16. ASPHALT DRIVEWAY.
 17. SALES OFFICE BUILDING- 1,103 SF
 18. EXISTING 11 FOOT HIGH SITE WALL ON ADJACENT PARCEL TO REMAIN.
 19. RETENTION BASIN. SEE CIVIL DRAWINGS.
 20. 5 FOOT LANDSCAPE AREA.
 21. NEW FIRE HYDRANT.
 22. EXISTING FIRE HYDRANT.
 23. STAMPED INTEGRAL COLOR CONCRETE.
 24. ENTRY DRIVE PER CITY OF PHOENIX STANDARDS
 25. FIRE TRUCK TURNING RADIUS. 35 FOOT INTERIOR TIRE RADIUS, 55 FOOT EXTERIOR TIRE RADIUS
 26. NOT USED.
 27. 8' MASONRY WALL.
 28. PROPOSED 20 FOOT UTILITY EASEMENT.
 29. ADA RAMP.
 30. MECHANICAL UNIT YARD.
 31. 10 FOOT X 20 FOOT SIGHT VISIBILITY TRIANGLE.
 32. 6' WROUGHT IRON FENCE.

DEVELOPMENT STANDARDS	PROPOSED DEVELOPMENT STANDARDS
BUILDING SETBACKS/ BUILD-TO-LINES	30' SETBACK ALONG I-17 FRONTAGE (STREET) 20' SETBACKS ALONG ALL OTHER INTERIOR PROPERTY LINES (NOT ON A STREET)
LANDSCAPE SETBACKS	30' SETBACK ALONG I-17 FRONTAGE. 20' SETBACKS ON ALL OTHER PROPERTY LINES, EXCEPT FOR 15' AND 10' SETBACK ALONG SOUTH HALF OF EAST PROPERTY LINE AS SHOWN IN SITE PLAN
HEIGHT	HEIGHT OF UP TO 18' WITHIN 30' OF PERIMETER LOT LINE, WITH A 1' HEIGHT INCREASE PER EACH 3' OF ADDITIONAL SETBACK
AREA CALCULATIONS:	SALES OFFICE BUILDING: 1,103 SF COVERED RV PARKING: 143,219 SF RV GARAGES: 36,735 SF SURFACE PARKING AREAS: A 189,935 SF B 140,541 SF LANDSCAPE AREAS: 1 2,289 SF 3 3,911 SF 2 5,548 SF 4 4,541 SF 5 1,906 SF TOTALS: SURFACE PARKING AREA: 330,476 SF INTERIOR LANDSCAPE AREA: 18,195 SF
LOT COVERAGES	BUILDING COVERAGE: 181,057 SF / 457,675.89 SF= 39.5% INTERIOR LANDSCAPE AREA: 18,195 SF / 330,476 SF= 5.5%
PARKING	REQUIRED: 1 SPACE PER 300 SF OF OFFICE= 1,103/300= 4 SPACES PROVIDED: 7 REGULAR SPACES 1 ACCESSIBLE SPACES

APPLICANT/ BUSINESS OWNER:
 FORTRESS RV STORAGE LLC
 MARK TEMEN
 2211 EAST CAMELBACK ROAD UNIT 607
 PHOENIX, ARIZONA 85016
 CONTACT: MARK TEMEN
 P: 602-228-2826

CIVIL ENGINEER:
 RPA
 PETE HEMINGWAY PE
 STEVE LEWIS, PE
 5727 N. 7TH STREET SUITE 120
 PHOENIX, AZ 85014

ARCHITECT:
 ON POINT ARCHITECTURE, LLC
 NICOLE POSTEN, RA
 1341 E FAIRFIELD ST.
 MESA, AZ 85203
 P: 480-227-5259

PROPERTY LOCATION
 BLACK CANYON HIGHWAY AND DYNAMITE ROAD
 PHOENIX, AZ 85009
 ASSESSORS PARCEL NO.s 205-01-001E, 204-23-009D, & 204-23-001A

LOT SIZE:
 APN 204-23-009D
 NET: 66,835.16 SF (1.53 AC)
 GROSS: 66,835.16 SF (1.53 AC)

 APN 205-01-001E
 NET: 246,138.80 SF (5.65 AC)
 GROSS: 260,415.24 SF (5.98 AC)

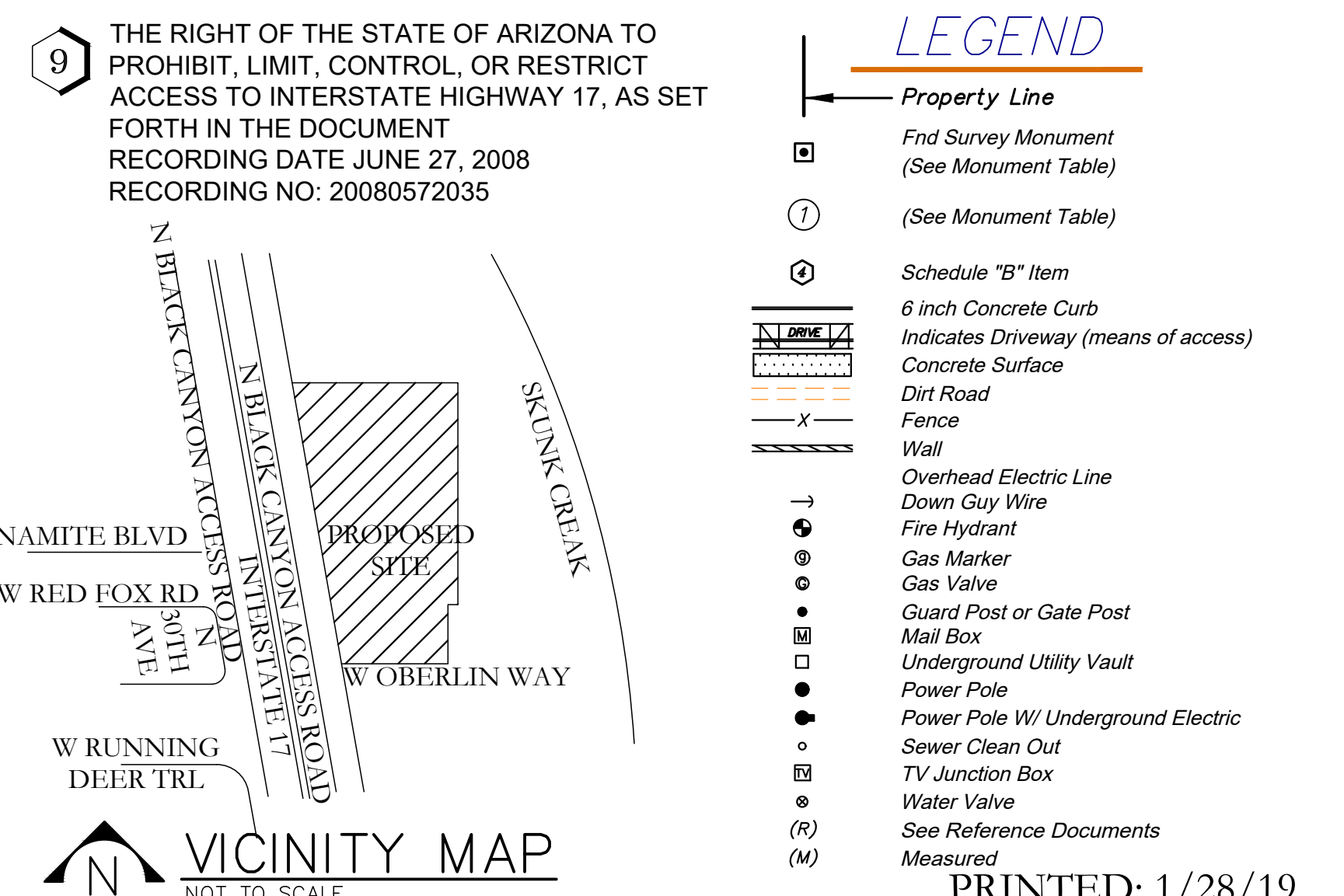
 APN 204-23-001A
 NET: 144,701.93 SF (3.32 AC)
 GROSS: 154,823.83 SF (3.55 AC)

 TOTAL: NET: 457,675.89 SF (10.51 AC)
 GROSS: 482,074.23 SF (11.07 AC)

CURRENT ZONING: S1
PROPOSED ZONING: CP-GCP GENERAL COMMERCE PARK

PROJECT DESCRIPTION
 THE APPLICANT PROPOSES TO CONSTRUCT (IN 2 PHASES) AND OPERATE AN RV AND BOAT STORAGE FACILITY, OFFERING BOTH ENCLOSED AND CANOPY STORAGE AREAS, VEHICULAR INGRESS AND EGRESS TO AND FROM THE FACILITY WILL OCCUR AT THE MID-POINT ALONG THE PROPERTY'S WEST BOUNDARY THROUGH AN ENTRANCE GATE WHICH CONNECTS TO THE I-17 FRONTAGE ROAD. A PROPANE STATION AND RV WASTE STATION ARE ALSO PROPOSED. UPON RECEIVING REZONING APPROVAL, THE APPLICANT WILL OBTAIN THE NECESSARY USE PERMIT APPROVAL TO OPERATE A RECREATIONAL VEHICLE AND BOAT STORAGE FACILITY IN ACCORDANCE WITH SECTION 626.F.2.Z OF THE ZONING ORDINANCE.

- 2 RESERVATIONS CONTAINED IN THE PATENT FROM THE UNITED STATES OF AMERICA TO: DEWEY W. LOSCH
 RECORDING DATE: JUNE 3, 1931
 RECORDING NO: BOOK 254 OF DEEDS, PAGE 596
 (AFFECTS SUBJECT PROPERTY - NO SPECIFIED LOCATION FOR TRANSMISSION LINE LOCATION OF WAY - NOT PLOTTABLE)
- 4 MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED: AGREEMENT AND EASEMENT
 RECORDING DATE: MAY 9, 1972
 RECORDING NO: DOCKET 9423, PAGE 33
 (EASEMENT LOCATION IS E. OF SUBJECT PROPERTY)
- 5 EASEMENT FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
 PURPOSE: INGRESS AND EGRESS
 RECORDING DATE: OCTOBER 14, 1994
 RECORDING NO: 94-0744418
 (PLOTTABLE MATTERS SHOWN HEREON)
- 6 EASEMENT FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
 PURPOSE: INGRESS AND EGRESS
 RECORDING DATE: OCTOBER 14, 1994
 RECORDING NO: 94-0744419
 (PLOTTABLE MATTERS SHOWN HEREON)
- 7 EASEMENT FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
 PURPOSE: GAS PIPELINE
 RECORDING DATE: OCTOBER 21, 2000
 RECORDING NO: 2000-0638648
 (PLOTTABLE MATTERS SHOWN HEREON)
- 8 ANY ACTION THAT MAY BE TAKEN BY THE FLOOD CONTROL DISTRICT OF MARICOPA COUNTY TO ACQUIRE PROPERTY RIGHTS OF WAY FOR FLOOD CONTROL, AS DISCLOSED IN RECORDING NO: 2005-1466782



CITY OF PHOENIX
 JAN 29 2019
 Planning & Development Department

ON POINT ARCHITECTURE
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REGISTERED ARCHITECT
 48511 NICOLE LEE POSTEN
 1/28/19
 ARIZONA U.S.A.
 Expires 9/30/2020

DATE	ITEM
11/26/18	ZONING SUBMITTAL 1
01/28/19	ZONING UPDATE

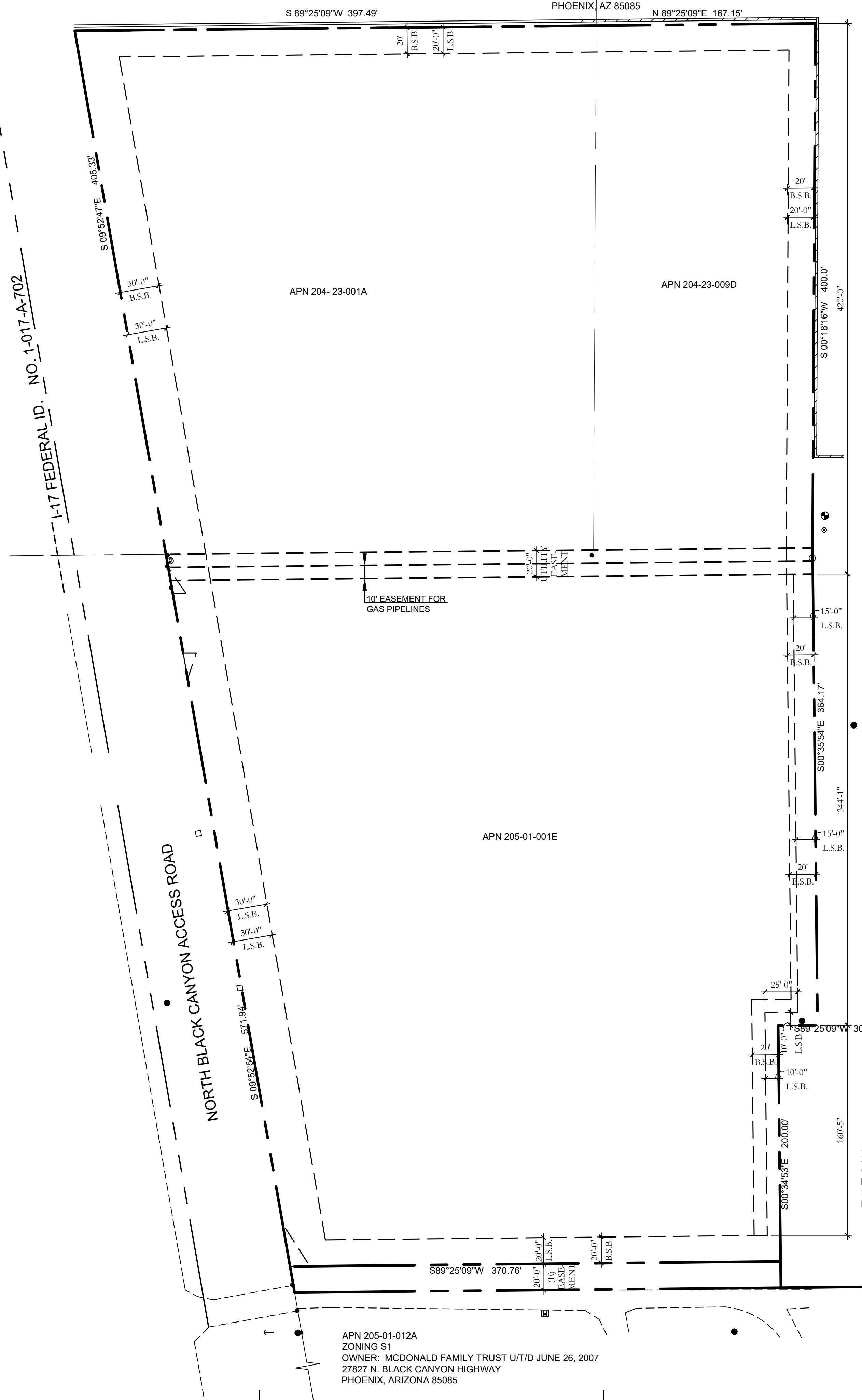
DATE: 01/28/19
 ITEM: ZONING UPDATE

RV STORAGE FACILITY
 for
FORTRESS RV STORAGE
 28020 N 28TH AVENUE
 PHOENIX, ARIZONA 85085

DWG NAME: MASTER SITE PLAN
DWG #: A1.1

JOB #: 1814
 PRINTED: 1/28/19

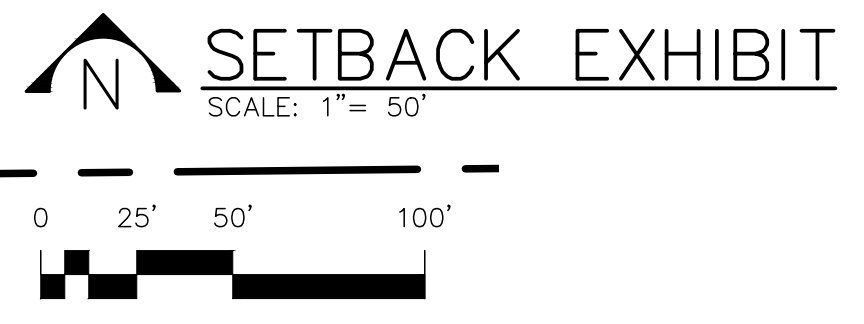
APN 204-23-464B
 ZONING R3A-PCD
 OWNER:
 DYNAMITE DEVELOPMENT COMPANY
 OF
 SAGE LLC
 28425 N. BLACK CANYON HWY
 PHOENIX, AZ 85085



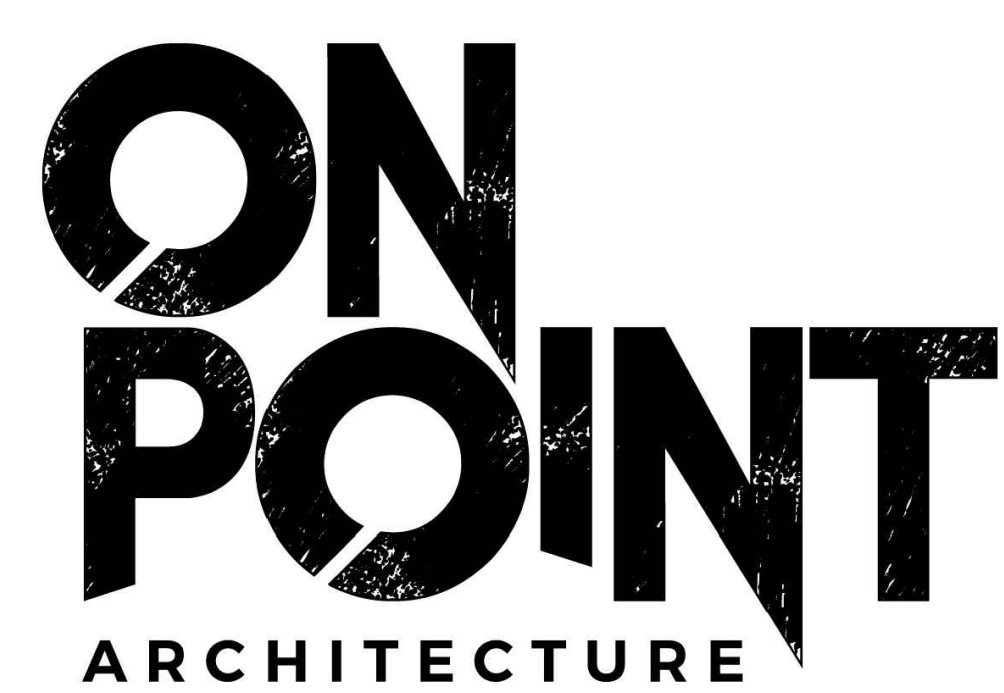
10' EASEMENT FOR
 GAS PIPELINES

APN 205-01-011H
 ZONING S1
 OWNER:
 FRED BISHOP
 3002 WEST OBERLIN WAY
 PHOENIX, ARIZONA 85085

APN 205-01-012A
 ZONING S1
 OWNER: MCDONALD FAMILY TRUST U/T/D JUNE 26, 2007
 27827 N. BLACK CANYON HIGHWAY
 PHOENIX, ARIZONA 85085



CITY OF PHOENIX
 JAN 29 2019
 Planning & Development
 Department



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PRINTED: 01/28/19

	JOB #: 1814 RV STORAGE FACILITY for FORTRESS RV STORAGE							
	28020 N 28TH AVENUE PHOENIX, ARIZONA 85085							
<table border="1"> <thead> <tr> <th>DATE</th> <th>ITEM</th> </tr> </thead> <tbody> <tr> <td>11/26/18</td> <td>ZONING SUBMITTAL 1</td> </tr> <tr> <td>01/28/19</td> <td>ZONING 2ND SUBMITTAL</td> </tr> </tbody> </table>	DATE	ITEM	11/26/18	ZONING SUBMITTAL 1	01/28/19	ZONING 2ND SUBMITTAL	DWG NAME: SETBACK EXHIBIT	DWG #: A0
DATE	ITEM							
11/26/18	ZONING SUBMITTAL 1							
01/28/19	ZONING 2ND SUBMITTAL							
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CALL TWO WORKING DAYS BEFORE YOU DIG
602-263-1100
1-800-STAKE-IT
 (OUTSIDE MARICOPA COUNTY)



CITY OF PHOENIX
 JAN 29 2019
 Planning & Development
 Department

Keynotes

1. Entry gate.
2. Key pad.
3. Parking space.
4. Accessible parking space.
5. 6" Masonry wall.
6. Masonry refuse enclosure.
7. Enclosed structure.
8. New wash station.
9. Waste station.
10. 20' Landscape setback
11. Parking canopy.
12. Propane gas tank.
13. Property Line.
14. Cast in place concrete curb.
15. Concrete sidewalk.
16. Pedestrian gate.
17. Asphalt driveway.
18. 6" Masonry Wall to match Architectural Drawings.
19. Office building.
20. Existing site wall on adjacent parcel.
21. Retention Basin. See Civil Drawings.
22. 30' Landscape setback
23. 10' Landscape setback
24. Interior lot landscape.
25. Existing fire hydrant.
26. 8' Masonry wall- see Architectural Drawings.
27. 15' Landscape setback

Proposed Plant Palette

Tree	Acacia salicina <i>Willow Acacia</i>
Tree	Acacia willardiana <i>Palo Blanco</i>
Tree	Chilopsis linearis <i>Desert Willow</i>
Tree	Eucalyptus papuana <i>Ghost Gum</i>
Tree	Pinus canariensis <i>Canary Island Pine</i>
Tree	Pinus eldarica <i>Afghan Pine</i>
Tree	Pinus halepensis <i>Aleppo Pine</i>
Shrub	Bougainvillea (Sp.) <i>'Barbara Karst'</i>
Shrub	Caesalpinia mexicana <i>Mexican Bird of Paradise</i>
Shrub	Ruellia peninsularis <i>Desert Reullia</i>
Shrub	Muhlenbergia capillaris <i>White Cloud</i>
Shrub	Muhlenbergia capillaris <i>'Regal Mist'</i>
Shrub	Muhlenbergia emersleyi <i>'El Toro' Grass</i>
Shrub	Muhlenbergia lindheimeri <i>'Autumn Glow'</i>
Shrub	Muhlenbergia rigens <i>Deer Grass</i>
Accent	Dasyliyon wheeleri <i>Desert Spoon</i>
Accent	Hesperaloe parviflora <i>Red Yucca</i>
Accent	Yucca baccata <i>Banana Yucca</i>
Groundcover	Convolvulus cneorum <i>Ground Morning Glory</i>
Groundcover	Lantana 'New Gold' <i>New Gold Lantana</i>
Groundcover	Rosmarinus officinalis <i>'Prostratus' Rosemary</i>

Landscape Notes

Landscape Area: Approximately 1.9 Acres

Trees adjacent to residential parcels (north, east & south) to be placed an average of 20' on center.

All planting areas to utilize drip irrigation

All planting areas to be covered with decomposed granite - Desert Brown, 3/4" screened

Refer to Conceptual Site Plan for site plan specifics

Landscape Legend

- Tree
- Accent Tree
- Shrubs and Groundcover

Development Team

Business Owner:
 Fortress RV Storage LLC
 Mark Temen
 2211 East Camelback Road Unit 607
 Phoenix, Arizona 85016
 Contact: Mark Temen
 P. 602-228-2826

Civil Engineer:
 RPA
 Pete Hemingway PE
 Michael Brungard PE
 5727 N. 7th Street suite 120
 Phoenix, AZ 85014

Architect:
 On Point Architecture, LLC
 Nicole Posten, RA
 1341 E Fairfield St.
 Mesa, AZ 85203
 P. 480-227-5259

Landscape Architect:
 RVi Planning
 Steven Voss
 120 S. Ash Avenue
 Tempe, AZ 85281
 P. 480-994-0994

Site Data

Property Location
 Black Canyon Highway and Dynamite Road
 Phoenix, AZ 85009
 Assessor's Parcel No. 205-01 -001E combined with Assessor's Parcel No. 204-23-009D and Assessor's Parcel No. 204-23-001A

Zoning
 Current Zoning: S1
 Proposed Zoning: CP-GCP General Commerce Park

Proposed Parking
 Accessible Space: 1
 Regular Spaces: 6
 Total Spaces: 7

Lot Coverage
 Assessor's Parcel No.: 205-01 -001E:
 91,807 SF / 246,138.80 SF= 37.3%
 Assessor's Parcel No.: 204-23-009D
 29,684 SF / 66,846.97 SF= 44.4%
 Assessor's Parcel No. 204-23-001A
 57,855 SF/144,701.88 SF = 40%

Building Heights
 Office Building: 24'-2"
 Canopies: 12'W x 60'D x 17' H
 Enclosures: 15'W x 50'D x 19'H

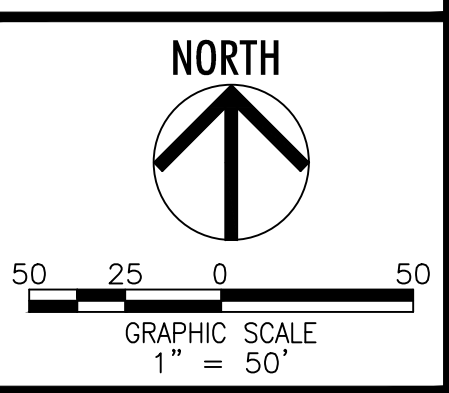
Proposed Building Setbacks/Build-to-Lines
 30' setback along I-17 Frontage (street)
 20' setback along all other interior property lines (not street)

Proposed Landscape Setbacks
 South Parcel:
 South: 20', East: 10'
 North Parcel:
 North: 20', East: 20',
 (Open Storage Area per 626.F.2.Z.(2))

Site Legend

- Property Line
- End Survey Monument (See Monument Table)
- (See Monument Table)
- Schedule "B" Item
- 6 inch Concrete Curb
- Indicates Driveway (means of access)
- Concrete Surface
- Dirt Road
- Fence
- Wall
- Overhead Electric Line
- Down Guy Wire
- Fire Hydrant
- Gas Marker
- Gas Valve
- Guard Post or Gate Post
- Mail Box
- Underground Utility Vault
- Power Pole
- Power Pole W/ Underground Electric
- Sewer Clean Out
- TV Junction Box
- Water Valve
- See Reference Documents
- Measured

**FORTRESS RV
 PRELIMINARY LANDSCAPE PLAN
 BLACK CANYON HIGHWAY & DYNAMITE ROAD**

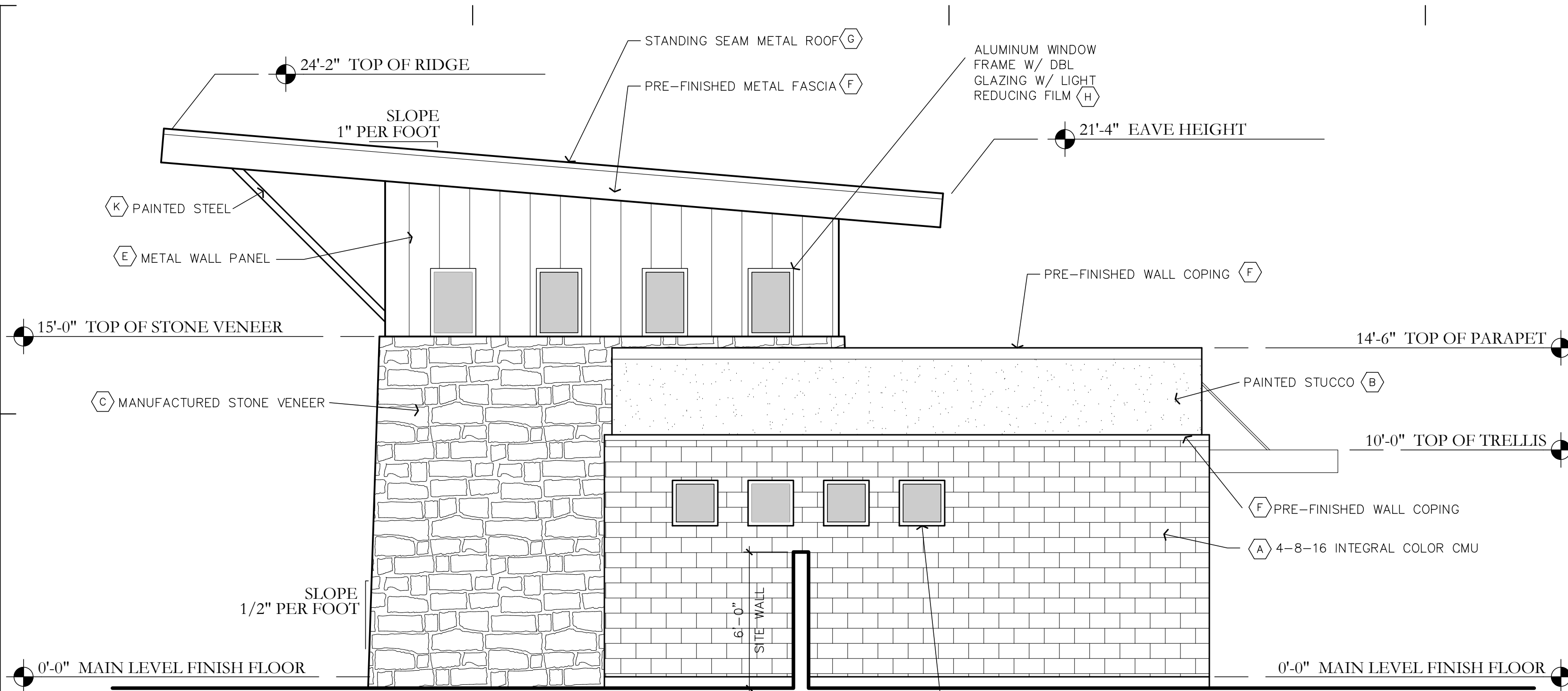


Date: 1/28/19
 Project No.: 18002109
 Drawn By: AV
 Drawing Name: PRELIMINARY LANDSCAPE PLAN
 Revised:
 Sheet: 1 of 1

land planning
 development entitlements
 landscape architecture
 120 south ash avenue
 tempe, arizona 85281
 480.994.0994

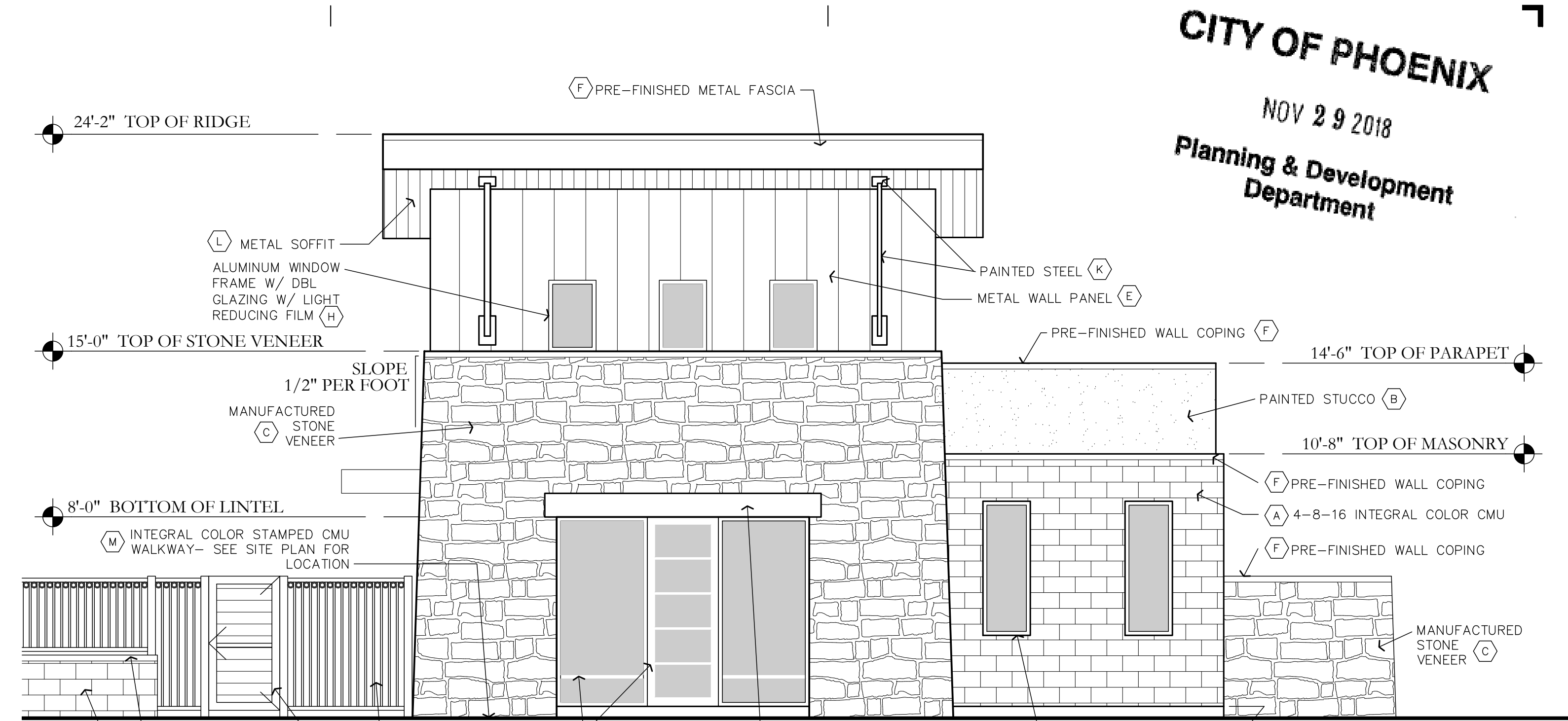


PRELIMINARY AND FOR CONSTRUCTION. * SUBJECT TO ENGINEERING AND CITY REVIEW AND APPROVAL. This document, together with the contracts and designs presented herein, is intended only for the specific purpose and client for which it is prepared. Reuse of any information on this document without written authorization and permission from the creator and design presenter is prohibited. L:\18002109-FORTRESS RV-5-PLANNING\1-18002109-PA-CONCEPTUAL L.S. PLAN.dwg Jan 28, 2019



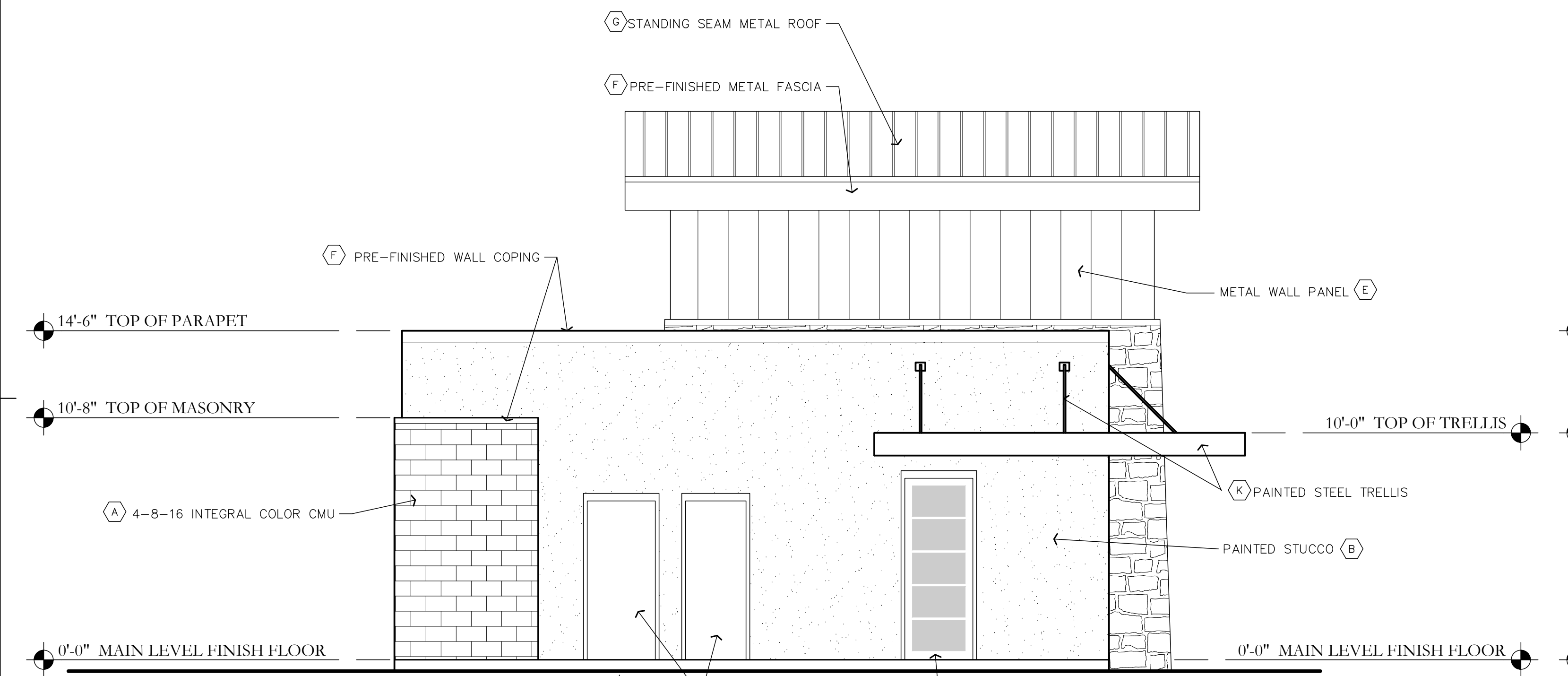
WEST ELEVATION

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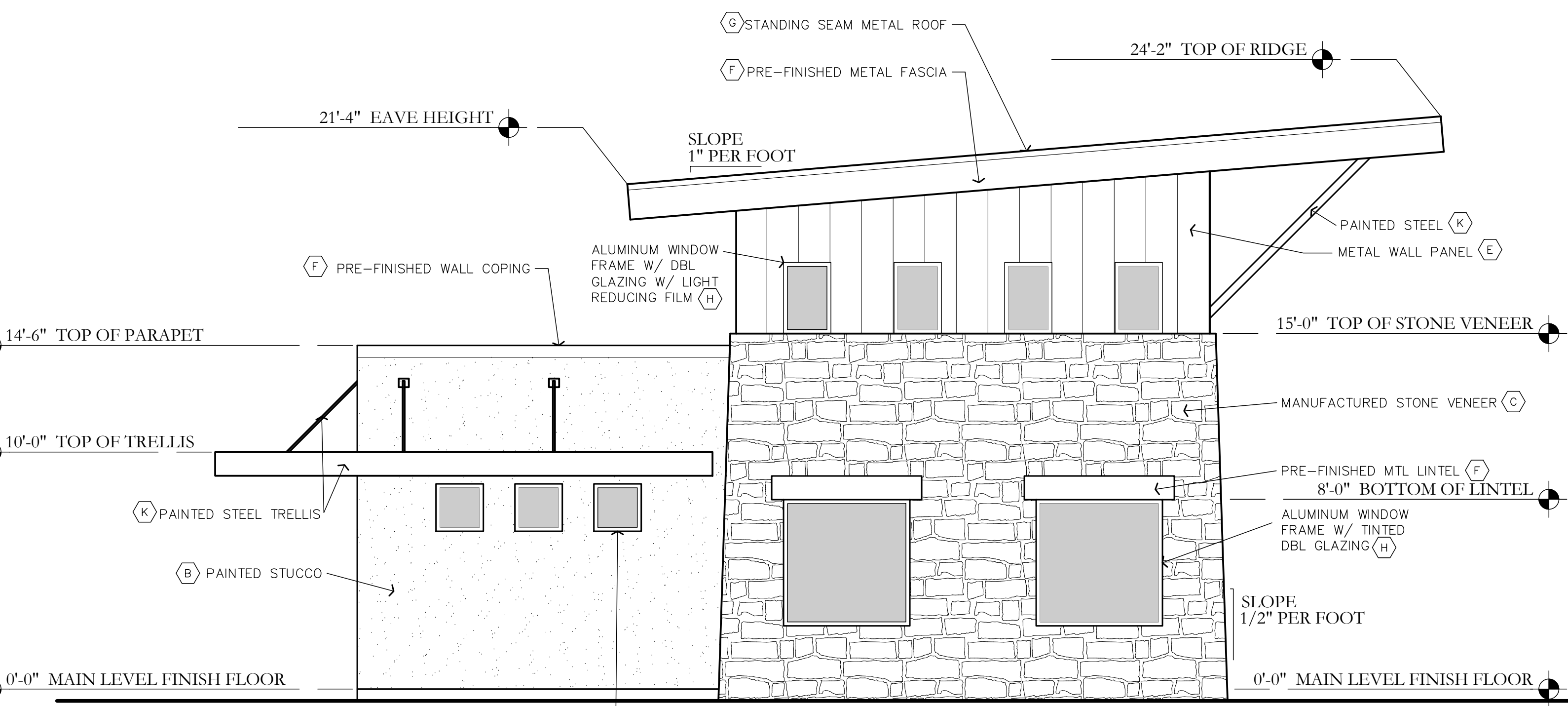
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SOUTH ELEVATION

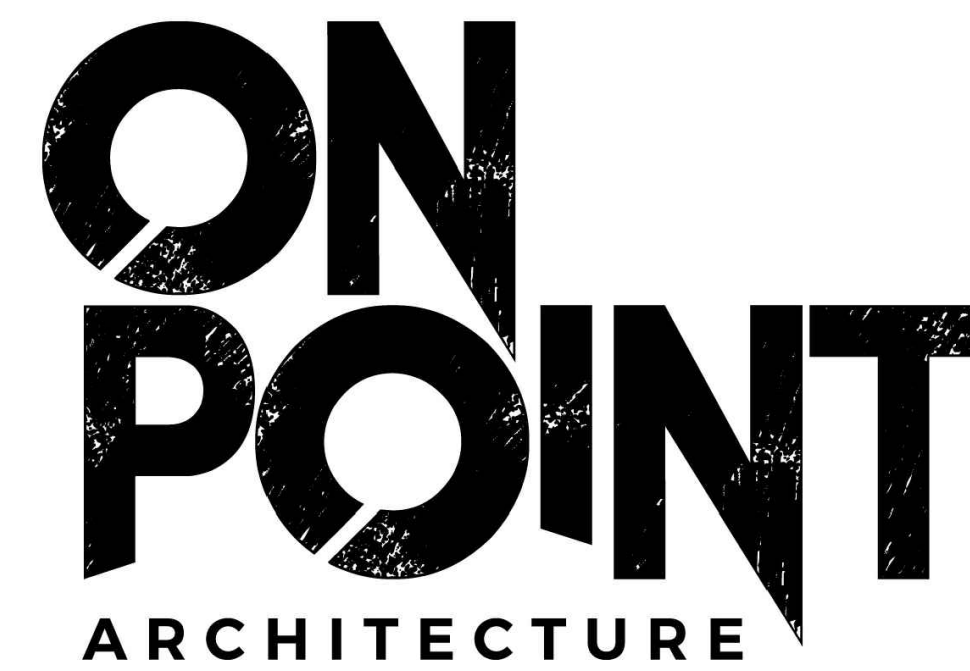
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EAST ELEVATION

SCALE: 1/4" = 1'-0"

MATERIAL KEY	
(A) CMU, INTEGRAL COLOR:	PEBBLE BEACH, MESASTONE BY ECHELON
(B) PAINTED STUCCO:	MODERN GRAY, SW7632 BY SHERWIN WILLIAMS
(C) MANUFACTURED STONE VENEER:	OSAGE, DAKOTA BROWN BY CORONADO STONE
(D) CMU, INTEGRAL COLOR:	HOPI SANDSTONE BY SUPERLITE
(E) METAL WALL PANEL & TRIM:	DESIGNER SERIES FLAT, GALVALUME, BY MBCI
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(G) STANDING SEAM METAL ROOF:	BURNISHED SLATE, CRAFTNAB SERIES- SMALL BATTEN, BY MBCI
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(M) STAMPED CONCRETE, INTEGRAL COLOR:	COCOA CC177/6, BY INCRETE SYSTEMS, PATTERN: COBBLE STONE



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REGISTERED ARCHITECT
48511
NICOLE LEE POSTEN
ARIZONA U.S.A.
Expires 11/16/18
Expires 9/30/2020

DATE	ITEM
11/26/18	ZONING SUBMITTAL 1

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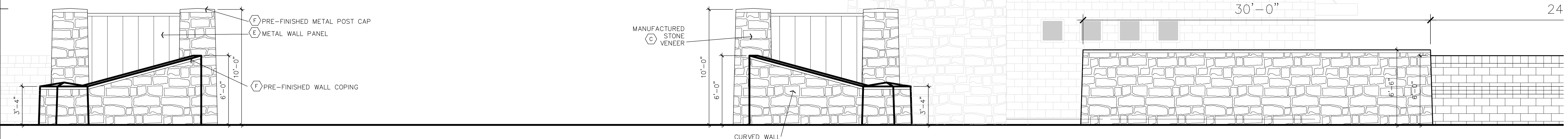
RV & BOAT STORAGE FACILITY
for
FORTRESS RV STORAGE
28020 N 28TH AVENUE
PHOENIX, ARIZONA 85085

DWG NAME: SALES OFFICE EXTERIOR ELEVATIONS
DWG #: A3

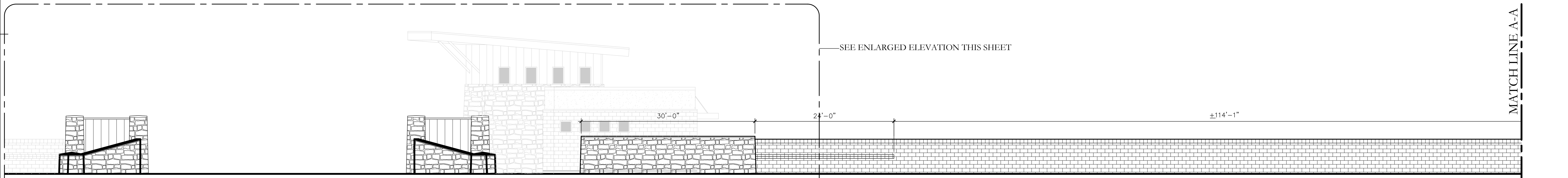
JOB #: 1814

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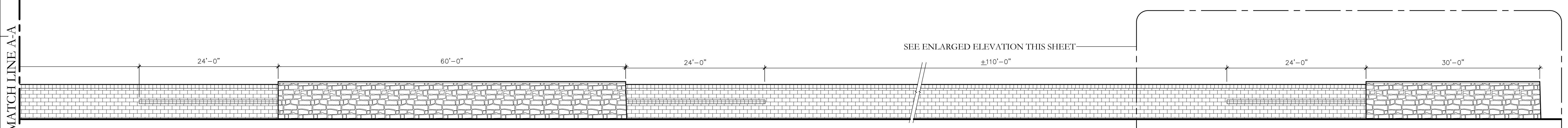
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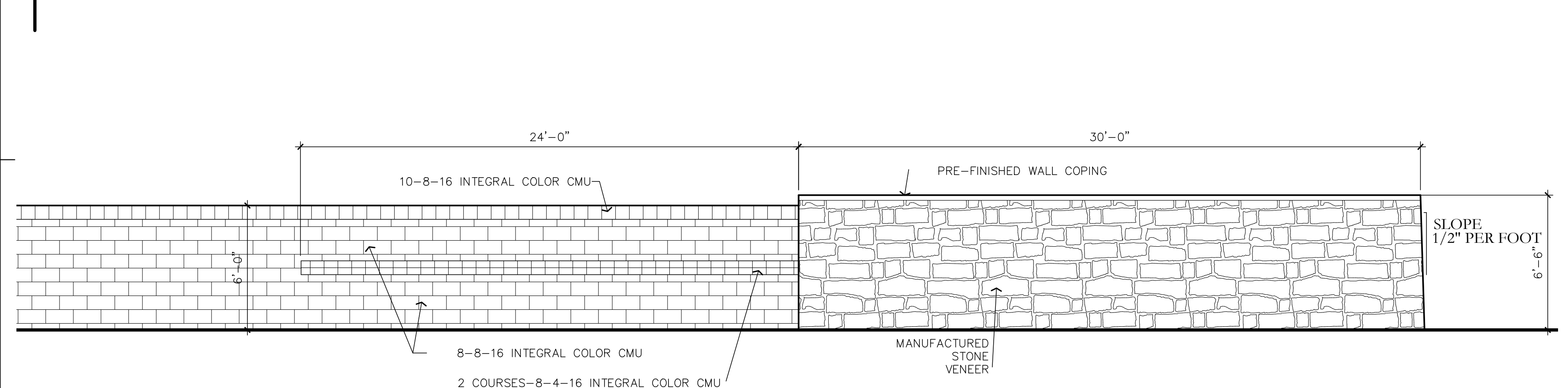
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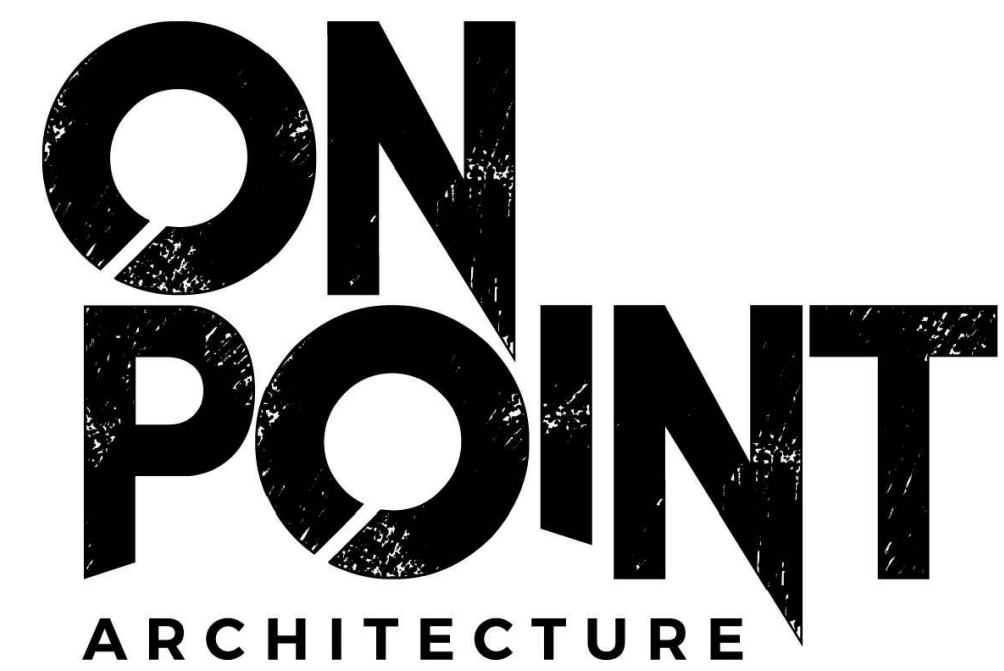
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STREET ENTRY ELEVATION- PARTIAL
SCALE: 1/8" = 1'-0"



STREET ENTRY ELEVATION- PARTIAL- ENLARGED
SCALE: 1/4" = 1'-0"



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NICOLE LEE
POSTEN
ARIZONA U.S.A.
Expires 11/16/2020
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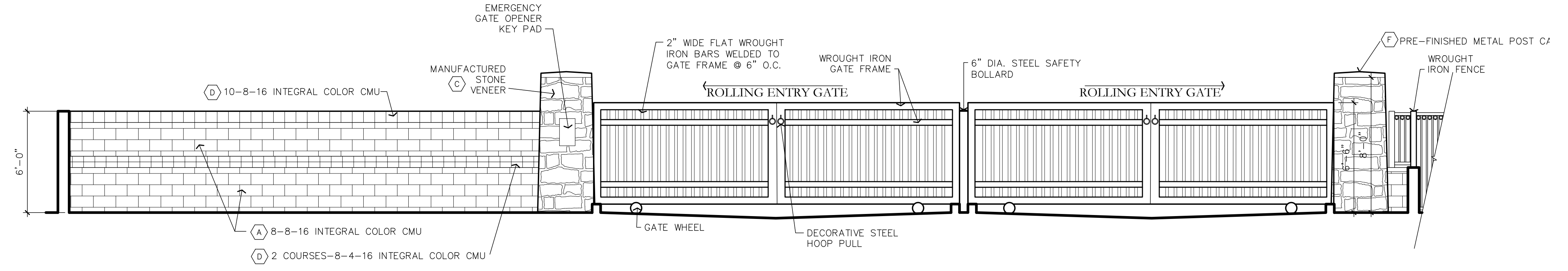
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JOB #: 1814

**RV & BOAT
STORAGE FACILITY**
for
FORTRESS RV STORAGE
28020 N 28TH AVENUE
PHOENIX, ARIZONA 85085

DWG NAME: SITE WALL/ ENTRY ELEVATIONS
DWG #: **A3.1**



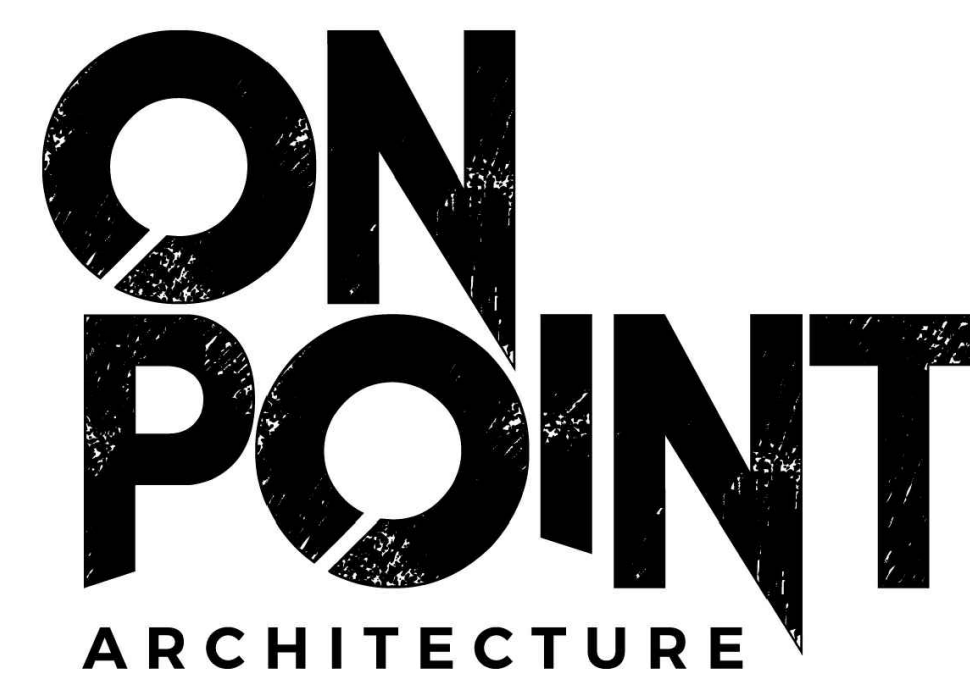
ENTRY_GATE ELEVATION- PARTIAL- ENLARGED
SCALE: 1/4" = 1'-0"



STREET_ENTRY ELEVATION- PARTIAL- ENLARGED (CUT THRU CURVED ENTRY WALL)
SCALE: 1/4" = 1'-0"

MATERIAL KEY	
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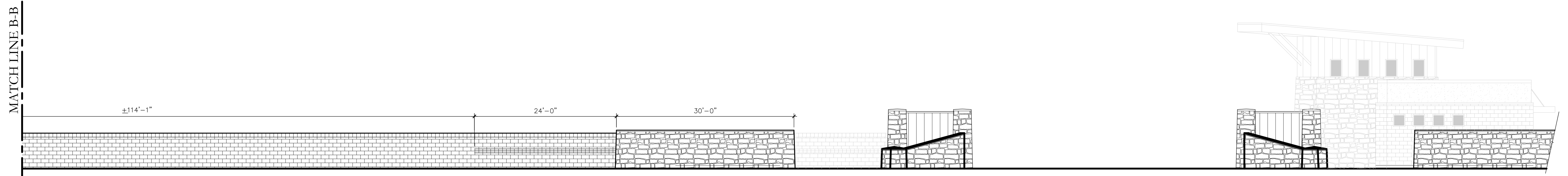


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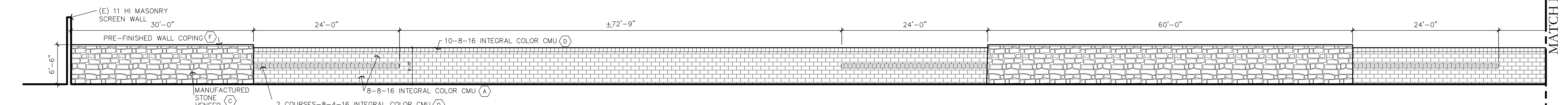
	JOB #: 1814 RV & BOAT STORAGE FACILITY for FORTRESS RV STORAGE 28020 N 28TH AVENUE PHOENIX, ARIZONA 85085	
	DATE: 11/26/18 ITEM: ZONING SUBMITTAL 1	DWG NAME: ENTRY_GATE ELEVATION
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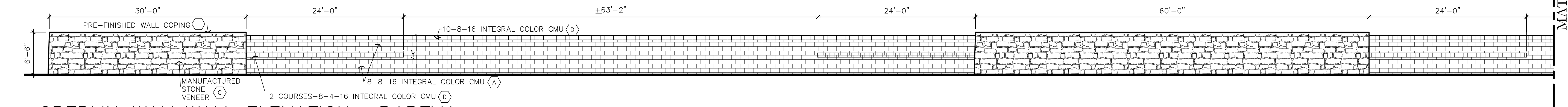
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 Planning & Development
 Department



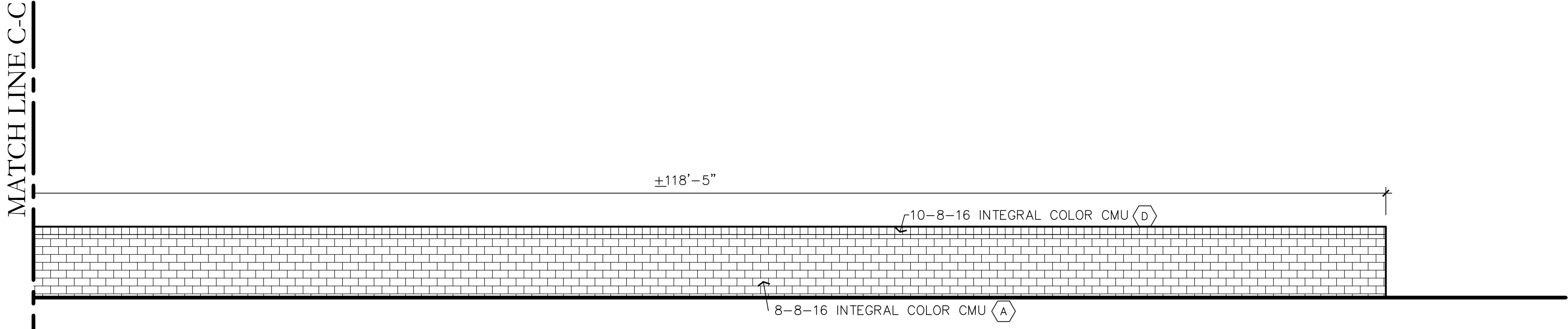
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 SCALE: 1/8" = 1'-0"



STREET ENTRY ELEVATION - PARTIAL
 SCALE: 1/8" = 1'-0"



OBERLIN WAY WALL ELEVATION - PARTIAL
 SCALE: 1/8" = 1'-0"



OBERLIN WAY WALL ELEVATION - PARTIAL
 SCALE: 1/8" = 1'-0"

PRINTED: 11/24/2018



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JOB #: 1814

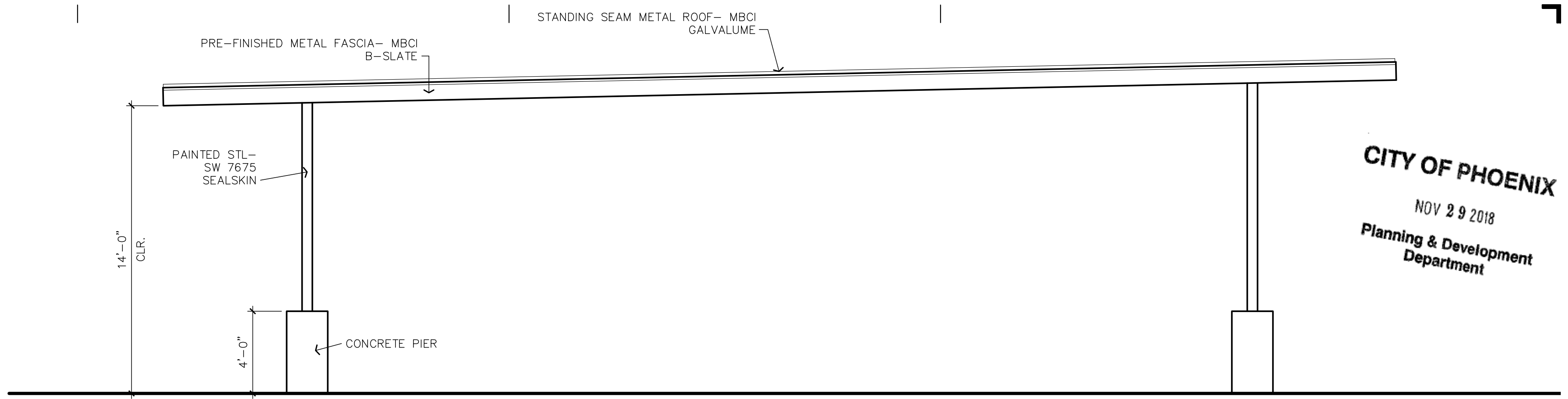
**RV & BOAT
 STORAGE FACILITY**

for
FORTRESS RV STORAGE

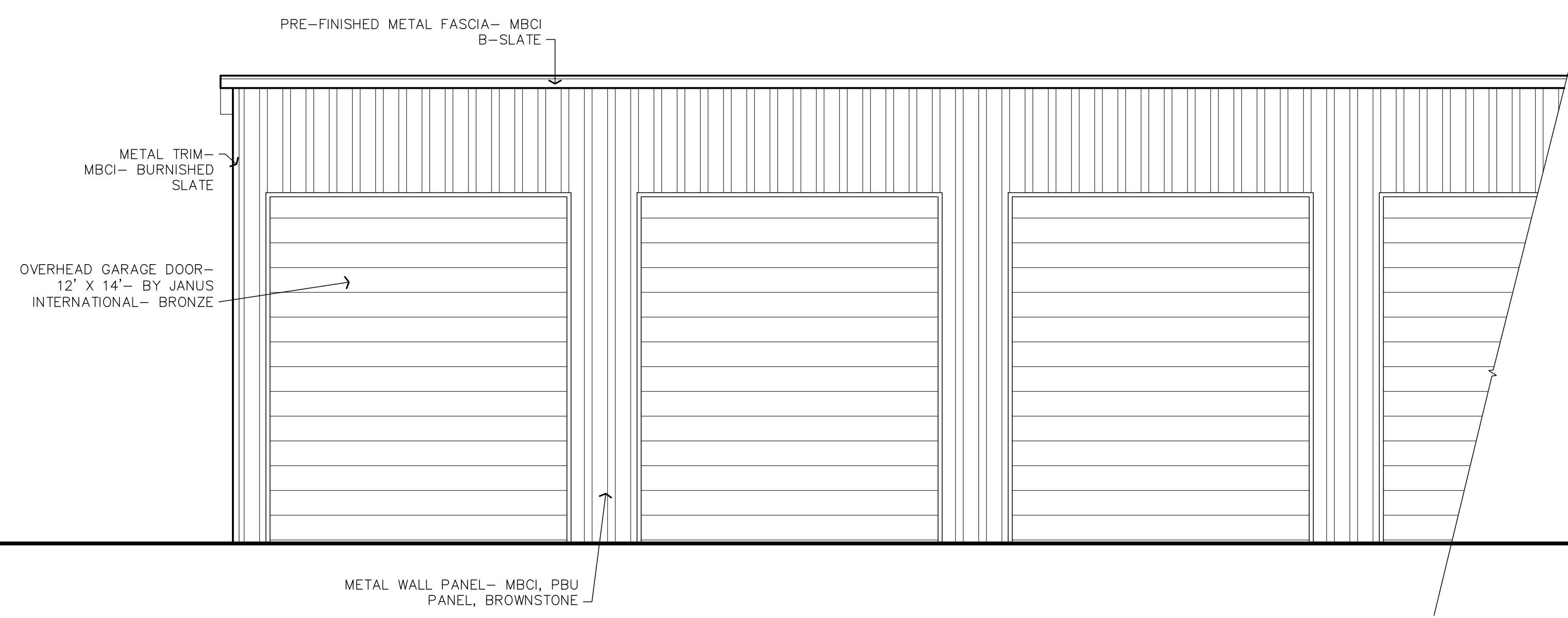
28020 N 28TH AVENUE
 PHOENIX, ARIZONA 85085

DWG NAME: SITE WALL/ ENTRY ELEVATIONS
 DWG #: **A3.3**

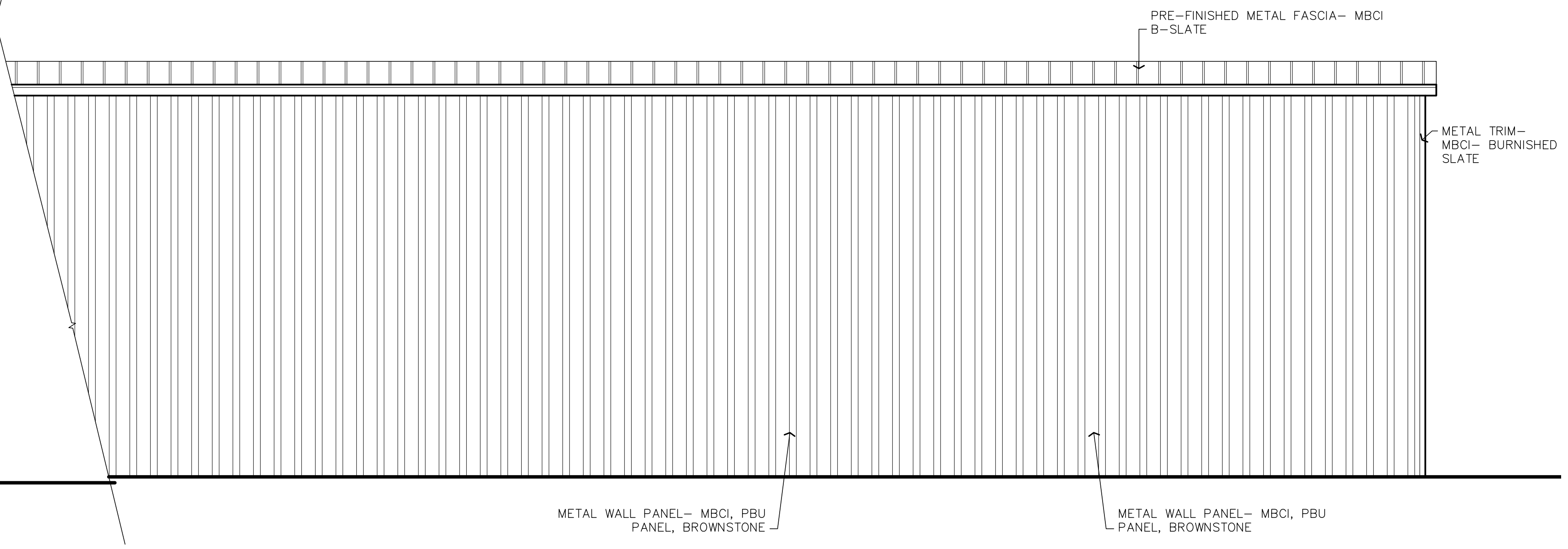
CITY OF PHOENIX
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Planning & Development
Department



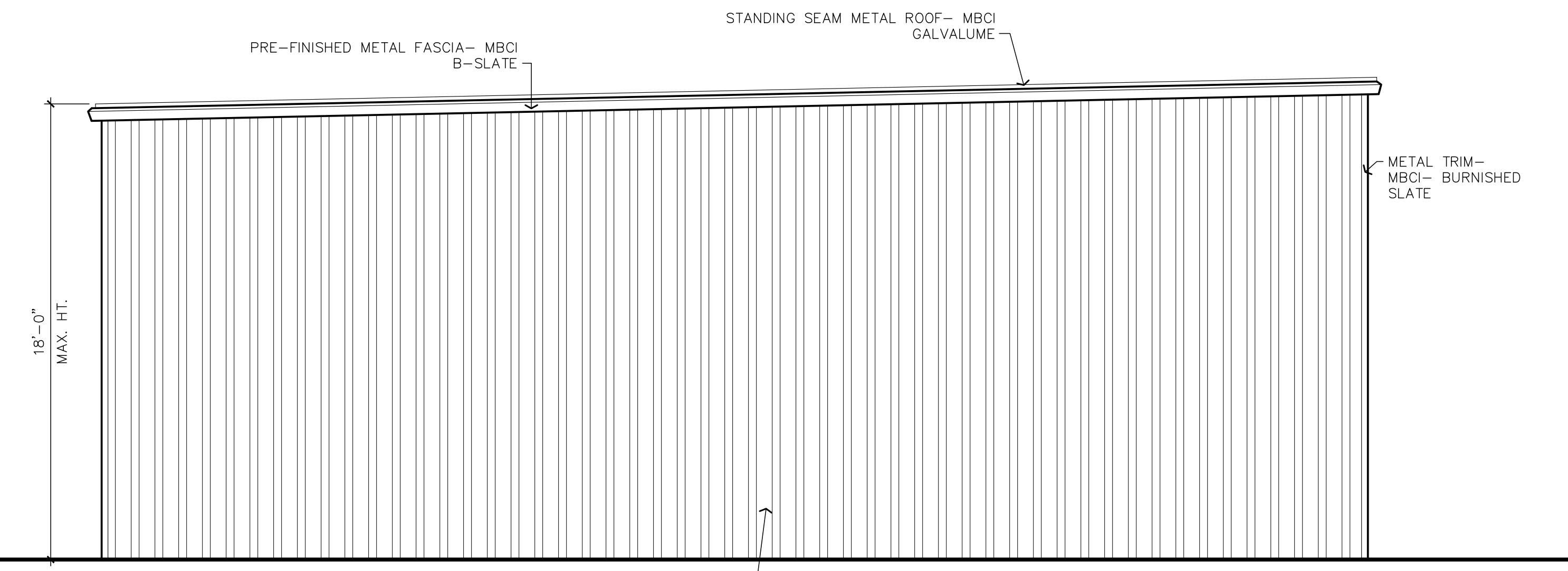
RV PARKING CANOPY- TYPICAL END ELEVATION
SCALE: 1/4" = 1'-0"



RV GARAGE- TYPICAL FRONT ELEVATION
SCALE: 1/4" = 1'-0"

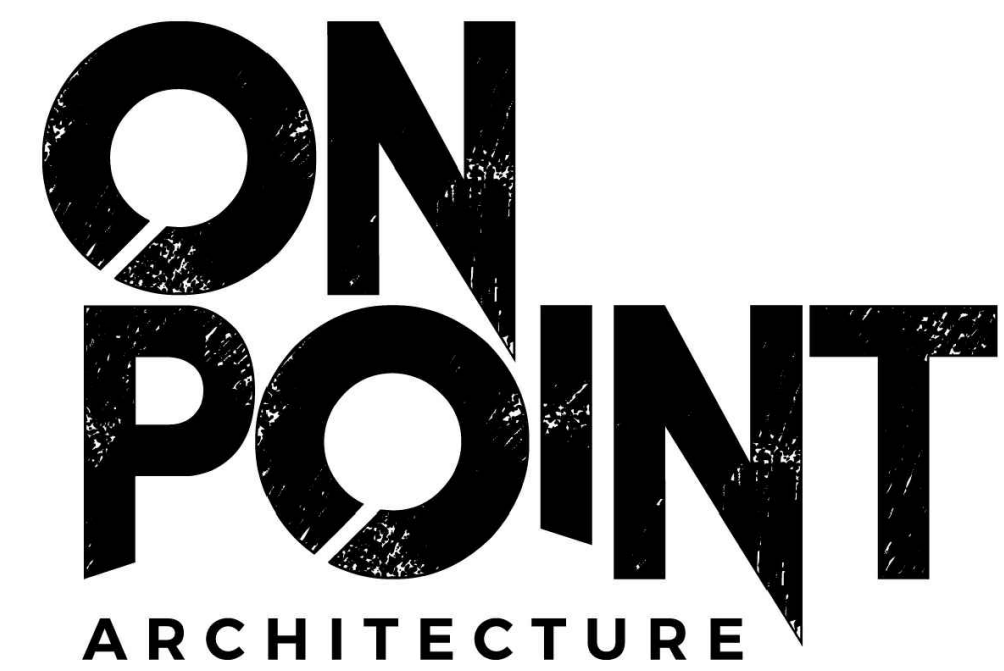


RV GARAGE- TYPICAL REAR ELEVATION
SCALE: 1/4" = 1'-0"



RV GARAGE- TYPICAL END ELEVATION
SCALE: 1/4" = 1'-0"

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11/26/18	ZONING SUBMITTAL 1

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JOB #: 1814
RV & BOAT
STORAGE FACILITY
for
FORTRESS RV STORAGE
28020 N 28TH AVENUE
PHOENIX, ARIZONA 85085

DWG NAME: RV CANOPY & RV GARAGE TYPICAL ELEVATIONS
DWG #: A3.4

From: [Fred Bishop](#)
To: [Alan Hilty](#)
Cc: [Nick Klimek](#)
Subject: Fwd:
Date: Monday, December 17, 2018 4:31:35 PM
Attachments: [Z-86-18-2 Fortress RV Community hearing.pdf](#)

Alan,

Thank you for the conversation today. Attached is the mail I received showing three properties to be developed, 205-01-001E, 204-23-009D and 204-23-001A.

As described on the phone, I would support a dedication for Oberlin and Dynamite, appropriate for the development of the properties to the East, 205-01-011H, 205-01-001X (both owned by myself) and 205-01-011S and 205-01-011R (Wick Family Trust).

Along the Dynamite road alignment, on the south side of the alignment, there is a large natural gas line that services the KB homes to the west, crossing under the highway, which prevents building any structures. This is also the appropriate location for the easement to bring water to the properties being developed for Fortress RV, as an existing water line easement extends for some distance to the west along the south edge of the Sage Apartment property. To support further development, the Dynamite alignment should be brought as far east as possible, even if that ends at a cul-de-sac at the western edge of 205-01-011H. The Fortress RV development could provide Dynamite to the eastern edge of their property and install a gate until development continues to the east.

Oberlin would be the other logical access to the eastern properties. I talked to Marge Wick, trustee for the Wick Family Trust,; my understanding is she would also like the dedication for Oberlin, to provide access for future development. However, as is customary, she would not want any improvements to be paid by the properties to the east until required as part of the development of those properties for future uses. We both view the existing dirt road as temporary for the current S-1 zoning for very large residential lots, until the remaining properties are developed under a more appropriate zoning such as CP/GCP, residential or multi-family.

Rather than an RV park, a commercial complex including grocery and retail would be more appropriate for this general location, given that approximately 600 residences are being built to the south, at 205-01-010L, 205-01-010J, 205-01-010G and 205-4-002. With Sage Apartments, there will likely be more than 800 residences in the immediate area.

The number of residences will create a tremendous amount of pressure on the access road and it would be an appropriate time to add the north bound access road at Dixileta, which would also be useful for the RV park if that is approved.

In addition, it would make sense that and development along the freeway be required to implement a sound wall to reduce noise, similar to the sound wall along KB homes on the west side of I-17.

Copying Nick Klimek, who is creating the staff report for RV Fortress.

Regards

Fred Bishop