



City of Phoenix

PLANNING AND DEVELOPMENT DEPARTMENT

Addendum A **Staff Report Z-86-18-2** **March 11, 2019**

<u>Deer Valley Village Planning Committee Meeting Date:</u>	March 21, 2019
<u>Planning Commission Hearing Date:</u>	April 4, 2019
Request From:	<u>S-1</u> (Ranch or Farm Residence) (11.01 acres)
Request To:	<u>CP / GCP</u> (Commerce Park / General Commerce Park) (11.01 acres)
Proposed Use:	Recreational Vehicle and Boat Storage Facility
Location:	Northeast and southeast corners of Black Canyon Highway and the Dynamite Boulevard alignment
Owner:	The Prescott Valley Company
Applicant:	Fortress RV Storage, LLC - Mark Temen
Representative:	Lazarus, Silvyn, & Bangs, PC
Staff Recommendation:	Approval, subject to stipulations

As a result of ongoing dialogue with the adjacent property owners and city staff, the applicant is proposing an update to its site plan and landscape plan. The purpose of this addendum is to update Stipulation No. 1 to reference the revised site plan, date stamped March 8, 2019 and to include additional community correspondence.

The updated site plan includes the following:

- A decrease in the number of proposed covered spaces from 181 to 180.
- A change in the configuration of the site to shift the alignment of the north and south drive aisles from the center of the site to the east. The resulting landscape strip includes the following:
 - 3 recreational vehicle waste stations;
 - an air compressor station area;
 - a flag pole; and
 - four pole-mounted light fixtures.

- A change in the location of the propane tank to increase the distance from the entry building.

Staff is supportive of the updates proposed by the applicant subject to the following stipulations:

Revised Stipulations:

1. The development shall be in general conformance with the site plan date stamped ~~January 29, 2019~~, MARCH 8, 2019, as modified by the following stipulations and as approved by the Planning and Development Department.
2. Drought tolerant, 3-inch caliper evergreen trees 20 feet on center or in equivalent groupings shall be provided in the landscape setback areas, as approved by the Planning and Development Department.
3. All perimeter walls shall incorporate stone veneer, stonework, integral color CMU block or faux stone, and be compatible with the existing wall on the northern most property lines, as approved by the Planning and Development Department.
4. A minimum landscape setback of 30 feet shall be required along the west property lines, as approved by the Planning and Development Department
5. A minimum landscape setback of 20 feet shall be required along the north and south property lines, as approved by the Planning and Development Department.
6. Minimum landscape setbacks shall be provided as follows along the eastern property line as depicted in the setback exhibit dated January 29, 2019 and as approved by the Planning and Development Department.
 - a. A minimum setback of 20 feet for the northern 420 feet.
 - b. A minimum setback of 15 feet for the middle 343 feet.
 - c. A minimum setback of 10 feet for the southern 160 feet, terminating at the 20-foot landscape setback along the southern property line.
7. The developer shall coordinate access and frontage requirements with the Arizona Department of Transportation.
8. The developer shall record a Notice to Prospective Purchasers of Proximity to Airport in order to disclose the existence and operational characteristics of Phoenix Deer Valley Airport (DVT) to future owners or tenants of the property.
9. If determined necessary by the Phoenix Archaeology Office, the applicant shall

conduct Phase I data testing and submit an archaeological survey report of the development area for review and approval by the City Archaeologist prior to clearing and grubbing, landscape salvage, and/or grading approval.

10. If Phase I data testing is required, and if, upon review of the results from the Phase I data testing, the City Archaeologist, in consultation with a qualified archaeologist, determines such data recovery excavations are necessary, the applicant shall conduct Phase II archaeological data recovery excavations.
11. In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground-disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.

Writer

Nick Klimek

March 8, 2019

Team Leader

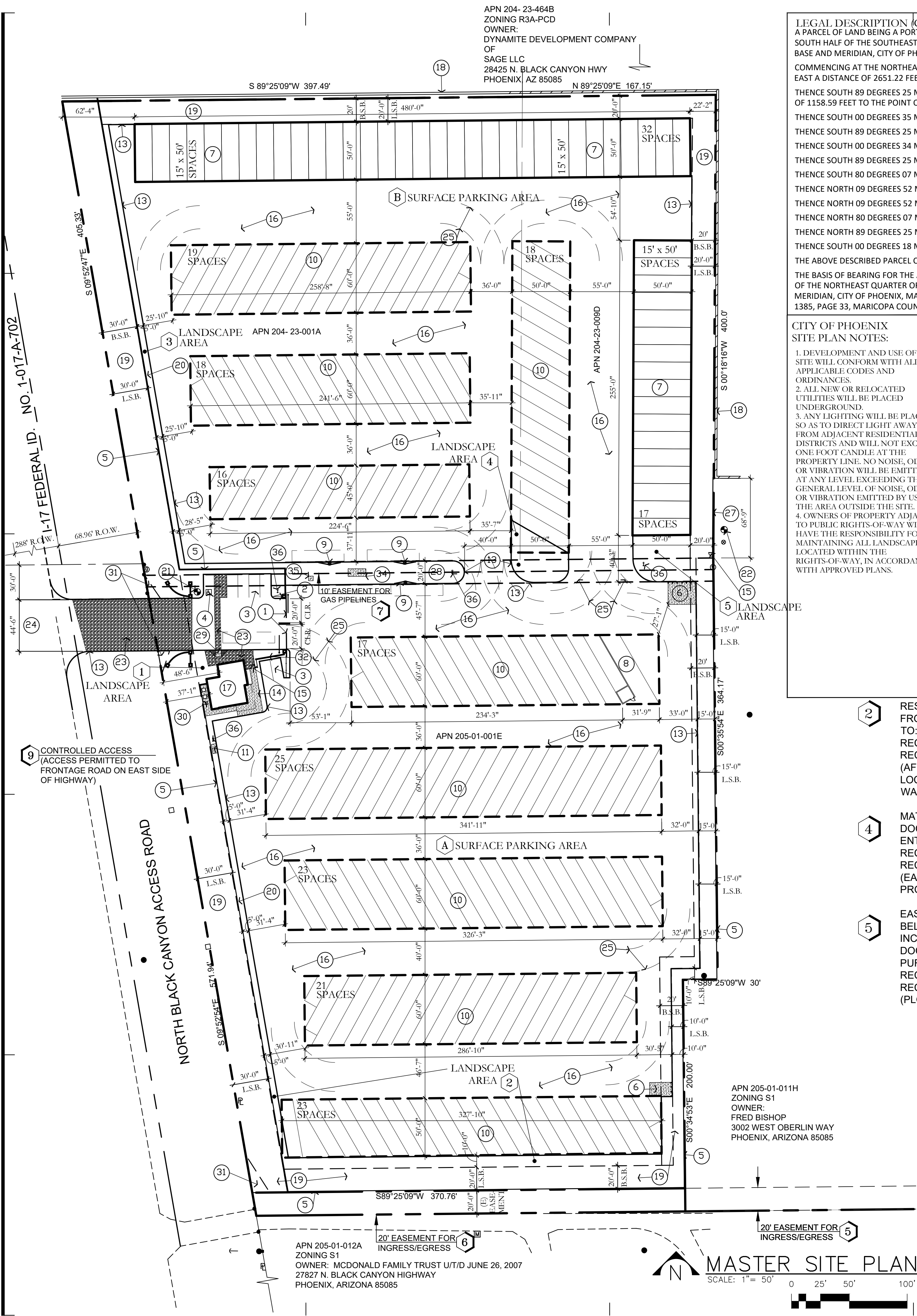
Samantha Keating

Exhibits

Site plan date stamped March 8, 2019

Conceptual landscape plan date stamped March 8, 2019

Community input (4 pages)

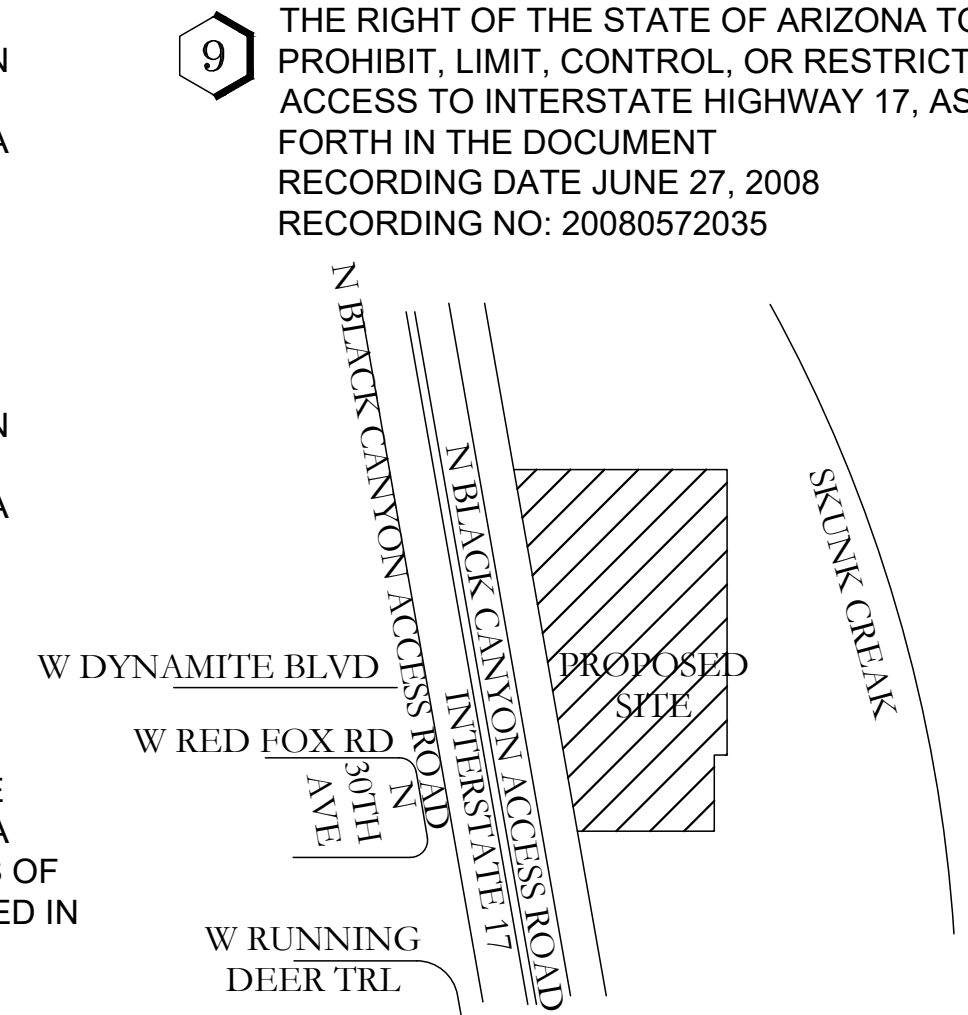


LEGAL DESCRIPTION (GROSS PROPERTY)
 A PARCEL OF LAND BEING A PORTION OF THE NORTH HALF OF THE NORTHEAST QUARTER OF SECTION 35 AND A PORTION OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 5 NORTH, RANGE 2 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, CITY OF PHOENIX, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:
 COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 35 WHICH BEARS NORTH 89 DEGREES 25 MINUTES 09 SECONDS EAST A DISTANCE OF 2651.22 FEET FROM THE NORTH QUARTER CORNER THEREOF;
 THENCE SOUTH 89 DEGREES 25 MINUTES 09 SECONDS WEST, ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER, A DISTANCE OF 1158.59 FEET TO THE POINT OF BEGINNING;
 THENCE SOUTH 00 DEGREES 35 MINUTES 54 SECONDS EAST A DISTANCE OF 364.17 FEET;
 THENCE SOUTH 89 DEGREES 25 MINUTES 09 SECONDS WEST A DISTANCE OF 30.00 FEET;
 THENCE SOUTH 00 DEGREES 34 MINUTES 53 SECONDS EAST A DISTANCE OF 200.00 FEET;
 THENCE SOUTH 89 DEGREES 25 MINUTES 09 SECONDS WEST A DISTANCE OF 370.76 FEET;
 THENCE SOUTH 80 DEGREES 07 MINUTES 06 SECONDS WEST A DISTANCE OF 25.00 FEET;
 THENCE NORTH 09 DEGREES 52 MINUTES 53 SECONDS WEST A DISTANCE OF 571.69 FEET;
 THENCE NORTH 09 DEGREES 52 MINUTES 07 SECONDS WEST A DISTANCE OF 405.32 FEET;
 THENCE NORTH 80 DEGREES 07 MINUTES 53 SECONDS EAST A DISTANCE OF 25.00 FEET;
 THENCE NORTH 89 DEGREES 25 MINUTES 09 SECONDS EAST A DISTANCE OF 564.64 FEET;
 THENCE SOUTH 00 DEGREES 18 MINUTES 16 SECONDS WEST A DISTANCE OF 400.05 FEET TO THE POINT OF BEGINNING.
 THE ABOVE DESCRIBED PARCEL CONTAINS 11.07 ACRES, MORE OR LESS, INCLUDING ANY EASEMENTS OF RECORD.
 THE BASIS OF BEARING FOR THE ABOVE DESCRIPTION IS NORTH 89 DEGREES 25 MINUTES 09 SECONDS EAST FOR THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 5 NORTH, RANGE 2 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, CITY OF PHOENIX, MARICOPA COUNTY, ARIZONA, AS CALCULATED FROM A RECORD OF SURVEY RECORDED IN BOOK 1385, PAGE 33, MARICOPA COUNTY RECORDS.

- CITY OF PHOENIX SITE PLAN NOTES:**
1. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
 2. ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
 3. ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ONE FOOT CANDLE AT THE PROPERTY LINE. NO NOISE, ODOR, OR VIBRATION WILL BE EMITTED AT ANY LEVEL EXCEEDING THE GENERAL LEVEL OF NOISE, ODOR, OR VIBRATION EMITTED BY USES IN THE AREA OUTSIDE THE SITE.
 4. OWNERS OF PROPERTY ADJACENT TO PUBLIC RIGHTS-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING LOCATED WITHIN THE RIGHTS-OF-WAY, IN ACCORDANCE WITH APPROVED PLANS.
- KEY NOTES**
1. ROLLING ENTRY GATE. (APP OPERATION)
 2. EMERGENCY OVERRIDE KEY PAD.
 3. TYPICAL 9.5' X 20' PARKING SPACE.
 4. 9.5' X 20' W/ 5 FOOT WIDE ACCESS: ACCESSIBLE PARKING SPACE.
 5. 6' MASONRY WALL.
 6. REFUSE BIN ON 6' X 10' WIDE X 20' DEEP CONC. PAD.
 7. ENCLOSED RV GARAGE STRUCTURE. 49- 15' X 50' SPACES
 8. RV WASH STATION.
 9. RV WASTE STATION. (TYPICAL OF 3)
 10. RV PARKING CANOPY. (180- 12' WIDE PARKING SPACES. 12' X 45' TO 12' X 60')
 11. PROPANE GAS TANK. (FINAL LOCATION PER SITE PLAN REVIEW)
 12. PROPERTY LINE.
 13. CAST IN PLACE CONCRETE CURB.
 14. CONCRETE SIDEWALK.
 15. PEDESTRIAN GATE WITH KNOX BOX.
 16. ASPHALT DRIVEWAY.
 17. SALES OFFICE BUILDING- 1,103 SF
 18. EXISTING 11 FOOT HIGH SITE WALL ON ADJACENT PARCEL TO REMAIN.
 19. RETENTION BASIN. SEE CIVIL DRAWINGS.
 20. 5 FOOT LANDSCAPE AREA.
 21. NEW FIRE HYDRANT.
 22. EXISTING FIRE HYDRANT.
 23. STAMPED INTEGRAL COLOR CONCRETE.
 24. ENTRY DRIVE PER CITY OF PHOENIX STANDARDS
 25. FIRE TRUCK TURNING RADIUS. 35 FOOT INTERIOR TIRE RADIUS, 55 FOOT EXTERIOR TIRE RADIUS
 26. NOT USED.
 27. 8' MASONRY WALL.
 28. PROPOSED 20 FOOT UTILITY EASEMENT.
 29. ADA RAMP.
 30. MASONRY UNIT YARD.
 31. 10 FOOT X 20 FOOT SIGHT VISIBILITY TRIANGLE.
 32. 6' WROUGHT IRON FENCE.
 33. NOT USED.
 34. AIR COMPRESSOR
 35. FLAG POLE
 36. POLE MOUNTED LIGHT FIXTURE- 20' A.F.F. MOUNTING HEIGHT- TYP OF 4

2. RESERVATIONS CONTAINED IN THE PATENT FROM THE UNITED STATES OF AMERICA TO: DEWEY W. LOSCH
 RECORDING DATE: JUNE 3, 1931
 RECORDING NO: BOOK 254 OF DEEDS, PAGE 596
 (AFFECTS SUBJECT PROPERTY - NO SPECIFIED LOCATION FOR TRANSMISSION LINE RIGHT OF WAY - NOT PLOTTABLE)
4. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED: AGREEMENT AND EASEMENT
 RECORDING DATE: MAY 9, 1972
 RECORDING NO: DOCKET 9423, PAGE 33
 (EASEMENT LOCATION IS E. OF SUBJECT PROPERTY)
5. EASEMENT FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
 PURPOSE: INGRESS AND EGRESS
 RECORDING DATE: OCTOBER 14, 1994
 RECORDING NO: 94-0744418
 (PLOTTABLE MATTERS SHOWN HEREON)
6. EASEMENT FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
 PURPOSE: INGRESS AND EGRESS
 RECORDING DATE: OCTOBER 14, 1994
 RECORDING NO: 94-0744419
 (PLOTTABLE MATTERS SHOWN HEREON)
7. EASEMENT FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
 PURPOSE: GAS PIPELINE
 RECORDING DATE: OCTOBER 21, 2000
 RECORDING NO: 2000-0638648
 (PLOTTABLE MATTERS SHOWN HEREON)
8. ANY ACTION THAT MAY BE TAKEN BY THE FLOOD CONTROL DISTRICT OF MARICOPA COUNTY TO ACQUIRE PROPERTY RIGHTS OF WAY FOR FLOOD CONTROL, AS DISCLOSED IN RECORDING NO: 2005-1466782

DEVELOPMENT STANDARDS	PROPOSED DEVELOPMENT STANDARDS	APPLICANT/ BUSINESS OWNER: FORTRESS RV STORAGE LLC MARK TEMEN 2211 EAST CAMELBACK ROAD UNIT 607 PHOENIX, ARIZONA 85016 CONTACT: MARK TEMEN P: 602-228-2826
BUILDING SETBACKS/ BUILD-TO-LINES	30' SETBACK ALONG I-17 FRONTAGE (STREET) 20' SETBACKS ALONG ALL OTHER INTERIOR PROPERTY LINES (NOT ON A STREET)	CIVIL ENGINEER: RPA PETE HEMINGWAY PE STEVE LEWIS, PE 5727 N. 7TH STREET SUITE 120 PHOENIX, AZ 85014
LANDSCAPE SETBACKS	30' SETBACK ALONG I-17 FRONTAGE 20' SETBACKS ON ALL OTHER PROPERTY LINES, EXCEPT FOR 15' AND 10' SETBACK ALONG SOUTH HALF OF EAST PROPERTY LINE AS SHOWN IN SITE PLAN	ARCHITECT: ON POINT ARCHITECTURE, LLC NICOLE POSTEN, RA 1341 E FAIRFIELD ST. MESA, AZ 85203 P: 480-227-5259
HEIGHT	HEIGHT OF UP TO 18' WITHIN 30' OF PERIMETER LOT LINE, WITH A 1' HEIGHT INCREASE PER EACH 3' OF ADDITIONAL SETBACK	PROPERTY LOCATION BLACK CANYON HIGHWAY AND DYNAMITE ROAD PHOENIX, AZ 85009 ASSESSORS' PARCEL NO. S: 205-01-001E, 204-23-009D, & 204-23-001A
AREA CALCULATIONS:	SALES OFFICE BUILDING: 1,103 SF COVERED RV PARKING: 143,219 SF RV GARAGES: 36,735 SF	LOT SIZE: APN 204-23-009D NET: 66,835.16 SF (1.53 AC) GROSS: 66,835.16 SF (1.53 AC)
	SURFACE PARKING AREAS: A 189,935 SF B 140,541 SF	APN 205-01-001E NET: 246,138.80 SF (5.65 AC) GROSS: 260,415.24 SF (5.98 AC)
	LANDSCAPE AREAS: 1 2,289 SF 3 6,295 SF 2 5,548 SF 4 1,890 SF 5 1,906 SF	APN 204-23-001A NET: 144,701.93 SF (3.32 AC) GROSS: 154,823.83 SF (3.55 AC)
	TOTALS: SURFACE PARKING AREA: 330,476 SF INTERIOR LANDSCAPE AREA: 17,928 SF	TOTAL: NET: 457,675.89 SF (10.51 AC) GROSS: 482,074.23 SF (11.07 AC)
LOT COVERAGES	BUILDING COVERAGE: 181,057 SF/457,675.89 SF= 39.56%	CURRENT ZONING: S1 PROPOSED ZONING: CP-GCP GENERAL COMMERCE PARK
PARKING	REQUIRED: 1 SPACE PER 300 SF OF OFFICE= 1,103/300= 4 SPACES PROVIDED: 7 REGULAR SPACES 1 ACCESSIBLE SPACES	PROJECT DESCRIPTION THE APPLICANT PROPOSES TO CONSTRUCT (IN 2 PHASES) AND OPERATE AN RV AND BOAT STORAGE FACILITY, OFFERING BOTH ENCLOSED AND CANOPY STORAGE AREAS, VEHICULAR INGRESS AND EGRESS TO AND FROM THE FACILITY WILL OCCUR AT THE MID-POINT ALONG THE PROPERTY'S WEST BOUNDARY THROUGH AN ENTRANCE GATE WHICH CONNECTS TO THE I-17 FRONTAGE ROAD. A PROPANE STATION AND RV WASTE STATION ARE ALSO PROPOSED. UPON RECEIVING REZONING APPROVAL, THE APPLICANT WILL OBTAIN THE NECESSARY USE PERMIT APPROVAL TO OPERATE A RECREATIONAL VEHICLE AND BOAT STORAGE FACILITY IN ACCORDANCE WITH SECTION 626.F.2.Z OF THE ZONING ORDINANCE.



CITY OF PHOENIX
 MAR 08 2019
 Planning & Development Department

PRINTED: 3/07/19



WWW.ONPOINTARCHITECTURE.COM
 P. 480-227-5259 MESA, ARIZONA

REGISTERED ARCHITECT
 48511 NICOLE LEE POSTEN
 ARIZONA U.S.A.
 EXPIRES 9/30/2020

DATE	ITEM
11/26/18	ZONING SUBMITTAL 1
01/28/19	ZONING UPDATE
03/07/19	ZONING UPDATE

2019 THIS DRAWING IS AN INSTRUMENT OF SERVICE AND IS THE SOLE PROPERTY OF ON POINT ARCHITECTURE, LLC. ANY USE OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF ON POINT ARCHITECTURE, LLC IS PROHIBITED. DRAWING SCALES INDICATED ARE FOR REFERENCE ONLY AND ARE NOT INTENDED TO ACCURATELY DEPICT ACTUAL OR DESIGN CONDITIONS. WRITTEN DIMENSIONS SHALL GOVERN. ALWAYS USE DIMENSIONS AS SHOWN. DRAWINGS ARE NOT TO BE SCALED.

JOB #: 1814

RV STORAGE FACILITY
 for
FORTRESS RV STORAGE

28020 N 28TH AVENUE
 PHOENIX, ARIZONA 85085

DWG NAME: MASTER SITE PLAN
 DWG #: **A1.1**

CALL TWO WORKING DAYS BEFORE YOU DIG
602-263-1100
1-800-STAKE-IT
 (OUTSIDE MARICOPA COUNTY)



CITY OF PHOENIX
 MAR 08 2019
 Planning & Development
 Department

Keynotes

1. Entry gate.
2. Key pad.
3. Parking space.
4. Accessible parking space.
5. 6" Masonry wall.
6. Masonry refuse enclosure.
7. Enclosed structure.
8. New wash station.
9. Waste station.
10. 20' Landscape setback
11. Parking canopy.
12. Propane gas tank.
13. Property Line.
14. Cast in place concrete curb.
15. Concrete sidewalk.
16. Pedestrian gate.
17. Asphalt driveway.
18. 6" Masonry Wall to match Architectural Drawings.
19. Office building.
20. Existing site wall on adjacent parcel.
21. Retention Basin. See Civil Drawings.
22. 30' Landscape setback
23. 10' Landscape setback
24. Interior lot landscape.
25. Existing fire hydrant.
26. 8' Masonry wall- see Architectural Drawings.
27. 15' Landscape setback
28. Air Compressor
29. Flag Pole
30. Pole Mounted Light Fixture

Proposed Plant Palette

Tree	Acacia salicina <i>Willow Acacia</i>
Tree	Acacia willardiana <i>Palo Blanco</i>
Tree	Chilopsis linearis <i>Desert Willow</i>
Tree	Eucalyptus papuana <i>Ghost Gum</i>
Tree	Pinus canariensis <i>Canary Island Pine</i>
Tree	Pinus eldarica <i>Afghan Pine</i>
Tree	Pinus halepensis <i>Aleppo Pine</i>
Shrub	Bougainvillea (Sp.) <i>'Barbara Karst'</i>
Shrub	Caesalpinia mexicana <i>Mexican Bird of Paradise</i>
Shrub	Ruellia peninsularis <i>Desert Reullia</i>
Shrub	Muhlenbergia capillaris <i>White Cloud</i>
Shrub	Muhlenbergia capillaris <i>'Regal Mist'</i>
Shrub	Muhlenbergia emersleyi <i>'El Toro' Grass</i>
Shrub	Muhlenbergia lindheimeri <i>'Autumn Glow'</i>
Shrub	Muhlenbergia rigens <i>Deer Grass</i>
Accent	Dasyliyron wheeleri <i>Desert Spoon</i>
Accent	Hesperaloe parviflora <i>Red Yucca</i>
Accent	Yucca baccata <i>Banana Yucca</i>
Groundcover	Convolvulus cneorum <i>Ground Morning Glory</i>
Groundcover	Lantana 'New Gold' <i>New Gold Lantana</i>
Groundcover	Rosmarinus officinalis <i>'Prostratus' Rosemary</i>

Landscape Notes

Landscape Area: Approximately 1.9 Acres
 Trees adjacent to residential parcels (north, east & south) to be placed an average of 20' on center.
 All planting areas to utilize drip irrigation
 All planting areas to be covered with decomposed granite - Desert Brown, 3/4" screened
 Refer to Conceptual Site Plan for site plan specifics

Landscape Legend

- Tree
- ⊕ Accent Tree
- Shrubs and Groundcover

Development Team

Business Owner:
 Fortress RV Storage LLC
 Mark Temen
 2211 East Camelback Road Unit 607
 Phoenix, Arizona 85016
 Contact: Mark Temen
 P. 602-228-2826

Civil Engineer:
 RPA
 Pete Hemingway PE
 Michael Brungard PE
 5727 N. 7th Street suite 120
 Phoenix, AZ 85014

Architect:
 On Point Architecture, LLC
 Nicole Posten, RA
 1341 E Fairfield St.
 Mesa, AZ 85203
 P. 480-227-5259

Landscape Architect:
 RVI Planning
 Steven Voss
 120 S. Ash Avenue
 Tempe, AZ 85281
 P. 480-994-0994

Site Data

Property Location
 Black Canyon Highway and Dynamite Road
 Phoenix, AZ 85009
 Assessor's Parcel No. 205-01 -001E combined with Assessor's Parcel No. 204-23-009D and Assessor's Parcel No. 204-23-001A

Zoning
 Current Zoning: S1
 Proposed Zoning: CP-GCP General Commerce Park

Proposed Parking
 Accessible Space: 1
 Regular Spaces: 6
 Total Spaces: 7

Lot Coverage
 Assessor's Parcel No.: 205-01 -001E:
 91,807 SF / 246,138.80 SF= 37.3%
 Assessor's Parcel No.: 204-23-009D
 29,684 SF / 66,846.97 SF= 44.4%
 Assessor's Parcel No. 204-23-001A
 57,855 SF/144,701.88 SF = 40%

Building Heights
 Office Building: 24'-2"
 Canopies: 12'W x 60'D x 17' H
 Enclosures: 15'W X 50'D X 19'H

Proposed Building Setbacks/Build-to-Lines
 30' setback along I-17 Frontage (street)
 20' setback along all other interior property lines (not street)

Proposed Landscape Setbacks
 30' Setback along I-17 Frontage
 South Parcel:
 South: 20', East:10'
 North Parcel:
 North: 20', East: 20',
 (Open Storage Area per 626.F.2.Z.(2))

Site Legend

- Property Line
- Fnd Survey Monument (See Monument Table)
- (See Monument Table)
- ④ Schedule "B" Item
- 6 inch Concrete Curb
- Indicates Driveway (means of access)
- Concrete Surface
- Dirt Road
- Fence
- Wall
- Overhead Electric Line
- Down Guy Wire
- Fire Hydrant
- Gas Marker
- Gas Valve
- Guard Post or Gate Post
- Mail Box
- Underground Utility Vault
- Power Pole
- Power Pole W/ Underground Electric
- Sewer Clean Out
- TV Junction Box
- Water Valve
- (R) See Reference Documents
- (M) Measured

land planning
 development entitlements
 landscape architecture
 120 south ash avenue
 tempe, arizona 85281
 480.994.0994

LVA
 an RVI Company

**FORTRESS RV
 PRELIMINARY LANDSCAPE PLAN
 28111 N. BLACK CANYON HIGHWAY PHOENIX, ARIZONA 85085**

GRAPHIC SCALE
 1" = 50'

DATE: 3/7/19
PROJECT NO.: 18002109
DRAWN BY: AV
DRAWING NAME: PRELIMINARY LANDSCAPE PLAN
REVISED:
SHEET: 1 of 1

PRELIMINARY AND FOR CONSTRUCTION. * SUBJECT TO ENGINEERING AND CITY REVIEW AND APPROVAL. THIS DOCUMENT TOGETHER WITH THE CONCEPT AND DESIGN PRESENTED HEREIN, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT IS PREPARED. REUSE OF THIS DOCUMENT OR ANY PART THEREOF WITHOUT THE WRITTEN AUTHORIZATION AND PERMISSION OF LVA IS STRICTLY PROHIBITED. LVA, LVA DESIGN STUDIO, AND RVI COMPANY SHALL BE HELD HARMLESS FOR ANY AND ALL DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING FROM THE USE OF THIS DOCUMENT OR ANY PART THEREOF. LVA 18002109-FORTRESS RV-PS-P-PLANNING-1-CA-03-PRG-APP-2109-PA-CONCEPTUAL LS PLAN.dwg Mar 7, 2019

Sage Luxury Apartment Homes

Dynamite Apartments I LLC, 31731 Northwestern Highway, Ste 250W, Farmington Hills, MI 48334 (248) 855-5400

City of Phoenix Planning and Development Department
200 W. Washington Street, Second Floor, Phoenix, AZ 85003
Attn: Nick Klimek - Planner for Deer Valley District

February 13, 2019

Re: Rezoning Case Z-86-18-2 on the Black Canyon Highway Service Drive at the Dynamite Boulevard Extension

Dear Mr. Klimek,

Please inform the Deer Valley Village Planners and City of Phoenix Planning Commissioners that, as a neighbor directly adjacent to the north and east, **we strongly object** to the proposed Rezoning of this property for use as an outdoor Boat & RV Storage Facility. Even though we haven't had time to fully review the provided information, we felt it important to voice our initial concerns at this time. Before we identify specific concerns, it is important to note we have no record of being invited to any Neighborhood Meetings. Have any been held? As the neighbor most immediately impacted by this use, representing over 300 units and about 600 residents (not including phase 2 with 232 more units and maybe 500 more residents), we would have expected to be invited or at least received a call. Our initial objections regarding the Use and Plan are as follows:

City's goal of a balance between housing and jobs is not met. The General Plan and Land Use Map envision Residences or Employment Centers for this area. Deer Valley's official brochure states that one of its principles is to balance housing and employment. A Commerce Park with businesses in a campus-like setting provides the opportunity for numerous well-paying jobs. An outdoor storage facility with 24-hour keycard access will have at most few employees. This rezoning/development doesn't match the vision outlined by the Ordinance.

Boat and RV Storage is a special use. Boat and RV Storage is not a permitted use because it is only reasonable under certain circumstances. The Special Use category was made to protect area residents and property owners from development that is not suitable for the specific circumstances. Inserting a 24 hour a day outside business next to our development with 304 apartments with nearly 600 residents, including families with children, plus our future phase and the other adjacent residential uses with by eliminating a road extension and limiting the potential for adjacent development to whatever works with a only 20' access easement is not beneficial to the area. The rezoning for this development runs counter to all the protections the Ordinance puts in place.

The plan attached to our notice is not the same plan as reviewed by the City. The plans are different and have different dates. We expect to be given accurate information when asked to comment on such an important subject. This proposed development greatly impacts our residents, our business, and our high-end community, and jeopardizes the attractiveness of Sage Luxury Apartments.

Eliminating the Dynamite Blvd Extension and Oberlin Way restricts future development. The proposed development eliminates 2 future road extensions that would allow full development the acreage parcels east of this development. It leaves only a 20' easement along its south edge for access to this remaining acreage. The property owner to the south of Oberlin Way would have to commit more

than their fair share of land if development to the east required a road access, or even a significant boulevard driveway. The proposed outdoor storage development restricts future development of the rest of this area west of the Wash.

The applicant's stated decrease in traffic doesn't paint the whole picture. It is true that the total amount of daily traffic will likely be less. The more important fact is that people with fishing boats or ATVs will probably pick them up very early in the morning, on the way to the lake. They might pick their boat or RV up the day before, on their way home from work, during rush hour, or at night after they are done with dinner and the kid's homework. The point is they won't be picking up or dropping off their Boat or RV mid-day. They will be picking up or dropping off their Boat or RV at the least convenient times for the adjacent residential uses.

The applicant's narrative states there is a significant deficiency of demand over supply. If there is a deficiency of demand over the amount of storage available, then this development is not necessary. If they mean there is a deficiency in supply, then they should indicate why the 426 vehicles currently parked for free at home will be moved to a new facility that charges rent. Are these 426 boats/rvs parked illegally?

Conformance with and Support of the Core Values. We do not recognize that outdoor storage celebrates a diverse community, and renting a storage space provides any strengthening of the local economy. We have read the statements provided. They are "a stretch". If anything, as proposed this development will weaken the economy by only providing a few jobs while greatly restricting the potential development on the adjacent properties (by eliminating the road extensions)

The staff Report states it is compatible with adjacent residential uses. A 24-hour business that involves 24-hour security lighting plus loading and unloading trailers in the morning and evenings is not compatible with residential uses adjacent and very close by. The proposed use will really be a nuisance for the area residents. Boat owners and ATV owners will start their motors to make sure they are running properly, and maybe even perform a tune-up before they head to the lake or trails, adding new noise levels to the clanging and banging of trailers. Most of this noise will occur early in the morning or in the late afternoon/evening.

The staff Report states it will generate little traffic. See the above statement about traffic

The staff Report states the plan includes impact-mitigating features. No features have been included to mitigate the impact to future development by eliminating Dynamite Boulevard and Oberlin Way. Also, has the lighting plan been studied as it relates to 24-hour security lights?

And a few general comments.

- It is difficult to comment on the proposed site plan itself, as we just found out it is different from the one we were sent with the Meeting notice.
- The applicant mentions nearby RV resorts for the placement of this storage facility. We find it unlikely that area residents will pack up their RV regularly for 15- to 30-mile trips. Long-term RV parks mean the RV's will be likely kept at the resort, not at this facility.
- No boat storage is identified on the plan. All the proposed types/locations of storage areas must be identified per the ordinance.
- Put the effluent waste pumping area as far away from residences as possible.
- There are existing apartments, existing single family homes on big parcels and recently approved attached housing surrounding this site. Putting a storage facility into the middle of all these

residential uses will be disruptive to all the adjacent owners. Eliminating the potential for development of the remaining large parcels is incredibly short-sighted.

We have made a significant investment in Sage Luxury Apartments, including a large investment to bring water and sewer to the site, sized to consider future development of this area as the business parks and employment centers or residences. Under-developing this area by eliminating roads, limiting future development and building Boat & RV Storage goes in the opposite direction envisioned by the General Plan, and ignores our infrastructure investment, which causes Sage and the other impacted property owners harm.

We hope the City agrees that the proposed rezoning is not consistent with the General Plan and would be detrimental to all neighboring properties, to all the Deer Valley goals associated with this development district. We respectfully request this Rezoning request and development be denied. We will contact you prior to the Deer Valley Planning Meeting with our full list of concerns

Sincerely,

A handwritten signature in blue ink, appearing to read 'M. Highlen', with a long horizontal flourish extending to the right.

Mark Highlen, agent for Dynamite Apartments 1 LLC
Owner of Sage Luxury Apartment Homes
28425 N. Black Canyon Highway
Phoenix, AZ 85085

From: [Fred Bishop](#)
To: [Nick Klimek](#)
Subject: Zoning Case Z-86-18-2 - RV Storage
Date: Thursday, March 07, 2019 9:43:03 PM

Mr. Klimek,

The city should not approve RV Storage at properties 204-23-001A, 204-23-009D and 205-01-001E.

Rather than RV Storage, retail, offices, commercial, residential or multifamily would be consistent with the existing development in the immediate area. For example, given that approximately 600 residences are being built to the south, at 205-01-010L, 205-01-010J, 205-01-010G and 205-4-002, a commercial complex, including grocery and retail, would be more appropriate. With Sage Apartments, there will likely be more than 800 residences in the immediate area.

RV Storage would very likely provide limited options to the city for the development of the properties to the east, as future uses will be severely limited behind a large RV Storage facility with 24 by 7 access. Activities such as customers testing boat engines and pumping sewage waste will negatively impact development of adjacent properties. It's likely the sewage collection facility will be placed as far as possible from the existing Sage Apartments, which will impact future development of the properties to the east and south. It would also be very difficult for Fortress RV Storage to prevent testing of boat and RV engines, as much of the times the facility will be unattended.

I would like to confirm my previous communication of the importance that the city of Phoenix provides dedicated street access to the properties to the east of the proposed Fortress RV Storage facility.

Without dedicated access, financing would be unavailable for the 15 acres to the East; 205-01-011H, 205-01-001X, 205-01-011S and 205-01-011R and these properties could be prevented from being developed. With street dedication for Oberlin and Dynamite, developers would understand access and be able to begin the planning and zoning process with confidence. Without that confidence it is very possible the properties to the east will not develop or it will be a very poor usage.

Street dedication by the city of Phoenix for Oberlin and Dynamite allows the city to influence development of these properties for the best usage. The city of Phoenix Street and Planning Design Guidelines, dated December 1, 2009, indicates that the width for a local street is a full right of way of 50 feet, making 40 feet inadequate. A local street dedication is appropriate for both Dynamite and Oberlin.

The site plan for Fortress RV Storage shows an easement of 20 feet at the Oberlin alignment, which would provide a private road, 10 feet of which crosses the south edge of the Fortress RV Storage property. However, a submitted site plan is only conceptual. The 10 feet could be removed during the building approval process; dedicating the Oberlin and Dynamite is the only effective way for the city to protect the ability to develop the properties to the east and provide adequate access.

Along the Dynamite road alignment, on the south side of the alignment, there is a large natural gas line that services the KB homes to the west, crossing under the highway, which prevents building any structures. This is also the appropriate location for the easement to bring water to the properties being developed for Fortress RV, as an existing water line easement extends for some distance to the west along the south edge of the Sage Apartment property. To support further development, the Dynamite alignment should be brought as far east as possible. Original Sage Apartments site plans showed a Dynamite alignment, and Sage Apartments may be depending on that road for further expansion.

Oberlin would be also logical access for the eastern properties and should also be dedicated. The existing narrow, private road is temporary access for the current S-1 zoning for very large residential lots, until the remaining properties are developed under a more appropriate zoning such as CP/GCP,

residential or multi-family. If the site plan is changed and ultimately access is not aligned at the southern edge of Fortress RV Storage, and is fully on the southern property, 205-01-012A, it will put a high burden on that property by requiring a much larger reduction in developable footage. Access to the east wholly on 2015-01-012A, would be an unacceptably large burden to a single property.

In addition, the number of existing and future residences between Jomax and Dixileta will create a tremendous amount of pressure on the access road, given that all northbound traffic must crossover the freeway at Dixileta, proceed south to Jomax and then cross over Jomax to go north. It would be an appropriate time to add the north bound access road at Dixileta.

Regards,
Fred Bishop

From: [Fred Bishop](#)
To: [Alan Hilty](#)
Cc: [Nick Klimek](#)
Subject: Fwd:
Date: Monday, December 17, 2018 4:31:35 PM
Attachments: [Z-86-18-2 Fortress RV Community hearing.pdf](#)

Alan,

Thank you for the conversation today. Attached is the mail I received showing three properties to be developed, 205-01-001E, 204-23-009D and 204-23-001A.

As described on the phone, I would support a dedication for Oberlin and Dynamite, appropriate for the development of the properties to the East, 205-01-011H, 205-01-001X (both owned by myself) and 205-01-011S and 205-01-011R (Wick Family Trust).

Along the Dynamite road alignment, on the south side of the alignment, there is a large natural gas line that services the KB homes to the west, crossing under the highway, which prevents building any structures. This is also the appropriate location for the easement to bring water to the properties being developed for Fortress RV, as an existing water line easement extends for some distance to the west along the south edge of the Sage Apartment property. To support further development, the Dynamite alignment should be brought as far east as possible, even if that ends at a cul-de-sac at the western edge of 205-01-011H. The Fortress RV development could provide Dynamite to the eastern edge of their property and install a gate until development continues to the east.

Oberlin would be the other logical access to the eastern properties. I talked to Marge Wick, trustee for the Wick Family Trust,; my understanding is she would also like the dedication for Oberlin, to provide access for future development. However, as is customary, she would not want any improvements to be paid by the properties to the east until required as part of the development of those properties for future uses. We both view the existing dirt road as temporary for the current S-1 zoning for very large residential lots, until the remaining properties are developed under a more appropriate zoning such as CP/GCP, residential or multi-family.

Rather than an RV park, a commercial complex including grocery and retail would be more appropriate for this general location, given that approximately 600 residences are being built to the south, at 205-01-010L, 205-01-010J, 205-01-010G and 205-4-002. With Sage Apartments, there will likely be more than 800 residences in the immediate area.

The number of residences will create a tremendous amount of pressure on the access road and it would be an appropriate time to add the north bound access road at Dixileta, which would also be useful for the RV park if that is approved.

In addition, it would make sense that and development along the freeway be required to implement a sound wall to reduce noise, similar to the sound wall along KB homes on the west side of I-17.

Copying Nick Klimek, who is creating the staff report for RV Fortress.

Regards

Fred Bishop