

MANOR SCOTTSDALE PUD

CASE Z-89-18-2

APPROXIMATELY 275 FEET SOUTH AND 240 FEET WEST OF
THE SOUTHWEST CORNER OF SCOTTSDALE ROAD AND JOAN
DE ARC AVENUE



CITY OF PHOENIX
AUG 27 2019
Planning & Development
Department

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A Planned Unit Development (“PUD”) is intended to be a stand-alone set of zoning regulations for a particular project. Provisions not specifically regulated by the PUD are governed by the City of Phoenix (“City”) Zoning Ordinance, as adopted and periodically amended (“Zoning Ordinance”). A PUD includes substantial background information to illustrate the intent of the development. However, these purpose and intent statements are not necessarily requirements to be enforced by the City. The PUD only modifies zoning ordinance regulations to fit the unique character of the project, site characteristics and location. It does not modify other City Codes or requirements. Additional public hearings may be necessary, such as, but not limited to, right-of-way abandonments. This PUD will provide the set of regulatory zoning provisions designed to guide the implementation of the overall development plan through the City development review and permit process. The provisions provided within the PUD shall apply to all property within the PUD project boundary. The zoning and development standards provided herein shall amend the various noted provisions of the Zoning Ordinance. In the event of a conflict between a use, a development standard, or a described development procedure between the Zoning

Ordinance and the PUD, the PUD shall prevail.
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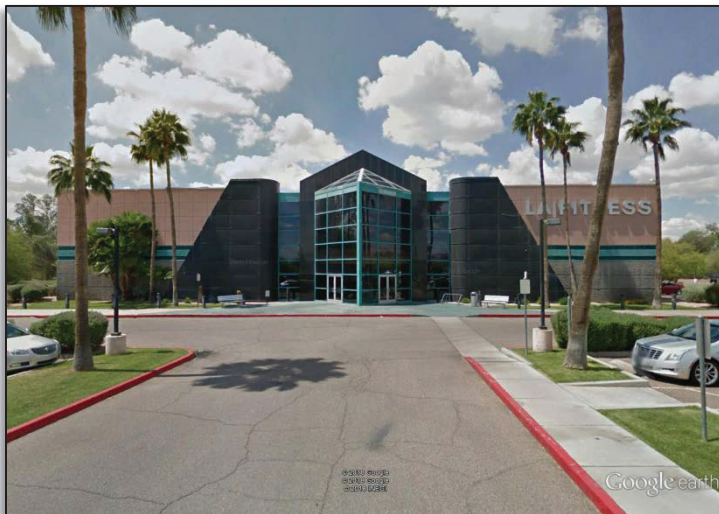
Title of Exhibits

- Tab A. Site Plan
- Tab B. Perspectives
- Tab C. Elevations
- Tab D. Landscape Plan
- Tab E. Open Space
- Tab F. Building Height Diagram
- Tab G. Residential Living Rooms – View Exhibit
- Tab H. Materials Exhibit
- Tab I. Parking Entry View Exhibit
- Tab J. Architectural Details Exhibit

A. PURPOSE AND INTENT

A1: Project Overview and Goals

This project is a proposed redevelopment of an approximate 6.5 acre property located at the southwest corner of Joan De Arc Ave and Scottsdale Road. The property is currently developed with a 24-year-old, 41-foot-tall (30 feet to roof deck, an additional 11 feet of parapet) “LA Fitness” branded fitness club and associated surface parking lot located at 13220 North Scottsdale Road. The project does not include the existing “Superpumper” gasoline station (with accessory convenience store and automatic car wash) located at the intersection (northeast of site) nor the “Prestige Cleaners” (drive-through dry cleaning services) located at the southeast corner of the parcel.



The goal of the project is to redevelop this soon to be vacant fitness center with a luxury rental multi-family community.

A2: Overall Design Concept

The new multi-family community is of a “wrap” design, with a five (5) story parking garage “wrapped” by the dwelling units (therefore minimizing its visibility from surrounding properties). To transition from the single-family homes to the intensity of Scottsdale Road (a major arterial roadway servicing regional north/south traffic), the site plan places the lowest two-story portion closest to the single-family homes and the highest five-story portion to the north and east, with a stepdown to four (4) stories adjacent to Scottsdale road.

As the project moves eastward, the building steps upwards a level at a time, starting at two-stories and finishing at five-stories as proximity to the single-family neighbors decreases. By design, the dwelling units are designed to focus into interior courtyards, limiting views to the extent practical to the west and south that would interfere with adjoining homeowner’s privacy.

Major amenities (such as the pool) as well as the business office for the development are also located on the eastern portion of the site, keeping these more active functions away from adjoining properties.

The overall design concept is focused around (i) protecting adjoining single-family neighbors by providing significant step downs and an internal courtyard focus to dwelling placement limiting off-site views for most units, (ii) placing the height where appropriate (along Scottsdale Road side), and (iii) locating more active parts of the community on the eastern side of the project.

These site planning concepts are complemented by the retention of as many of the existing major trees as feasible and the addition of new screen trees along the south and western boundaries of the site to buffer existing residential beyond, as well as by a high-quality architecture that is intended to result in a quality appearance to enhance this part of the Paradise Valley Village.

B. LAND USE PLAN

B1: Proposed Land Use Categories

This project proposes a single land use development on an approximately 6.5-acre property with only one (1) land use category, multifamily residential. In the event the property is not developed as proposed herein, C-1 development rights and standards shall be retained.

B2: Conceptual Site Plan Summary

The conceptual site plan has been established understanding several primary site constraints, which are (i) adjacent large-lot single family homes to the west and south, (ii) existing drycleaner building at the southeast corner, (iii) a “hard corner” gasoline station (at the northeast corner) and (iv) a major regional arterial roadway (Scottsdale Road).

The site plan features a primary frontage along Scottsdale Road that includes the main entry driveway, the rental offices and primary internal resident amenities including clubhouse and fitness center located in the primary courtyard, as well as the five story components of the project.

Moving towards the center of the site, a parking deck with 598 parking spaces is located within the building, wrapped by residential units, concealing its presence from off-site. The garage has secondary ingress/egress on the north side onto Joan De Arc Avenue, with primary access from the center of the site off Scottsdale Road. Trash rooms are located within this garage, as are auxiliary storage rooms; all service functions occur off of and towards Scottsdale Road.

Beyond the parking garage to the east, the units are within clusters focused on individual courtyards. There are five secondary courtyards in total, each featuring different resident amenities. In addition, these buildings stepdown as they approach the west and south property lines, reducing their height as they near these areas.

Along the south and west edges, there is a minimum 27-foot building setback. Along the west side 6 feet of the 27 feet will be landscaped abutting the alley and 14 feet will be landscaped abutting the single-family. The proposed fire lane shall be composed of permeable materials. Plans will be submitted for review for the alternative surface permit per Section 503 of the City of Phoenix Fire Code¹.

In addition to the large base setback, any building mass over two stories (26 feet) must be at least 74 feet away from the property line. For reference, the existing 41-foot-tall LA Fitness building

¹ Must comply with Section 503.2.1, 503.2.3, and 503.3. Alternative surface fire apparatus access roads shall be in accordance with 503.3 and Sections 503.2, 503.7 through 503.7.7.

(30 feet to roof deck with an 11-foot parapet) is only 93 feet away from the property line.

To further screen the views of the project from adjacent homes, existing trees will be maintained to the extent practical and additional trees will be added to add to the tree canopy along the west and south edges of the site. With these setbacks and landscaping, the project will provide an excellent buffer to Scottsdale Road while protecting the privacy of nearby homeowners.

C. LIST OF USES

C1: Permitted Uses

- Multi-Family Residential Dwelling Units as Governed Herein
- C-1 Uses as Permitted by Section 622 of the City of Phoenix Zoning Ordinance

C2: Temporary Uses

- All temporary uses shall comply with Section 708 of the City of Phoenix Zoning Ordinance

C3: Prohibited Uses

The following land uses are prohibited:

- Auto Title Loan Establishments
- Automobile Parts and Supplies, New Retail and Wholesale
- Boats, Retail Sale
- Car Wash
- Compressed Natural Gas Retail Sales
- Gas Stations
- Garage, Repair
- Hospital
- Motorcycles, Repair and Sales
- Nonprofit Medical Marijuana Dispensary Facility
- Pawn Shop
- Pet Day Care Facility, All Types
- Second Hand or Used Merchandise Sales
- Service Stations, Automobile
- Tobacco Oriented Retailers
- Veterinarian Offices
- Veterinarian Hospitals
- Window Glass Installation Shop

D. DEVELOPMENT STANDARDS

For Multi-Family Residential Dwellings, the following development standards (D1 through D9) apply. For all other permitted uses, comply with the standards of Section 622, C-1 Zoning District.

D1: Development Standards Table

a. Maximum Residential Density	
Site Density	45 dwelling units per gross acre
b. Minimum Building Setbacks*	
North (Joan De Arc Ave)	20 Feet
South (Adjacent to Alleyway)	40 Feet
East (Scottsdale Road)	20 Feet
West (Adjacent to Alleyway)	27 Feet
Internal Lot Line A (Adjacent to Gas Station)	20 Feet
Internal Lot Line B (Adjacent to Drycleaner)	20 Feet
c. Minimum Landscape Setbacks	
North (Joan De Arc Ave)	20 Feet
South (Adjacent to Alleyway)	15 Feet
East (Scottsdale Road)	20 Feet
West (Adjacent to Alleyway)	6 Feet
West (Adjacent to Single-Family)	14 Feet
Internal Lot Line A (Adjacent to Gas Station)	20 Feet
Internal Lot Line B (Adjacent to Drycleaner)	0 Feet
*see Section D8 for setback exhibit	
d. Maximum Building Height**	50 Feet, Subject to Step-Backs
Height Step-Backs from West and South Property Lines are Required & Limited as Follows***:	
Maximum Height (Number of Floors)	Minimum Setback From West and South Property Lines
20 Feet (2 Stories)	27 Feet
30 Feet (3 Stories)	74 Feet
40 Feet (4 Stories)	117 Feet
50 Feet (5 Stories)	170 Feet
Screening for mechanical equipment will comply with Section 507 Tab A.II.b.2.2 and rooftop enhancements shall comply with Section E1.4.D and E of this narrative. *See Section D9, Setback Encroachment Exhibit.	
e. Maximum Lot Coverage	55%

D2: Landscape Standards Table

Minimum Landscape Standards			
a. Minimum Landscape Setbacks			
North (Joan De Arc Ave)	20 Feet		
South (Adjacent to Alleyway)	15 Feet		
East (Scottsdale Road)	20 Feet		
West (Adjacent to Alleyway)	6 Feet		
Internal Lot Line A (Adjacent to Gas Station)	20 Feet		
Internal Lot Line B (Adjacent to Drycleaner)	0 Feet		
b. Streetscape/Landscape Setback Areas – North (Joan De Arc) and East (Scottsdale Road)			
		Size	Percentage
Trees: Average of 20 Feet on Center or Equivalent Groupings		4-Inch Caliper	25%
		3-Inch Caliper	25%
		2-Inch Caliper	50%
Shrubs: 5 per Tree		5-Gallon	100%
Groundcover: 3 per Tree		1-Gallon	100%
Decomposed Granite:		2-Inches	100%
c. Perimeter Property Lines/Landscape Setback Areas – West (Adjacent to Alleyway) and South (Adjacent to Alleyway)			
		Size	Percentage
Trees: Replace Existing		4-Inch Caliper	As Needed
Trees: New, Not Including Existing: 1 per 500 Square Feet of Area		2-Inch Caliper	100%
Shrubs: 1 per 100 Square Feet of Area		5-Gallon	100%
Groundcover: 1 per 50 Square Feet of Area		1-Gallon	100%
Decomposed Granite:		2-Inches	100%
d. Internal Lot Line A Landscape Setback Area			
		Size	Percentage
Trees: Average of 20 Feet on Center or Equivalent Groupings		4-Inch Caliper	25%
		3-Inch Caliper	25%
		2-Inch Caliper	50%
Shrubs: 5 per Tree		5-Gallon	100%
Groundcover: 3 per Tree		1-Gallon	100%
Decomposed Granite:		2-Inches	100%

e. Internal Lot Line B Landscape Setback Area	No Requirements		
f. Detached Sidewalk Strip, Scottsdale Road and Joan De Arc – 8 Foot Minimum Width		Size	Percentage
	Trees: Average of 20 Feet on Center	4-Inch Caliper	25%
		3-Inch Caliper	25%
		2-Inch Caliper	50%
	Shrubs: 5 per Tree	5-Gallon	100%
	Groundcover: 3 per Tree	1-Gallon	100%
Decomposed Granite:	2-Inches	100%	
g. Parking Areas	Applicable to surface parking lots only (not located within a structure or below ground); comply with Section 622.E		
h. Minimum Common Open Space	10% of total gross site area		
*All landscape areas will have a minimum of 50% coverage			

D3: Parking

Parking Standards	
Minimum Parking Standards	
a. Residents	1.3 spaces per Studio Unit 1.5 spaces per One or Two Bedroom Unit 2.0 spaces per Three Bedroom Unit
b. Visitor	0.3 spaces per Studio Unit 0.5 spaces per One or Two Bedroom Unit 1.0 spaces per Three Bedroom Unit
c. Bicycle Parking	0.25 spaces per Unit, Secured - Up to 50 Required; and a minimum of 10 visitors spaces to be located near clubhouse entry
Bicycle Parking Standards	Comply with Section 1307.H
Maximum Parking Standards	Total number of parking spaces permitted is 635. Total number of surface parking spaces is 30.

D4: Fences/Walls

Fences/Walls
Fences and walls shall comply with the wall standards in Section 703 of the Zoning Ordinance.

5: Amenities

Amenities
Final project plans shall include:
a. Resort Style Swimming Pool
b. Fitness Center of no less than 1,500 square feet
c. Shared Ride Queuing Area
d. Co-Working Business Center of no less than 700 square feet
e. Community Room of no less than 900 square feet
f. Secured Bike Storage Area of no less than 700 square feet
g. Private Balconies for Each Unit
h. Rooftop Amenities are Prohibited

D6: Shade

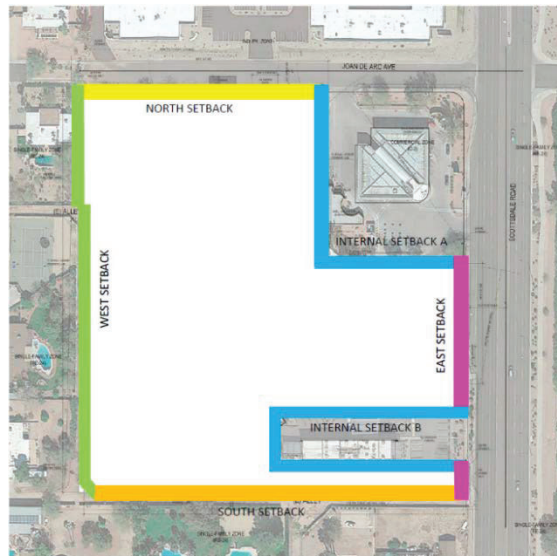
Shade	
Building and Shade	
Shading, which may be physical, vegetative or any combination thereof, shall be provided as follows. All shade calculations shall be based on the summer solstice at noon.	
a. Minimum Public Sidewalk Shade	50% minimum at maturity (vegetation) or installation (physical shade) over abutting sidewalks, exclusive of driveways.
b. Common Area Shading	50% of the private common areas designed for use by residents shall be shaded. Total percentage excludes pool surface and pool deck area as well as passive open space and/or those areas required by D.2.

D7: Lighting Plan

Lighting
All lighting shall comply with the standards of Section 704 and 507, Tab A, City Code Section 23-100.

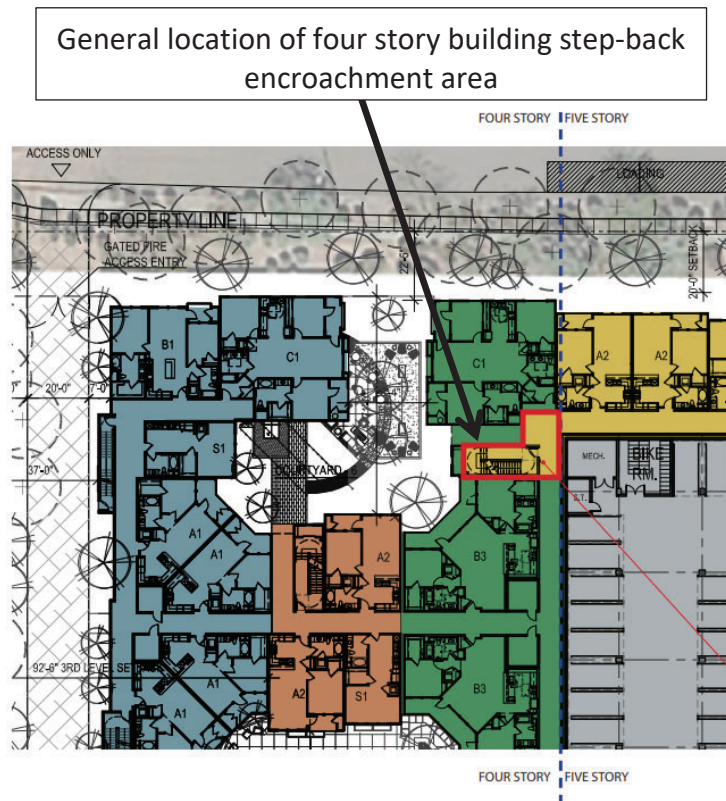
D8: Setback Areas

The setback areas identified in D1 and D2 above are visually illustrated below:



D9: Setback Encroachment Exhibit

To permit stair access to the northern fourth floor of the building, a single stairway and its stairway access hallway are permitted to encroach into step-backs, up to only 550 total square feet of area, located as generally shown on the illustration below:



E. DESIGN GUIDELINES

For Multi-Family Residential Dwellings, the following design guidelines (E1) apply. For all other permitted uses, comply with the relevant guidelines in the C-1 Zoning District.

E1: Design Guidelines

1. Architectural Style: Elevations are both climate appropriate (reflecting our arid environment) and comprised of low profile forms (to avoid emphasis on overall height) and an appearance of being made of heavy materials (such as adobe, stone or concrete finishes). To implement this style, the final project elevations shall include:

A. Above grade primary parking garages shall be of a “wrapped” design, with dwelling units located in front of the structure to minimize the visibility of the parking structure and/or vehicles from adjacent properties. The final elevations shall feature units around the garage, with exception to the area above the south garage entry (interior to the site), which may feature an exposed façade, to be designed in compliance with E1.1.B.

B. Above grade garages shall be behind building facades to the extent practical; any exposed façade features should be finished with architectural embellishments and detailing that will create visual interest for adjoining properties and enhance the public right-of-way. Please see Exhibit I, Parking Entry View for details of design intent.

C. Exterior wall finishes shall be of any combination of the following materials:

- i. Exterior plaster with light texture
- ii. Cultured stone veneer in various textures
- iii. Wood accents

D. Exterior elevations shall include detail elements, including:

- i. Moldings at windows and faux openings - may be plaster or cast stone finish
- ii. Band course moldings of plaster or cast stone
- iii. Wood columns at select balconies
- iv. Decorative metal railings
- v. Expressive decorative elements including embedded tiles or cartouches

The detail elements shall be generally consistent with Exhibit J, Architecture Detail Descriptions.

E. Exterior materials can be natural or synthetic, so long as the final product has a natural appearance to the casual viewer; plastic details (wood, stone, etc.) are prohibited.

F. Exterior elevations are to be a mix of at least three (3) materials per façade, applied with a hierarchy of form, color, and texture. Elevations shall be articulated in both horizontal and vertical planes to create a variety of interlocking forms and avoid extended unarticulated surfaces.

G. Particular attention should be given to the cornice line through the use of articulated overhangs, including rafter tails and exposed eaves.

2. Architectural Diversity: To enhance the visual appearance of the buildings, the project will implement significant architectural diversity in the final elevations. These shall include:

A. Inclusion of pitched roof elements in the design to break up rooflines.

B. Use of tile, stone, metal or other roofing material on visible pitched rooflines.

C. Detailed wood or metal details around pitched roof edges.

D. Use of a variety of projecting/contrasting elements to articulate wall surfaces, including furred framing, wood trim, or metal or stone accents.

E. Elevations should avoid formulaic repetition of a limited number of details and incorporate expressive details. Elevations shall be articulated in both horizontal and vertical planes to create a variety of interlocking forms and avoid extended unarticulated surfaces. In general, plane breaks, rhythm shifts, and material/color changes should occur approximately every forty feet of elevation length.

3. Architectural Design Elements: Key to ensuring both privacy for adjoining single-family neighbors as well as to increase visual diversity of the final building facades, elements for privacy protection and for visual enhancement shall include:

A. Tower elements may be included in final elevations at key corners and at locations of building to enhance corners, angles or other areas of interest.

B. Accent elements shall be provided into each elevation to provide relief and shadow elements, including shading trellises, projections, and moldings.

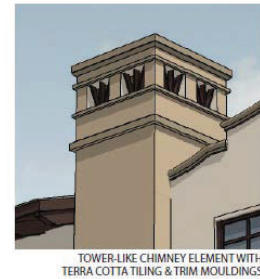
C. Window glazing shall appear to be true divided light.

4. Roof Lines: To reduce the visual height of the building and to maintain the design intent of a “lower” looking structure with appropriate design appeal and variety, the final elevations shall include:

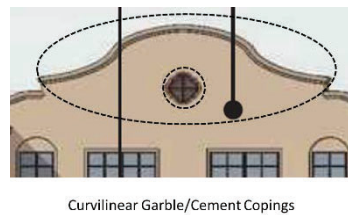
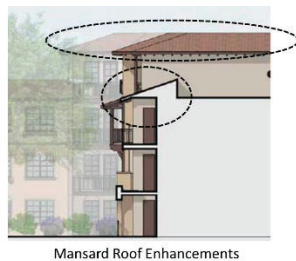
A. The roof line should consist of primarily low-sloping ideally (4:12) pitched mansard roofs, which shall be tall enough to screen equipment behind them.

B. Decorative, expressive curvilinear parapets should be used to interrupt the sloping roof line and create accents and focal points. These elements should occur often enough to have no more than fifty feet of sloping roof edge before an interruption.

C. Occasional tower elements may be employed as focal points to further interrupt the eave line. These tower elements are utilized to break up façade lines and/or to emphasize an entry points. Examples of tower locations and design intent:



D. To provide for screening of mechanical items and to require architectural detailing, the tile mansard roof enhancements (up to four feet at a 4:12 pitch), the curvilinear gable/cement copings and corner towers shown in the elevations are included in permitted exceptions of Section 701.B and shall be included in some manner into the final elevations, subject to E below.



E. Curvilinear gable/cement copings are not permitted on the west elevation and are not permitted on the first, second or third floor elevations.

5. Color and Materials: Colors and materials for the final elevations shall include some or all of the following:

A. Primary elevation materials shall include exterior cement plaster, cultured stone veneer in a variety of textures and patterns, wood details, decorative ornamentation, and metal balcony railing and trim accents.

B. The color palette shall be reflective of a desert environment and consist of primarily tans, browns, and gray-browns, with saturated accent colors (black, chocolate) on decorative elements such as rafter tails and metal railings.

C. Fabric awning colors should be drawn from the “desert warm” palette and not be overly contrasting.

6. Driveways and Walks: Primary access to the development will be from Scottsdale Road. As a shared entryway, allowing access to the outparcel dry cleaning establishment, it is important that this area is both functional and attractive. To achieve these goals, the driveways and walkways of the project shall include:

A. Use of accent paving at the entryway to the project, which is generally located within the first fifty feet of the entry driveway by the clubhouse, which shall be pavers or decorative scored colored concrete.

B. Shade over the primary internal sidewalks shall be provided at 50% through the use of structures and landscaping.

C. The Fire Access Lane located between the structure and the west property line (along its entirety up to the North façade of the building) and the south property line (at least 225 feet measured from the west property line eastward) alleyways shall be gated to limit vehicular and pedestrian access.

D. Gates for the Fire Access Lane should be decorative in nature, be designed to control both vehicular and pedestrian access and be view limiting to passersby. Examples of acceptable styles/designs include:



E. Fire Lane shall comply with Chapter 5, Section 503 of the City of Phoenix Fire Code.

7. Courtyards: The use of courtyards to focus resident living spaces into the courtyard providing both privacy for adjoining single-family homeowners as well as a neighbor relationship building space that allows for visual connections to both those “across the hall” as well as residents utilizing the spaces below. The goal is to encourage personal relationships between and amongst neighbors within the development. To achieve this, the following shall be provided in final development plans:

A. West and South elevations of the development shall have all patio areas and living room areas designed to be focused into a common courtyard to the extent practical.

B. Courtyards shall include desert friendly landscaping that emphasizes form and color, plus benches for resting, water elements for subtle background sound, abundant shade,

and tasteful, shielded lighting.

C. Units that front onto courtyards at grade level should have direct access from their patios to the courtyard space.

D. To protect privacy of adjacent residential homes, clear windows (translucent type excepted) or balconies are not permitted on the building's perimeter west and south facades where the façade is abutting the west and south setback areas.

E. To limit views off-site towards single-family residences, no clear windows or balconies shall be permitted that are parallel with the property lines until a minimum setback standard is met. For the west property line, this is at least 140 feet. For the south property line, at least 129 feet. See Exhibit G, Residential Living Rooms – View Exhibit for details on this design guideline.

F. SIGNS

F: Signs

All signs will comply with the standards of Section 705 of the City of Phoenix Zoning Ordinance for multifamily developments.

G. SUSTAINABILITY

For Multi-Family Residential Dwellings, the following sustainability standards (G1 & G2) apply. For all other permitted uses, comply with the standards of Section 622, C-1 Zoning District.

G1: City Enforced Standards

The following are standards that are measurable and enforceable by the City and will be provided:

- Dual glaze windows with high performance low-e glazing
- All primary site lighting will be LED lighting
- Site designed for minimized heat island effect with (i) resident parking being shaded due to location below building minimizing asphalt exposure and (ii) flat portions of the building roof being of a light color to minimize SRI
- Recycling receptacles will be provided in the refuse room

G2: Developer Enforced Standards

- Provide water efficient landscaping (drought tolerant plants).
- Utilize a drip irrigation system to minimize water waste.
- Utilize low water usage plumbing fixtures.
- Encourage the design of buildings' HVAC systems to eliminate the usage of CFC's and CFC based refrigerants.
- Encourage the use of water-based adhesives on all VCT and vinyl flooring to minimize VOC off gassing.
- High Efficiency Mechanical Equipment, with third party inspection of installation
- Lower flow toilets and showerheads
- Energy Star Rated appliances
- Commercial recycling services will be provided for tenants; note the City has a goal of a 40% landfill diversion rate by 2020 as part of Reimagine Phoenix.

H. INFRASTRUCTURE

H1: Grading and Drainage

Existing grades in and around the ±6.5-acre improved site are generally flat and slope from north to south at 1% or less. The proposed development will accommodate the existing grades by cutting / filling on the site interior and tying back to the existing perimeter with slopes or retaining walls as necessary. Storm water retention for the first flush (or pre-vs-post 100-yr, 2-hr) rain event will be provided onsite in surface basins, underground storage tanks, or upsized pipe. All storm water facilities will be disposed of via drywells within the required 36-hour period. The site is not impacted by offsite run-on from adjacent properties. Storm water originating in Scottsdale Rd. and Joan De Arc Ave. will be collected by the City's public storm drain systems and conveyed away from the site.

H2: Water and Wastewater

Public water infrastructure exists in the adjacent public roads that is assumed to be of sufficient capacity to service the proposed development. New private domestic and fire suppression services will be provided as necessary onsite per current City development codes and policies. The site is served by sanitary sewer facilities located in the public alley west of the site. The existing onsite sewer service is shared by the current development and adjacent dry cleaners building. The proposed development will reconfigure the existing service line as necessary and maintain service to the dry cleaners.

H3: Circulation Systems

Public access into the proposed development will utilize existing driveway cuts on both Scottsdale Rd. and Joan De Arc Ave. Driveways will be reconstructed to current City of Phoenix standards. Fire access will be provided onsite around the building via fire apparatus roads that will be designed to meet City of Phoenix standards for material, geometry, and clearances. The fire access road will be gated and will not be open to vehicular or pedestrian traffic.

Due to existing CC&R's (private agreements with the existing retail building), two (2) full movement driveways must remain onto Scottsdale Road. The southern most driveway is not being moved; the other driveway is being adjusted a few feet to provide for proper turn radius at the main entry. In order to maintain the required access with both left and right turns out, the Developer does not desire to install a median in Scottsdale Road if any access limitations would result.

I. LEGAL DESCRIPTION

I: Legal Description Per Exhibit A of the Limited Warranty Deed recorded at 2018-0106967.

PARCEL NO. 1:

Lot 1, of Q-THE SPORTS CLUB II, according to Book 374 of Maps, Page 23, records of Maricopa County, Arizona;

EXCEPT a portion of the Northeast quarter of the Southeast quarter of the Northeast quarter of Section 15, Township 3 North, Range 4 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, being more particularly described as follows:

COMMENCING at the Northeast corner of said Northeast quarter of the Southeast quarter of the Northeast quarter;

Thence South 00 degrees 50 minutes 50 seconds East along the East line of said Northeast quarter of the Southeast quarter of the Northeast quarter of distance of 53.08 feet;

Thence South 89 degrees 09 minutes 10 seconds West, a distance of 65.00 feet to a point on a line being parallel with and 65.00 feet Westerly, as measured at right angles from said East line;

Thence South 00 degrees 50 minutes 50 seconds East along said parallel line a distance of 244.94 feet (measured) 244.98 feet (record) to a corner of Lot 1, Q-THE SPORTS CLUB II, a subdivision recorded in Book 374 of Maps, Page 23, records of Maricopa County, last said corner also being the Southeast corner of that certain deed recorded in Recording No. 91-039067, records of Maricopa County;

Thence South 89 degrees 06 minutes 02 seconds West along the North line of said Lot 1, a distance of 210.00 feet to the TRUE POINT OF BEGINNING, said point also being a corner of said Lot 1 and the Southwest corner of said deed;

Thence continuing South 89 degrees 06 minutes 02 seconds West a distance of 12.50 feet;

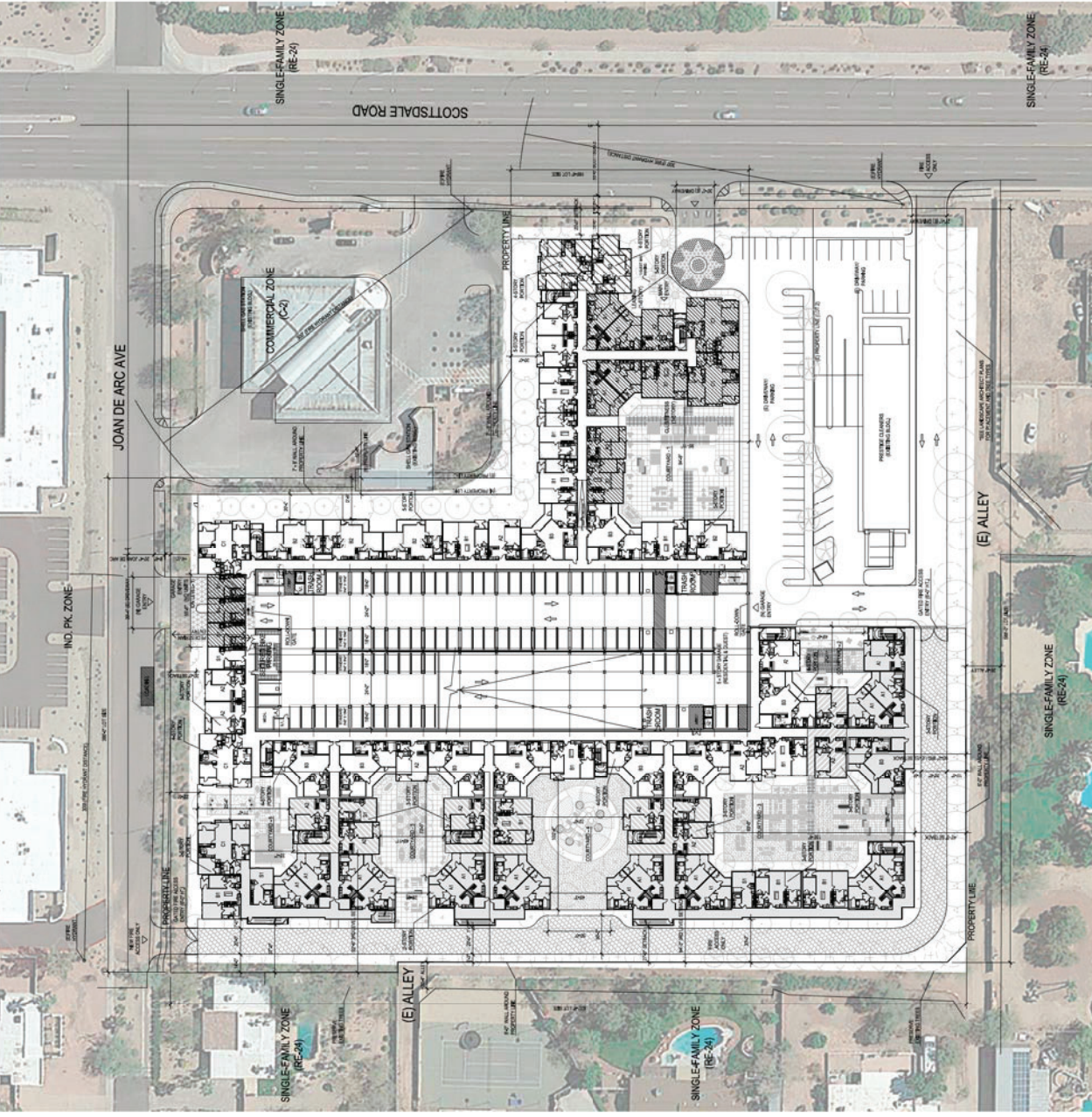
Thence North 00 degrees 50 minutes 50 seconds West parallel with and 12.50 feet West of the East line of said Lot 1, a distance of 265 .. 04 feet (measured) 265.00 feet (record) to the North line of said lot, last said point also being parallel with and 33 .00 feet Southerly, as measured at rights angles from the North line of said Northeast quarter of the Southeast quarter of the Northeast quarter;

Thence North 89 degrees 07 minutes 01 seconds East (measured) North 89 degrees 06 minutes 02 seconds East (record) along said North line of Lot 1, a distance of 12.50 feet to the Northeast corner of said Lot 1, last said corner also being the Northwest corner of said deed;

Thence South 00 degrees 50 minutes 50 seconds East along said East line of Lot 1, a distance of 265 .00 feet to the TRUE POINT OF BEGINNING.

PARCEL NO. 2:

An Easement for Ingress and Egress and Parking as set forth in Declaration of Easements, Covenants, Conditions and Restrictions recorded August 27, 1996 as 96-0603615, of Official Records, amended as 00-0057123, of Official Records and 2003-0586021, of Official Records.



***SEE LANDSCAPE ARCHITECT PLAN FOR THE EXISTING AND PROPOSED TREE LOCATIONS (EXISTING TREE POSITIONS ARE FOR INFORMATION ONLY)**

***SITE PLAN**

MANOR SCOTTSDALE PUD
SCOTTSDALE, AZ
HP# 18260

RELATED
315 S. Encanto Blvd., Miami, FL 33131

CONCEPTUAL SITE PLAN
April 10, 2018

PROJECT INFO & DATA

APPLICANT: The Related Group
116 E. Broadway Blvd
Scottsdale, AZ 85261
Phone: (480) 351-8523

ARCHITECT: David Condon
Humphreys & Partners Architects, L.P.
2500 W. Camelback Rd., Suite 100
Phoenix, AZ 85017
Phone: (480) 950-3400

EXISTING ZONING: C-1
2:50-1-1.00

PROPOSED ZONING: PUD
4.0-3 DUBIC

PROPOSED DENSITY: Allowable
87%
Proposed Lot Coverage (SF)
54,502

EXISTING BLDG. HEIGHT: 30'-2"
25,000 SF
Lot Coverage Area

PROPOSED MAX. HEIGHT: 5
50'-2"
Height (R. 1.)

PROPOSED SETBACKS:
30'-2"
40'-2"
20'-2"
27'-2"

BIKE PARKING REQD.: 148
50
10
15

OPEN SPACE REQUIREMENT: 14,130
5% of Lot Area

OPEN SPACE PROVIDED: 203,853
37,194
37,709
34.4%

LAND AREA: 6510 ACRES
TOTAL UNITS: 290 UNITS
LANDSCAPE UNITS: 290 UNITS
CLUBHUSES: 7,845 H-155 (GOODS)

4-STORY W/UP W/4-STORY W/PARK ON ROOF & SMALL PORTION OF BASEMENT GARAGE

UNIT	SUIT TYPE	NET SF	BALC/PATIO	GROSS UNIT	NO.	T.L. NET	T.L. GROSS	%	% CAT
A1	1BR/1BA	675	150	725	48	32,400	37,800	16.6%	30%
A2	1BR/1BA	725	60	785	71	54,735	65,135	24.2%	41%
B1	2BR/2BA	1,000	99	1,099	52	53,040	64,508	27.7%	41%
B2	2BR/2BA	1,395	57	1,452	24	29,540	32,208	8.2%	42%
B3	2BR/2BA	1,500	203	1,703	47	63,000	70,644	31.0%	42%
TOTAL	2BR/2BA	4,490	149	4,639	233	216,405	260,148	100%	100.0%

FINISHING CALCULATION

SUIT TYPE	NO.	CLUST	PER	PER SECT	FINISHING	FINISHING	FINISHING
A1	28	1.3	0.3	8.4	8.4	0.30	11.2
A2	48	1.5	0.5	72.0	24.0	0.25	24.0
B1	71	1.5	0.5	106.5	35.5	0.25	35.5
B2	52	1.5	0.5	78.0	26.0	0.25	26.0
B3	24	1.5	0.5	36.0	12.0	0.25	12.0
C1	24	2.0	1.5	48.0	23.0	0.25	17.3
TOTAL	233	2.0	1.5	445	152	2.04	149

ADJ. PARKING SPACES: 12
TOTAL GARAGE PROVIDER: 598
SURFACE PARKING: 0
TOTAL ON SITE: 598
LOADING PROVIDED: 1

SEE OPEN SPACE ENDS (L3.00) FOR DETAIL INFO





MANOR SCOTTSDALE PUD
SCOTTSDALE, AZ
HPM 18280

VIEW ALONG SCOTTSDALE ROAD
April 10, 2019

HUMPHREYS & PARTNERS ARCHITECTS, L.P.
5539 Alpha Rd., Suite 300, Dallas, TX 75240 | 972.201.9636 | www.humphreys.com



PRE-CAST PROFILE

ELDORADO STONE - STONE MARQUEE 24
- SANDERLING

ELDORADO STONE - STACKED STONE
- DESERT SHADOW



MANOR SCOTTSDALE PUD
 SCOTTSDALE, AZ
 HPM 18280

VIEW ALONG SCOTTSDALE RD
 April 10, 2019

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KEY MAP

3785 Clay Springs
3689 Brown Gray Range



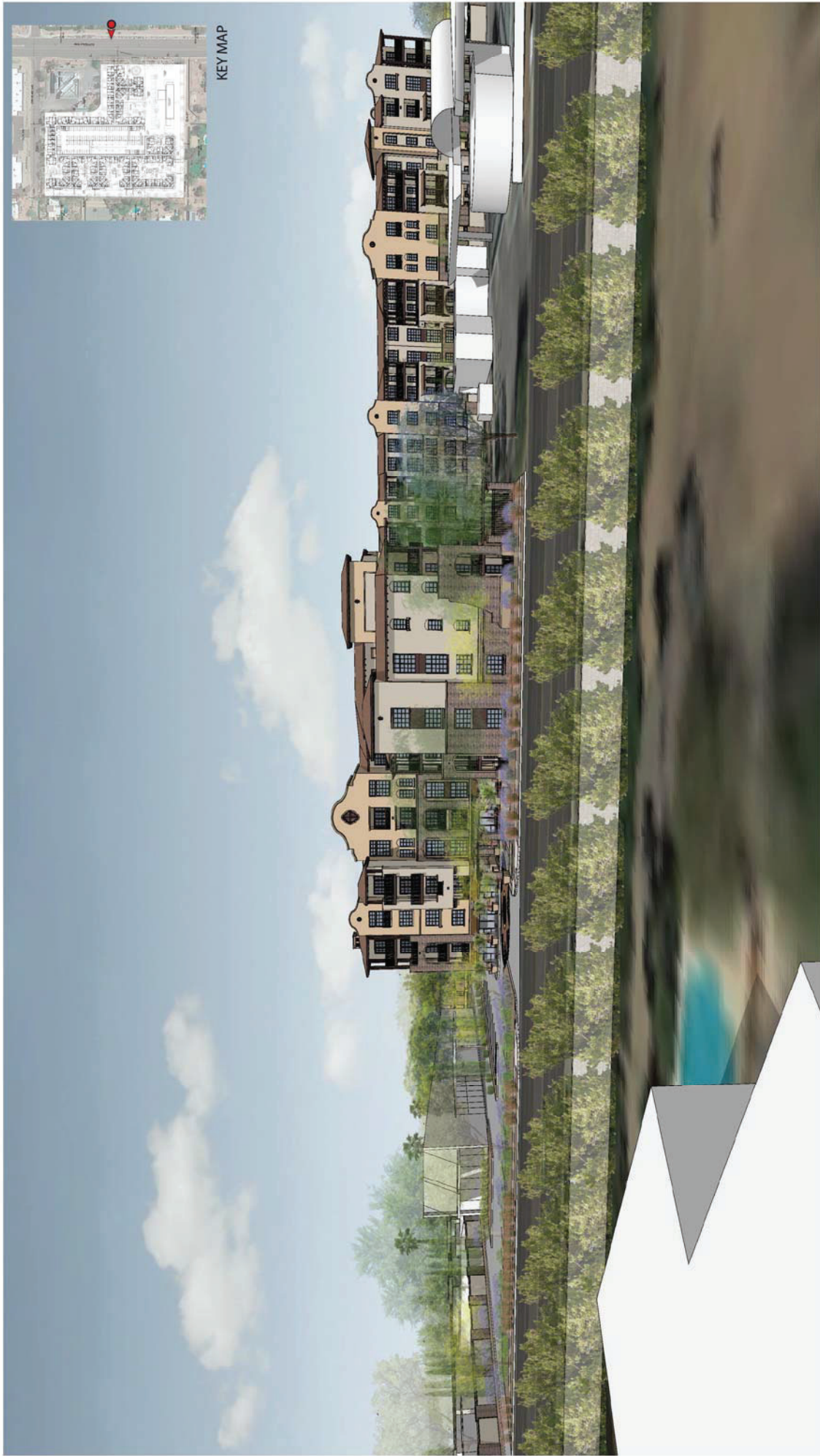
MANOR SCOTTSDALE PUD
SCOTTSDALE, AZ
HP# 18280

WEST VIEW ALONG SCOTTSDALE RD. (ENTRY)

April 10, 2019

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KEY MAP

WEST VIEW FROM ADJACENT
SINGLE-FAMILY BACKYARD AT SCOTTSDALE RD

April 10, 2019

MANOR SCOTTSDALE PUD
SCOTTSDALE, AZ
HPM 18280

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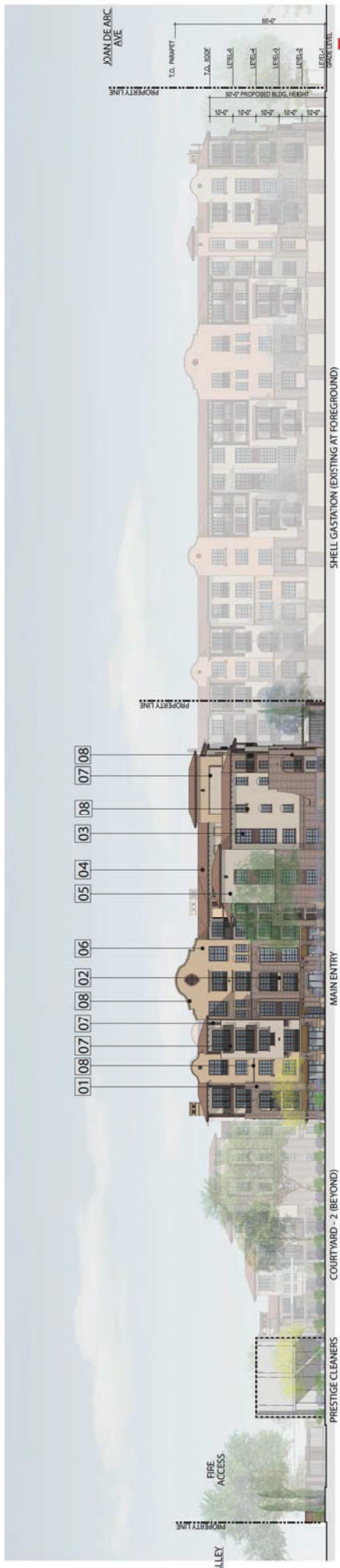
SCOTTSDALE ROAD

JOAN DE ARC AVE

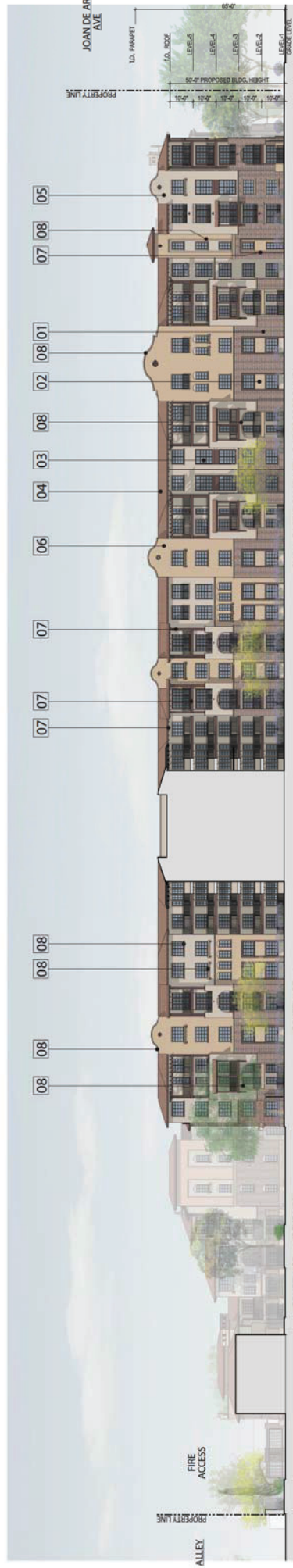
MANOR SCOTTSDALE PUD
SCOTTSDALE, AZ
HP# 18280

PERSPECTIVE VIEW
SOUTHWEST AT SCOTTSDALE & JOAN DE ARC
April 10, 2019

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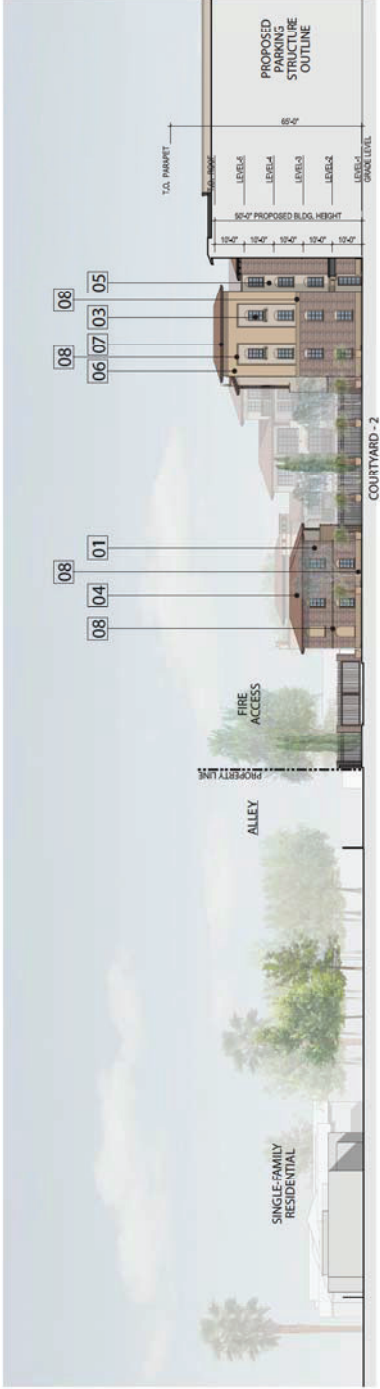
EAST ELEVATION - 1



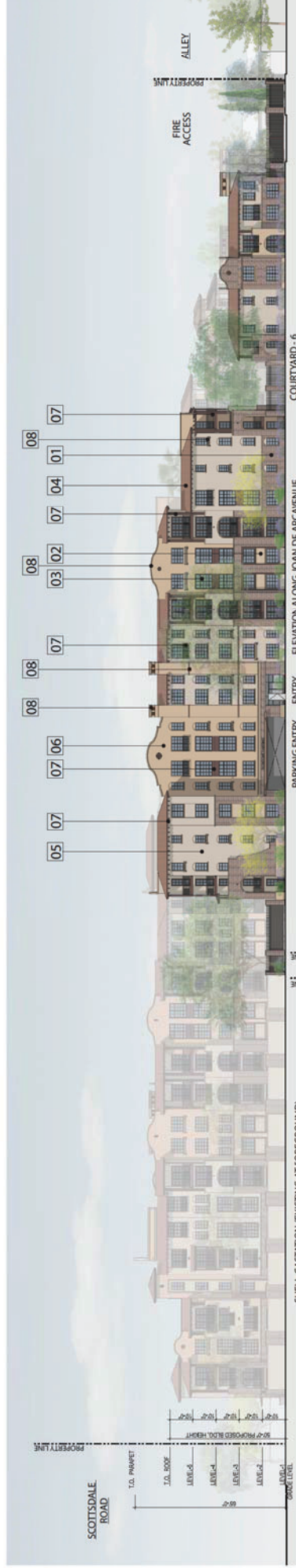
EAST ELEVATION - 2

MATERIAL LEGEND:

- 01 STACKED STONE VENEER FINISH
- 02 ACCENT STONE FINISH
- 03 VINYL WINDOW (PROFILE AND COLORS TBD)
- 04 ROOF TILE ROOFINGS-PROFILE
- 05 STUCCO FINISH - 1 (20/30 SAND FINISH)
- 06 STUCCO FINISH - 2 (20/30 SAND FINISH)
- 07 POST & TRIM FINISH (ACCENT FINISH)
- 08 PRE-CAST PROFILE & TRIM FINISH (PRE-CAST & ACCENT)



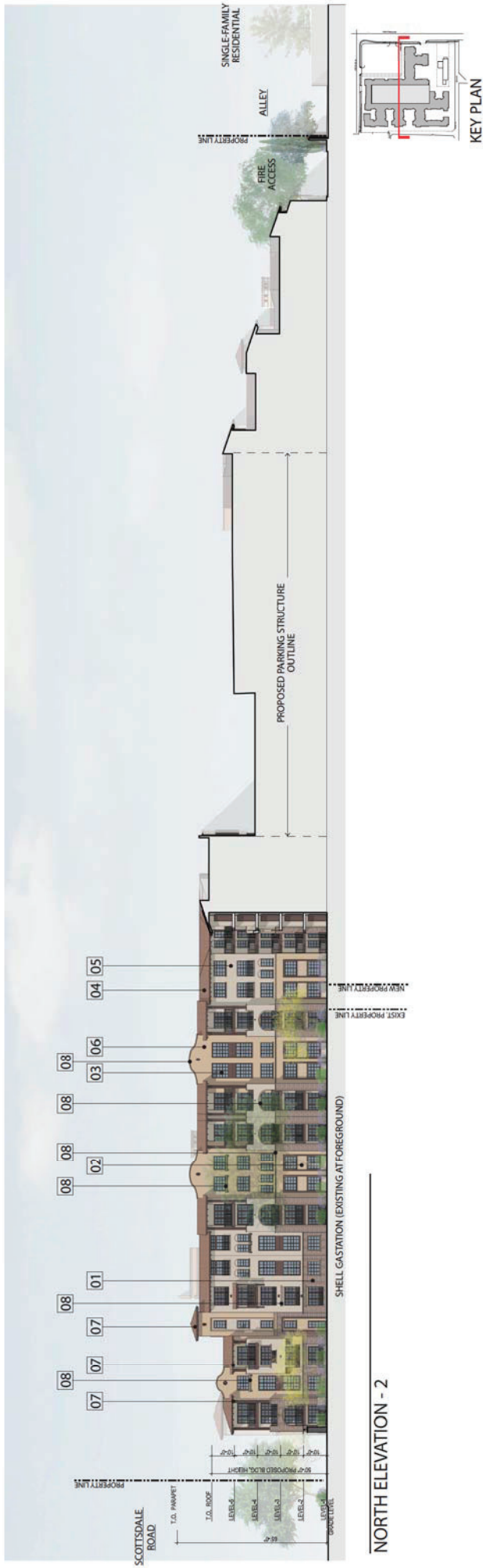
EAST ELEVATION - 3



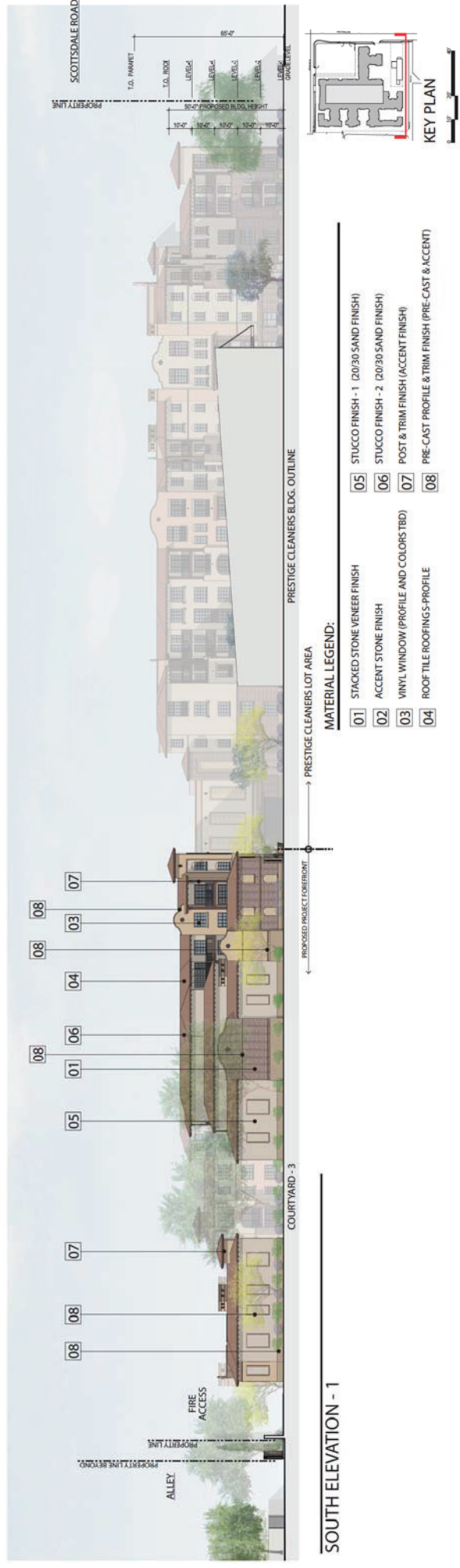
NORTH ELEVATION - 1

MATERIAL LEGEND:

- 01 STACKED STONE VENEER FINISH
- 02 ACCENT STONE FINISH
- 03 VINYL WINDOW (PROFILE AND COLORS TBD)
- 04 ROOF TILE ROOFINGS-PROFILE
- 05 STUCCO FINISH - 1 (20/30 SAND FINISH)
- 06 STUCCO FINISH - 2 (20/30 SAND FINISH)
- 07 POST & TRIM FINISH (ACCENT FINISH)
- 08 PRE-CAST PROFILE & TRIM FINISH (PRE-CAST & ACCENT)



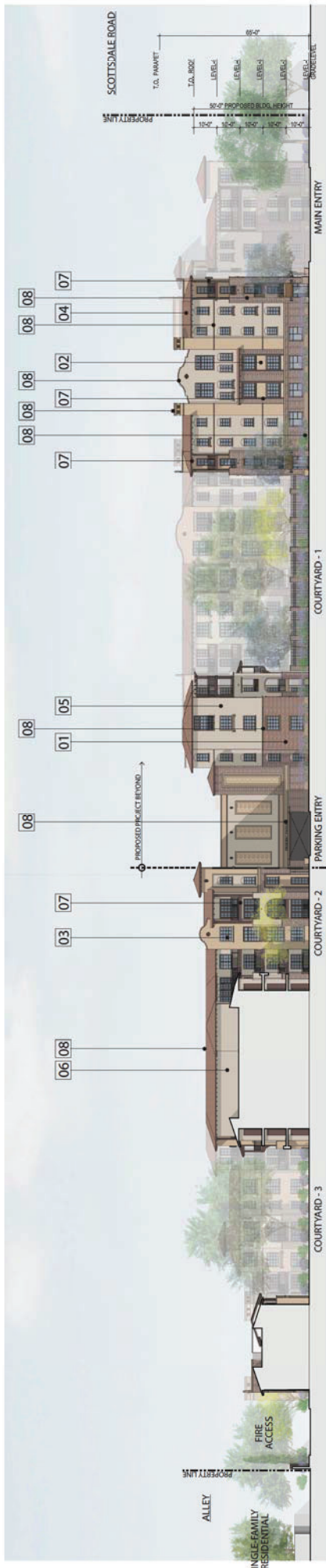
NORTH ELEVATION - 2



SOUTH ELEVATION - 1

MATERIAL LEGEND:

- 01 STACKED STONE VENEER FINISH
- 02 ACCENT STONE FINISH
- 03 VINYL WINDOW (PROFILE AND COLORS TBD)
- 04 ROOF TILE ROOFINGS-PROFILE
- 05 STUCCO FINISH - 1 (20/30 SAND FINISH)
- 06 STUCCO FINISH - 2 (20/30 SAND FINISH)
- 07 POST & TRIM FINISH (ACCENT FINISH)
- 08 PRE-CAST PROFILE & TRIM FINISH (PRE-CAST & ACCENT)



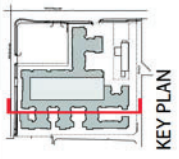
SOUTH ELEVATION - 2



WEST ELEVATION

MATERIAL LEGEND:

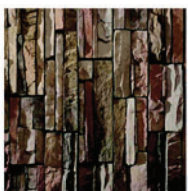
01	STACKED STONE VENEER FINISH	05	STUCCO FINISH - 1 (20/30 SAND FINISH)
02	ACCENT STONE FINISH	06	STUCCO FINISH - 2 (20/30 SAND FINISH)
03	VINYL WINDOW (PROFILE AND COLORS TBD)	07	POST & TRIM FINISH (ACCENT FINISH)
04	ROOF TILE ROOFINGS-PROFILE	08	PRE-CAST PROFILE & TRIM FINISH (PRE-CAST & ACCENT)



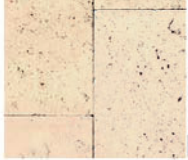
MATERIAL LEGEND:

- 01 STACKED STONE VENEER FINISH
- 02 ACCENT STONE FINISH
- 03 VINYL WINDOW (PROFILE AND COLOR TBD)
- 04 ROOF TILE ROOFING S-PROFILE
- 05 STUCCO FINISH - 1 (20/30 SAND FINISH)
- 06 STUCCO FINISH - 2 (20/30 SAND FINISH)
- 07 POST & TRIM FINISH (ACCENT FINISH)
- 08 PRE-CAST PROFILE & TRIM FINISH (PRE-CAST & ACCENT)


01 ELBORADO STONE
- STACKED STONE
- DESERT SHADOW



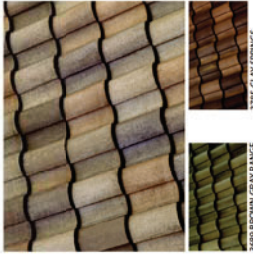
02 ELBORADO STONE (ACCENT)
- STONE MARQUEE 24
- SANDERLING



03 VINYL WINDOW
- PROFILE AND COLOR TBD




04 EAGLE ROOFING, ROOF TILE - S - PROFILE, SIGNATURE
BLENDS OF BLENDS PROFILE MIX




05 STUCCO FINISH - 20/30 SAND FINISH
PRIMARY COLOR

SHERWIN WILLIAMS: SW 2822 DOWNING SAND




06 STUCCO FINISH - 20/30 SAND FINISH
SECONDARY COLOR

SHERWIN WILLIAMS: SW 2827 COLONIAL REVEL STONE




07 PRE-CAST & TRIM - CONCRETE (TEXTURE)
ACCENT COLOR

SHERWIN WILLIAMS: SW 2820 DOWNING EARTH

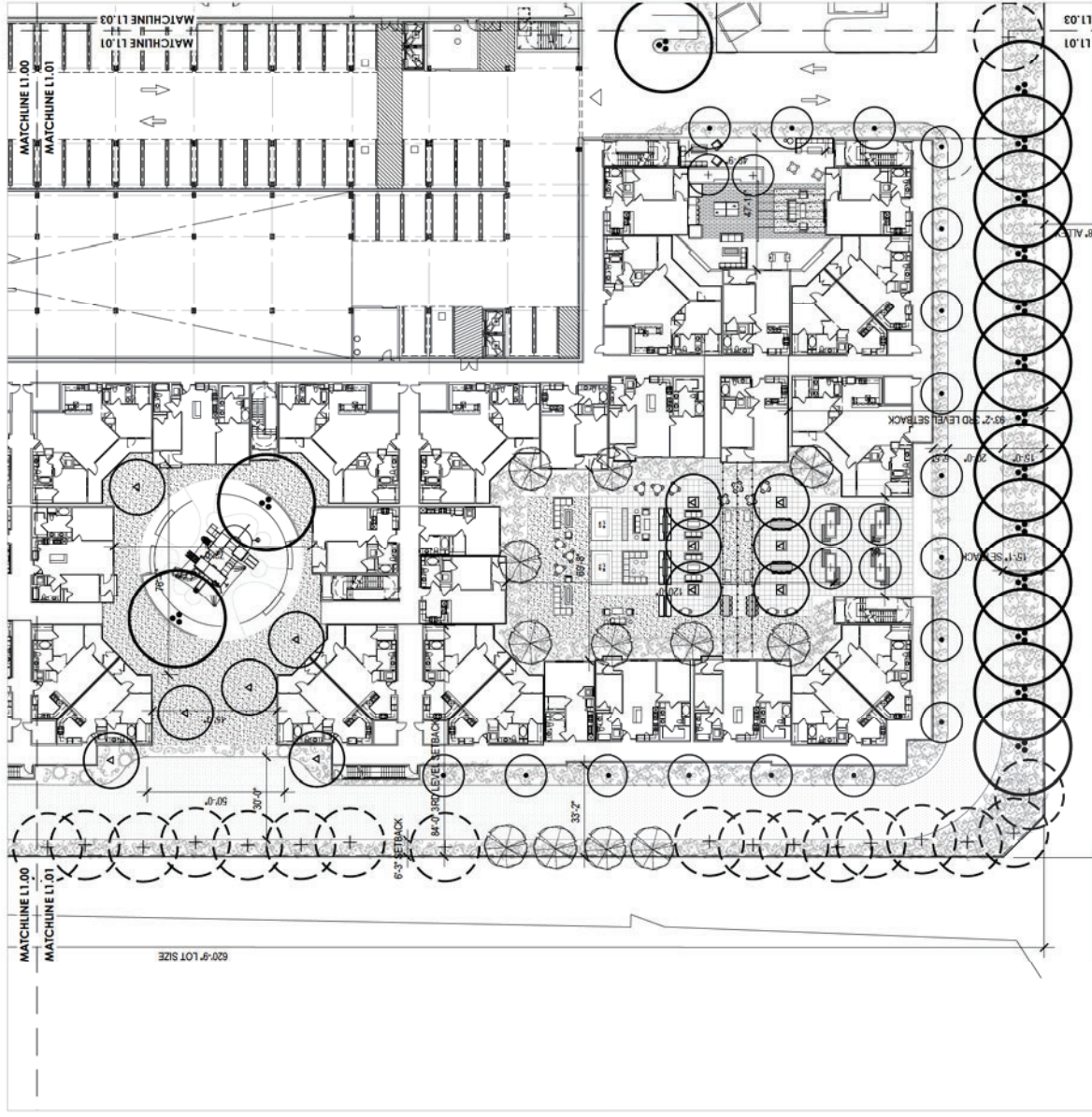


08 PRE-CAST & TRIM - CONCRETE (TEXTURE)
ACCENT COLOR

SHERWIN WILLIAMS: SW 2820 DOWNING EARTH



EXTERIOR MATERIAL FINISH

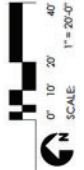


PLANT PALETTE - OVERALL

TREES	NAME	SIZE	COMMENTS
1	Living Tree	41	
2	Phoenix Date Palm	03	16' Ht.
3	Phoenix Date Palm	28	24' BOX
4	Phoenix Date Palm	29	30' BOX
5	Phoenix Date Palm	21	4' CALL
6	Phoenix Date Palm	15	24' BOX
7	Phoenix Date Palm	03	16' Ht.
8	Phoenix Date Palm	03	16' Ht.
9	Phoenix Date Palm	27	24' BOX
10	Phoenix Date Palm		7' CAL MIN.

SHRUBS	NAME	SIZE	COMMENTS
1	Phoenix Date Palm	00	5 GAL
2	Phoenix Date Palm	00	5 GAL
3	Phoenix Date Palm	00	5 GAL
4	Phoenix Date Palm	00	5 GAL
5	Phoenix Date Palm	00	5 GAL
6	Phoenix Date Palm	00	5 GAL
7	Phoenix Date Palm	00	5 GAL
8	Phoenix Date Palm	00	5 GAL
9	Phoenix Date Palm	00	5 GAL
10	Phoenix Date Palm	00	5 GAL
11	Phoenix Date Palm	00	5 GAL
12	Phoenix Date Palm	00	5 GAL
13	Phoenix Date Palm	00	5 GAL
14	Phoenix Date Palm	00	5 GAL
15	Phoenix Date Palm	00	5 GAL
16	Phoenix Date Palm	00	5 GAL
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18	Phoenix Date Palm	00	5 GAL
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65	Phoenix Date Palm	00	5 GAL
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98	Phoenix Date Palm	00	5 GAL
99	Phoenix Date Palm	00	5 GAL
100	Phoenix Date Palm	00	5 GAL

GROUNDCOVERS	NAME	SIZE	COMMENTS
1	Stabilized Decomposed Granite	00	5 GAL
2	Stabilized Decomposed Granite	00	5 GAL
3	Stabilized Decomposed Granite	00	5 GAL
4	Stabilized Decomposed Granite	00	5 GAL
5	Stabilized Decomposed Granite	00	5 GAL
6	Stabilized Decomposed Granite	00	5 GAL
7	Stabilized Decomposed Granite	00	5 GAL
8	Stabilized Decomposed Granite	00	5 GAL
9	Stabilized Decomposed Granite	00	5 GAL
10	Stabilized Decomposed Granite	00	5 GAL
11	Stabilized Decomposed Granite	00	5 GAL
12	Stabilized Decomposed Granite	00	5 GAL
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33	Stabilized Decomposed Granite	00	5 GAL
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49	Stabilized Decomposed Granite	00	5 GAL
50	Stabilized Decomposed Granite	00	5 GAL
51	Stabilized Decomposed Granite	00	5 GAL
52	Stabilized Decomposed Granite	00	5 GAL
53	Stabilized Decomposed Granite	00	5 GAL
54	Stabilized Decomposed Granite	00	5 GAL
55	Stabilized Decomposed Granite	00	5 GAL
56	Stabilized Decomposed Granite	00	5 GAL
57	Stabilized Decomposed Granite	00	5 GAL
58	Stabilized Decomposed Granite	00	5 GAL
59	Stabilized Decomposed Granite	00	5 GAL
60	Stabilized Decomposed Granite	00	5 GAL
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62	Stabilized Decomposed Granite	00	5 GAL
63	Stabilized Decomposed Granite	00	5 GAL
64	Stabilized Decomposed Granite	00	5 GAL
65	Stabilized Decomposed Granite	00	5 GAL
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73	Stabilized Decomposed Granite	00	5 GAL
74	Stabilized Decomposed Granite	00	5 GAL
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96	Stabilized Decomposed Granite	00	5 GAL
97	Stabilized Decomposed Granite	00	5 GAL
98	Stabilized Decomposed Granite	00	5 GAL
99	Stabilized Decomposed Granite	00	5 GAL
100	Stabilized Decomposed Granite	00	5 GAL



LANDSCAPE PLAN

DESIGNED BY: MFL & E
 DRAWN BY: ETHAN ELES
 LADR: DANIEL R. ENLUNDSON
 PLOT DATE: 04/11/2019
 ISSUE DATE:
 ISSUE FOR PERMIT APPLICATION:
 ISSUE DATE:
 ISSUE FOR CONSTRUCTION:
 ISSUE DATE:

NO.	DATE	DESCRIPTION

REVISION SCHEDULE

MANOR
 SCOTTS DALE PUD
 1220 NORTH SCOTTSMOORE ROAD,
 SCOTTSMOORE, AZ 85544
 PROJECT #

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SHEET TITLE
 LANDSCAPE PLAN

SHEET NUMBER
 L1.01

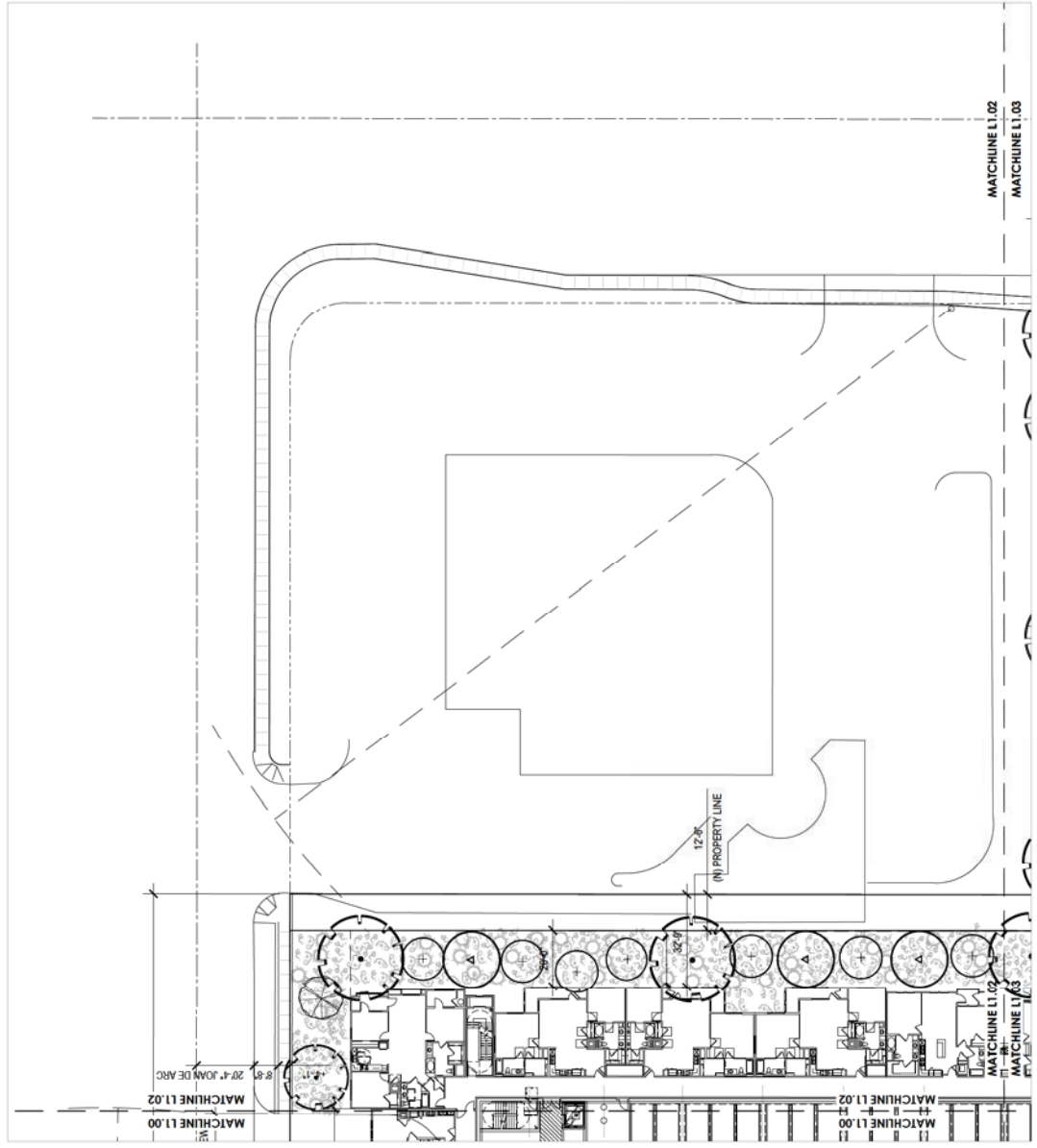
SCALE: AS INDICATED

PLANT PALETTE - OVERALL

TREES	NAME	SIZE	COMMENTS
+	Phoenix Deciduous	18 HE.	-
+	DATE PALM	2' CAL. WNK.	10 HE.
+	PALM BLANCO	3' CAL. WNK.	12 HE.
+	PROSPER VULGARIS	4' CAL.	3' CAL. WNK.
+	DAVIDSONIA	2' CAL. WNK.	-
+	ACACIA STENOCHLOA	2' CAL. WNK.	10 HE.
+	VALERINE BUSH	4' CAL.	12 HE.
+	PALO VERDE	3' CAL.	10 HE.
+	CELESTINO OLIVE	2' CAL. WNK.	-
+	CAUCASIAN TREE	2' CAL. WNK.	-

SHRUBS	NAME	SIZE	COMMENTS
+	Phoenix Deciduous	5 GAL.	30 HE.
+	DATE PALM	5 GAL.	30 HE.
+	BIG OF PARADISE	5 GAL.	30 HE.
+	CAROLINA JASMINE	5 GAL.	30 HE.
+	PHOENIX CACTUS	5 GAL.	30 HE.
+	BREVETONIA	5 GAL.	30 HE.
+	VALERINE BUSH	5 GAL.	30 HE.
+	MEXICAN HORSHOLE	5 GAL.	30 HE.
+	ACACIA	5 GAL.	30 HE.
+	DESSERT MAJESTY	5 GAL.	30 HE.
+	JUNCO CALIFORNIA	5 GAL.	30 HE.
+	SAVO ORANGE	5 GAL.	30 HE.
+	ACACIA	5 GAL.	30 HE.
+	WOLLY BUTTERFLY BUSH	5 GAL.	30 HE.
+	ERUCA FORMOSA	5 GAL.	30 HE.
+	BITTLEBER	5 GAL.	30 HE.
+	SAVO ORANGE	5 GAL.	30 HE.
+	SAVO ORANGE	5 GAL.	30 HE.
+	PURPLE FIREWREN	5 GAL.	30 HE.

GROUND COVERS	NAME	SIZE	COMMENTS
+	SAND PAPER VERBENA	5 GAL.	30 HE.
+	COMPTONIA	5 GAL.	30 HE.
+	BUSH MORNING GLORY	5 GAL.	30 HE.



LANDSCAPE SITE PLAN

DESIGNED BY: MFL & E
 DRAWN BY: ETHAN ELES
 LACR: DANIEL R. ENLUNDSON
 PROJECT # 04110019

ISSUE FOR PERMITS
 ISSUE DATE: _____

ISSUE FOR PERMIT APPLICATION
 ISSUE DATE: _____

ISSUE FOR CONSTRUCTION
 ISSUE DATE: _____

REVISION SCHEDULE
 NO. DATE DESCRIPTION

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MANOR
 SCOTTS DALE PUD
 1929 NORTH SCOTTS DALE ROAD,
 SCOTTSDALE, AZ 85254

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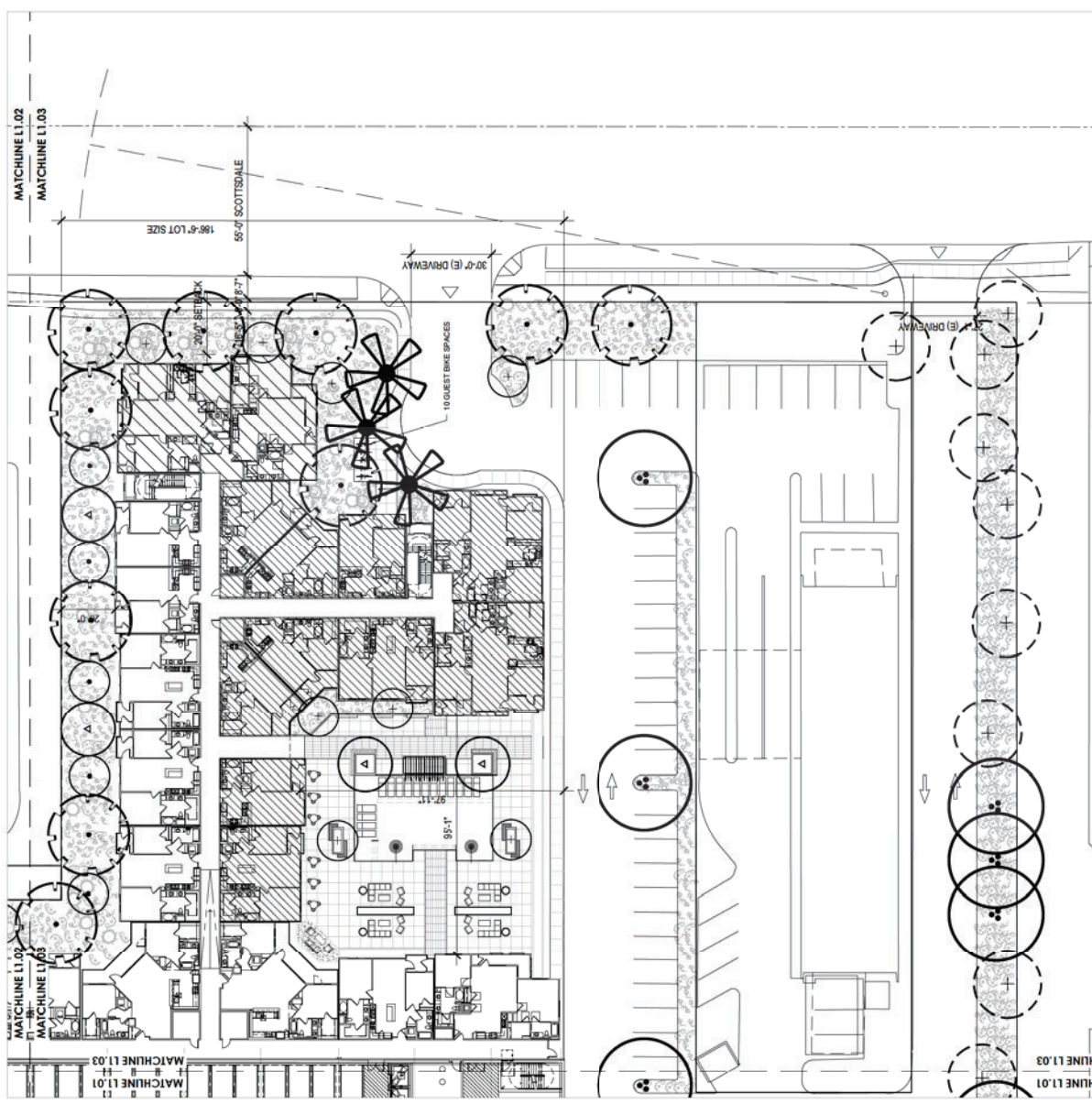
OWNER: MFL & E
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 T: (714) 930-0485

SHEET TITLE: LANDSCAPE PLAN

SHEET NUMBER: L1.02

SCALE: AS INDICATED

PRELIMINARY LANDSCAPE PLAN - 2019-MARCH-21 - NOT FOR CONSTRUCTION



LANDSCAPE SITE PLAN

SCALE: AS INDICATED

0' 10' 20' 40'

T = 20'-0"

PLANT PALETTE - OVERALL

TREES

NAME	SIZE	COMMENTS
Existing Tree TO REMAIN IN PLACE	18" HI.	—
PALEO PALM	10" HI.	—
MORONGUO WILLOW	24" BOX	2" CAL. LN.
PALO BLANCO	36" BOX	3" CAL. LN.
WESTERLY PALM	4" CAL.	—
DOBSONG TREE	18" HI.	—
SEEDOO TREE	24" BOX	2" CAL. LN.
ACACIA	12" HI.	—
FRANKLINIA	3" CAL.	10" HI.
PALO VERDE	5" CAL.	10" HI.
CAJONWOOD	24" BOX	2" CAL. LN.
CAJONWOOD TREE	24" BOX	2" CAL. LN.

SHRUBS

NAME	SIZE	COMMENTS
Protea Redwoods	00 5 GAL	30" HI.
California Sage	00 5 GAL	30" HI.
Compassion EOL	00 5 GAL	30" HI.
BIRD OF PARADISE	00 5 GAL	30" HI.
California Eucalypt	00 5 GAL	30" HI.
WESTERLY PALM	00 5 GAL	30" HI.
CRASSA ANEMONE	00 5 GAL	30" HI.
FEATHERY CASUA	00 5 GAL	30" HI.
VALLEYRYE "MISTAKE"	00 5 GAL	30" HI.
AMERICAN HOLYBUSH	00 5 GAL	30" HI.
MEXICAN HORNETBUCLE	00 5 GAL	30" HI.
NEW ZEALAND FLAX	00 5 GAL	30" HI.
ARIZONA ROCKWOOD	00 5 GAL	30" HI.
ARIZONA ROCKWOOD	00 5 GAL	30" HI.
DESERT MILKWED	00 5 GAL	30" HI.
SONO GREGG	00 5 GAL	30" HI.
ARTISAN SAGE	00 5 GAL	30" HI.
CHAMPAGNE	00 5 GAL	30" HI.
AT YELLOW BELLS	00 5 GAL	30" HI.
Budding Manzanita	00 5 GAL	30" HI.
WOOLLY BUTTERFLY BUSH	00 5 GAL	30" HI.
WESTERLY PALM	00 5 GAL	30" HI.
TURKEY BUSH	00 5 GAL	30" HI.
Escudo Farnesio	00 5 GAL	30" HI.
Arizona Orange Bells	00 5 GAL	30" HI.
Arizona Orange Bells	00 5 GAL	30" HI.
Protea Redwoods	00 5 GAL	30" HI.
ARIZONA ROCKWOOD	00 5 GAL	30" HI.
PURPLE THREEWAX	00 5 GAL	30" HI.

GROUNDCOVERS

NAME	SIZE	COMMENTS
Verbeena Rigida	00 5 GAL	30" HI.
SANDPAPER VERBENA	00 5 GAL	30" HI.
DEERT AMBICOLD	00 5 GAL	30" HI.
Comolobos Crinum	00 5 GAL	30" HI.
BUSH-WORNING GLOUT	00 5 GAL	30" HI.

SURFACE MATERIALS

DESCRIPTION	QUANTITY
CONCRETE GRANITE	16,850 SF.
1/4" MINUS (COLOR: TRD)	

DESIGNED BY: MFL & E
 DRAWN BY: ETHAN ELES
 LADR: DANIEL R. ENLUNDSON
 GMI10019

ISSUE DATE: 04/11/2019

ISSUE FOR PERMITS APPLICATION

ISSUE FOR CONSTRUCTION

ISSUE DATE:

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

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MANOR
 SCOTTSDALE PUD
 1929 NORTH SCOTTSDALE ROAD,
 SCOTTSDALE, AZ 85264
 PROJECT #

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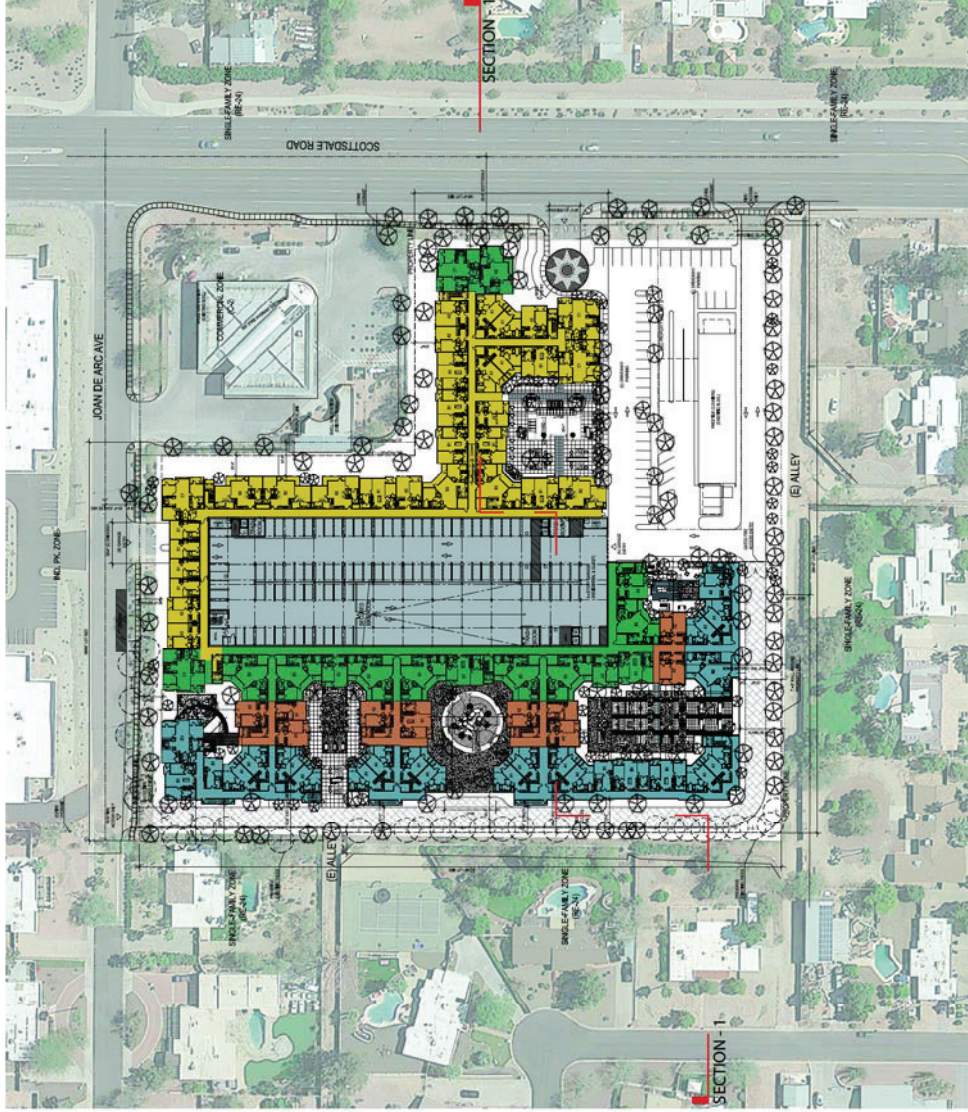
OWNER: MFL & E
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 10000 W. WILLOW ROAD
 E. GARLAND, TX 75042
 T: (714) 930-0400

SHEET TITLE
 LANDSCAPE PLAN

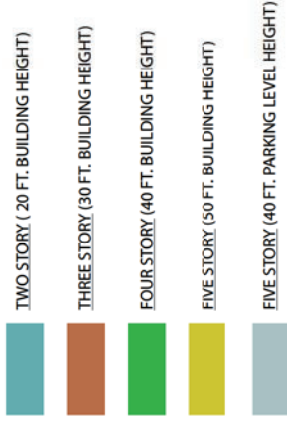
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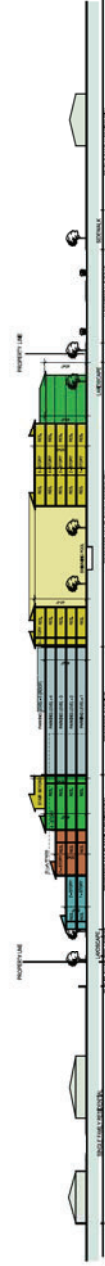
PRELIMINARY LANDSCAPE PLAN - 2019-MARCH-21 - NOT FOR CONSTRUCTION



BUILDING HEIGHT :



PLAN DIAGRAM



SECTION - 1 EXHIBIT

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1 UNIT
FACING SINGLE FAMILY
BALCONY SIZE: 6'-7" WIDE & 7'-2" WIDE



4 UNIT
FACING SINGLE FAMILY
BALCONY SIZE: 9'-3" WIDE



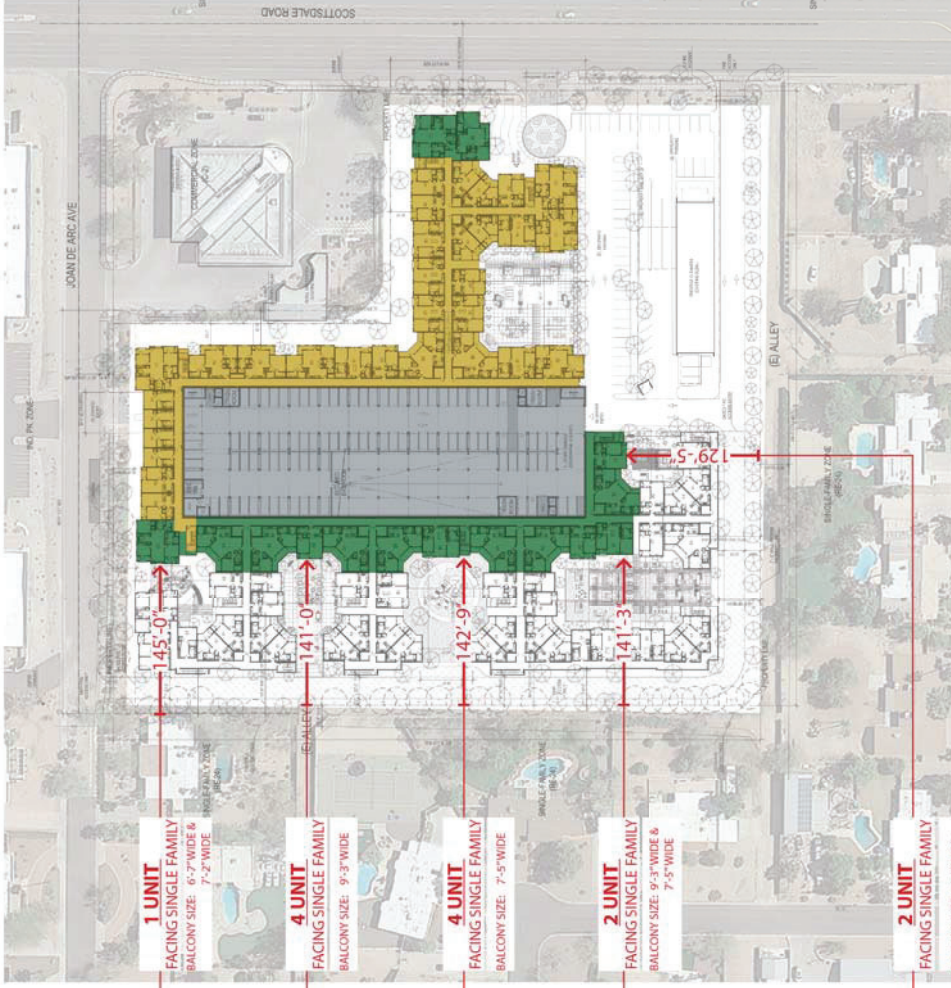
4 UNIT
FACING SINGLE FAMILY
BALCONY SIZE: 7'-5" WIDE



2 UNIT
FACING SINGLE FAMILY
BALCONY SIZE: 9'-3" WIDE & 7'-5" WIDE

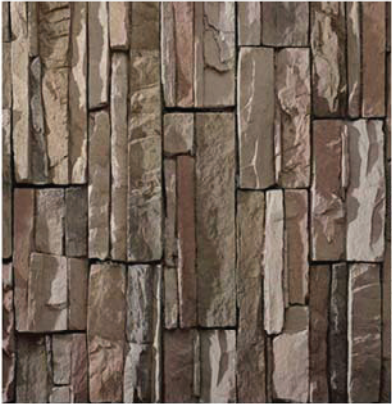


2 UNIT
FACING SINGLE FAMILY
BALCONY SIZE: 9'-3" WIDE



HEIGHT LEGEND:

- FOUR STORY (40 FT. BUILDING HEIGHT)
- FIVE STORY (50 FT. BUILDING HEIGHT)
- DISTANCE FROM THE PROPERTY LINE



01 ELDORADO STONE
- STACKED STONE
- DESERT SHADOW



02 ELDORADO STONE (ACCENT)
- STONE MARQUEE 24
- SANDERLING



03 VINYL WINDOW
- PROFILE AND COLOR TBD



3689 BROWN GRAY RANGE

3785 CLAY SPRINGS

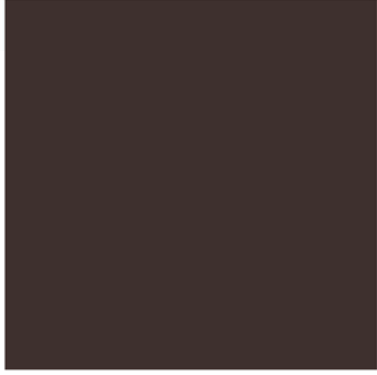
04 EAGLE ROOFING - ROOF TILE: S - PROFILE: SIGNATURE
BLENDS OF BLENDS PROFILE MIX



STUCCO FINISH - 20/30 SAND FINISH
PRIMARY COLOR
SHERWIN WILLIAMS: SW 2822 DOWNING
SAND



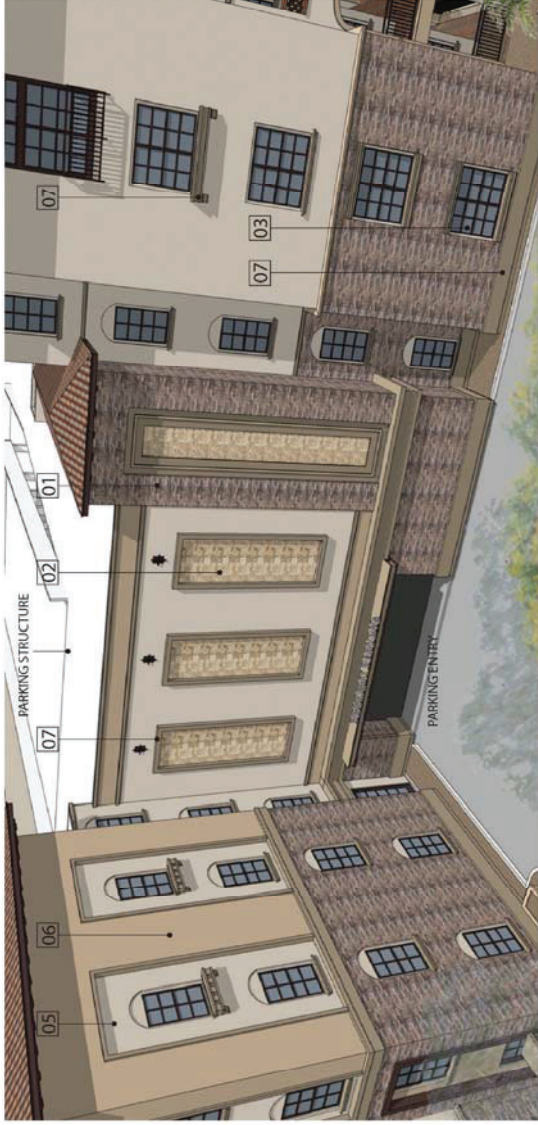
STUCCO FINISH - 20/30 SAND FINISH
SECONDARY COLOR
SHERWIN WILLIAMS: SW 2827 COLONIAL
REVIVAL STONE



POST WINDOW, RAILING
& TRIM FINISH - **07**
SHERWIN WILLIAMS: SW 2808
ROCKWOOD DARK BROWN



PRE-CAST & TRIM - CONCRETE /TEXTURE **08**
ACCENT COLOR
SHERWIN WILLIAMS: SW 2820
DOWNING EARTH



SOUTH PARKING ENTRY - A



NORTH PARKING ENTRY - B

MATERIAL LEGEND:

- 01 STACKED STONE VENEER FINISH
- 02 ACCENT STONE FINISH
- 03 VINYL WINDOW (PROFILE AND COLORS TBD)
- 04 ROOF TILE ROOFING S-PROFILE
- 05 STUCCO FINISH - 1 (20/30 SAND FINISH)
- 06 STUCCO FINISH - 2 (20/30 SAND FINISH)
- 07 POST & TRIM FINISH (ACCENT FINISH)
- 08 PRE-CAST PROFILE & TRIM FINISH (PRE-CAST & ACCENT)



KEY PLAN



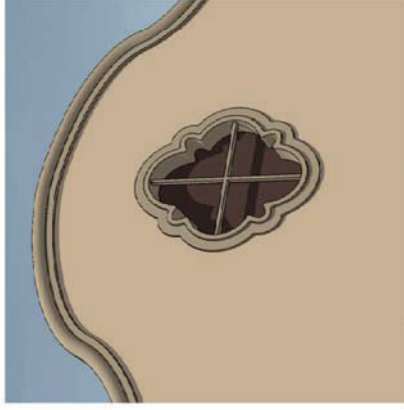
BALCONY TYPE - 1 (ROOFED BALCONY WITH IRON RAILING)



BALCONY TYPE - 2 (ROOFED BALCONY WITH TILE RAILING WITH 6" TRIM ABOVE RAILING)



COLUMNS WITH STONE FINISH / TRIM PROFILE (6" WIDE PROFILE)



10" CURVILINEAR GABLE/CEMENT COPING WITH (2'-4" VARIOUS SCALE) DECORATIVE TILE ELEMENT



MATERIAL LEGEND:

- 01 STACKED STONE VENEER FINISH
- 02 ACCENT STONE FINISH
- 03 VINYL WINDOW (PROFILE AND COLORS TBD)
- 04 ROOF TILE ROOFING S-PROFILE
- 05 STUCCO FINISH - 1 (20/30 SAND FINISH)
- 06 STUCCO FINISH - 2 (20/30 SAND FINISH)
- 07 POST & TRIM FINISH (ACCENT FINISH)
- 08 PRE-CAST PROFILE & TRIM FINISH (PRE-CAST & ACCENT)



BALCONY WITH ROOFED WITH IRON DUEL POST WITH SPANISH TILE BASE; DECK CEILING WITH WOOD TILE TEXTURE



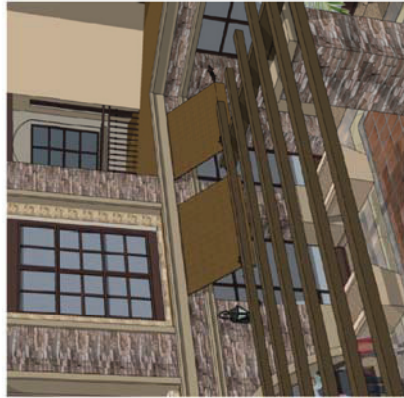
WINDOW TRIMS WITH STONE BASE; STONE TRIMS TO BREAK UP THE WALL SURFACES



TOWER-LIKE CHIMNEY ELEMENT WITH TERRA COTTA TILING & TRIM MOULDINGS



ARCH ABOVE DOOR OR WINDOW WITH STONE BASE WITH DIFFERENT PROFILES OR RECESSED ANGLE BASE



SPANISH COLONIAL STYLE VINYL WINDOWS WITH CONCRETE TRIMS, STONE TILES



TERRA COTTA TILE ROOFING (3:12 PITCHED & 4'-0" HT.) & TRIM PROFILE; EAVE OVERHANG WITH EXPOSED RAFTER TAILS



AWNING WITH METAL SPANISH PROFILE FRAME OVER THE STOREFRONT SYSTEM WITH STONE BASE PROFILE



DECORATIVE BALCONY ELEMENTS WITH RAFTER BASE TAIL PROFILES & BRICK OR IRON METAL RAILING