



**City of Phoenix**  
PLANNING AND DEVELOPMENT DEPARTMENT

**Staff Report: Z-89-22-2**  
February 27, 2023

[Paradise Valley Village Planning Committee Meeting Date:](#) March 6, 2023  
[Planning Commission Hearing Date:](#) April 13, 2023

**Request From:** [R1-14](#) (One-Family Residence) (3.92 acres)  
**Request To:** [R1-6](#) (Single-Family Residence District) (3.92 acres)  
**Proposed Use:** Single-family residential  
**Location:** Approximately 140 feet north of the northeast corner of 34th Street and Tierra Buena Lane  
**Owner:** Land N 34th Street, LLC  
**Applicant:** HG 100, LLC  
**Representative:** Shelby Duplessis, Diversified Future  
**Staff Recommendation:** Approval, subject to stipulations

<u><a href="#">General Plan Conformity</a></u>			
<u><a href="#">General Plan Land Use Designation</a></u>		Residential 3.5 to 5 dwelling units per acre	
<u><a href="#">Street Map Classification</a></u>	34th Street	Local	25-foot east half street
<p><b><i>CONNECT PEOPLE &amp; PLACES CORE VALUE; OPPORTUNITY SITES; LAND USE PRINCIPLE: Support reasonable levels of increased intensity, respectful of local conditions and surrounding neighborhoods.</i></b></p> <p>The proposal is consistent with adjacent uses and zoning districts and is a reasonable level of increased intensity. The proposal is compatible with the traditional lot subdivisions to the north and west of the subject site and would therefore be respectful of local conditions and surrounding neighborhoods.</p>			
<p><b><i>CELEBRATE OUR DIVERSE COMMUNITIES &amp; NEIGHBORHOODS CORE VALUE; CLEAN NEIGHBORHOODS; LAND USE PRINCIPLE: Facilitate the acquisition of vacant, underutilized and blighted parcels for appropriate redevelopment, compatible with the adjacent neighborhood character and adopted area plans.</i></b></p>			

The subject site is currently a vacant underutilized parcel and has been vacant for the past few decades. The proposal will facilitate appropriate redevelopment of this parcel that is compatible with the single-family residential character of the surrounding neighborhoods.

***BUILD THE SUSTAINABLE DESERT CITY; TREES AND SHADE; DESIGN PRINCIPLE: Integrate trees and shade into the design of new development and redevelopment projects throughout Phoenix.***

The proposed development, as stipulated and as required by the Phoenix Zoning Ordinance, will be required to provide shade along public and private sidewalks and internal pedestrian pathways. This will help to provide shade for pedestrians and bicyclists in and around the community for user comfort and will help to mitigate the urban heat island effect by covering hard surfaces, thus cooling the micro-climate around the vicinity.

**Applicable Plan, Overlays, and Initiatives**

[Piestewa Peak Freeway Specific Plan](#): See Background Item No. 6.

[Housing Phoenix Plan](#): See Background Item No. 7.

[Tree and Shade Master Plan](#): See Background Item No. 8.

[Complete Streets Guidelines](#): See Background Item No. 9.

[Comprehensive Bicycle Master Plan](#): See Background Item No. 10.

[Zero Waste PHX](#): See Background Item No. 11.

**Surrounding Land Uses/Zoning**

	<b><u>Land Use</u></b>	<b><u>Zoning</u></b>
<b>On Site</b>	Vacant	R1-14
<b>North</b>	Church, single-family residential	R1-14, R1-6
<b>South</b>	Single-family residential	R1-14
<b>East</b>	Single-family residential	R1-14
<b>West (across 34th Street)</b>	Single-family residential	R1-6

<b>R1-6 – Single-Family Residence District (Planned Residential Development Option)</b>		
<b><u>Standards</u></b>	<b><u>Requirements</u></b>	<b><u>Provisions on the Proposed Site Plan</u></b>
<i>Gross Acreage</i>	-	3.92 acres
Maximum Number of Units	21, 25 with bonus	20 units (Met)
Maximum Density (dwelling units/acre)	5.5 dwelling units per acre; 6.5 with bonus density points	5.1 dwelling units per acre (Met)
Minimum Lot Width	45 feet	47.6 feet – 50 feet (Met)
Maximum Lot Coverage	Primary structure, not including attached shade structures: 40% Total: 50%	40% primary structure, 10% shade structure (Met)
Maximum Building Height	2 stories and 30 feet	1-story and 20 feet (Met)
<i>Minimum Perimeter Building Setbacks</i>		
Street	15 feet	+58 feet (Met)
Property Line (Rear)	15 feet (1-story)	15 feet (1-story) (Met)
Property Line (Side)	10 feet (1-story)	10 feet (1-story) (Met)
<i>Minimum Interior Building Setbacks</i>		
Front	10 feet	10 feet (Met)
Rear	None (established by Building Code)	5 feet (Met)
Side	None (established by Building Code)	5 feet (Met)
Street Side	10 feet	N/A
Minimum Common Open Space	Minimum 5% of gross area	15.56% (Met)
Minimum Common Landscape Setback Adjacent to Perimeter Streets	15 feet average, 10 feet minimum	Not Specified
Minimum Parking	40 spaces required 2 spaces per 1 dwelling unit 20 dwelling units proposed	40 spaces proposed 2 spaces per unit (Met)

*\*Variance or site plan modification required*

## **Background/Issues/Analysis**

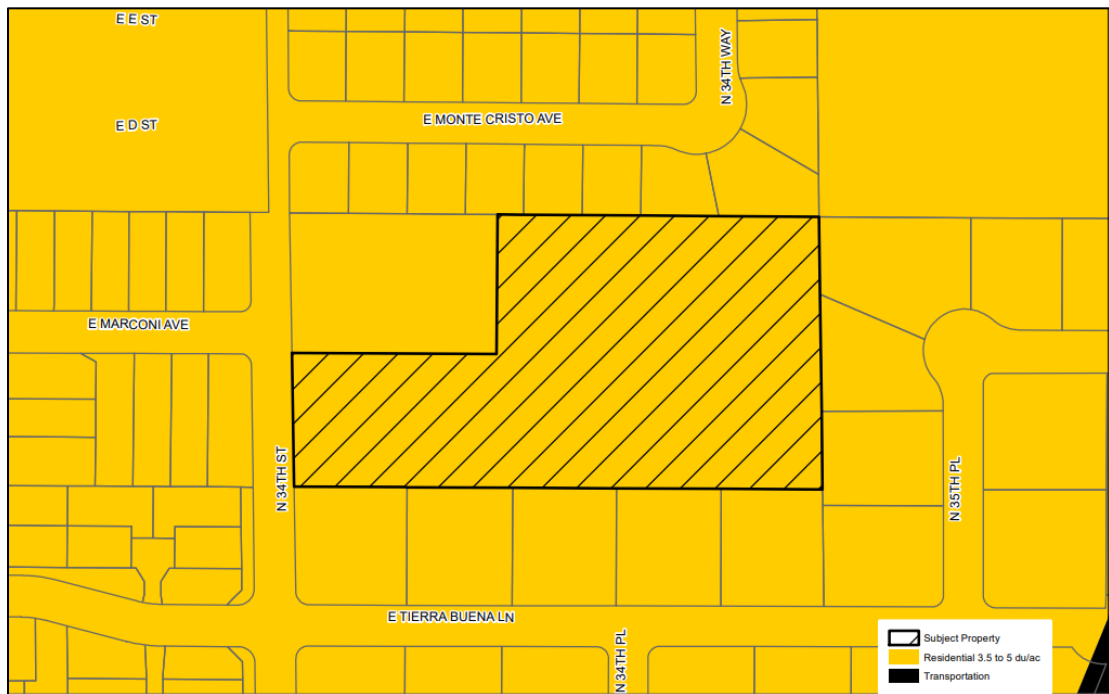
### **SUBJECT SITE**

1. This request is to rezone 3.92 acres located approximately 140 feet north of the northeast corner of 34th Street and Tierra Buena Lane from R1-14 (One-Family Residence) to R1-6 (Single-Family Residence District) for a 20-lot single-family residential community.

### **GENERAL PLAN LAND USE MAP DESIGNATION**

2. The General Plan Land Use Map Designation for the subject site is Residential 3.5 to 5 dwelling units per acre. The proposal is consistent with the existing General Plan Land Use Map designation. The proposal is also consistent with the residential product of the existing land use category of traditional lot.

The proposal is compatible with the General Plan Land Use Map designation surrounding the site, which is designated as Residential 3.5 to 5 dwelling units per acre all around the site.



*General Plan Land Use Map*

*Source: Planning and Development Department*

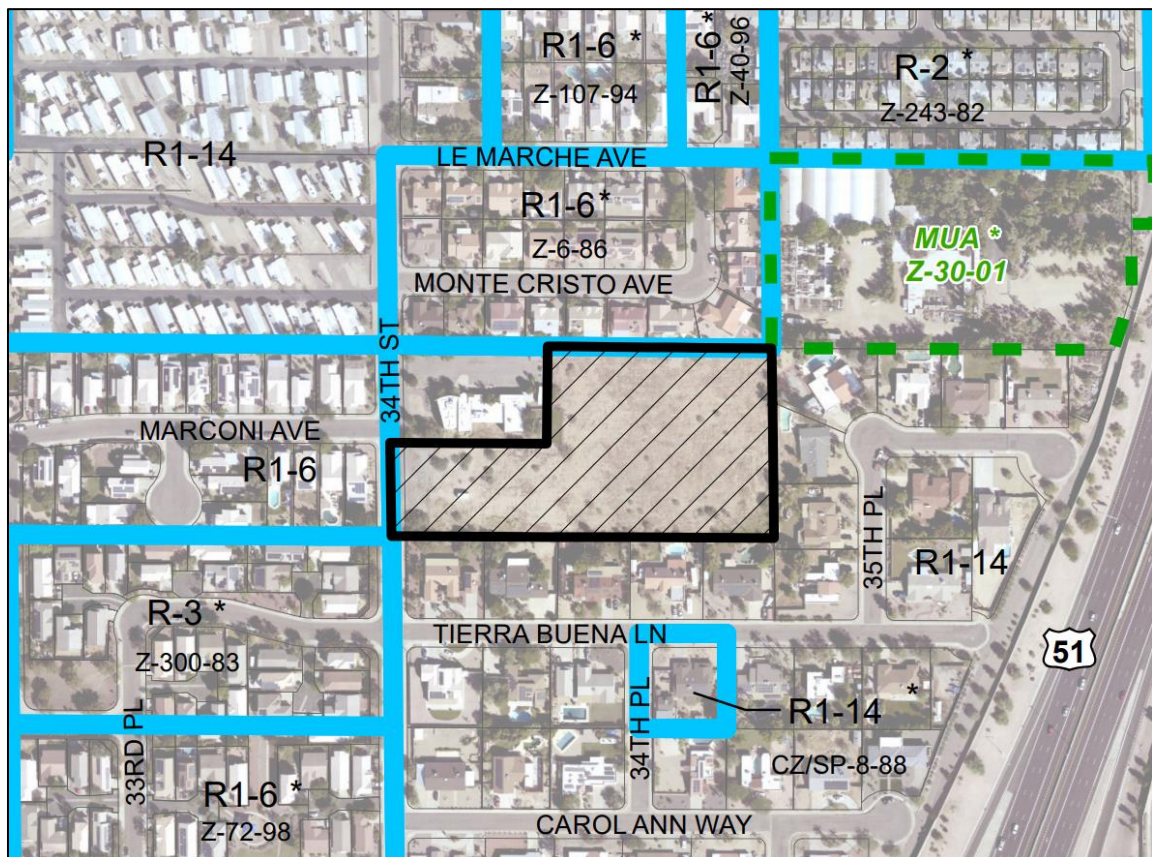
### **SURROUNDING LAND USES AND ZONING**

3. The subject site is vacant land and is currently zoned R1-14 (One-Family Residence). The request for R1-6 (Single-Family Residence District) will add to an existing housing type in the area.

To the north and west of the subject site is a church, and to the east and south are single-family residential subdivisions, all with R1-14 zoning.

To the north and to the west (across 34th Street) are also single-family residential subdivisions, with R1-6 zoning.

The proposed land use is consistent with the surrounding land uses and R1-6 zoning is consistent with the zoning districts to the north and west (across 34th Street).



Zoning Sketch Map

Source: Planning and Development Department

## PROPOSAL

### 4. Site Plan

The conceptual site plan, attached as an exhibit, proposes 20 single-family detached lots. The site plan includes detached sidewalks and provides more than triple of the required amount of open space. For these reasons, and because the site plan is generally meeting the development standards for R1-6, staff recommends general conformance to the site plan, with specific regard to the open space provided. This is addressed in Stipulation No. 1. Staff also recommends that the landscape plan includes enhanced landscaping for

landscape areas within retention and open space areas and that the open space plan contains a minimum of two active recreation amenities, shaded to a minimum of 75 percent by a structure, landscaping at maturity, or a combination of the two. The Phoenix Zoning Ordinance currently requires 50 percent live vegetative coverage, and subdivisions are not required to have a minimum number of amenity areas. By providing enhanced landscaping and improved amenity areas, the applicant would be exceeding Phoenix Zoning Ordinance standards and would be providing an enhanced quality of life for residents living within the proposed development. This is addressed in Stipulation Nos. 3 through 5.

5. **Elevations**

Building elevations were not submitted with this application; however, a subdivision with lots less than 65 feet in width are subject to single-family design review as required by the Phoenix Zoning Ordinance. The existing homes surrounding the site are one-story, therefore, staff recommends stipulating the maximum building height to 1-story and 20 feet, as agreed to by the applicant, per Stipulation No. 2.

PLANS, OVERLAYS, AND INITIATIVES

6. **Piestewa Peak Freeway Specific Plan**

The subject site is located within the Piestewa Peak Freeway Specific Plan corridor, Segment 7. This segment contains a mix of single-family residential, multifamily residential, commercial, public/quasi-public, parks, and vacant land uses. No land use mitigation strategies were included for the subject site. The proposal will add housing options within Segment 7 transportation corridor.

7. **Housing Phoenix Plan**

In June 2020, the Phoenix City Council approved the Housing Phoenix Plan. This Plan contains policy initiatives for the development and preservation of housing with a vision of creating a stronger and more vibrant Phoenix through increased housing options for residents at all income levels and family sizes. Phoenix's rapid population growth and housing underproduction has led to a need for over 163,000 new housing units. Current shortages of housing supply relative to demand are a primary reason why housing costs are increasing. The proposed development supports the Plan's goal of preserving or creating 50,000 housing units by 2030 by contributing to a variety housing types that will address the supply shortage at a more rapid pace while using vacant land in a more sustainable fashion.

8. **Tree and Shade Master Plan**

The Tree and Shade Master Plan has a goal of treating the urban forest as infrastructure to ensure that trees are an integral part of the city's planning and development process. By investing in trees and the urban forest, the city can reduce its carbon footprint, decrease energy costs, reduce storm water runoff,

increase biodiversity, address the urban heat island effect, clean the air, and increase property values. In addition, trees can help to create walkable streets and vibrant pedestrian places. Staff is recommending robust tree planting standards, with larger caliper trees in the landscape setback adjacent to 34th Street, in addition to shade trees in the landscape strip between the sidewalk and back of curb, per Stipulation Nos. 7, 8 and 10.

9. **Complete Streets Guidelines**

In 2014, the City of Phoenix City Council adopted the Complete Streets Guiding Principles. The principles are intended to promote improvements that provide an accessible, safe, connected transportation system to include all modes, such as bicycles, pedestrians, transit, and vehicles. Staff is recommending detached sidewalks with a landscape strip between the back of curb and sidewalk planted with enhanced landscaping, in addition to enhanced streetscape landscaping within the landscape setback, per Stipulation Nos. 7, 8 and 10. Where the detached sidewalk adjacent to 34th Street falls outside of dedicated right-of-way and onto the property, the developer will dedicate a sidewalk easement, per Stipulation No. 9.

10. **Comprehensive Bicycle Master Plan**

The City of Phoenix adopted the Comprehensive Bicycle Master Plan in 2014 to guide the development of its bikeway system and supportive infrastructure. The Comprehensive Bicycle Master Plan supports options for both short- and long-term bicycle parking as a means of promoting bicyclist traffic to a variety of destinations. As stipulated, the development will provide a minimum of five bicycle parking spaces within the open space area. This is addressed in Stipulation No. 6.

11. **Zero Waste PHX**

The City of Phoenix is committed to its waste diversion efforts and has set a goal to become a zero-waste city, as part of the City's overall 2050 Environmental Sustainability Goals. One of the ways Phoenix can achieve this is to improve and expand its recycling and other waste diversion programs. Section 716 of the Phoenix Zoning Ordinance establishes standards to encourage the provision of recycling containers for multifamily, commercial, and mixed-use developments meeting certain criteria. The applicant indicated in their submittal documents that residents will have recycling containers. Additionally, recycling service is provided by the City of Phoenix to single-family residential developments.

COMMUNITY INPUT SUMMARY

12. At the time this staff report was written, one letter of opposition has been received. Concerns shared were regarding building height, privacy, and property values.

#### INTERDEPARTMENTAL COMMENTS

13. **Aviation Department**

The City of Phoenix Aviation Department commented that the property owner shall record a Notice to Prospective Purchasers of Proximity to Airport in order to disclose the existence, and operational characteristics of the Deer Valley Airport (DVT) to future owners or tenants of the property. This is addressed in Stipulation No. 13.

14. **Water Services Department**

The City of Phoenix Water Services Department has noted the property has existing water and sewer mains that can potentially serve the proposed development, however, water capacity is a dynamic condition that can change over time due to a variety of factors.

15. **Street Transportation Department**

The Street Transportation Department commented that if the development constructed an internal public local street, a radius turn-around will be required along with dedications at each corner for ADA ramps. The Street Transportation Department also commented that private streets require a driveway along 34th Street to delineate between private and public streets. The Street Transportation Department requested that the streets be constructed with all required elements and to ADA requirements and that a Red Border Letter be submitted to the Arizona Department of Transportation (ADOT). This is addressed in Stipulation Nos. 11 and 12.

#### OTHER

16. The developer shall provide a hydraulic/hydrologic analysis of offsite storm water flows, when present, at the time of preliminary site plan submittal for verification of required infrastructure in regard to lot space and density.

17. The site has not been identified as being archeologically sensitive. However, in the event archaeological materials are encountered during construction, all ground disturbing activities must cease within a 33-foot radius of the discovery and the City of Phoenix Archaeology Office must be notified immediately and allowed time to properly assess the materials. This is addressed in Stipulation No. 14.

18. Staff has not received a completed form for the Waiver of Claims for Diminution in Value of Property under Proposition 207 (A.R.S. 12-1131 et seq.), as required by the rezoning application process. Therefore, a stipulation has been added to require the form be completed and submitted prior to preliminary site plan approval. This is addressed in Stipulation No. 15.

19. Development and use of the site is subject to all applicable codes and ordinances. Zoning approval does not negate other ordinance requirements.



Other formal actions such as, but not limited to, zoning adjustments and abandonments, may be required.

### **Findings**

1. The proposal is compatible with the surrounding land uses and zoning to the north and west.
2. The proposal will redevelop an underutilized property and provide a high quality single-family residential development which will help alleviate the housing shortage in Phoenix.
3. The stipulated landscaping and planting standards are above the required minimum standards and will make the proposal compatible with the neighboring area.

### **Stipulations**

1. The development shall be in general conformance with the site plan date stamped February 22, 2023, with specific regard to the open space provided, as modified by the following stipulations and as approved by the Planning and Development Department.
2. The maximum building height shall be 1-story and 20 feet.
3. Improved open space areas shall be shaded by a structure, landscaping at maturity, or a combination of the two to provide minimum 75% shade, as shown on a shading study, as approved by the Planning and Development Department.
4. Landscape areas within retention areas and open space areas shall be planted with shrubs, accents and vegetative groundcovers to provide a minimum of 75% live coverage at maturity, as approved by the Planning and Development Department.
5. A minimum of two shaded active recreation amenities, such as a tot lot, picnic area, seating feature, garden amenity, or similar amenity, shall be provided within the open space area, as approved by the Planning and Development Department.
6. A minimum of five bicycle parking spaces shall be provided through Inverted U and/or artistic racks located near improved open space areas and installed per the requirements of Section 1307.H. of the Phoenix Zoning Ordinance, as approved by the Planning and Development Department. Artistic racks shall adhere to the City of Phoenix Preferred Designs in Appendix K of the Comprehensive Bicycle Master Plan.

7. The perimeter landscape setback adjacent to the public street shall be planted to the following standards, as approved by the Planning and Development Department.
  - a. Minimum 50% 2-inch caliper and 50% 3-inch caliper, large canopy, drought-tolerant shade trees, planted 20 feet on center or in equivalent groupings.
  - b. Shrubs, accents, and vegetative groundcovers to provide a minimum of 75% live coverage at maturity.
  
8. The developer shall construct a minimum 5-foot-wide detached sidewalk and a minimum 5-foot-wide landscape strip between the back of curb and sidewalk along the east side of 34th Street, planted to the following standards and as approved by the Planning and Development Department.
  - a. Minimum 2-inch caliper drought-tolerant, large canopy, single-trunk shade trees planted 20 feet on center or in equivalent groupings.
  - b. Drought-tolerant shrubs, accents and vegetative groundcovers to achieve a minimum of 75% live coverage at maturity.

Where utility conflicts arise, the developer shall work with the Planning and Development Department on an alternative design solution consistent with a pedestrian environment.

9. The developer shall dedicate a sidewalk easement for any streetscape area (detached sidewalk and landscape strip) that falls outside of dedicated right-of-way along the east side of 34th Street, as approved by the Planning and Development Department.
  
10. The developer shall construct a minimum 5-foot-wide detached sidewalk and a minimum 5-foot-wide landscape strip between the back of curb and sidewalk for internal public and/or private sidewalks within the development, including along the perimeter of Tract B and Tract C, as depicted on the site plan date stamped December 20, 2022, planted to the following standards and as approved by the Planning and Development Department.
  - a. Minimum 2-inch caliper drought-tolerant, large canopy, single-trunk shade trees planted 20 feet on center or in equivalent groupings.
  - b. Drought tolerant shrubs, accents, and vegetative groundcovers to achieve a minimum of 75% live coverage at maturity.

Where utility conflicts arise, the developer shall work with the Planning and Development Department on an alternative design solution consistent with a pedestrian environment.

11. The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping, and other incidentals, as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.
12. A Red Border Letter shall be submitted to the Arizona Department of Transportation (ADOT) for this development.
13. The property owner shall record documents that disclose the existence, and operational characteristics of the Deer Valley Airport (DVT) to future owners or tenants of the property. The form and content of such documents shall be according to the templates and instructions provided which have been reviewed and approved by the City Attorney.
14. In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground-disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.
15. Prior to preliminary site plan approval, the landowner shall execute a Proposition 207 waiver of claims form. The waiver shall be recorded with the Maricopa County Recorder's Office and delivered to the City to be included in the rezoning application file for record.

**Writer**

Adrian Zambrano

February 27, 2023

**Team Leader**

Racelle Escolar

**Exhibits**

Zoning Sketch Map

Aerial Sketch Map

Preliminary Site Plan date stamped February 22, 2023 (1 page)

Preliminary Landscape Plan date stamped February 22, 2023 (1 page)

Preliminary Shade Study & Open Space Plan date stamped February 22, 2023 (1 page)

Correspondence (1 page)





**LOT COVERAGE CALCULATIONS**

106,371 SF (LOT AREA) + 27,852.07 SF (TRACT OS AREA) =  
134,223.07 SF X 0.6 = 87,111.54 SF / 20 = 3,355.58 SF  
PERMITTED LOT COVERAGE PER LOT

TOTAL LOT COVERAGE (PRIMARY + SHADE STRUCTURE) = 67,111.54 S.F.

LOT #	LOT AREA (SF)	PRIMARY LOT COVERAGE (SF) (LIVABLE & GARAGE)	ADD. COVERAGE FOR ATTACHED SHADE STRUCTURES (SF) (ENTRY PORCH & PATIOS)	TOTAL PERMITTED (SF)
1	5,280	2,684.5	671	3,356
2	5,280	2,684.5	671	3,356
3	5,280	2,684.5	671	3,356
4	5,280	2,684.5	671	3,356
5	5,280	2,684.5	671	3,356
6	5,280	2,684.5	671	3,356
7	5,280	2,684.5	671	3,356
8	5,280	2,684.5	671	3,356
9	5,280	2,684.5	671	3,356
10	5,280	2,684.5	671	3,356
11	5,280	2,684.5	671	3,356
12	5,280	2,684.5	671	3,356
13	5,280	2,684.5	671	3,356
14	5,234	2,684.5	671	3,356
15	5,237	2,684.5	671	3,356
16	5,240	2,684.5	671	3,356
17	5,243	2,684.5	671	3,356
18	5,246	2,684.5	671	3,356
19	5,249	2,684.5	671	3,356
20	5,218	2,684.5	671	3,356
TOTAL	106,371	53,690	13,420	67,110

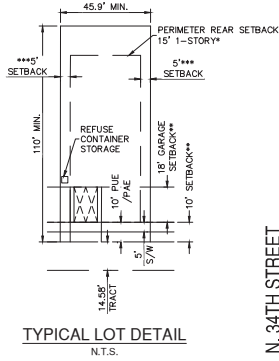
# PRELIMINARY SITE PLAN FOR 34TH STREET MANORS

A SINGLE-FAMILY DETACHED PLANNED RESIDENTIAL DEVELOPMENT  
SUBDIVISION SUBJECT TO SINGLE-FAMILY DESIGN REVIEW

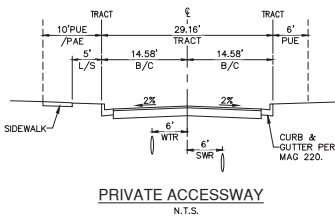
A PORTION OF THE SOUTHWEST QUARTER OF SECTION 1, TOWNSHIP 3 NORTH, RANGE 3  
EAST OF THE GILA AND SALT RIVER BASE & MERIDIAN, MARICOPA COUNTY, ARIZONA

VILLA ADDANTE  
BOOK 301 PAGE 03, M.C.R.  
ZONING: R1-6

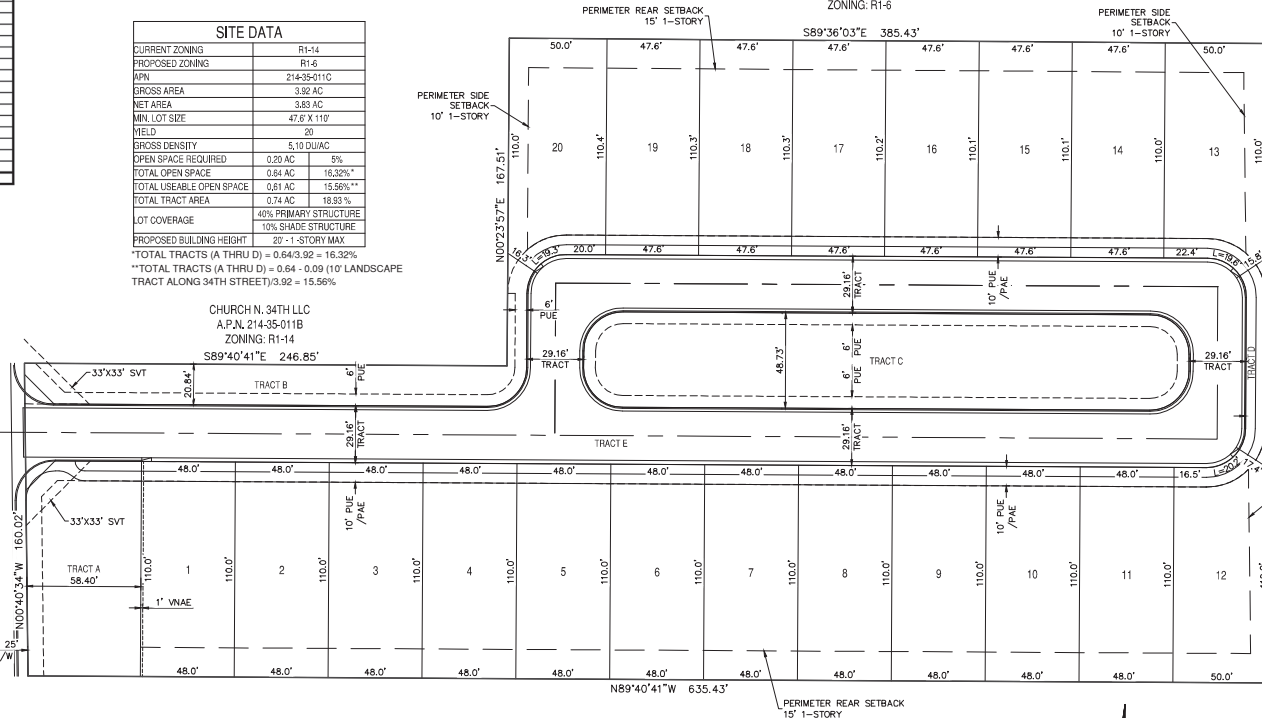
SITE DATA	
CURRENT ZONING	R1-14
PROPOSED ZONING	R1-6
APN	214-35-011C
GROSS AREA	3.92 AC
NET AREA	3.63 AC
MIN LOT SIZE	47.6' X 110'
YIELD	20
GROSS DENSITY	5.10 DU/AC
OPEN SPACE REQUIRED	0.20 AC 5%
TOTAL OPEN SPACE	0.64 AC 16.32%**
TOTAL USEABLE OPEN SPACE	0.61 AC 15.56%**
TOTAL TRACT AREA	0.74 AC 18.33%
LOT COVERAGE	40% PRIMARY STRUCTURE 10% SHADE STRUCTURE
PROPOSED BUILDING HEIGHT	20' - 1-STORY MAX
**TOTAL TRACTS (A THRU D) = 0.64/3.92 = 16.32%	
**TOTAL TRACTS (A THRU D) = 0.64 - 0.09 (10' LANDSCAPE TRACT ALONG 34TH STREET) = 15.56%	



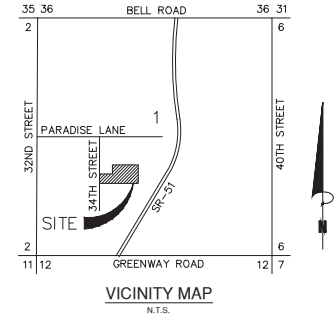
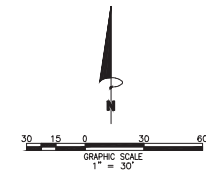
\*\*\*ALL LOTS WILL BE RESTRICTED TO 1-STORY HOMES  
\*\*18' FROM BACK OF SIDEWALK TO FRONT LOADED GARAGES; 10' FROM PROPERTY LINE FOR SIDE LOADED GARAGES OR LIVABLE SPACE  
\*\*\*5' SIDE INTERIOR SETBACKS. SEE PLAN FOR PERIMETER SIDE SETBACKS



NOTES:  
2 PARKING SPACES PER DWELLING UNIT REQUIRED;  
1 - 2 CAR GARAGE PROVIDED PER UNIT  
TOTAL PARKING SPACES REQUIRED: 40 SPACES  
TOTAL PARKING SPACES PROVIDED: 40 SPACES (2 PER HOME IN THE GARAGES)  
ALL PARKING PLANS SHALL CONFORM TO 702 OF THE PHOENIX CITY CODE, AS AMENDED. PLEASE REFER TO: [HTTPS://PHOENIX.MUNICIPAL.CODES.ZO/702](https://phoenix.municipal.codes/ZO/702).  
INDIVIDUAL GARAGES FOR RESIDENTIAL USES SHALL HAVE UNENCUMBERED PARKING SPACE DIMENSIONS MEASURING A MINIMUM OF NINE AND ONE-HALF (9 1/2) FEET BY NINETEEN (19) FEET, MINIMUM 181 SF. TWO CAR GARAGES SHALL HAVE MINIMUM 19 FEET X 19 FEET, MINIMUM 361 SF



BELLA TERRA  
BOOK 200 PAGE 12, M.C.R.  
ZONING: R1-14



TRACT AREA		
TRACT ID	TRACT USE	AREA
A	LANDSCAPE, OPEN SPACE, PUE/PAE, RETENTION	6309.68 SF
B	LANDSCAPE, OPEN SPACE, PUE	5709.54 SF
C	LANDSCAPE, OPEN SPACE, PUE, RETENTION	14740.55 SF
D	LANDSCAPE, OPEN SPACE, PUE/PAE	1092.30 SF
E	STREETS (PRIVATE ACCESSWAYS); PUBLIC WATER AND SEWER, DRAINAGE, REFUSE COLLECTION, EMERGENCY AND SERVICE VEHICLE ACCESS	32164.55 SF

**CITY OF PHOENIX**  
**FEB 22 2023**  
Planning & Development  
Department

**LEGEND**

---	BOUNDARY LINE
---	TRACT
---	CENTERLINE
- - - -	SIGHT VISIBILITY TRIANGLE (SVT)
- - - -	VEHICULAR NON ACCESS EASEMENT (VNAE)
- - - -	PUBLIC UTILITY EASEMENT (PUE) / PUBLIC ACCESS EASEMENT (PAE)

**DIVERSIFIED FUTURE LLC.**

Diversified Future, LLC  
8361 West Cashman Drive  
Peoria, Arizona 85303

Phone: (602) 679-4438  
Fax: (602) 800-5103  
diversified.future@gmail.com

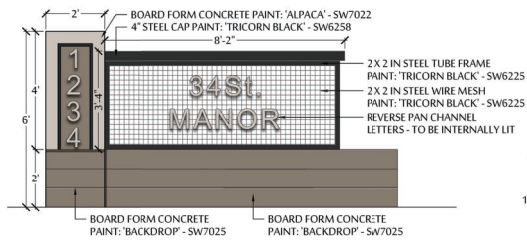
**34TH STREET MANORS**  
A.P.N. 214-35-011C  
PRELIMINARY SITE PLAN

PHOENIX, ARIZONA      MARICOPA COUNTY

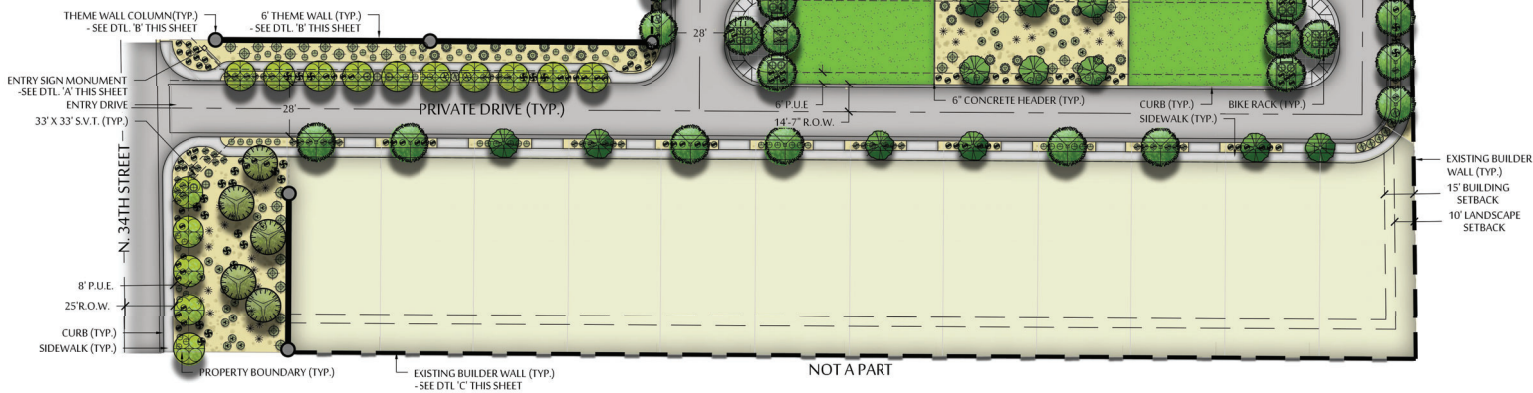
KVA: 22-3015  
PAPP: 2206787  
CS: 35-35

SCALE: 1" = 30'  
JOB No.  
DATE: 02/15/2023

1  
SHEET 1 OF 1



**A PRIMARY ENTRY MONUMENT** SCALE: 1/2" = 1'-0"

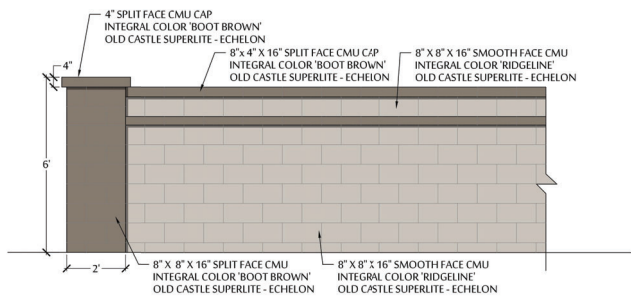


**PLANT LEGEND**

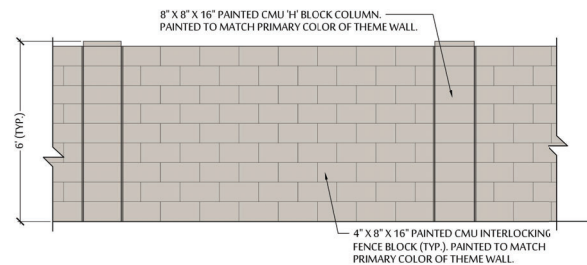
SYMBOL	BOTANICAL NAME - COMMON NAME
<b>TREES</b>	
	CAESALPINIA CACALACO - CASCALOTE
	FRAXINUS VELLUTINA - ARIZONA ASH
	PROSOPIS HYBRID 'PHOENIX' - THORNLESS MESQUITE
	QUERCUS VIRGINIANA - SOUTHERN LIVE OAK
<b>SHRUBS</b>	
	BOUGAINVILLEA VAR. BARBARA KARST
	CAESALPINIA MEXICANA - MEXICAN BIRD OF PARADISE
	LEUCOPHYLLUM LAEVIGATUM - CHIHUAHUAN SAGE
	RUPELLIA PENINSULARIS - DESERT RUELLIA
	OLEA EUROPAEA 'MONTRA' - LITTLE OLLIE
<b>ACCENTS</b>	
	DASYLIRION WHEELERI - DESERT SPOON
	HESPERALOE PARVIFLORA - MIM. YELLOW/RED YUCCA
	MUHLENBERGIA RIGENS - DEER GRASS
<b>GROUNDCOVERS</b>	
	LANTANA VAR. MONTEVIDENSIS - PURPLE TRAILING LANTANA
	LANTANAX VAR. 'NEW GOLD' - NEW LANTANA
	WEDDILLIA TRILOBATA - YELLOW DOT
	DECOMPOSED GRANITE - T.B.D.
	MID-IRON BERMUDA TURF

**NOTES:**

1. DUE TO PLANT MATERIAL AVAILABILITY, SUBSTITUTIONS FOR PLANT MATERIAL LISTED ABOVE MAY BE USED. ANY ALTERNATES OR SUBSTITUTIONS MUST BE ON THE ADWR LOW WATER USE PLANT LIST.
2. SUB-SPECIES OR HYBRIDS OF PLANT MATERIAL LISTED ABOVE MAY BE USED AS ALTERNATES/SUBSTITUTIONS.
3. ADDITIONAL PLANT MATERIAL MAY BE ADDED TO THE LIST ABOVE DUE TO UTILITY COMPANY OR H.O.A. REQUESTS AND/OR PLANTING RESTRICTIONS WITHIN UTILITY EASEMENTS.
4. NO TREES TO BE LOCATED WITHIN THE P.U.E. OR ANY OTHER NOTED EASEMENTS.

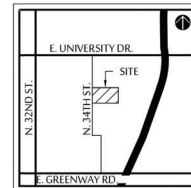


**B PRIMARY THEME WALL** SCALE: 1/2" = 1'-0"



**C BUILDER WALL** SCALE: 1/2" = 1'-0"

**VICINITY MAP**



**LANDSCAPE ARCHITECT**  
 MCGOUGH ADAMSON  
 535E. MCKELUPS RD., SUITE 131  
 MESA, AZ 85203  
 (602)997-9093  
 CONTACT: NICK ADAMSON, RLA  
 nicka@mg-az.com

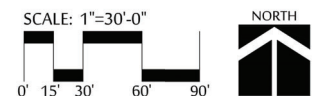
**OWNER**  
 DIVERSIFIED FUTURE LLC.  
 PHOENIX, AZ  
 (602)679-4438  
 CONTACT: SHELBY JM DUPLESSIS, PE  
 diversifiedfuture@gmail.com



**34TH ST MANOR**  
 PRELIMINARY LANDSCAPE PLAN

34TH ST & GREENWAY ROAD  
 FEBRUARY 21TH, 2023

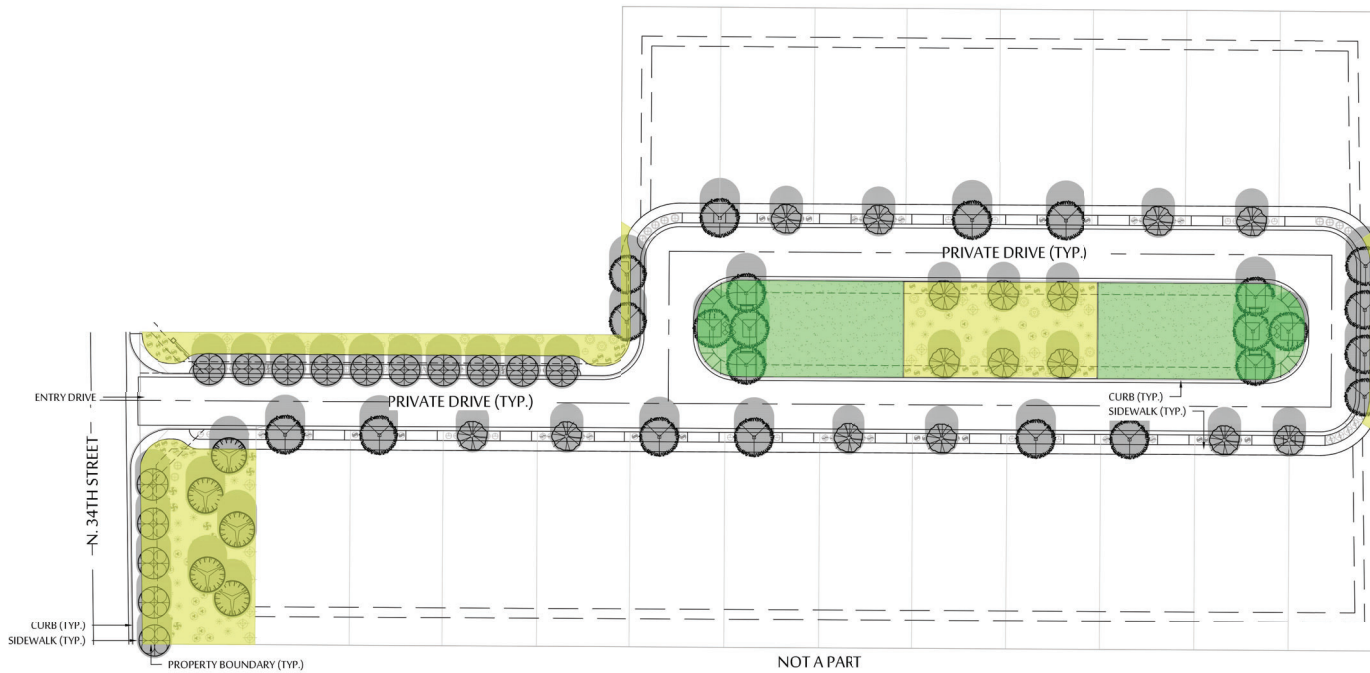
**CITY OF PHOENIX**  
**FEB 22 2023**  
 Planning & Development  
 Department



**CITY OF PHOENIX**

**FEB 22 2023**

**Planning & Development  
Department**



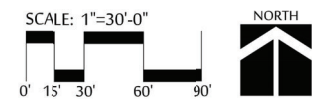
**SHADE STUDY & OPEN SPACE LEGEND**

	SHADE FROM TREES AT MATURE GROWTH
<b>SHADE REQUIREMENTS:</b>	
• 75% SHADE COVERAGE (MINIMUM)	
TOTAL HARDSCAPE:	4,696 SQ. FT.
REQUIRED:	3,522 SQ. FT. (75.0%)
PROVIDED:	3,597 SQ. FT. (76.6%)
<b>OPEN SPACE:</b>	
	OPEN SPACE: 14,310 SQ. FT.
	USABLE OPEN SPACE: 9,814 SQ. FT.



**34TH ST MANOR**  
PRELIMINARY SHADE STUDY & OPEN SPACE PLAN

34TH ST & GREENWAY ROAD  
FEBRUARY 21TH, 2023





February 02, 2023

City of Phoenix Planning and Development:

RE: case number Z-89 -22

I received letter via USPS from Diversified Future, LLC of 9361 W. Cashman Drive, Peoria, AZ 85383 on 02/01/2023 proposing a zoning change from the current R1-14 to R1-6 for the vacant property adjacent to my backyard.

I reside/own the SW corner of their proposed development (3402 East Tierra Buena lane, Phoenix, AZ 85032) if they get there requested zoning change. I am strictly opposed to this proposed zoning change.

My reason is two parts. Firstly I bought my current residence as there was no housing development behind me with two story residences with people looking/observing me from there balconies as I sit on my ground level back porch being retired that I enjoy very much. As this is what they will be building, two story residences with rear balconies. Secondly if they get their proposed rezoning and build on lots half the size of mine and my whole neighborhood, it will defiantly lower our property valuation for resale.

Please enter my letter of concern and disapproval into the record.



Joseph Adashunas  
3402 E. Tierra Buena Lane  
Phoenix, AZ 85032  
(602) 517-8105  
xjda68@hotmail.com